

PROPOSED DWELLING TO CREATE A DUAL OCCUPANCY

TREVOR & KAREN SCHAFER

2-4 SOUTH STREET, GLENMORE PARK

Lot No.8

DP 1020587

DRAWING LIST

| NO. | DRAWING | AMENDMENT | DATE | ISSUE | DRAWN | CHECKED |
|-----|----------------|-----------|------------|-------|-------|---------|
| 01 | COVER SHEET | DA ISSUE | 10/06/2021 | E | AP | MY |
| 02 | SITE PLAN | DA ISSUE | 10/06/2021 | E | AP | MY |
| 03 | FLOOR PLAN | DA ISSUE | 10/06/2021 | E | AP | MY |
| 04 | ELEVATIONS | DA ISSUE | 10/06/2021 | E | AP | MY |
| 05 | SECTION | DA ISSUE | 10/06/2021 | E | AP | MY |
| 06 | KITCHEN DETAIL | DA ISSUE | 10/06/2021 | E | AP | MY |

CUBITT'S Granny Flats and Home Extensions
152 Russell Street,
Emu Plains NSW 2750

Phone: 1300 721 150
<https://www.cubitts.com.au/>
ABN: 29 068 798 158
Builders Lic: 66902C

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Version: 1, Version Date: 10/06/2021

| E | CURRENT ISSUE | | |
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2-4 SOUTH STREET, GLENMORE PARK

CLIENT
TREVOR & KAREN SCHAFER

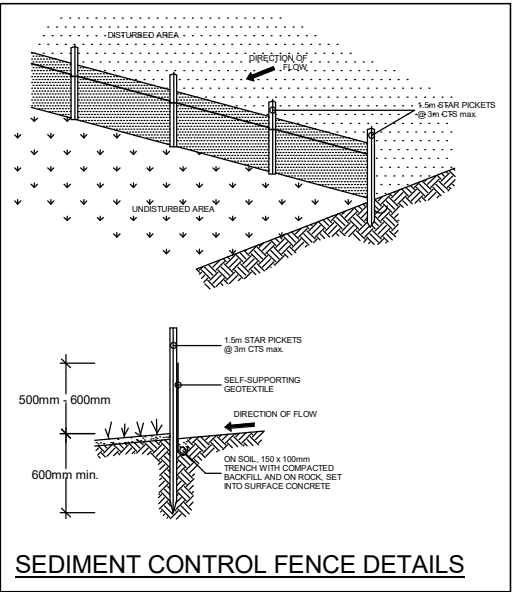
AMENDMENT
DA ISSUE

DRAWING
COVER SHEET

| | | |
|----------|------------|------------|
| SHEET | SCALE | |
| 01 of 06 | @ A3 | |
| LOT NO. | DP NO. | DATE |
| 8 | DP 1020587 | 10/06/2021 |
| CHECKED | JOB NO. | DRG NO. |
| MY | 22827 | 22827 01 |



| | | |
|--|---------------------------|------------------------|
| LOT SIZE | | 4359.30 m ² |
| GFA | EXISTING GROUND FLOOR GFA | 483.30 m ² |
| | PROPOSED | 69.66 m ² |
| | TOTAL | 552.96 m ² |
| SITE COVERAGE | | 12.2% |
| LANDSCAPED AREA | | 73.8% |
| LANDSCAPED AREA (BEHIND BUILDING LINE) | | 47.0% |



--- DENOTES SEDIMENT CONTROL FENCE

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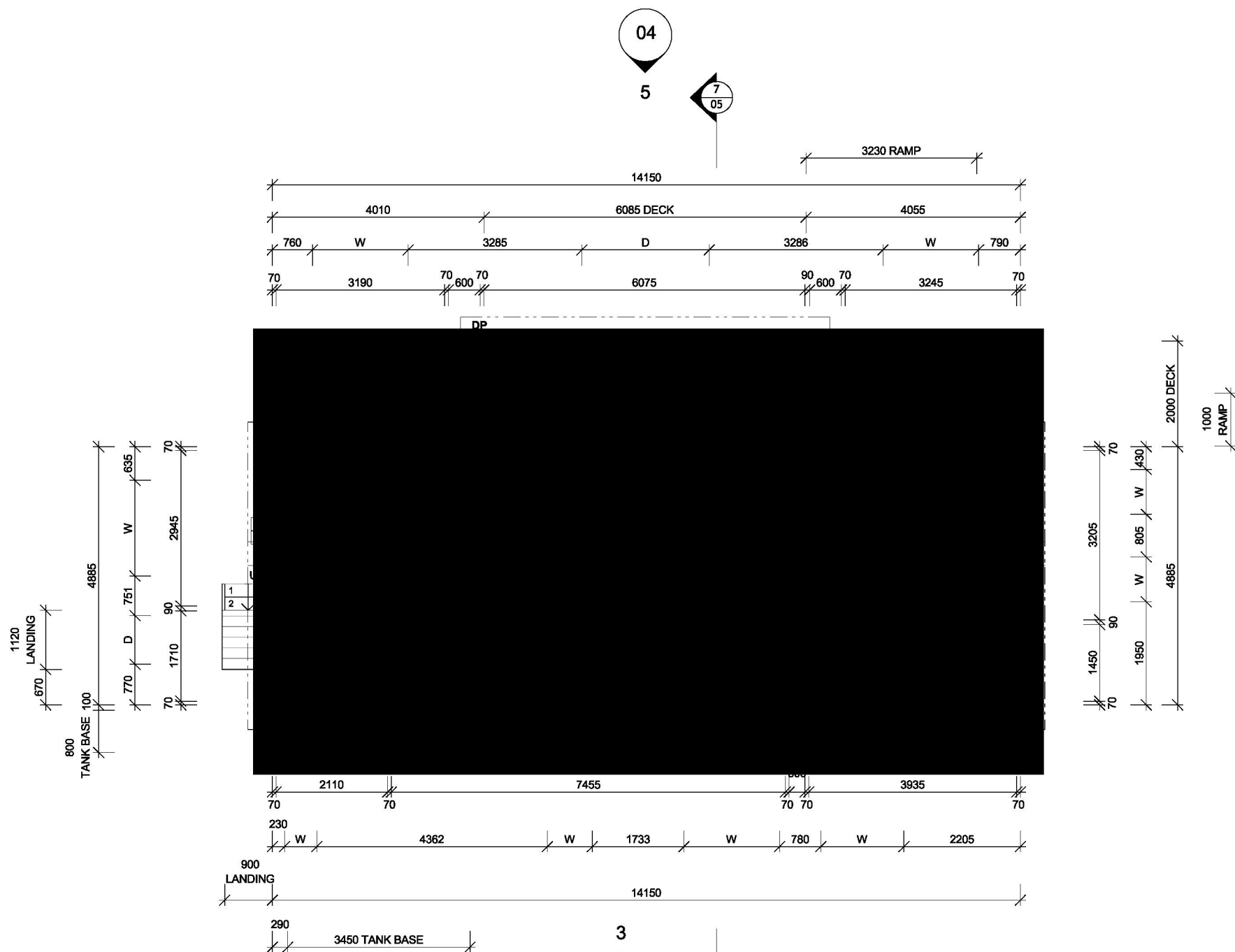
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SITE PLAN
SHEET
02 of 06
LOT NO.
8
CHECKED
MY
SCALE
1 : 500 @ A3
DP NO.
DP 1020587
JOB NO.
22827
DATE
10/06/2021
DRG NO.
22827 02





2 FLOOR PLAN
1:100

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FLOOR PLAN

SHEET
03 of 06

LOT NO.
8

CHECKED
MY

SCALE
1:100 @ A3

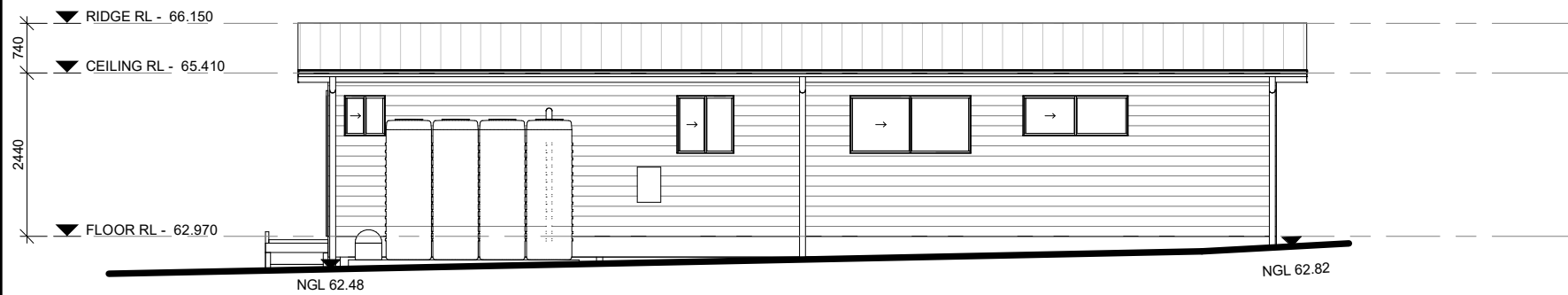
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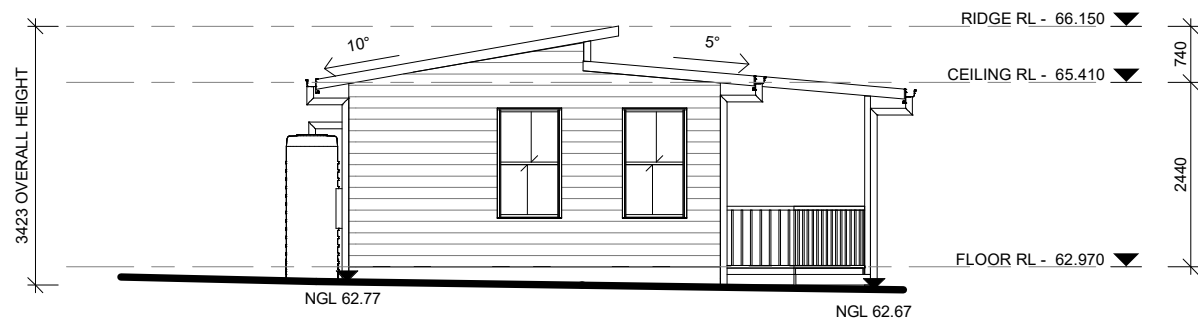
DATE
10/06/2021

DRG NO.
22827 03

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HOME EXTENSIONS
EST. 1994



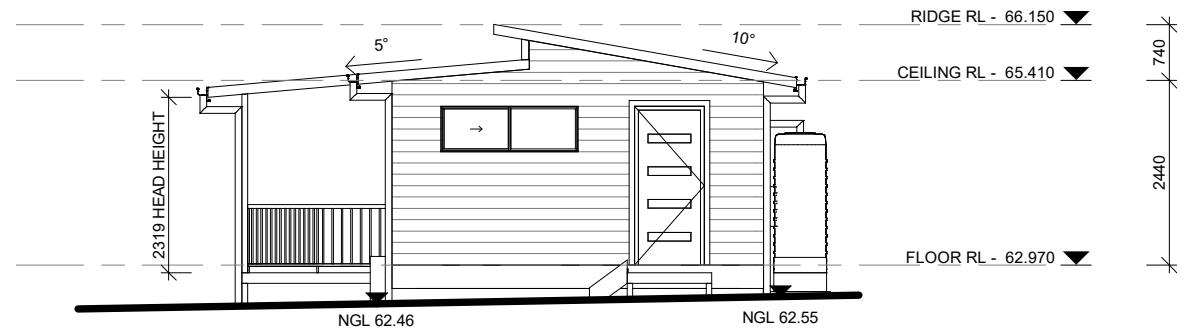
3 EAST ELEVATION
1 : 100



4 NORTH ELEVATION
1 : 100



5 WEST ELEVATION
1 : 100



6 SOUTH ELEVATION
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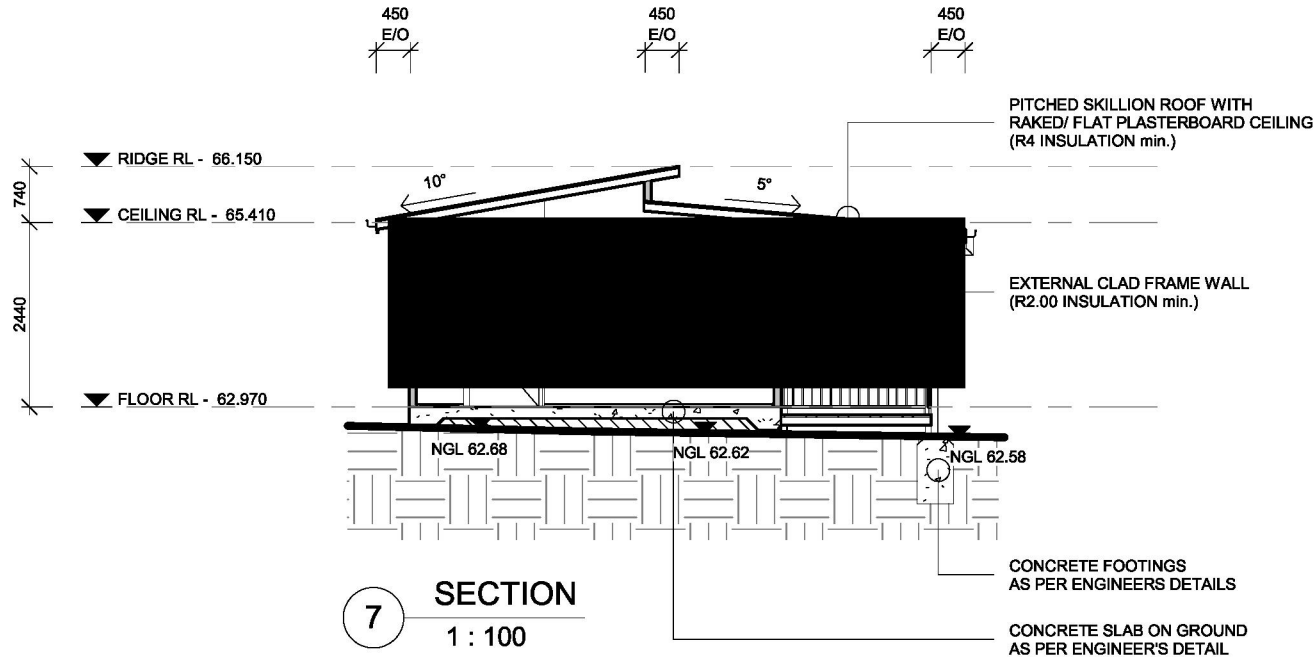
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AMENDMENT
DA ISSUE

| DRAWING ELEVATIONS | | |
|--------------------|--------------|------------|
| SHEET | SCALE | |
| 04 of 06 | 1 : 100 @ A3 | |
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BASIX COMMITMENTS

WATER COMMITMENTS

FIXTURES

INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 4 STAR IN ALL SHOWERS IN THE DEVELOPMENT.
INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 4 STAR IN EACH TOILET IN THE DEVELOPMENT.
INSTALL TAPS WITH A MINIMUM RATING OF 4 STAR IN THE KITCHEN IN THE DEVELOPMENT.
INSTALL BASIN TAPS WITH A MINIMUM RATING OF 4 STAR IN EACH BATHROOM IN THE DEVELOPMENT.

ALTERNATIVE WATER

INSTALL RAINWATER TANK OF AT LEAST 3,000L ON THE SITE.
THE RAINWATER TANK IS TO COLLECT RAIN RUNOFF FROM AT LEAST 92.00m² OF THE ROOF AREA OF THE DEVELOPMENT.
THE RAINWATER TANK MUST BE CONNECTED TO ALL TOILETS IN THE DEVELOPMENT, COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE DEVELOPMENT AND AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

THERMAL COMFORT COMMITMENTS

FLOOR, WALLS AND CEILING/ROOF

SARKING TO UNDERSIDE OF METAL ROOF
ROOF COLOR - WOODLAND GREY - 0.71 SOLAR ABSORPTANCE
R3.0 INSULATION TO ALL CEILINGS
CONCRETE SLAB ON GROUND
FRAMED / CLAD EXTERNAL WALLS TO INCLUDE SARKING + R2.0 INSULATION

WINDOWS

BRADNAMS DOUBLE HUNG WINDOWS U=6.3 SHGC=0.75 (+/-5%)
BRADNAMS SLIDING WINDOWS U=6.4 SHGC=0.76 (+/-5%)
BRADNAMS SLIDING DOOR U=6.1 SHGC=0.74 (+/-5%)

ENERGY COMMITMENTS

HOT WATER

INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT, OR A SYSTEM WITH A HIGHER ENERGY RATING:
GAS INSTANTANEOUS WITH A PERFORMANCE OF 6 STARS.

COOLING SYSTEM

INSTALL THE FOLLOWING COOLING SYSTEM IN THE LIVING AREA:
CEILING FAN + 1-PHASE AIR CONDITIONING; ENERGY RATING: EER 3.5-4.0

HEATING SYSTEM

INSTALL THE FOLLOWING HEATING SYSTEM IN THE LIVING AREA:
1-PHASE AIR CONDITIONING; ENERGY RATING: EER 3.5-4.0

LIGHTING

RECESSED DOWNLIGHTS TO BE SEALED LEDS

VENTILATION

ALL EXHAUST FANS TO BE SEALED

OTHER

INSTALL A ELECTRIC COOKTOP & ELECTRIC OVEN

DOOR SCHEDULE

| DOOR NO. | HEIGHT | WIDTH | SUPPLIER | CODE | TYPE | MATERIAL | LOCATION |
|----------|--------|-------|------------|-------------|---------------|-----------|----------|
| 1 | 2100 | 2410 | BRADNAM'S | SF2124 | SLIDING | ALUMINIUM | EXTERNAL |
| 2 | 2040 | 920 | HUME DOORS | FLUSH PANEL | CAVITY SLIDER | TIMBER | INTERNAL |
| 3 | 2040 | 920 | HUME DOORS | FLUSH PANEL | CAVITY SLIDER | TIMBER | INTERNAL |
| 4 | 2040 | 920 | HUME DOORS | FLUSH PANEL | CAVITY SLIDER | TIMBER | INTERNAL |
| 5 | 2040 | 920 | HUME DOORS | FLUSH PANEL | HINGED | TIMBER | INTERNAL |
| 6 | 2100 | 920 | HUME DOORS | XN5 | HINGED | TIMBER | EXTERNAL |

WINDOW SCHEDULE

| WINDOW NO. | HEIGHT (mm) | WIDTH (mm) | SUPPLIER | CODE | TYPE | MATERIAL | GLAZING | SCREEN |
|------------|-------------|------------|----------|--------|-------------|-----------|---------|------------|
| 1 | 600 | 1810 | BRADNAMS | XO0618 | SLIDING | ALUMINIUM | CLEAR | NYLON MESH |
| 2 | 1460 | 850 | BRADNAMS | D1509 | DOUBLE HUNG | ALUMINIUM | CLEAR | NYLON MESH |
| 3 | 1460 | 850 | BRADNAMS | D1509 | DOUBLE HUNG | ALUMINIUM | CLEAR | NYLON MESH |
| 4 | 600 | 1570 | BRADNAMS | XO0616 | SLIDING | ALUMINIUM | FROSTED | NYLON MESH |
| 5 | 860 | 1810 | BRADNAMS | XO0918 | SLIDING | ALUMINIUM | CLEAR | NYLON MESH |
| 6 | 860 | 850 | BRADNAMS | XO0909 | SLIDING | ALUMINIUM | CLEAR | NYLON MESH |
| 7 | 600 | 610 | BRADNAMS | XO0606 | SLIDING | ALUMINIUM | FROSTED | NYLON MESH |
| 8 | 600 | 1810 | BRADNAMS | XO0618 | SLIDING | ALUMINIUM | CLEAR | NYLON MESH |
| 9 | 600 | 1810 | BRADNAMS | XO0618 | SLIDING | ALUMINIUM | CLEAR | NYLON MESH |

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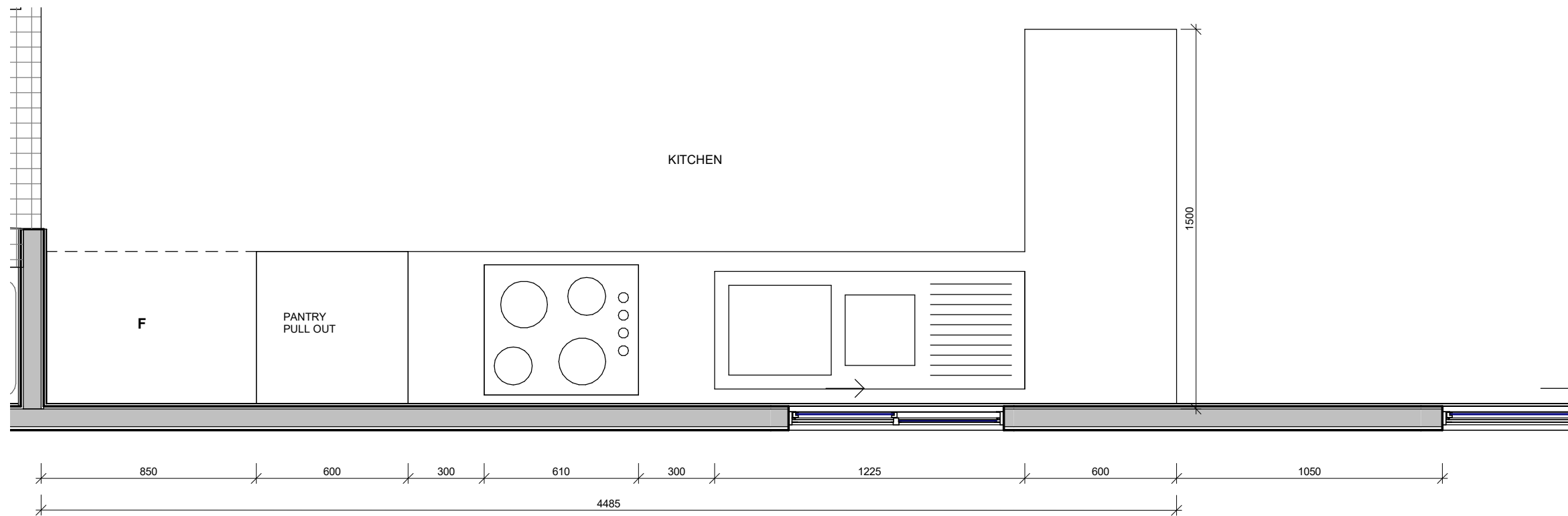
DRAWING
SECTION

SHEET SCALE
05 of 06 1 : 100 @ A3

LOT NO. DP NO. DATE
8 DP 1020587 10/06/2021

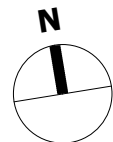
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8 KITHCEN LAYOUT
1 : 20

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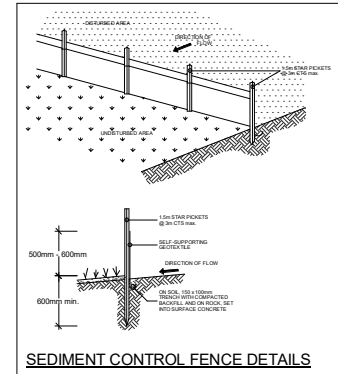
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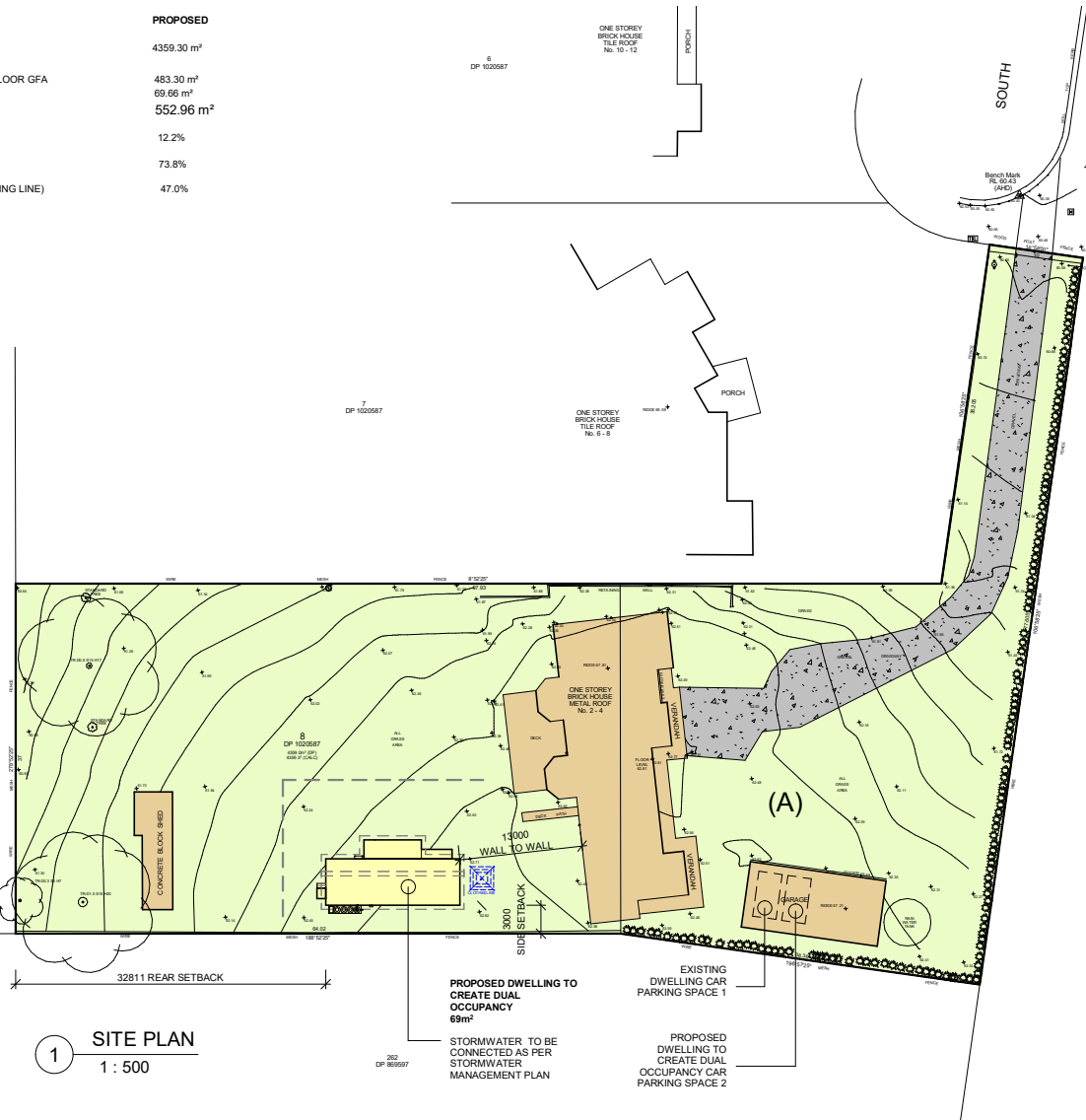
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| DRAWING KITCHEN DETAIL | | |
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| 06 of 06 | 1 : 20 @ A3 | |
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| GFA | EXISTING GROUND FLOOR GFA | 483.30 m² |
| GFA | PROPOSED | 69.66 m² |
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| SITE COVERAGE | | 12.2% |
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1 SITE PLAN
1 : 500

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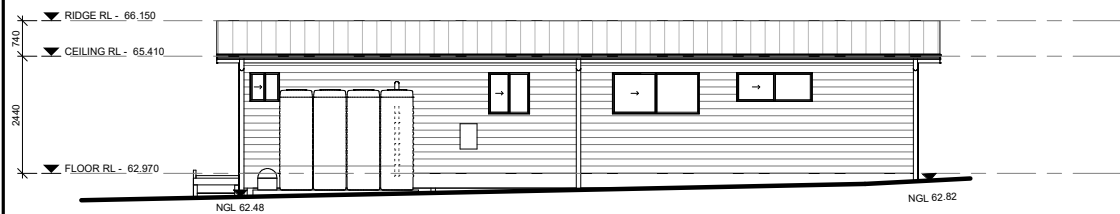
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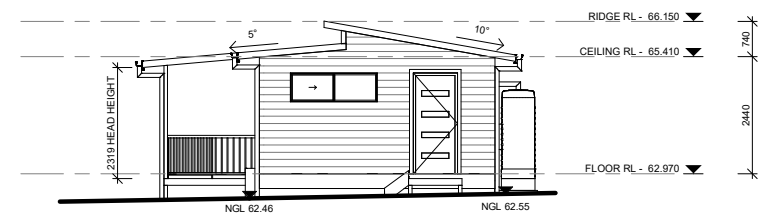
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