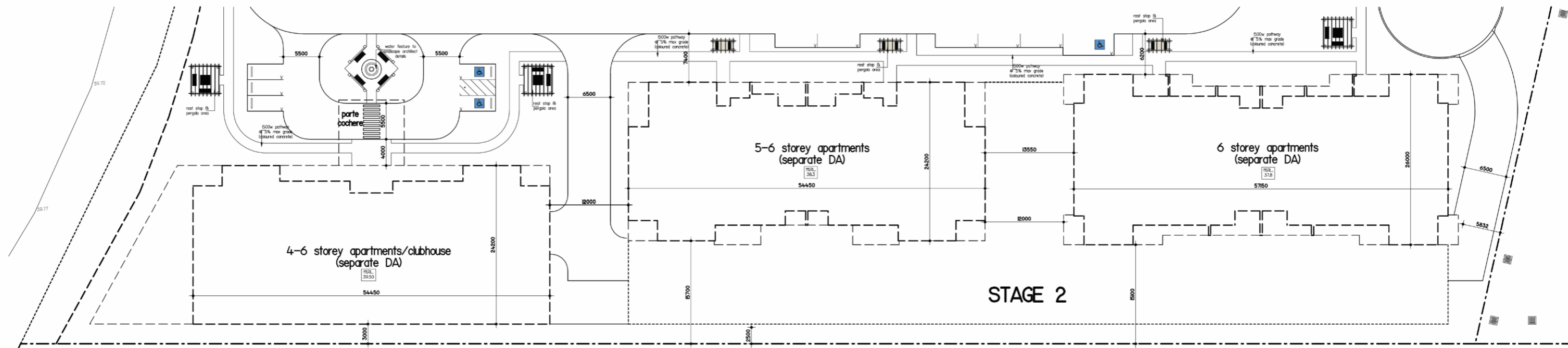


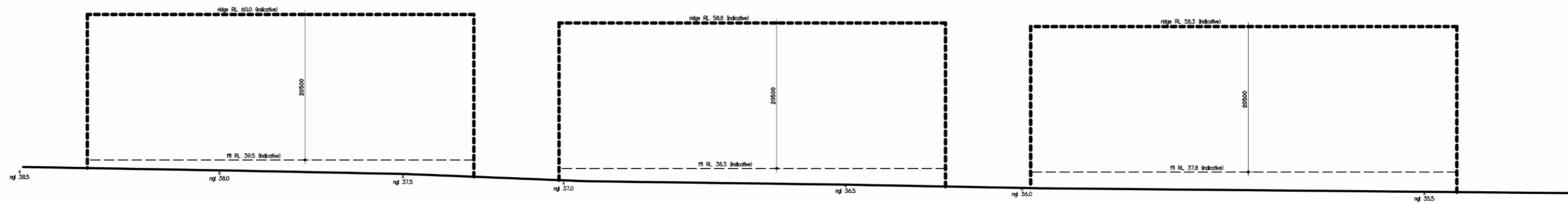
## **Appendix 4**

**Architectural Package  
prepared by  
A&N Design Group**



The envelopes are illustrative only, compliance with ADG to be demonstrated in Stage 2 DA

### BUILDING ENVELOPE PLAN 1:300



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N <sup>o</sup>	DATE	REVISION	APPROVED BY	DATE	REVISION	APPROVED BY
D	27.3.18	REVISED LOT LAYOUT	VS	1	27.6.18	ISSUED FOR DA
C	23.3.18	CONCEPT YIELD	VS	H	15.6.18	ISSUED FOR DA
B	7.2.18	CONCEPT YIELD	VS	G	3.5.18	PRELIMINARY DA
A	16.1.18	CONCEPT YIELD	VS	F	30.4.18	REVISED LOT LAYOUT
N <sup>o</sup>	DATE	REVISION	APPROVED BY	E	5.4.18	REVISED LOT LAYOUT

PROJECT: **JORDAN SPRINGS CID SITE**

**JHArchitects**  
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 JORDAN SPRINGS**

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LEVEL 2 SUITE 206 MACARTHUR POINT  
 NO. 25-27 SOLENT CIRCUIT BULLKHAM HILLS  
 P.O. BOX 640 BULLKHAM HILLS BUSINESS CENTRE  
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# JORDAN SPRINGS CID SITE

## STAGE 1 DEVELOPMENT APPLICATION PLANS

SHEET 01 - SITE ANALYSIS PLAN  
SHEET 02 - MASTER SITE PLAN  
SHEET 03 - PART SITE PLAN  
SHEET 04 - PART SITE PLAN  
SHEET 05 - PART SITE PLAN  
SHEET 06 - PART SITE PLAN  
SHEET 07 - PART SITE PLAN  
SHEET 08 - STREETScape ELEVATIONS  
SHEET 09 - STREETScape ELEVATIONS

SHEET 10 - STREETScape ELEVATIONS  
SHEET 11 - SHADOW DIAGRAMS - 9 AM  
SHEET 12 - SHADOW DIAGRAMS - 10 AM  
SHEET 13 - SHADOW DIAGRAMS - 11 AM  
SHEET 14 - SHADOW DIAGRAMS - 12 PM  
SHEET 15 - SHADOW DIAGRAMS - 1 PM  
SHEET 16 - SHADOW DIAGRAMS - 2 PM  
SHEET 17 - SHADOW DIAGRAMS - 3 PM  
SHEET 18 - BASIS DETAILS

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REV	DESCRIPTION	DATE
I	ISSUED FOR DA	27.6.2018
H	ISSUED FOR DA	15.6.2018
G	PRELIMINARY DA	31.5.2018
F	REVISED LOT LAYOUT	30.4.2018
E	REVISED LOT LAYOUT	5.4.2018
D	REVISED LOT LAYOUT	27.3.2018
C	CONCEPT YIELD	21.3.2018
B	CONCEPT YIELD	7.2.2018
A	CONCEPT YIELD	16.10.2017

project:  
JORDAN SPRINGS  
CID SITE

at:  
JORDAN SPRINGS BOULEVARD  
JORDAN SPRINGS

for:  
LEND LEASE

drawing N°:  
AND-28405

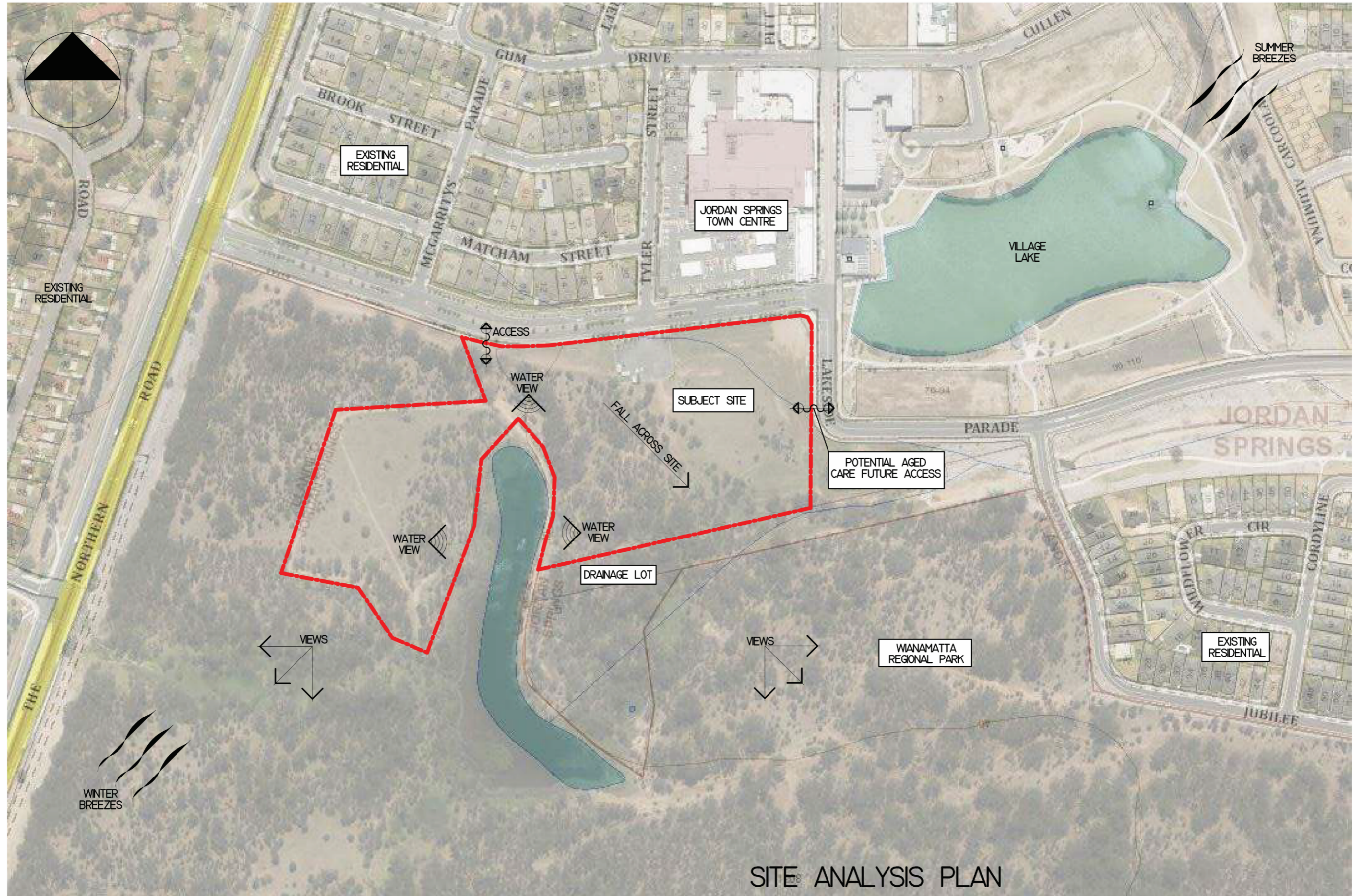
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SITE ANALYSIS PLAN

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B	7.2.18	CONCEPT YIELD	VS	G	3.5.18	PRELIMINARY DA
A	16.1.18	CONCEPT YIELD	VS	F	30.4.18	REVISED LOT LAYOUT
N				E	5.4.18	REVISED LOT LAYOUT

PROJECT: JORDAN SPRINGS CID SITE

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 M 042287600 E joseph@jharchitects.com.au

JOB ADDRESS:  
 JORDAN SPRINGS BOULEVARD  
 JORDAN SPRINGS

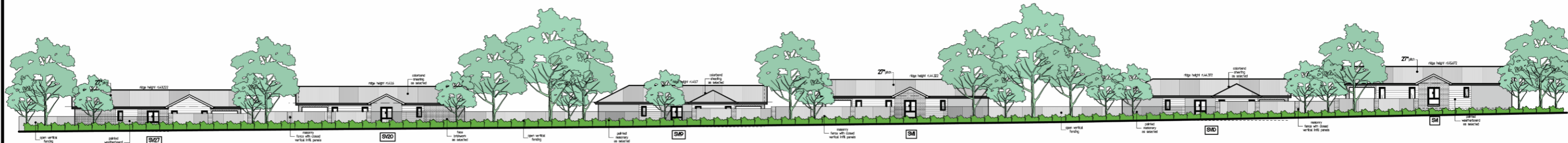
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NORTH ELEVATION TO JORDAN SPRINGS BOULEVARD 1:200

STREETSCAPE 1



SOUTH ELEVATION TO COMMUNITY ROAD 1:200

FRONT ELEVATION SV42-SV51

STREETSCAPE 2



NORTH ELEVATION TO COMMUNITY ROAD 1:200

FRONT ELEVATION SV28-SV38

STREETSCAPE 3



SOUTH ELEVATION TO COMMUNITY ROAD 1:200

SIDE ELEVATION SV5, SV6, SV5, SV6, SV23 + SV24

STREETSCAPE 4



LOCALITY PLAN



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A	16.08	CONCEPT YIELD	VS	F	30.4.08	REVISED LOT LAYOUT	VS
N				E	5.4.08	REVISED LOT LAYOUT	VS

PROJECT: JORDAN SPRINGS CID SITE

Scale: 1:200

Scale bar: 0 1 2 3 4 5 6 7 8 9 10

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DRAWING NO: AND-28405

SHEET: 8

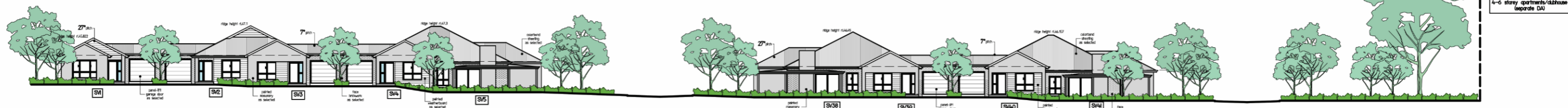
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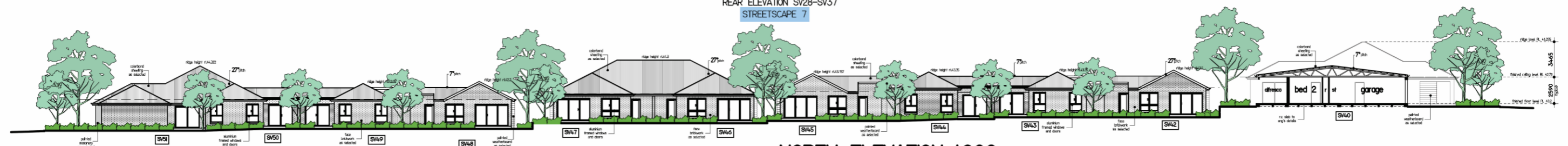
**EAST ELEVATION TO COMMUNITY ROAD 1:200**  
FRONT ELEVATION SV24-SV37 + SDE ELEVATION SV28+SV51  
STREETSCAPE 5



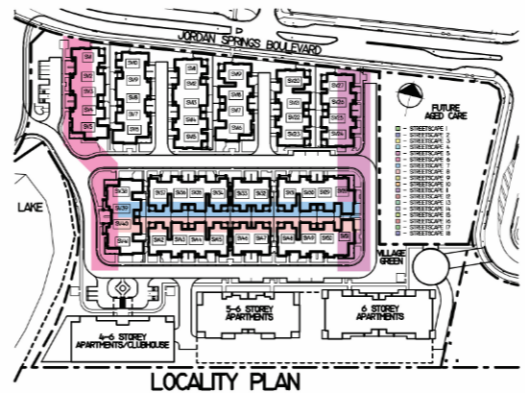
**WEST ELEVATION TO COMMUNITY ROAD 1:200**  
FRONT ELEVATION SV1-SV 5 + SV38-SV41  
STREETSCAPE 6



**SOUTH ELEVATION 1:200**  
REAR ELEVATION SV28-SV37  
STREETSCAPE 7



**NORTH ELEVATION 1:200**  
REAR ELEVATION SV42-SV51  
STREETSCAPE 8



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A	16.1.18	CONCEPT YIELD	VS	F	30.4.18	REVISED LOT LAYOUT
N				E	5.4.18	REVISED LOT LAYOUT

PROJECT: **JORDAN SPRINGS CID SITE**

Scale: 1:200

Scale: 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 METERS

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**NORTH ELEVATION TO COMMUNITY ROAD 1:200**  
FRONT ELEVATION SV28-SV38  
STREETSCAPE 9



**NORTH ELEVATION TO COMMUNITY ROAD 1:200**  
FRONT ELEVATION SV28-SV38  
STREETSCAPE 10



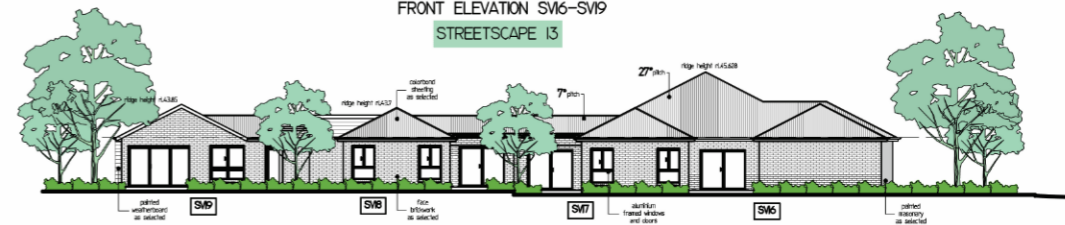
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FRONT ELEVATION SV20-SV23  
STREETSCAPE 11



**EAST ELEVATION TO DRIVEWAY 1:200**  
FRONT ELEVATION SV6-SV9  
STREETSCAPE 13



**EAST ELEVATION 1:200**  
REAR ELEVATION SV20-SV23  
STREETSCAPE 12



**WEST ELEVATION 1:200**  
REAR ELEVATION SV6-SV9  
STREETSCAPE 14



**EAST ELEVATION TO DRIVEWAY 1:200**  
FRONT ELEVATION SV6-SV0  
STREETSCAPE 15



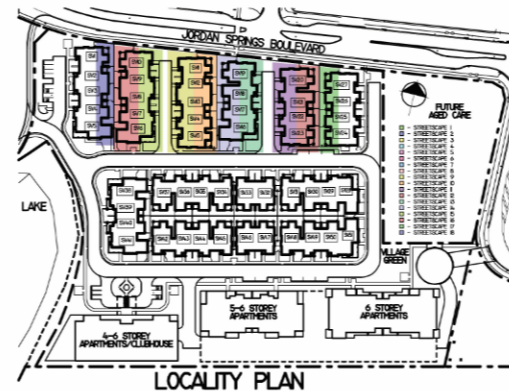
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REAR ELEVATION SV24-SV27  
STREETSCAPE 17



**WEST ELEVATION 1:200**  
REAR ELEVATION SV6-SV0  
STREETSCAPE 16



**EAST ELEVATION 1:200**  
REAR ELEVATION SV1-SV5  
STREETSCAPE 18



LOCALITY PLAN

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PROJECT: **JORDAN SPRINGS CID SITE**

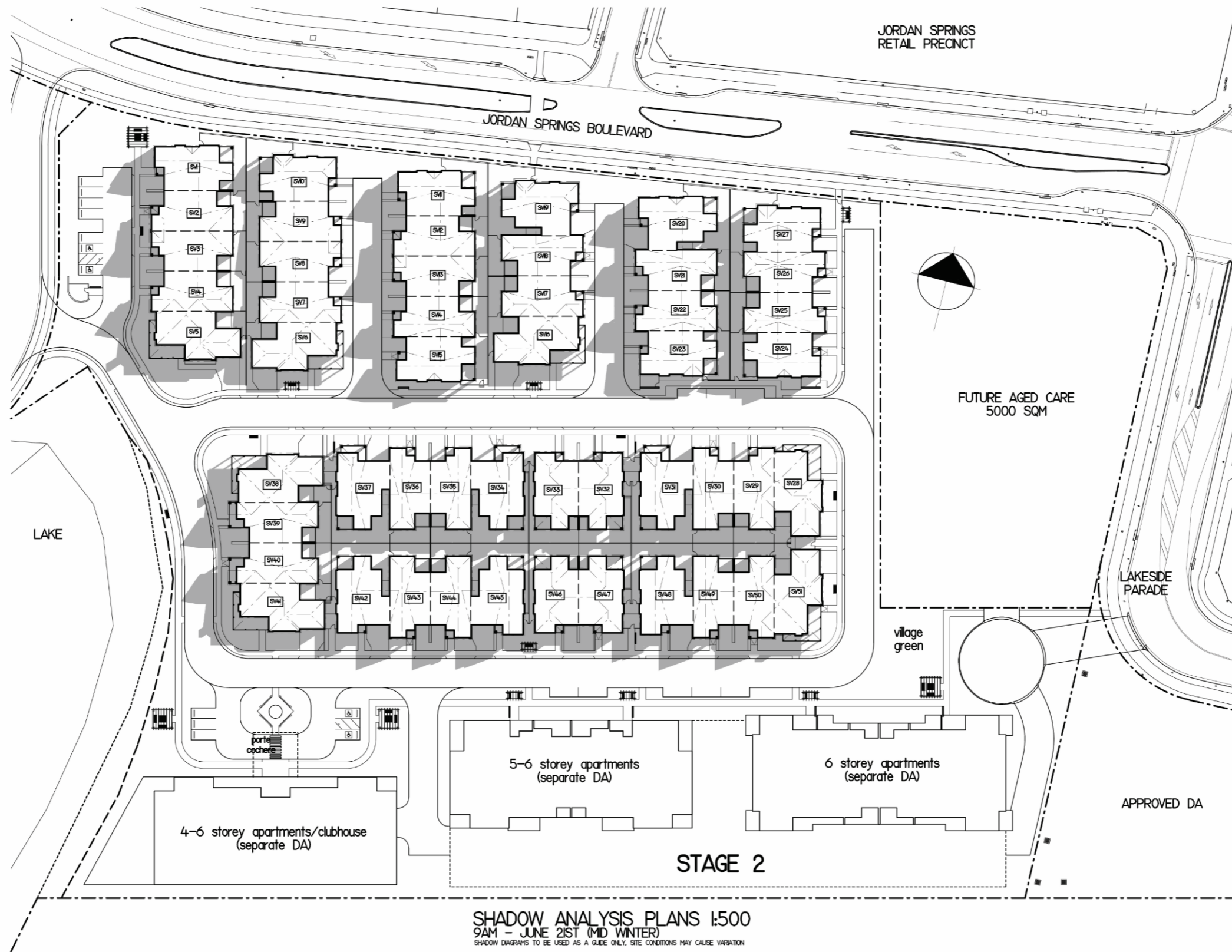
**JHArchitects**  
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SHADOW ANALYSIS PLANS 1:500  
 9AM - JUNE 21ST (MID WINTER)  
 SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY, SITE CONDITIONS MAY CAUSE VARIATION

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C	23.3.18	CONCEPT YIELD	VS	H	15.6.18	ISSUED FOR DA	VS
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A	16.11.17	CONCEPT YIELD	VS	F	30.4.18	REVISED LOT LAYOUT	VS
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PROJECT: **JORDAN SPRINGS CID SITE**

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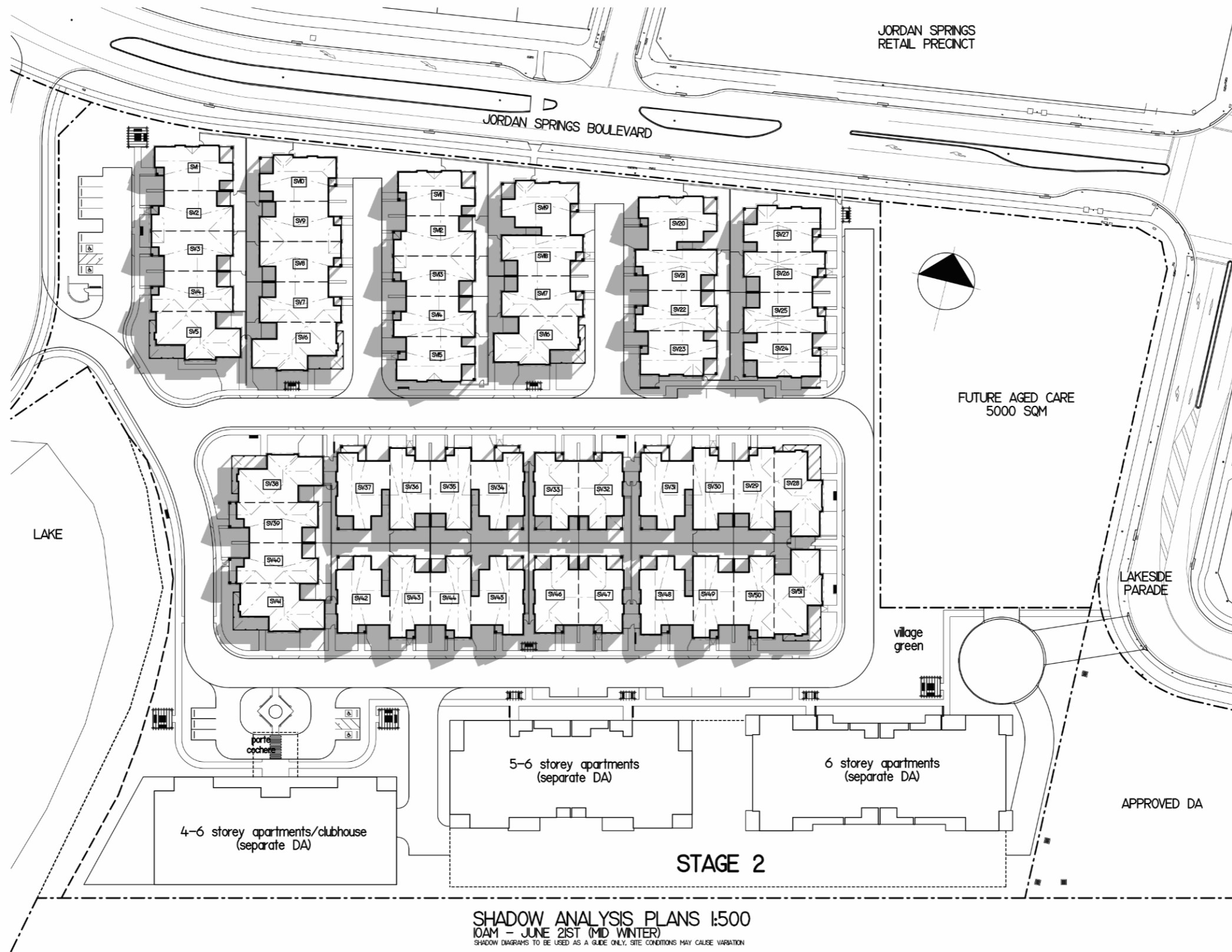
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 10AM - JUNE 21ST (MID WINTER)  
 SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY, SITE CONDITIONS MAY CAUSE VARIATION

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PROJECT: JORDAN SPRINGS CID SITE

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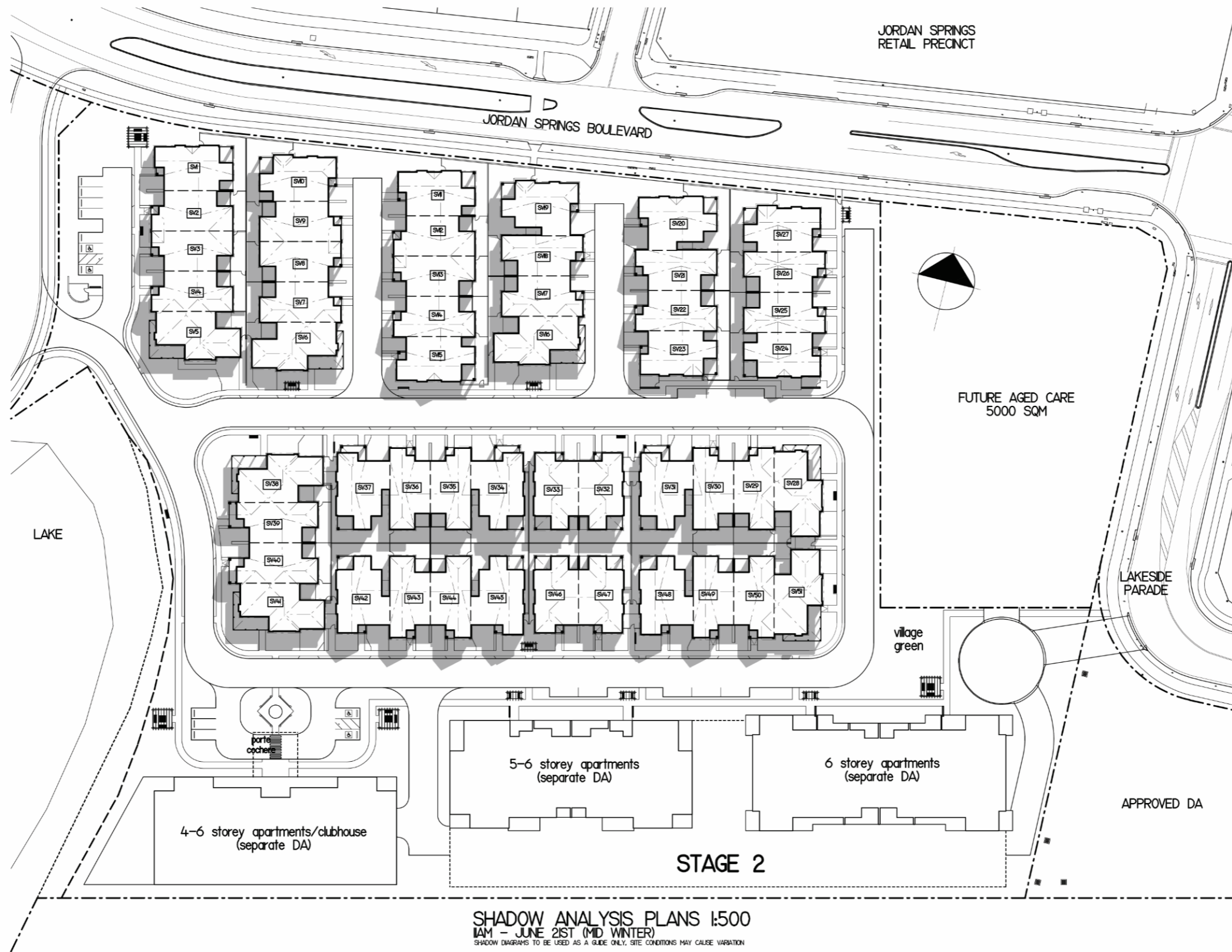
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 IAM - JUNE 21ST (MD WINTER)  
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C	23.3.18	CONCEPT YIELD	VS	H	15.6.18	ISSUED FOR DA	VS
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PROJECT: **JORDAN SPRINGS CID SITE**

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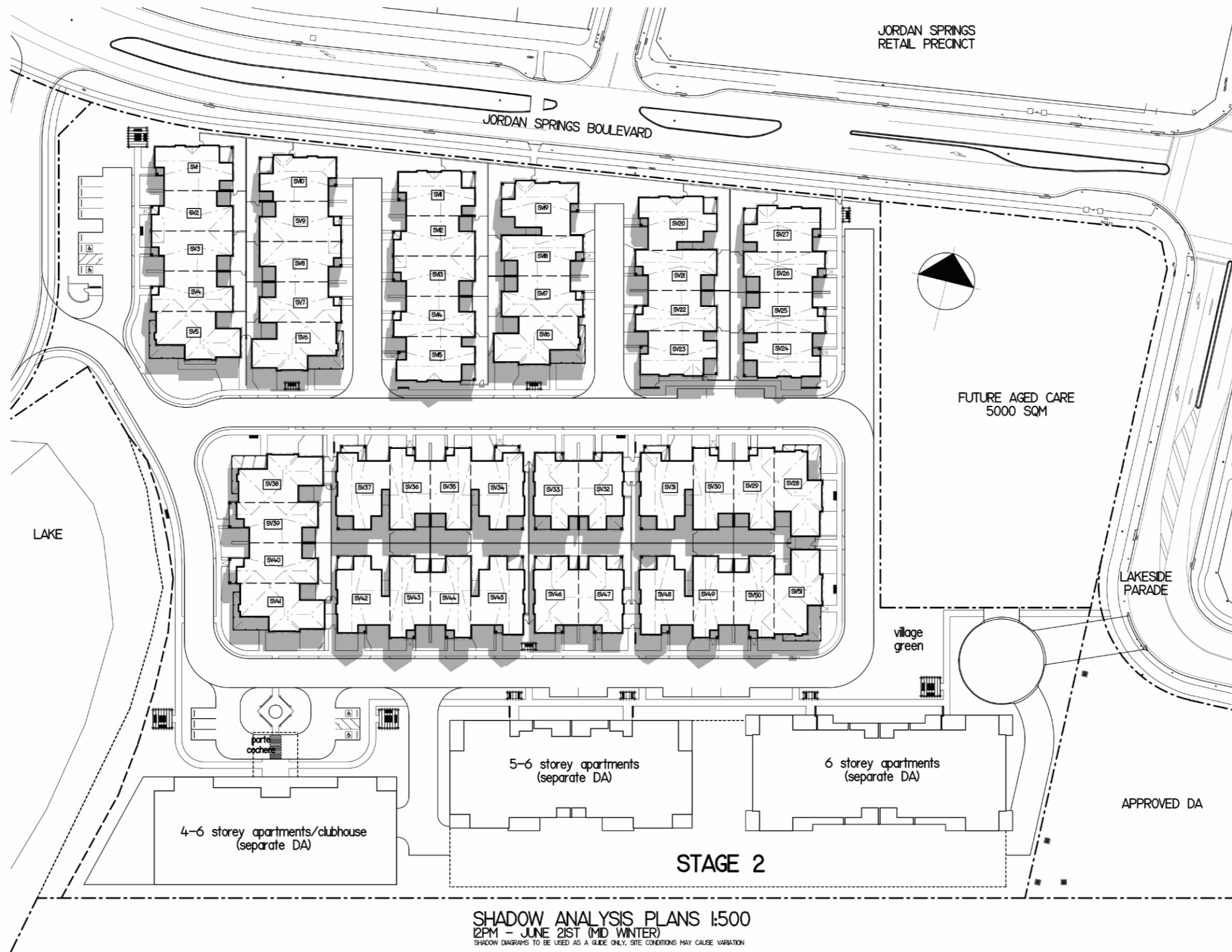
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 12PM - JUNE 21ST (MID WINTER)  
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C	23.3.18	CONCEPT YIELD	VS	H	15.3.18	ISSUED FOR DA	VS
B	7.2.18	CONCEPT YIELD	VS	G	3.5.18	PRELIMINARY DA	VS
A	16.8.18	CONCEPT YIELD	VS	F	30.4.18	REVISED LOT LAYOUT	VS
N <sup>o</sup>	DATE	REVISION	AMENDED BY	DATE	REVISION	APPROVED BY	DATE

PROJECT: **JORDAN SPRINGS CID SITE**

Scale: 1:500

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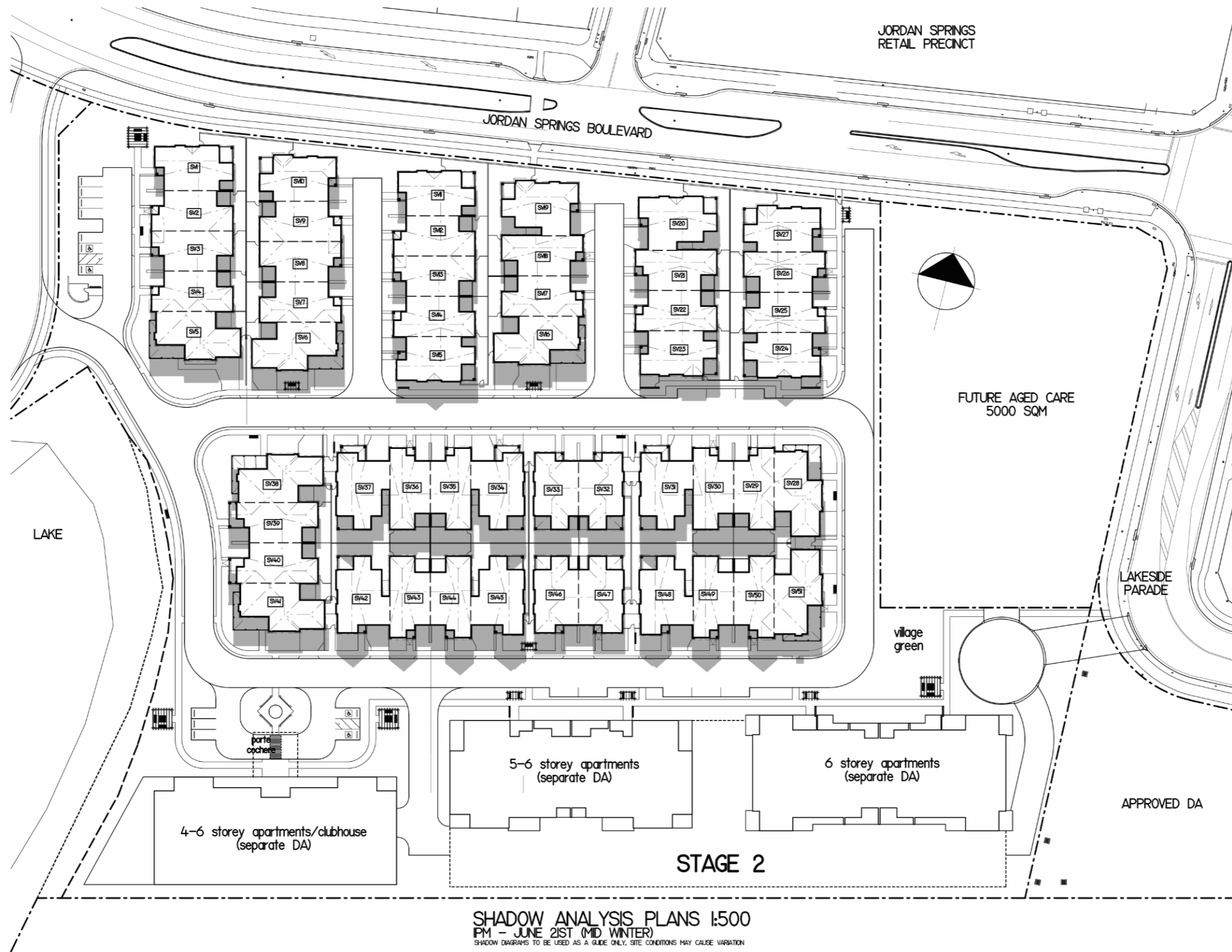
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 ASSOCIATION OF AUSTRALIA

**bda**  
 BUILDING DESIGNERS  
 ASSOCIATION OF AUSTRALIA

**A&N**  
 DESIGN GROUP  
 SYDNEY

LEVEL 2 SUITE 206 MACARTHUR POINT  
 NO. 25-27 SOLENT CIRCUIT BULLKHAM HILLS  
 P.O. BOX 6410 BULLKHAM HILLS BUSINESS CENTRE  
 N.S.W. 2153  
 PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
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D	27.3.18	REVISED LOT LAYOUT	VS	I	27.6.18	ISSUED FOR DA	VS
C	23.3.18	CONCEPT YIELD	VS	H	15.6.18	ISSUED FOR DA	VS
B	7.2.18	CONCEPT YIELD	VS	G	3.5.18	PRELIMINARY DA	VS
A	16.1.18	CONCEPT YIELD	VS	F	30.4.18	REVISED LOT LAYOUT	VS
N	DATE	REVISION	APPROVED BY	E	5.4.18	REVISED LOT LAYOUT	VS

PROJECT: **JORDAN SPRINGS CID SITE**

Scale: 1:500

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51

**JHArchitects**

Nominated Architect: Joseph Habib

Registration No: 9054

A Suite 505, 4 Colarbie Court, Baulkham Hills NSW 2153

M 042287600 E joseph@jharchitects.com.au

JOB ADDRESS:

**JORDAN SPRINGS BOULEVARD**  
**JORDAN SPRINGS**

FOR: **LEND LEASE**

DATE: 15.1.18

DRAWING NO: AND-28405

SHEET: 15

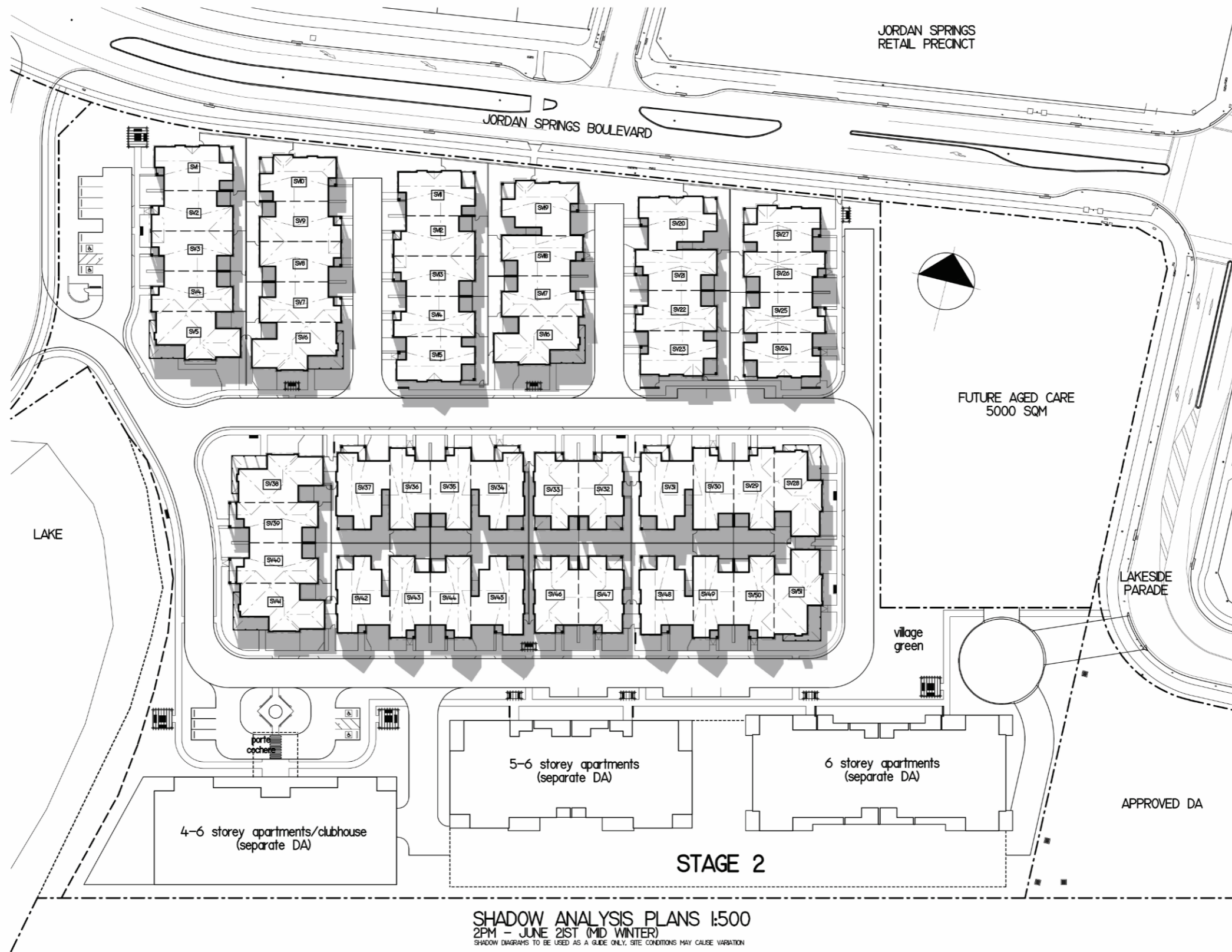
SET OF: 18

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SHADOW ANALYSIS PLANS 1:500  
 2PM - JUNE 21ST (MID WINTER)  
 SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY. SITE CONDITIONS MAY CAUSE VARIATION

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 Document Set No: 0284593  
 Version: 1, Version Date: 13/07/2018

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PROJECT: **JORDAN SPRINGS CID SITE**

**JHArchitects**  
 Nominated Architect: Joseph Habib  
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 M 042287600 E joseph@jharchitects.com.au

JOB ADDRESS:  
**JORDAN SPRINGS BOULEVARD  
 JORDAN SPRINGS**

FOR: **LEND LEASE**

DATE: 15.1.18	DRAWING NO: AND-28405	SHEET: 16	SET OF: 18
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 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

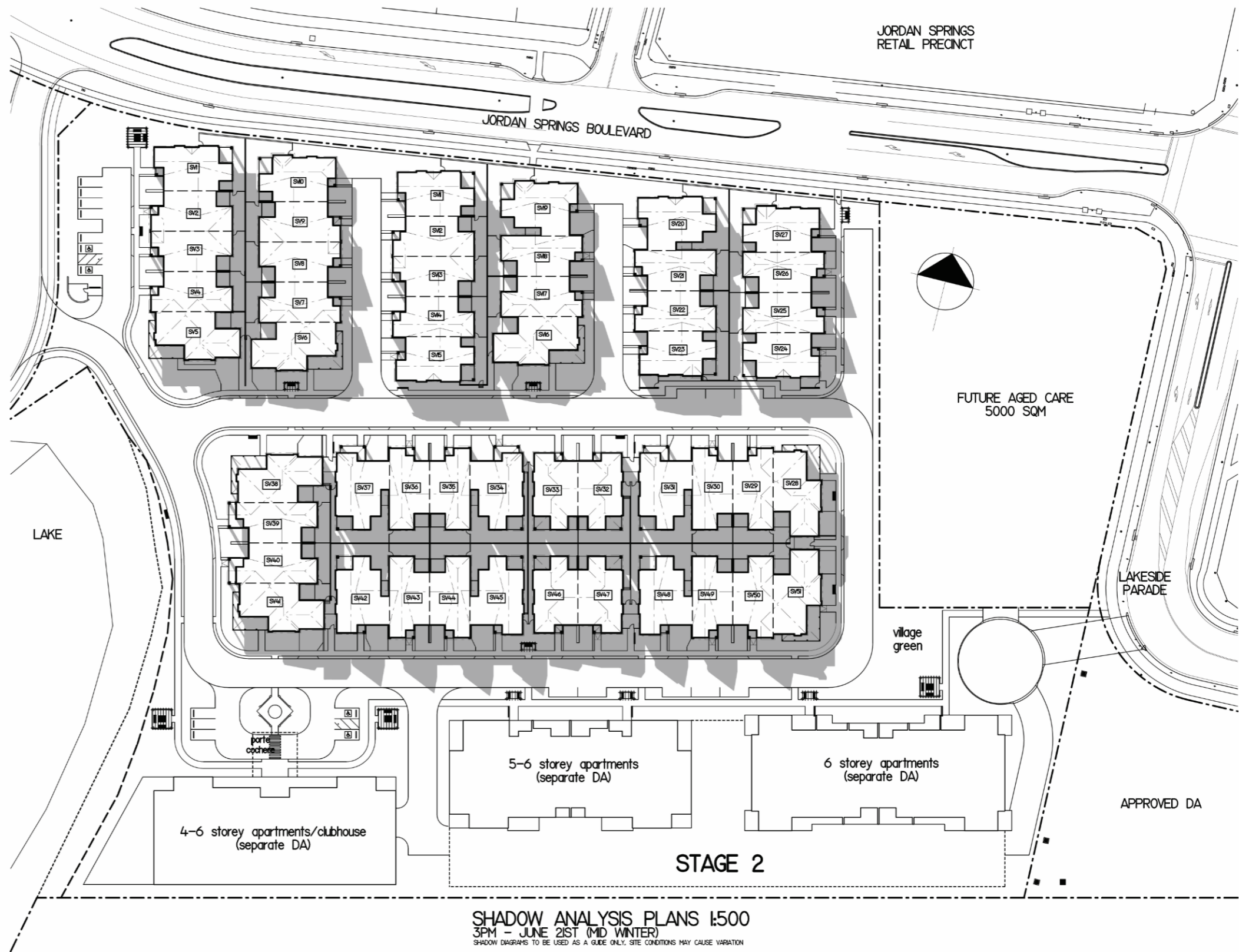
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SOLAR ACCESS TO PRIVATE OPEN SPACE AREA'S (sqm)								
UNIT	P.O.S	9am	10am	11am	12 noon	1pm	2pm	3pm
SV1	72.1	52	63	64	63	60	51	45
SV2	38.9	25	29	30	28	23	9	0
SV3	39.7	17	29	30	28	23	7	0
SV4	39.7	26	29	30	28	23	8	0
SV5	28.5	9	14	12	13	9	11	12
SV6	25.5	20	15	13	14	11	14	3
SV7	39.7	0	0	8	19	27	32	4
SV8	39.7	0	0	5	15	26	32	3
SV9	38.9	0	0	6	17	27	32	0
SV10	73.6	44	49	53	66	78	79	58
SV11	71.4	49	60	64	64	62	49	46
SV12	38.9	11	26	28	28	23	9	0
SV13	39.7	10	26	28	28	23	7	0
SV14	39.7	10	26	28	28	26	8	0
SV15	51.8	14	25	34	34	26	10	0
SV16	25.5	19	18	18	18	16	13	6
SV17	40.0	0	0	7	20	29	30	4
SV18	40.0	0	0	8	18	27	30	4
SV19	96.0	47	49	50	67	83	83	65
SV20	83.0	50	65	66	72	64	55	48
SV21	39.7	8	25	26	27	23	10	0
SV22	39.7	9	26	26	29	23	11	0
SV23	54.2	12	26	28	33	26	11	0
SV24	51.6	0	0	4	18	31	34	18
SV25	39.7	0	0	7	19	29	31	12
SV26	39.7	0	0	4	15	28	31	8
SV27	83.3	47	52	53	63	77	76	51
SV28	26.4	32	31	30	24	19	20	20
SV29	39.7	0	3	3	1	18	1	0
SV30	39.7	0	0	0	0	12	16	0
SV31	71.0	12	4	7	5	8	1	4
SV32	59.4	8	14	18	13	8	6	0
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SV35	39.7	0	2	2	1	1	1	0
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SV37	66.4	12	4	7	3	9	10	4
SV38	27.8	15	17	17	30	33	33	33
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SV43	39.7	14	22	29	15	18	9	0
SV44	39.7	7	12	17	15	12	8	0
SV45	66.4	24	23	36	36	37	13	3
SV46	54.8	15	23	32	30	25	15	3
SV47	59.4	7	27	35	34	25	18	0
SV48	71.0	18	25	29	29	33	25	0
SV49	39.7	7	14	27	13	11	9	0
SV50	39.7	5	11	17	13	11	9	0
SV51	26.4	21	15	14	16	14	12	0
UNIT	P.O.S	9am	10am	11am	12 noon	1pm	2pm	3pm
SV1	72.1	#	#	#	#	#	#	#
SV2	38.9	#	#	#	#	#	#	#
SV3	39.7	#	#	#	#	#	#	#
SV4	39.7	#	#	#	#	#	#	#
SV5	28.5	#	#	#	#	#	#	#
SV6	25.5	#	#	#	#	#	#	#
SV7	39.7	#	#	#	#	#	#	#
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SV9	38.9	#	#	#	#	#	#	#
SV10	73.6	#	#	#	#	#	#	#
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SV12	38.9	#	#	#	#	#	#	#
SV13	39.7	#	#	#	#	#	#	#
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SV16	25.5	#	#	#	#	#	#	#
SV17	40.0	#	#	#	#	#	#	#
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SV25	39.7	#	#	#	#	#	#	#
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SV32	59.4	#	#	#	#	#	#	#
SV33	54.8	#	#	#	#	#	#	#
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SV42	66.4	#	#	#	#	#	#	#
SV43	39.7	#	#	#	#	#	#	#
SV44	39.7	#	#	#	#	#	#	#
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SV49	39.7	#	#	#	#	#	#	#
SV50	39.7	#	#	#	#	#	#	#
SV51	26.4	#	#	#	#	#	#	#

■ ACHIEVES SUNLIGHT TO PRIVATE OPEN SPACE AREA'S  
■ ACHIEVES NO SUNLIGHT TO PRIVATE OPEN SPACE AREA'S  
■ ACHIEVES SUNLIGHT TO LIVING AREA'S



**SHADOW ANALYSIS PLANS 1:500**  
 3PM - JUNE 21ST (MID WINTER)  
 SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY. SITE CONDITIONS MAY CAUSE VARIATION

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 Document ID: 6294593  
 Version: 1, Version Date: 13/07/2018

NO	DATE	REVISION	AMENDED BY	VS
D	27.5.18	REVISED LOT LAYOUT	VS	I
C	23.5.18	CONCEPT YIELD	VS	H
B	7.2.18	CONCEPT YIELD	VS	G
A	16.8.18	CONCEPT YIELD	VS	F
N		REVISION		

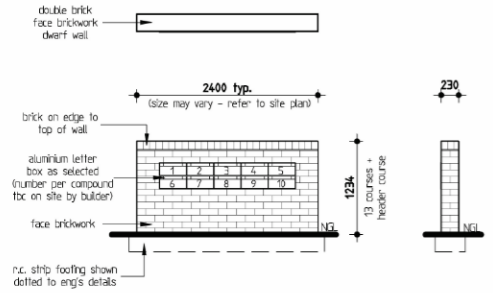
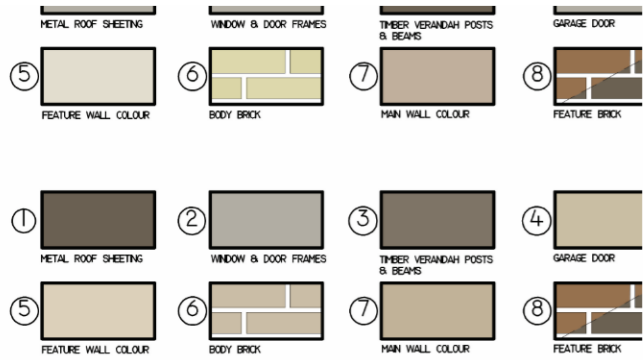
PROJECT: **JORDAN SPRINGS CID SITE**  
 1:500 SCALE  
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 Registration No: 90594  
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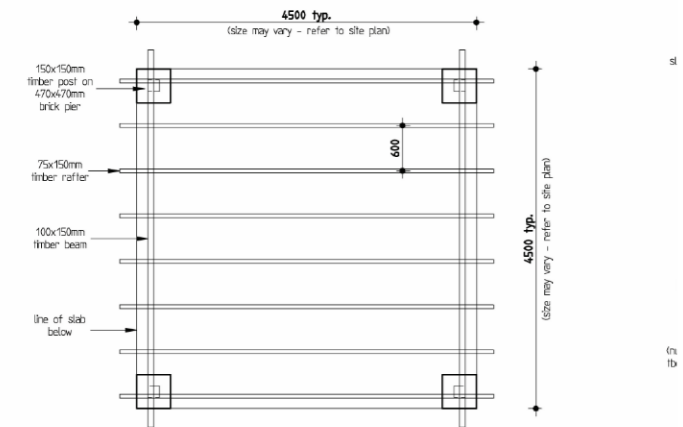
JOB ADDRESS:  
**JORDAN SPRINGS BOULEVARD**  
**JORDAN SPRINGS**

FOR: **LEND LEASE**  
 DATE: 15.10.18  
 DRAWING NO: AND-28405  
 SHEET: 17  
 SET OF: 18

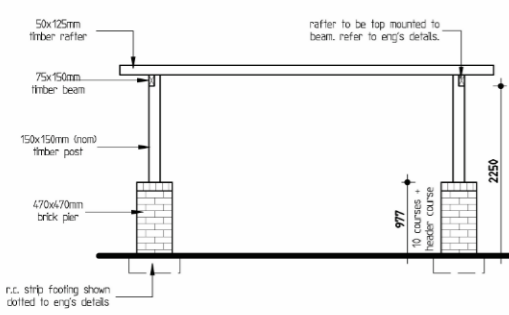
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**LETTERBOX COMPOUND DETAIL**  
SCALE 1:50



**PERGOLA/ARBOR DETAIL**  
SCALE 1:50



**FENCE DETAIL**  
SCALE 1:50

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	✓
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	✓
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Dwelling no.	Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control	
All dwellings	electric heat pump - air sourced 26 to 30 STCs	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-	

Dwelling no.	Cooling		Heating		Artificial lighting					Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	1-phase airconditioning 4 Star (zoned)	ceiling fans + 1-phase airconditioning 4 Star (zoned)	1-phase airconditioning 4 Star (zoned)	1-phase airconditioning 4 Star (zoned)	2	1	yes	yes	yes	yes	0	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	electric cooktop & electric oven	-	yes	-	-	-	yes	yes

Dwelling no.	Alternative energy	
	Photovoltaic system (min rated electrical output in peak kW)	
1, 2, 3, 8, 9, 10, 11, 12, 18, 19	3.0	
All other dwellings	-	

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			

**3. Commitments for common areas and central systems/facilities for the development (non-building specific)**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	✓
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	✓
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

**Notes**

- In these commitments, "applicant" means the person carrying out the development.
- The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
- This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
- If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
- If a star or other rating is specified in a commitment, this is a minimum rating.
- All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

**Legend**

- Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
- Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
- Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillment it is required to monitor in relation to the building or part, has been fulfilled).

D	27.3.8	REVISED LOT LAYOUT	VS	T	27.0.8	ISSUED FOR DA	VS
C	23.3.8	CONCEPT YIELD	VS <td>H</td> <td>15.0.8</td> <td>ISSUED FOR DA</td> <td>VS</td>	H	15.0.8	ISSUED FOR DA	VS
B	7.2.8	CONCEPT YIELD	VS <td>G</td> <td>31.3.8</td> <td>PRELIMINARY DA</td> <td>VS</td>	G	31.3.8	PRELIMINARY DA	VS
A	16.8	CONCEPT YIELD	VS <td>F</td> <td>30.4.8</td> <td>REVISED LOT LAYOUT</td> <td>VS</td>	F	30.4.8	REVISED LOT LAYOUT	VS
N	DATE	REVISION	APPROVED BY	E	5.4.8	REVISED LOT LAYOUT	VS

PROJECT: **JORDAN SPRINGS CID SITE**

**JHArchitects**  
 Nominated Architect: Joseph Hobb  
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 A Suite 503, 4 Camille Court Baulkham Hills NSW 263  
 M 042287600 E joseph@jharchitects.com.au

JOB ADDRESS:  
**JORDAN SPRINGS BOULEVARD  
 JORDAN SPRINGS**

FOR: **LEND LEASE**

DATE: 15.08 DRAWING NO: AND-28405 SHEET: 18 SET OF: 18

**lendlease**  
 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

**A&N DESIGN GROUP**  
 SYDNEY

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Joseph Habib BA. Arch, B.Arch ARAIA  
NSW ARB No. 9084

**15 June 2018**

**Residential Development – 51 Villas  
Jordon Springs Boulevard, Jordon Springs**

**DESIGN VERTICATION STATEMENT**

That I Joseph Habib, registered Architect No. 9084, Director of JH Architects verify that I have overseen the design of the above project and that the villas have been designed in accordance with the planning objectives and building envelope controls under the Penrith LEP 2010 and associated DCP 2014.

In summary, the development proposals consist of 51 villas at 1-storey that is comparable to recent development under construction in the locality. This ensures it will be compatible in the streetscape.

The development proposal has been designed to align with the building setbacks, building separation and the building height controls being a compatible scale with the surrounding developments.

The proposed villas promote casual surveillance of the common areas and over the streets as well as incorporating appropriate landscape plantings, which also provides for screen plantings along boundaries.

The villas have been designed to maximise solar access and cross ventilation and minimise additional overshadowing to the residential properties adjoining.

The residential component of the development has been designed to maximise solar access to the main living rooms and private open space areas ensuring that the design complies with BASIX requirements.

The development proposal provides additional housing to meet demand and address housing affordability with the provision of two (2) bedroom and multi room villas. Additionally, the proposal provides additional housing within the catchment of the public transport and the Town Centre.

The proposal contributes to the desired future character of this portion of Jordon Springs. The residential dwellings are well articulated and the materials and finishes contribute to the future character of the locality



Joseph Habib  
**Director**