

**SOIL EROSION NOTES**

TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RE-SPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (i.e ALL FOOT-PATHS, BATTERS, SITE REGRAVING AREAS, DRAINAGE RESERVES AND CHANNELS). TOP SOIL SHALL NOT BE SPREAD ON ANY OTHER AREAS UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWN STREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. (NO SILT SHALL BE PLACED OUTSIDE THE LIMITS OF WORKS). THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.

**NOTE**

- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY CONTRACTOR/SITE MANAGER.
- MINIMISE DISTURBED AREAS.
- ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS
- DRAINAGE IS TO BE CONNECTED TO STORM WATER SYSTEM AS SOON AS POSSIBLE.
- ROADS AND FOOTPATHS TO BE SWEEPED DAILY UNDER SECTION 16 OF THE CLEAN WATERS ACT HEAVY FINES, INCLUDING A \$600 ON THE SPOT FINE, MAY BE IMPOSED IF A PERSON ALLOWS SOIL, CEMENT SLURRY OR OTHER BUILDING MATERIALS TO BE PUMPED, DRAINED OR ALLOWED TO ENTER THE STORM WATER SYSTEM.

TREES HAVE BEEN OMITTED FOR CLARITY, REFER ARCHITECTURAL PLANS FOR TREES TO BE REMOVED AND RETAINED REFER SITE PLAN

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING: ARCHITECTURAL PLANS CONTOUR AND DETAIL SURVEY

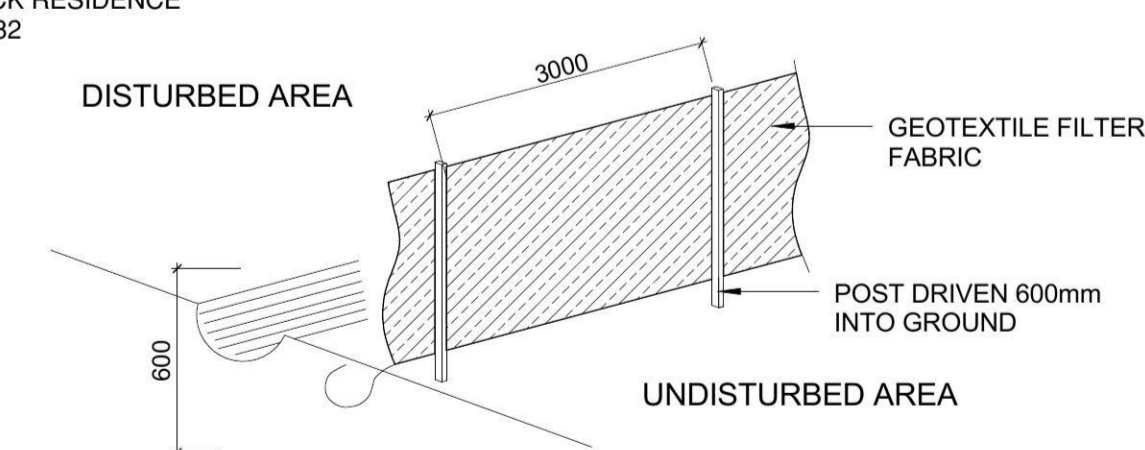
**NOTE**

WHEELS OF VEHICLES LEAVING SITE TO BE WASHED DOWN TO PREVENT SEDIMENT LEAVING SITE

**CONSTRUCTION NOTES**

SD6-7 SEDIMENT FENCE

- CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE AND PARALLEL TO THE CONTOURS OF THE SITE
- DRIVE 1.5 m LONG STAR PICKETS INTO GROUND Max 3m Ctrs.
- DIG A 150 mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED. BACKFILL TRENCH OVER THE BASE OF FABRIC.
- FIX SELF SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
- JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A MIN. LAP OF 150 mm.



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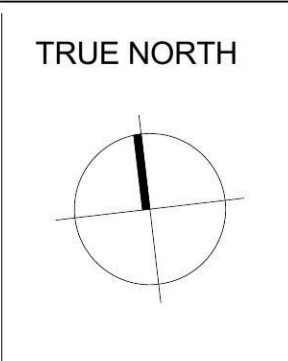
**GENERAL NOTES**

- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
- LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
- STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
- ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING.

**ISSUED FOR:**

- COUNCIL MEETING
- DEVELOPMENT APPLICATION
- SECTION 96
- CONSTRUCTION ONLY

ISSUE	AMENDMENTS	DATE
R01	ISSUED FOR DEVELOPMENT APPLICATION	05/2014



**DRAWING NUMBER:**  
WMP

**DRAWING TITLE:**  
WASTE MANAGEMENT PLAN

**SCALE:**

**DRAWN BY:**  
Author GH/KC

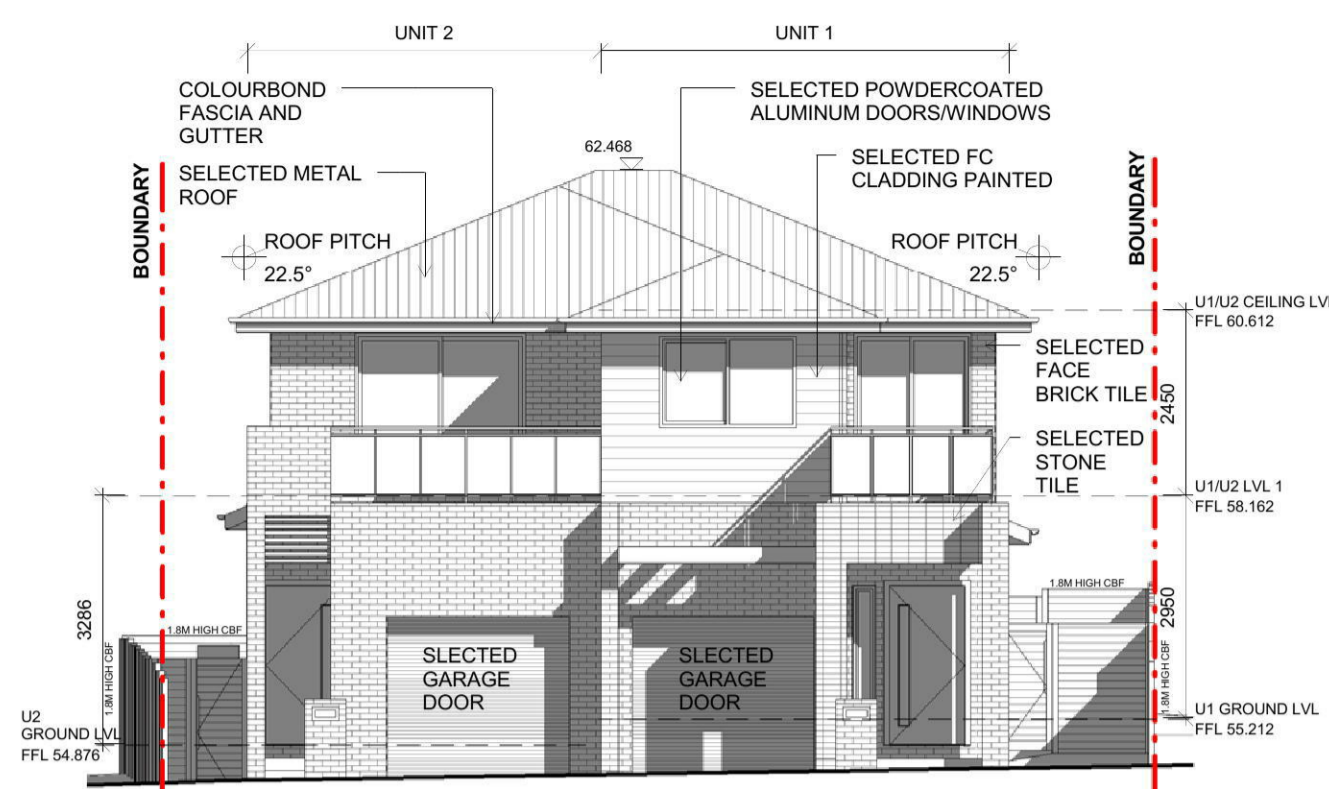
**CHKD BY:**  
Checker RJ

**ISSUE:**  
R01

**DATE:**  
MAY 2014

**PROJECT**

**20 O'CONNEL LANE**  
**CADDENS**  
**LOT 1**  
**DP 1166546**



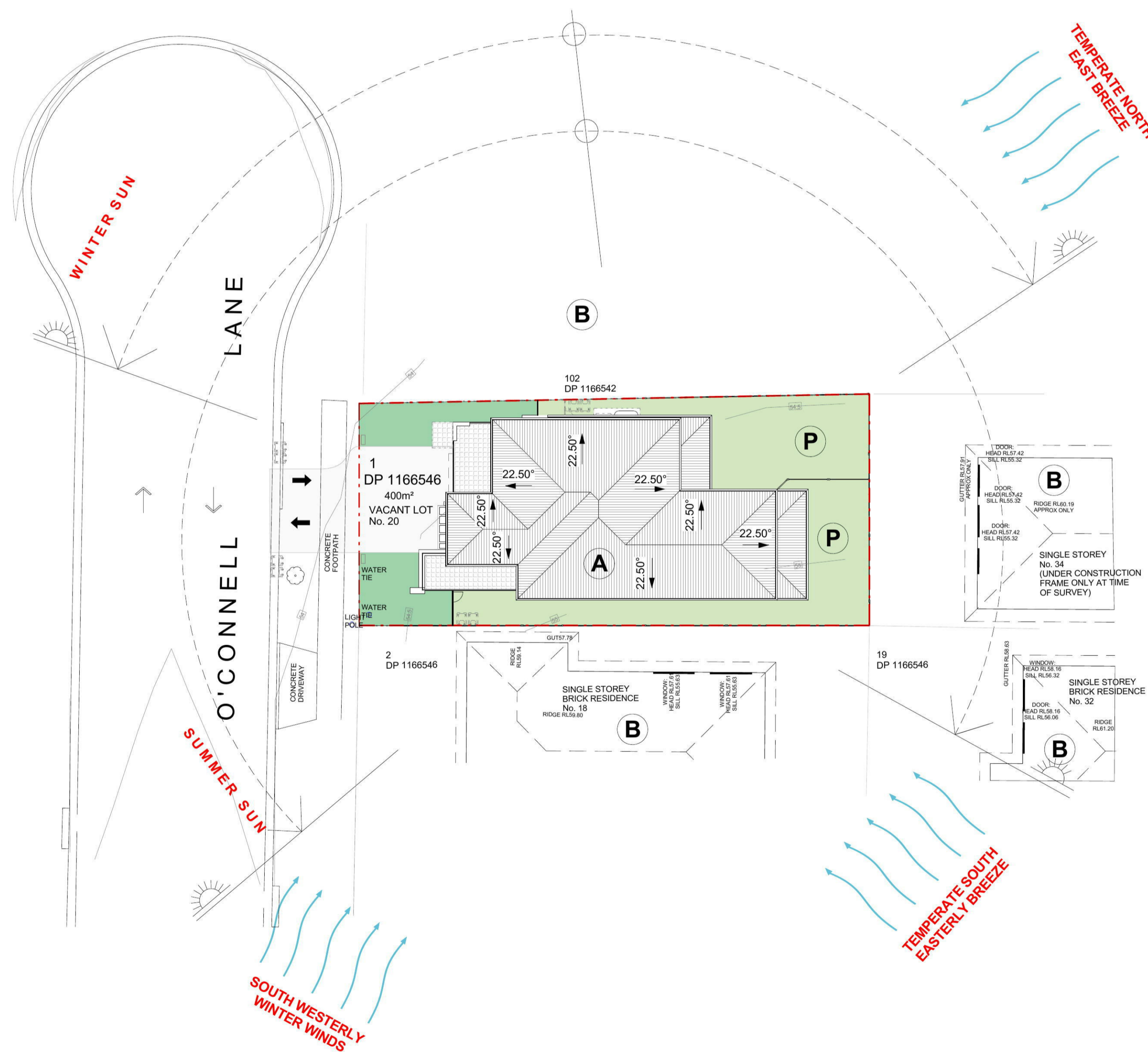
2 STREETScape  
DA 01/03 1 : 100

DRAWING REGISTER			
DRAWING NUMBER	DRAWING NAME	DRAWING ISSUE DATE	CURRENT REVISION
DA 01/03	SITE ANALYSIS	JUNE 2014	R01
DA 02/03	FLOOR PLANS & ELEVATIONS	JUNE 2014	R01
DA 03/03	SHADOW ANALYSIS	JUNE 2014	R01

COMPLIANCE TABLE			
CONTROL	REQUIRED/PERMITTED	PROVIDED	COMPLIANCE
Minimum Allotment Size	350 m <sup>2</sup>	400m <sup>2</sup>	Yes
Site Coverage	max 50%	40%	Yes
Private Open Space	min 20% of Lot Area = 80m <sup>2</sup>	152.95m <sup>2</sup>	Yes
Setbacks (min/m) - Primary Front (Building)	4.5m	4.5m	Yes
- Side and Rear (Main Dwelling)	0.9m	1.2m OR GREATER	
Maximum no. of Storeys	2	2	Yes



LOCATION MAP  
NTS



1 SITE ANALYSIS  
DA 01/03 1 : 200

- SITE BOUNDARY
- WIND DIRECTION
- PROPOSED BUILDING
- NEIGHBOURHOOD PROPERTIES
- PRIVATE OPEN SPACE
- VEHICULAR ACCESS
- VEHICULAR ACCESS
- TREES TO BE RETAINED
- TREES TO BE REMOVED

**THERMAL PERFORMANCE SPECIFICATIONS**

Assessor# BDAV 10/1014 Certificate # 10140077 Date of Issue: 04/06/2014		
<b>Project: 20 O'CONNELL STREET CADDENS</b>		
<b>Total Dwellings: 2</b>		
<b>Issue: R01</b>		
Terrain Category: Suburban		
Roof Ventilation: Unventilated		
Subfloor: Slab on Ground		
Living area open to entry: yes		
Seals to windows and doors: yes		
Building Elements	Material	Details
External Walls	Hebel Power Panels 75mm	R 1.5 Bulk Insulation between timber studs
	Double Brick partition wall	No Insulation
	FC sheet cladding	R 1.5 Bulk Insulation between timber studs
Internal Walls	Plasterboard on studs	-
Ceiling	Plasterboard	-
Roof	Metal - Medium Color	R 2.5 Insulation with foil facing fixed under the metal roof
Floors	Concrete slab on ground Suspended slab to first floor	-
Windows/ Skylights	Improved Aluminium frame Single glazed throughout	U value 6.35 or less SHGC 0.77 +/- 10%

- NOTES:**
- This report to be read in conjunction with:
    - BASIX report 550100M\_02 issued on 04 JUNE 2014
    - Thermal Performance reports generated for individual dwellings.
    - Stamped Architectural Drawings ISSUE R01.
  - All commitments listed for thermal comfort in the report/table to be followed and incorporated.
  - All insulation to be fixed as per manufacturer's instructions with sufficient clearances for electrical fittings etc.
  - These dwellings have been rated without downlights. If downlights are to be provided, the plans need to be re-assessed. Refer to individual dwelling ratings for heating and cooling loads.
  - Draught seal all external door and windows.
  - Provide self seal casing for Exhaust Fans - 'DraftStoppa' or similar.
  - Thermal Performance specification table shown on the drawings takes precedence over any other commitments listed elsewhere.
  - If any clarifications are required please contact UPG on 9636 2465.

**Energy Rating** Certificate Number: 10140077

4.8 av stars

single-dwelling rating

multi-unit development (attach listing of ratings) heating: 65.9 av MJ/m<sup>2</sup> cooling: 57.5 av MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number: Sowmya Sastry VIC: BDAV/10/1014

Assessor Signature: [Signature] Date: 04/06/2014

THERMAL PERFORMANCE FOR INDIVIDUAL DWELLINGS		
Unit Numbers	Predicted Loads (MJ/M <sup>2</sup> /y)	
	Heat	Cool
1	80.8	33.8
2	48.4	82.5

**BASIX SPECIFICATIONS**

Project: 20 O'CONNELL STREET CADDENS NSW 2747	
Total Dwellings: 2	
<b>Water Commitments</b>	
Showerheads:	3 Star (4.5 but <=6 L/min) all dwellings
Toilets	5 Star flushing system all dwellings
Kitchen and Bathroom Taps	5 Star all dwellings
Water Tank	1500 L
<b>Energy Commitments</b>	
Hot Water System	3 Star gas instantaneous
Bathroom, Kitchen and Laundry Ventilation	Individual fan ducted to façade or roof
Air Conditioning (Heating & Cooling)	2.5 Star 1-phase air conditioning (Cooling) 3.5 Star 1-phase air conditioning (Heating)
Cooktop and Oven	Gas cooktop and electric oven all dwellings

Please refer to BASIX report for detailed commitment requirements. For Thermal Performance specifications refer to table.

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**GENERAL NOTES**

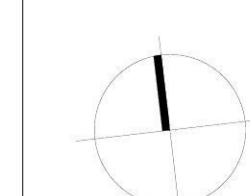
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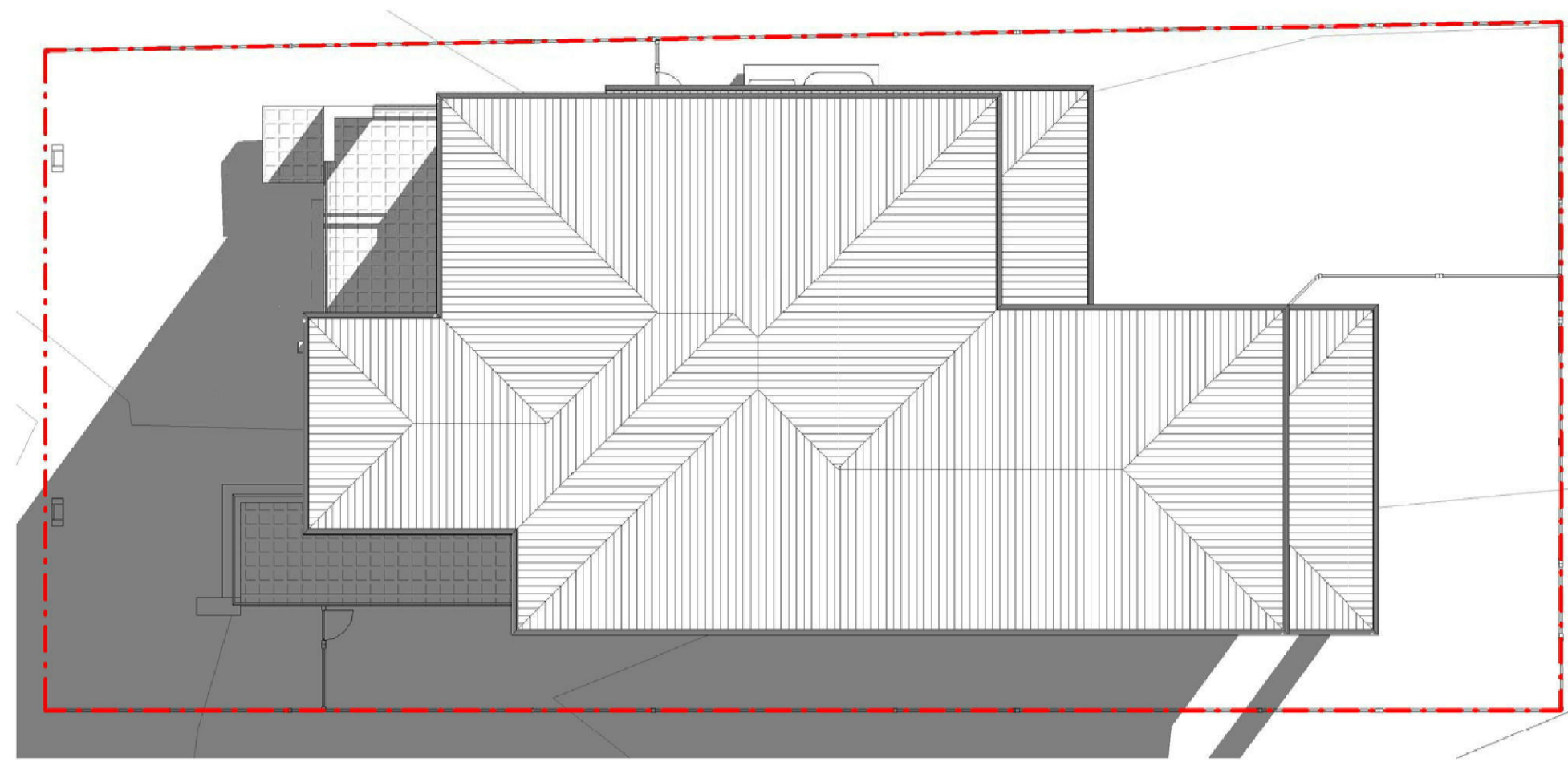
ISSUE	AMENDMENTS	DATE
R01	ISSUED FOR DEVELOPMENT APPLICATION	06/2014

**TRUE NORTH**



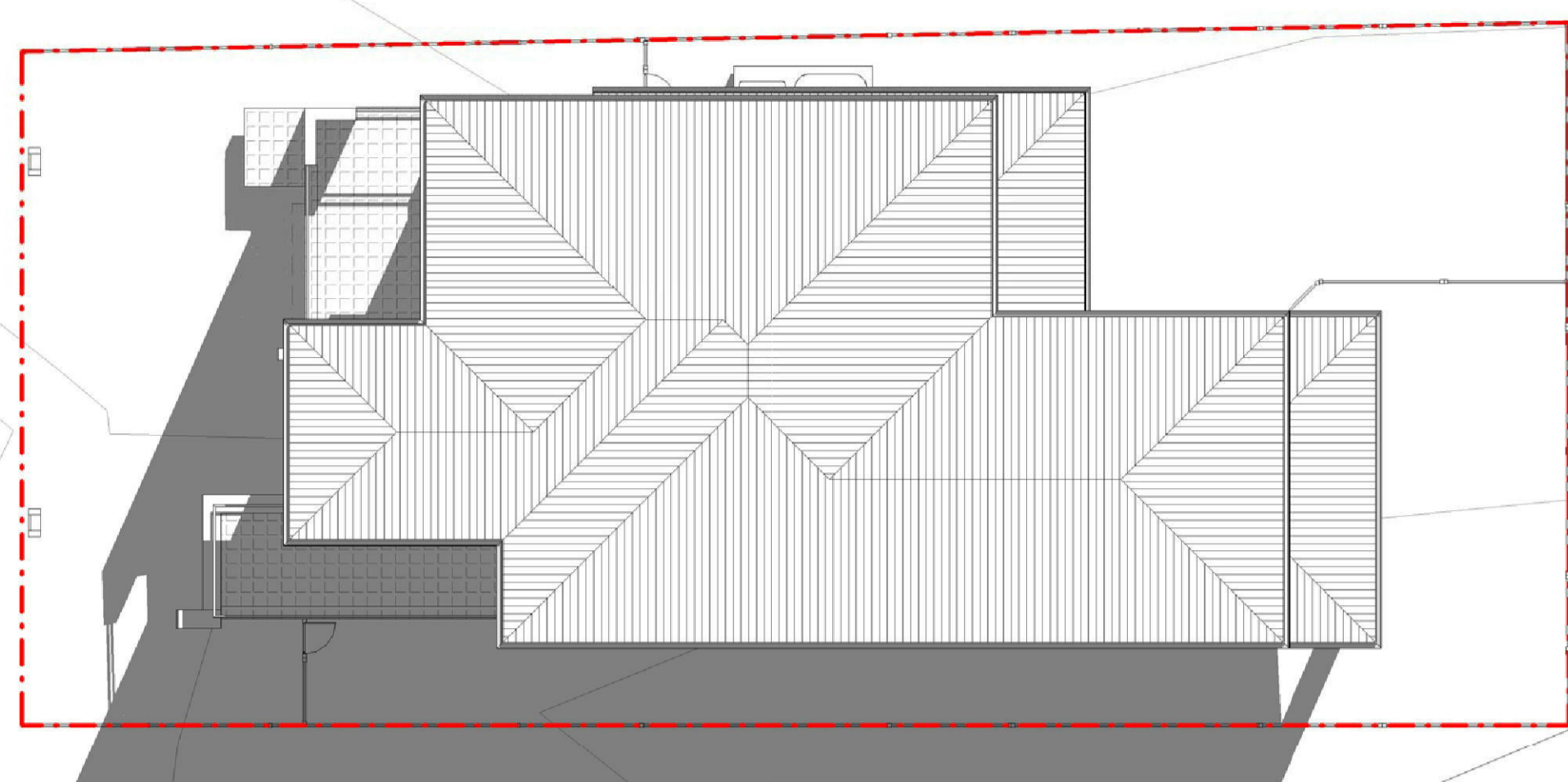
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DRAWING TITLE: <b>SITE ANALYSIS</b>			
SCALE <b>1:200 @A1</b>	DATE JUNE 2014		

PROJECT  
**20 O'CONNELL LANE  
CADDENS  
LOT 1  
DP 1166546**



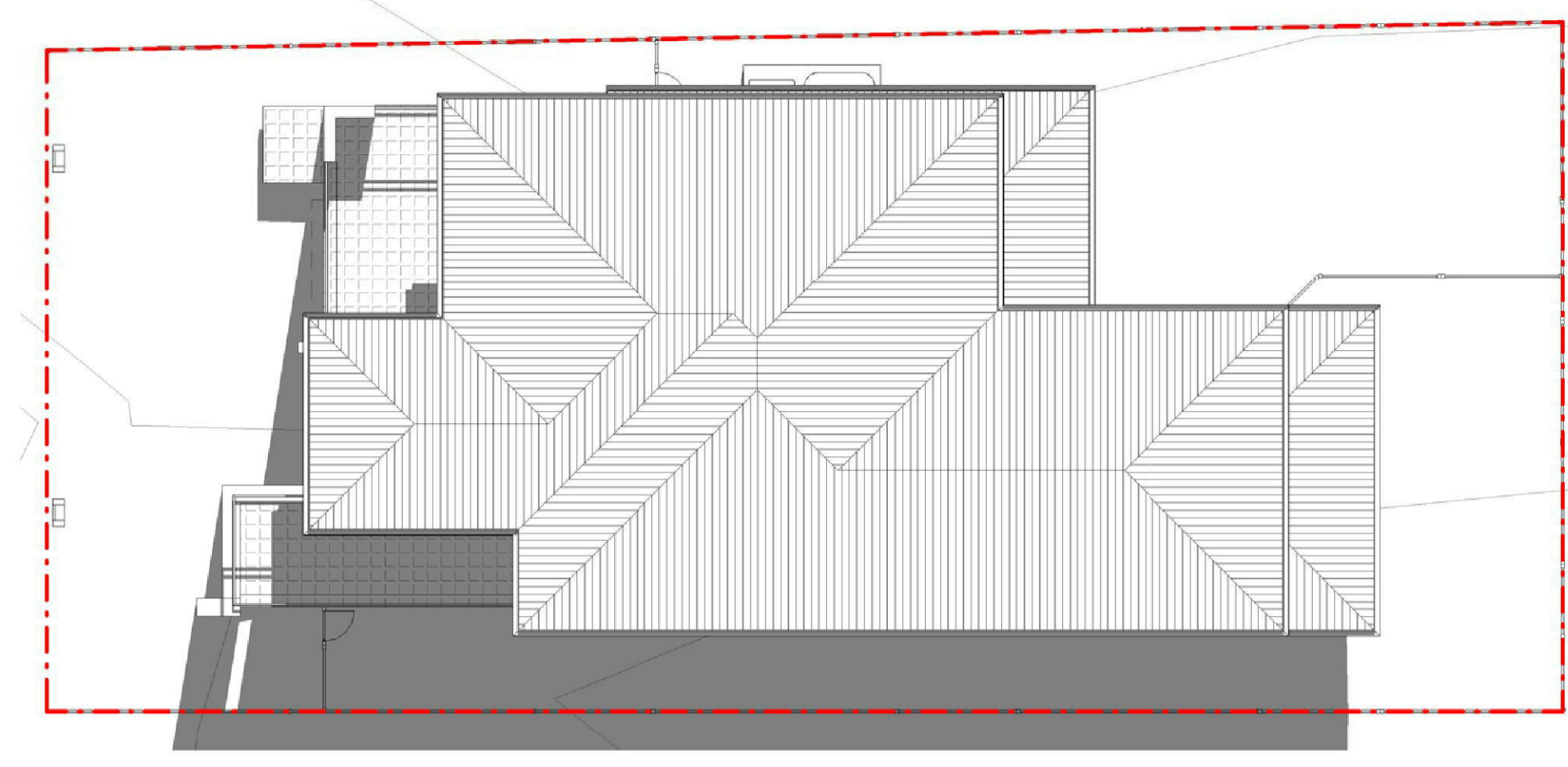
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DA 03/03 1: 120



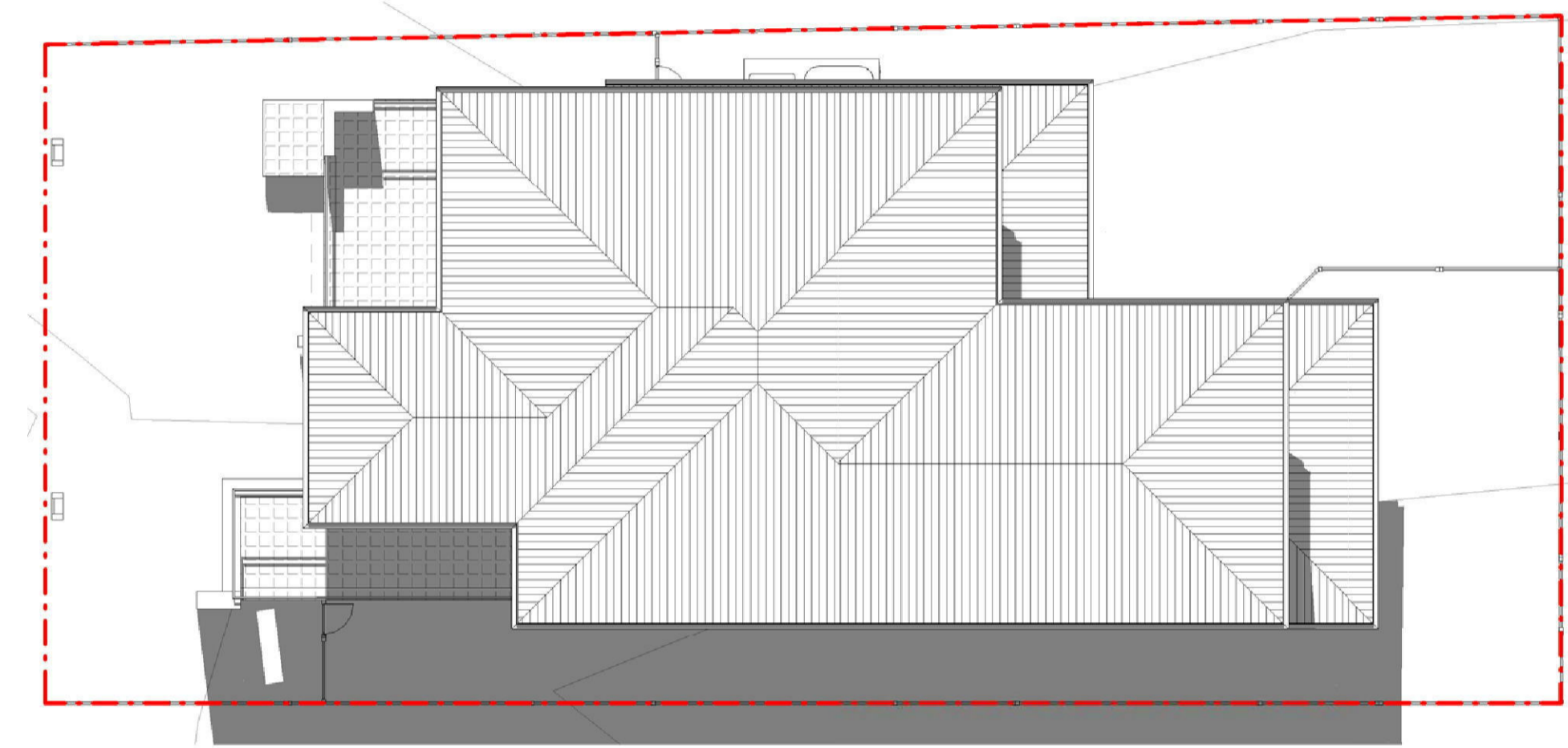
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DA 03/03 1: 120



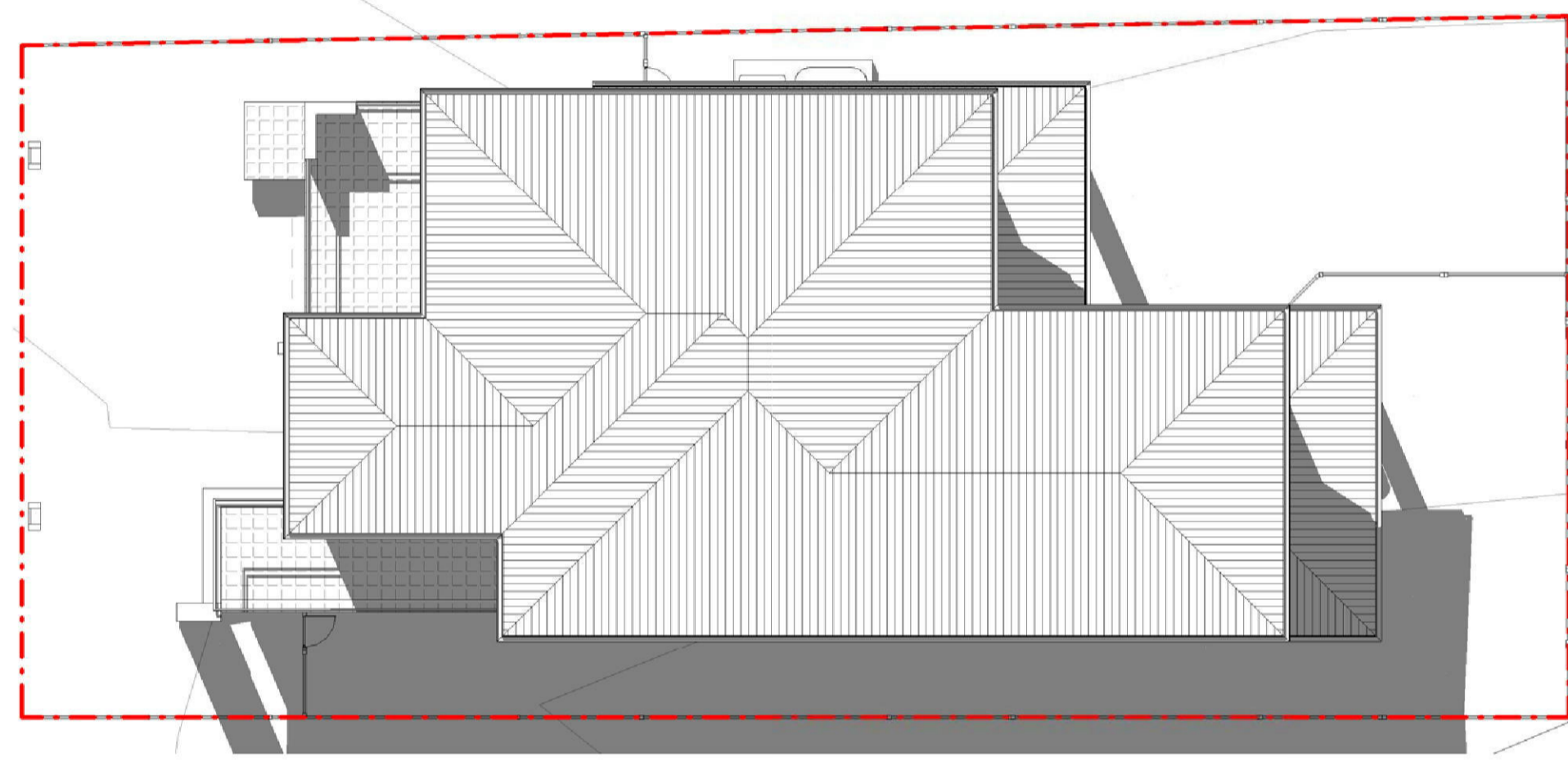
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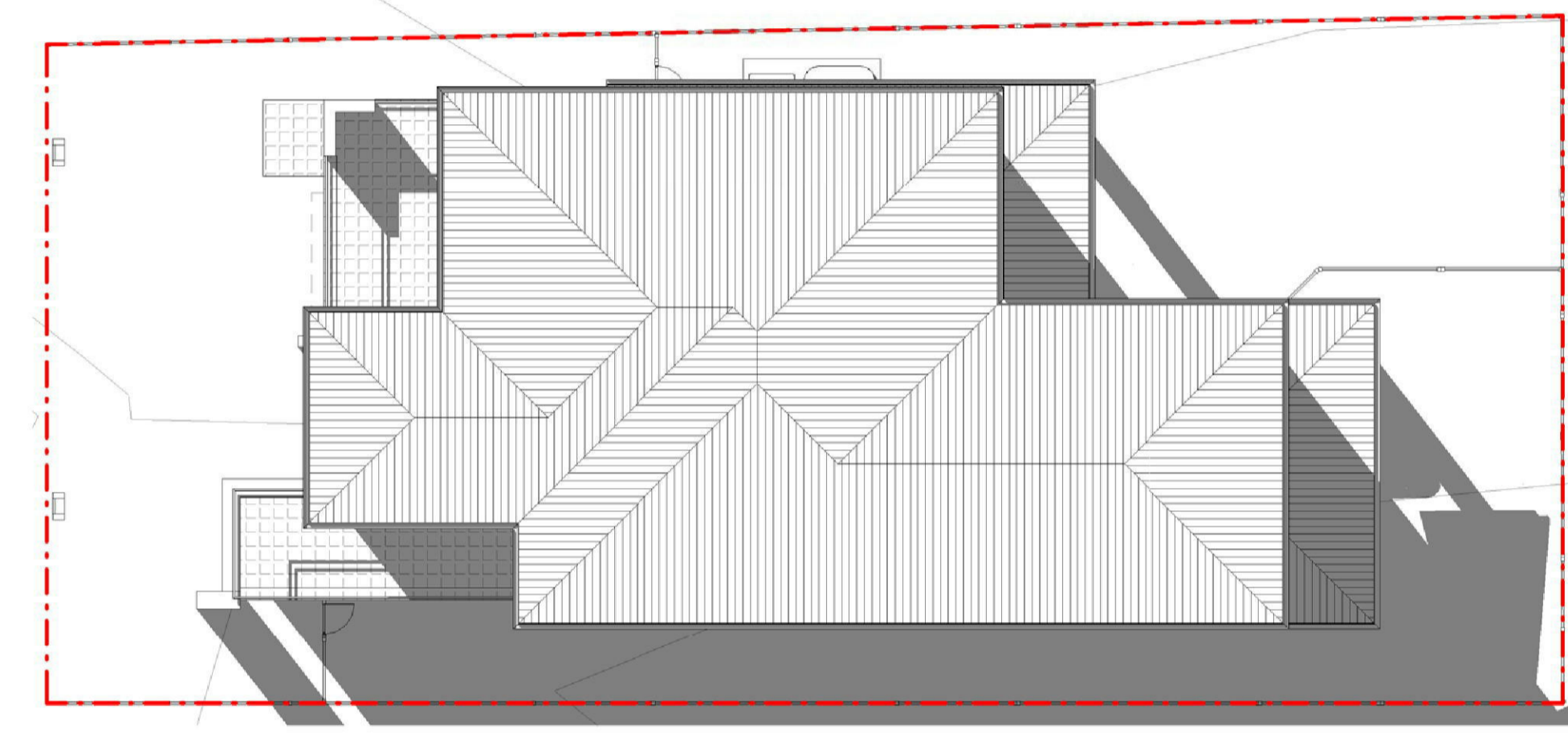
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DA 03/03 1: 120



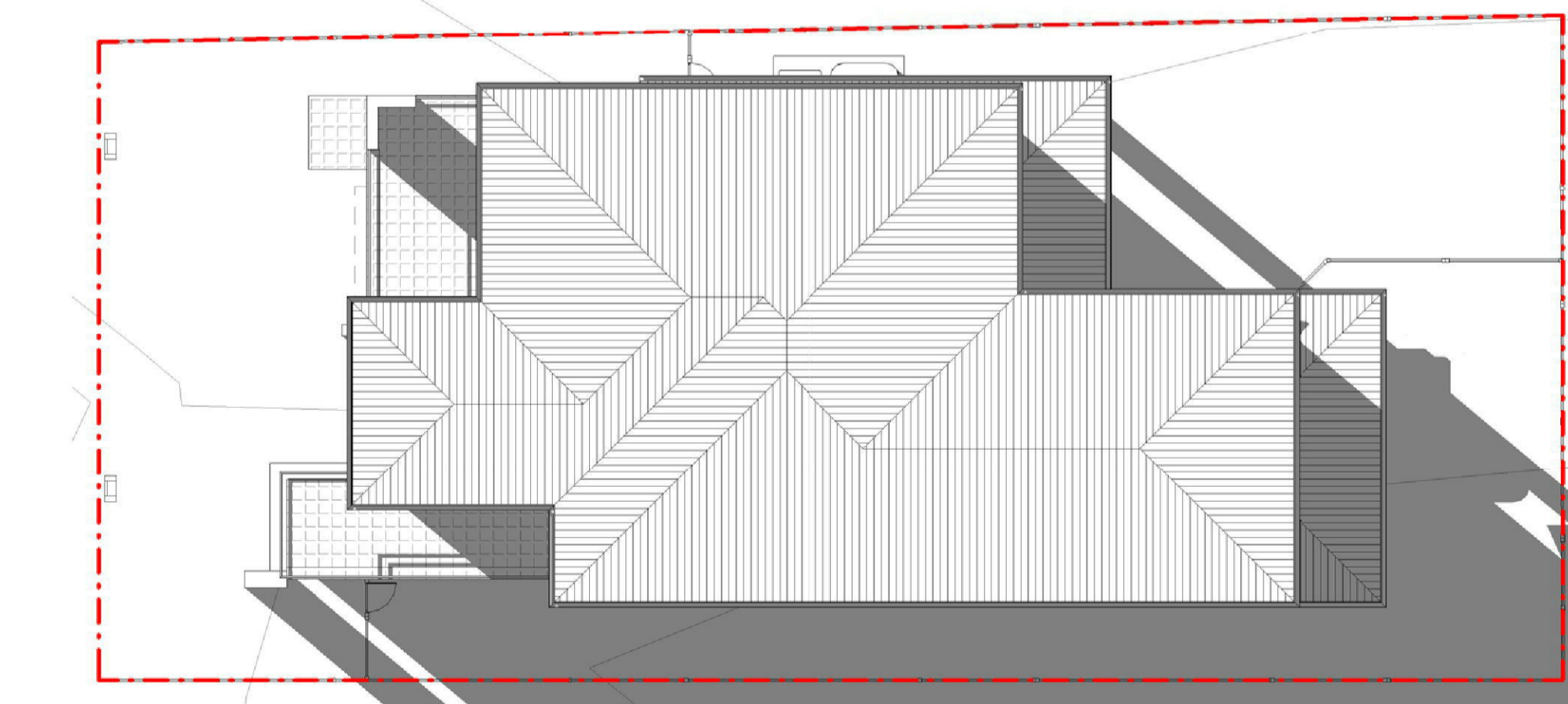
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DA 03/03 1: 120



6 SHADOW ANALYSIS 2PM

DA 03/03 1: 120



7 SHADOW ANALYSIS 3PM

DA 03/03 1: 120

<b>Energy Rating</b>		Certificate Number: 10140077
<input type="checkbox"/> single-dwelling rating	4.8 av. stars	
<input checked="" type="checkbox"/> multi-unit development (attach listing of ratings)	heating: 85.9 av. MJ/m <sup>2</sup>	
<small>If selected, data specified as the average across the entire development</small>	cooling: 57.5 av. MJ/m <sup>2</sup>	
Recessed downlights confirmation: <input type="checkbox"/> Rated with <input checked="" type="checkbox"/> Rated without		
Assessor Name/Number: Sowmya Sastry VIC/BDAA/10/1014		
Assessor Signature:		Date: 04/06/2014

**GENERAL NOTES**

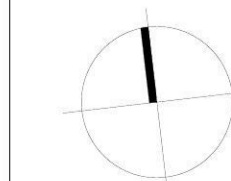
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ISSUE	AMENDMENTS	DATE
R01	ISSUED FOR DEVELOPMENT APPLICATION	06/2014

**TRUE NORTH**



**DRAWING NUMBER:**

DA 03/03

**DRAWING TITLE:**

SHADOW ANALYSIS

SCALE  
1:120

**DRAWN BY**

Author: GH/KC

**CHKD BY**

Checker: RJ

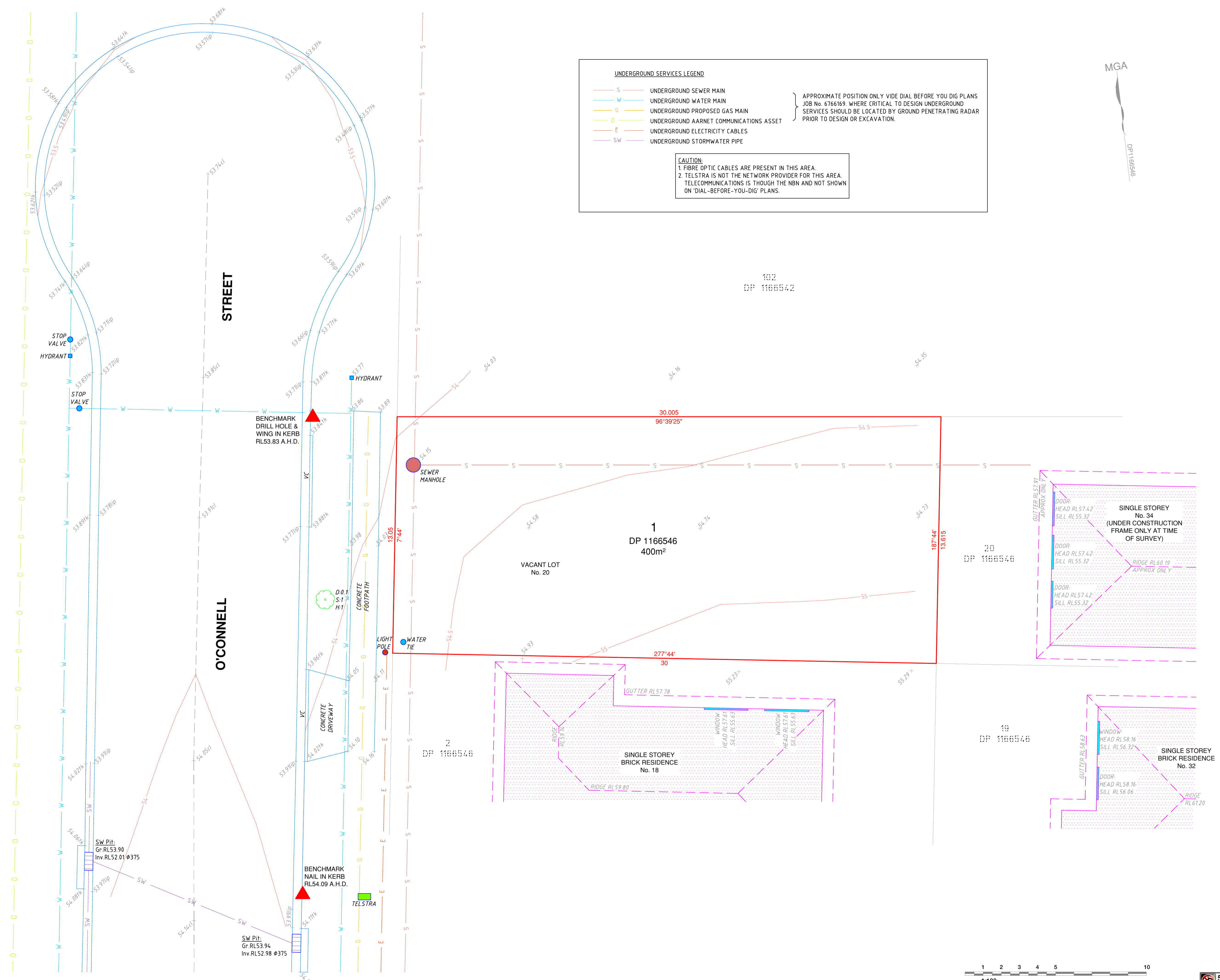
**ISSUE**

R01

DATE  
JUNE 2014

**PROJECT**

20 O'CONNELL LANE  
CADDENS  
LOT 1  
DP 1166546



**UNDERGROUND SERVICES LEGEND**

- S UNDERGROUND SEWER MAIN
- W UNDERGROUND WATER MAIN
- G UNDERGROUND PROPOSED GAS MAIN
- O UNDERGROUND AARNET COMMUNICATIONS ASSET
- E UNDERGROUND ELECTRICITY CABLES
- SW UNDERGROUND STORMWATER PIPE

APPROXIMATE POSITION ONLY VIDE DIAL BEFORE YOU DIG PLANS JOB No. 6766169. WHERE CRITICAL TO DESIGN UNDERGROUND SERVICES SHOULD BE LOCATED BY GROUND PENETRATING RADAR PRIOR TO DESIGN OR EXCAVATION.

**CAUTION:**  
 1. FIBRE OPTIC CABLES ARE PRESENT IN THIS AREA.  
 2. TELSTRA IS NOT THE NETWORK PROVIDER FOR THIS AREA. TELECOMMUNICATIONS IS THOUGH THE NBN AND NOT SHOWN ON 'DIAL-BEFORE-YOU-DIG' PLANS.



**LEGEND:**  
 VC denotes VEHICLE CROSSING  
 PC denotes PEDESTRIAN CROSSING  
 TK denotes TOP OF KERB  
 LIP denotes LIP OF KERB  
 CL denotes CENTRELINE OF ROAD  
 D:S:H denote DIAMETER, SPREAD and HEIGHT of TREE

**GENERAL NOTES:**

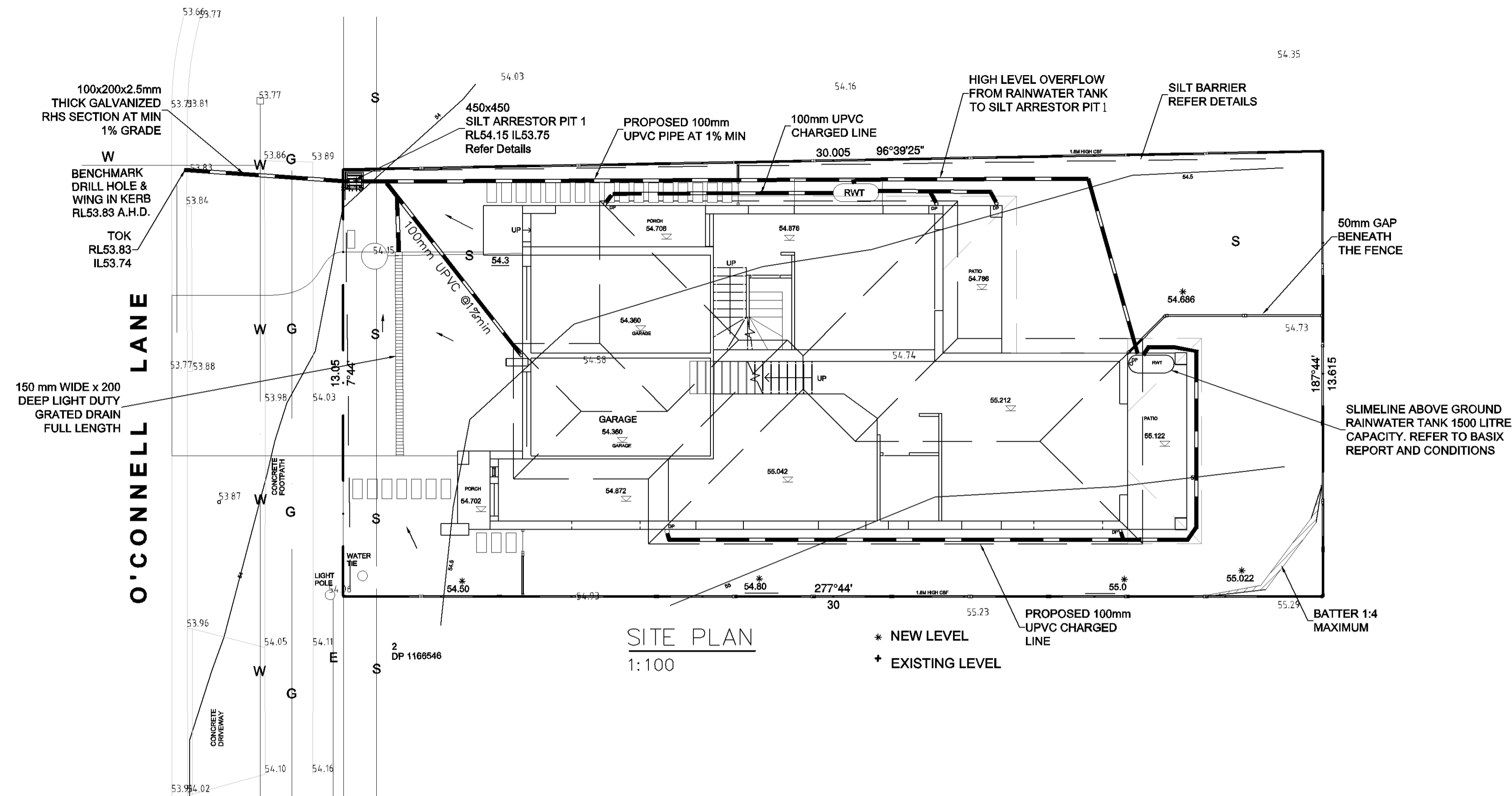
- THE BOUNDARIES OF THE LAND HAVE NOT BEEN SURVEYED. FEATURES SHOWN ON THE PLAN HAVE BEEN PLOTTED IN RELATION TO THE OCCUPATIONS
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM DIAL BEFORE YOU DIG PLANS. THE RELEVANT AUTHORITIES MUST BE CONTACTED TO DETERMINE THE FULL EXTENT OF SERVICES PRIOR TO ANY WORKS ON OR NEAR THE SITE.
- ONLY TREES GREATER THAN 3.5 METRES IN HEIGHT ARE SHOWN ON THIS PLAN AND THEIR POSITION IS DIAGRAMMATIC ONLY AND MAY REQUIRE ADDITIONAL SURVEY WHERE CRITICAL TO DESIGN.
- CONTOURS ARE INDICATIVE AT GROUND FORM ONLY. SPOTS LEVELS ONLY SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL 0.5 m.
- ALL SETOUT LEVELS MUST BE REFERRED TO THE BENCH MARK.
- THE ORIENTATION OF THIS PLAN IS MGA NORTH AND MGA COORDINATES ARE ADOPTED FROM SSM 181302.
- THE LAND IS AFFECTED BY RESTRICTIONS REFERRED TO AND NUMBERED (4) IN THE S.88B INSTRUMENT AND NUMBERED (8) IN THE S.88B INSTRUMENT (DP1166546).



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						ORIGIN OF LEVELS: SSM181301 RL 54.246	DATE: 09/10/2013	
					DATUM: A.H.D.	SURV/CHK: EE/VT		
						SHEET 1 OF 1 SHEETS		

**SDG**  
 LAND DEVELOPMENT SOLUTIONS  
 A.B.N. 61 213 823491

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 e office@sdg.net.au  
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**INDEX**

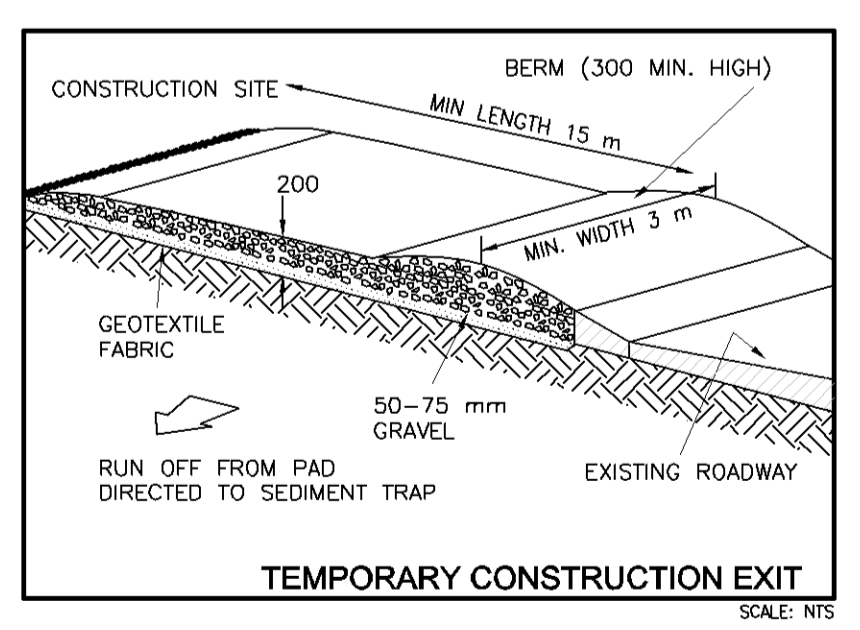
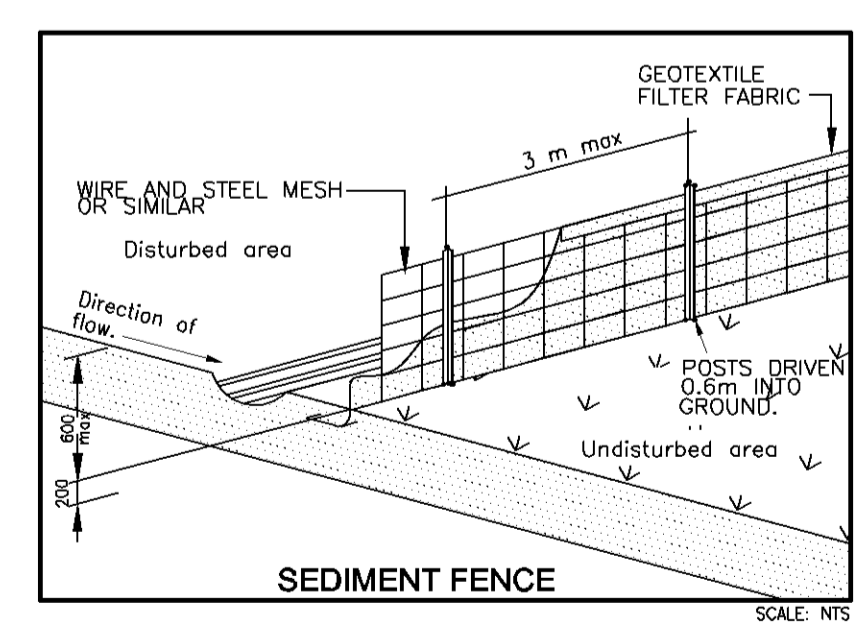
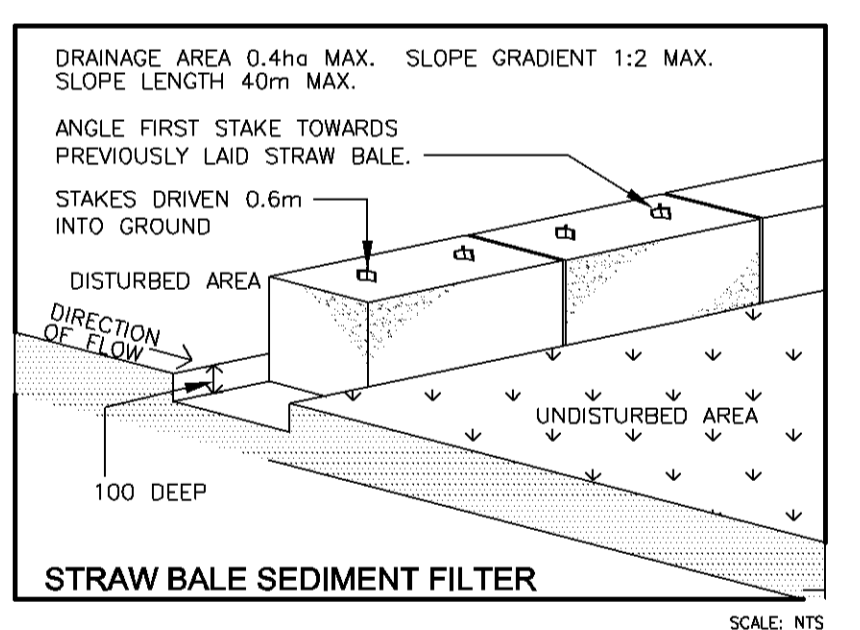
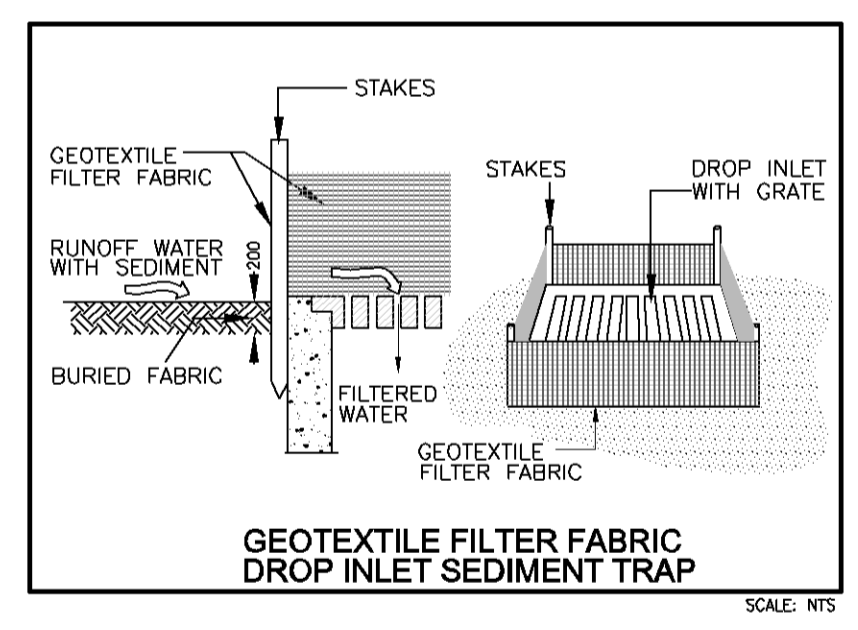
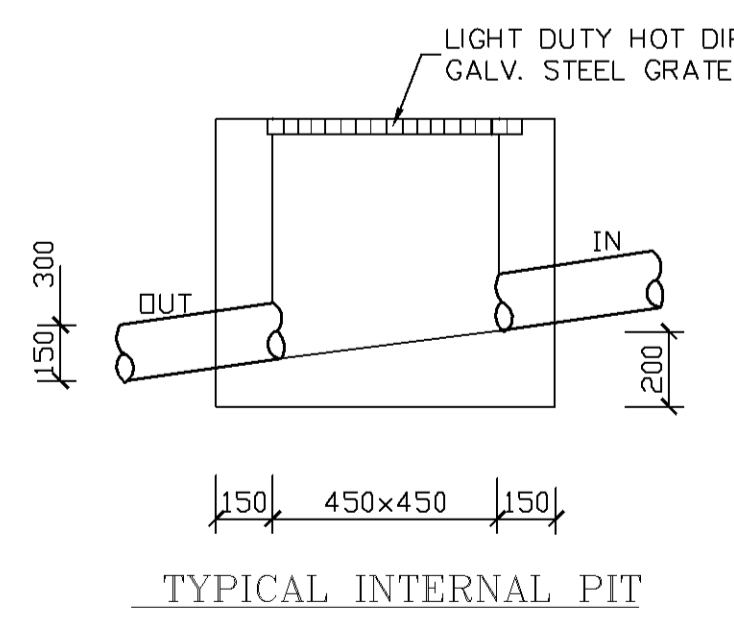
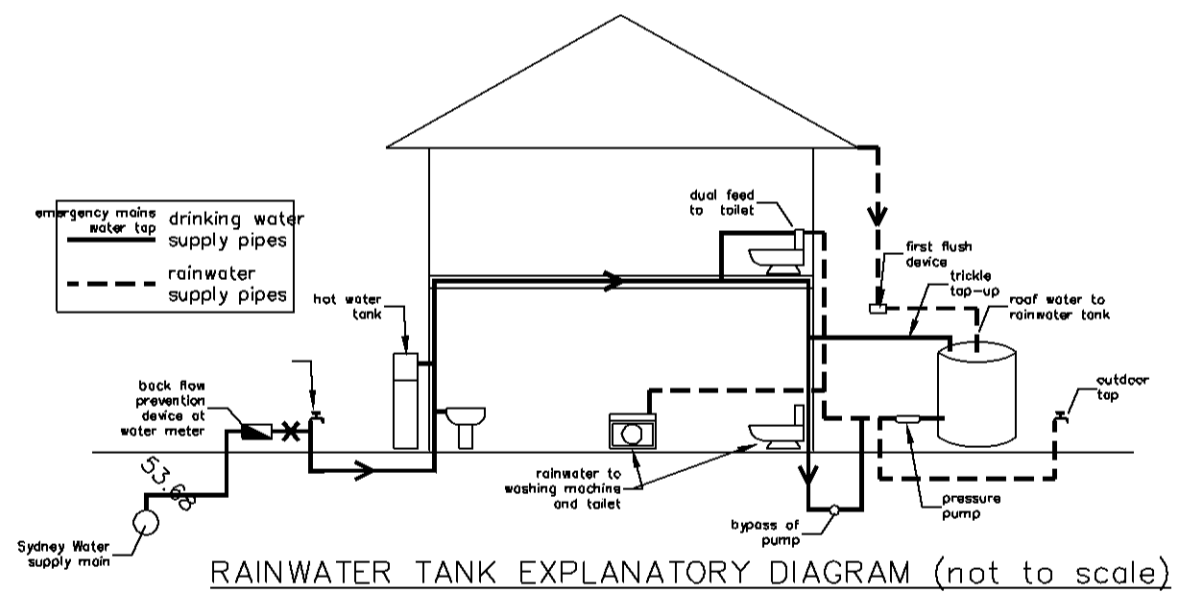
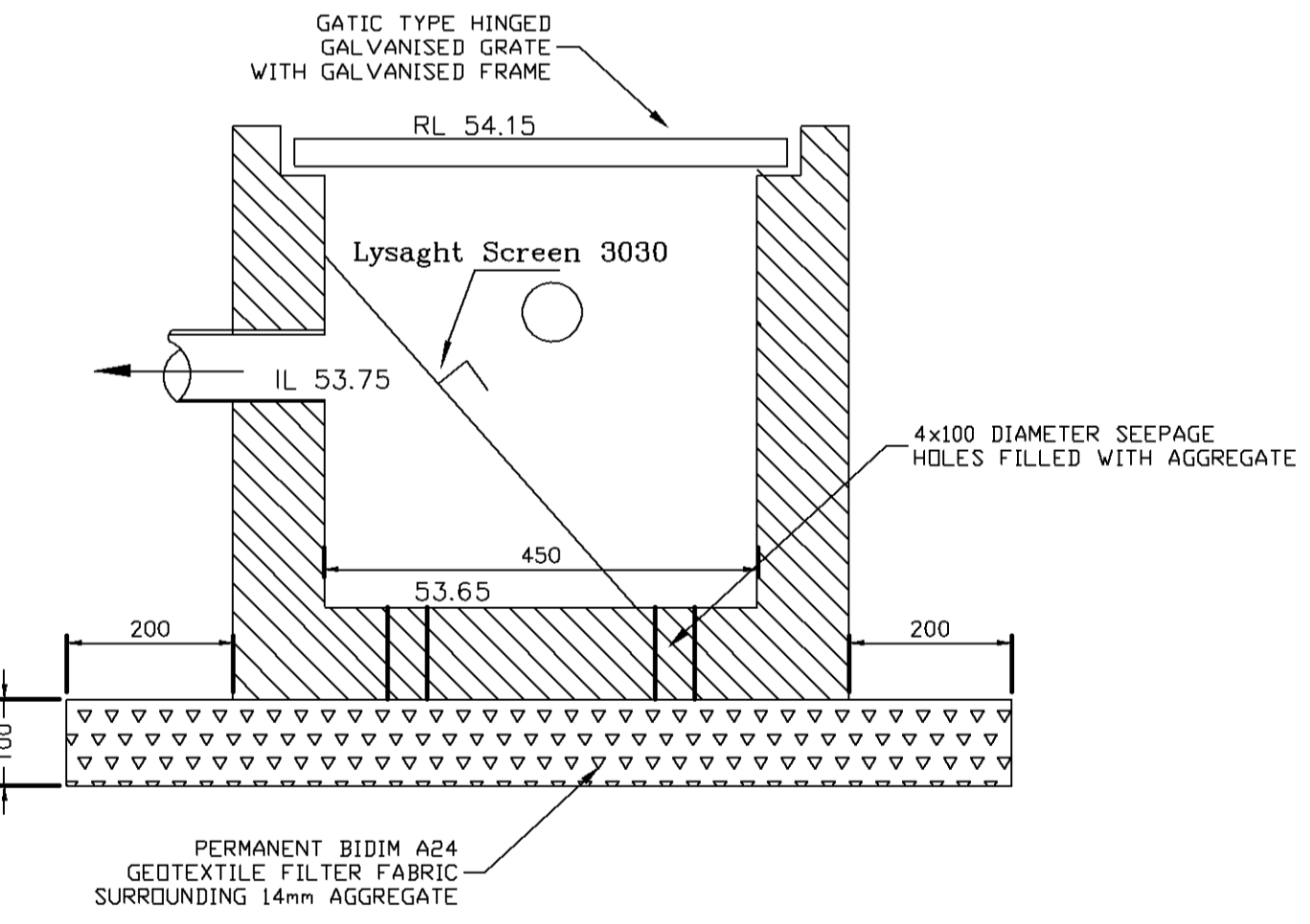
NATURAL GROUND LEVEL	14.53
DESIGN LEVEL	* 14.45
BOUNDARY LINE	---
AGG PIPE	---
SEDIMENT FENCE	---
STORMWATER PIPE PROPOSED	---
STORMWATER PIPE EXISTING	---
SEWER MAIN	---
GAS PIPE	---
TELSTRA LINE	---
WATER MAIN	---
DOWN PIPE	● DP
SPREADER	● SP
RAIN HEAD	■ RH
TRENCH GRATE	▤
SURFACE INLET PIT	○
SURFACE INLET PIT WITH ENVIROPOD 200 MICRON	○
AREA BYPASS 'WSUD'	▨
AREA DRAINED TO RWTS	▩

**LEGEND**

TP	- TOP OF PIT
TWL	- TOP WATER LEVEL
TW	- TOP OF RETAINING WALL
GL	- GUTTER LEVEL
RL	- REDUCED LEVEL
TK	- TOP OF KERB
IL	- INVERT LEVEL

**NOTES**

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS AND THE SPECIFICATION.
- PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY HIMSELF OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE PLANS. ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
- TRAFFIC MANAGEMENT MEASURES HAVE TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION, ALL IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ALONG THE FOOTPATH.
- THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISED PONDING OF SURFACE RUN-OFF.
- REFER TO ARCHITECT'S DRAWINGS FOR ALL DETAILS (LEVELS, GRADING ETC.) OF DRIVEWAYS, CONCRETE AND PAVED AREAS, AND RETAINING WALL TYPES AND LOCATIONS.
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS AND EXTENT OF ALL LANDSCAPED AREAS.
- ALL SWD PIPES ARE UPVC AT 1.0% MINIMUM GRADE (UNO).
- SWD PITS CAN BE PRE-CAST SIZED AS FOLLOWS:  
450mm SQ. UP TO 600mm DEEP  
600mm SQ. UP TO 1000mm DEEP
- ALL PITS LOCATED IN TRAFFICABLE AREAS, (IE, DRIVEWAYS) TO HAVE MEDIUM DUTY GRATED COVERS SUITABLE FOR WITHSTANDING LOADS ASSOCIATED WITH SMALL TRUCKS.
- PROVIDE STEP IRONS TO ALL PITS GREATER THAN 1.2m DEEP.
- THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF WORKS.
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- THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES. ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.



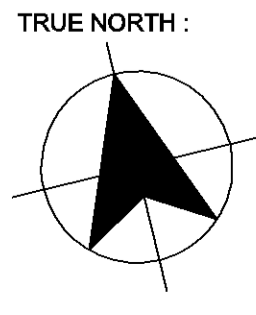
**Universal Property**  
GROUP PTY LTD

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- GENERAL NOTES :**
- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
  - ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
  - LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY A REGISTERED SURVEYOR.
  - FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
  - ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
  - WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
  - STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
  - ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING

- ISSUED FOR :**
- COUNCIL MEETING
  - DEVELOPMENT APPLICATION
  - SECTION 96
  - CONSTRUCTION ONLY

R06				
R05				
R04				
R03				
R02				
R01	ISSUED FOR DA	19/05/2014	DK	DK
ISSUE	AMENDMENTS	DATE	DRAWN	CHKD



**DRAWING NUMBER :**  
C145106

**DRAWING TITLE :**  
CONCEPT STORMWATER PLAN

**SCALE :**  
1:100 @A1

**DATE :**  
JUNE 2014

**ISSUE :**  
**R01**

**PROJECT :**  
**LOT 1 DP 1166546**  
**20 O'CONNELL LANE**  
**CADDENS**