



WARNING - UNREGISTERED PLAN

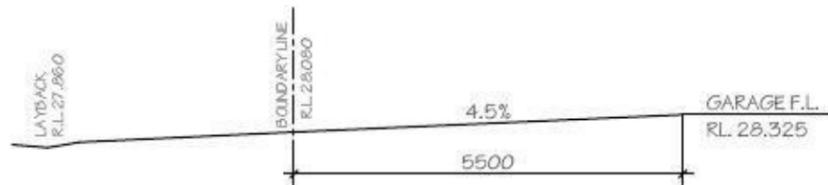
- THIS CONTOUR AND DETAIL SURVEY IS BASED UPON AN UNREGISTERED PLAN.
- ALL BOUNDARIES AND EASEMENTS ARE UNREGISTERED AND MAY BE AMENDED TO SUIT THE REQUIREMENTS OF COUNCIL OR THE LAND TITLES OFFICE.
- THIS INFORMATION MUST BE VERIFIED UPON REGISTRATION.
- NO FURTHER INVESTIGATION HAS BEEN UNDERTAKEN TO DISCLOSE EASEMENTS ETC OMITTED FROM THE UNREGISTERED PLAN.
- STRUCTURE SURVEYING CAN ACCEPT NO LIABILITY FOR ANY LOSS OR DAMAGE HOWSOEVER ARISING, TO ANY PERSON OR CORPORATION, DUE TO OMISSIONS, ERRORS OR VARIATIONS ON THE UNREGISTERED PLAN.
- COPIES OF THIS CONTOUR PLAN MUST NOT BE REPRODUCED WITHOUT THIS NOTICE.

***NOTES:**

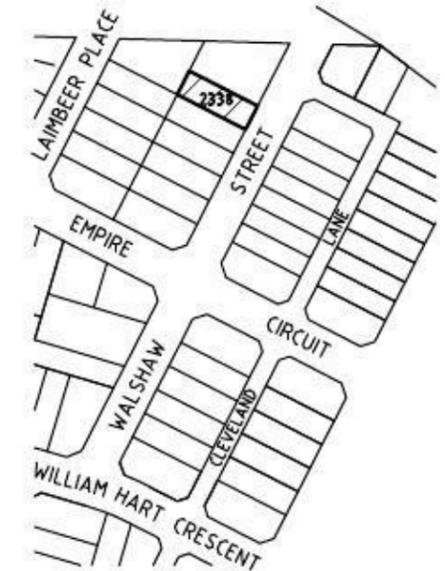
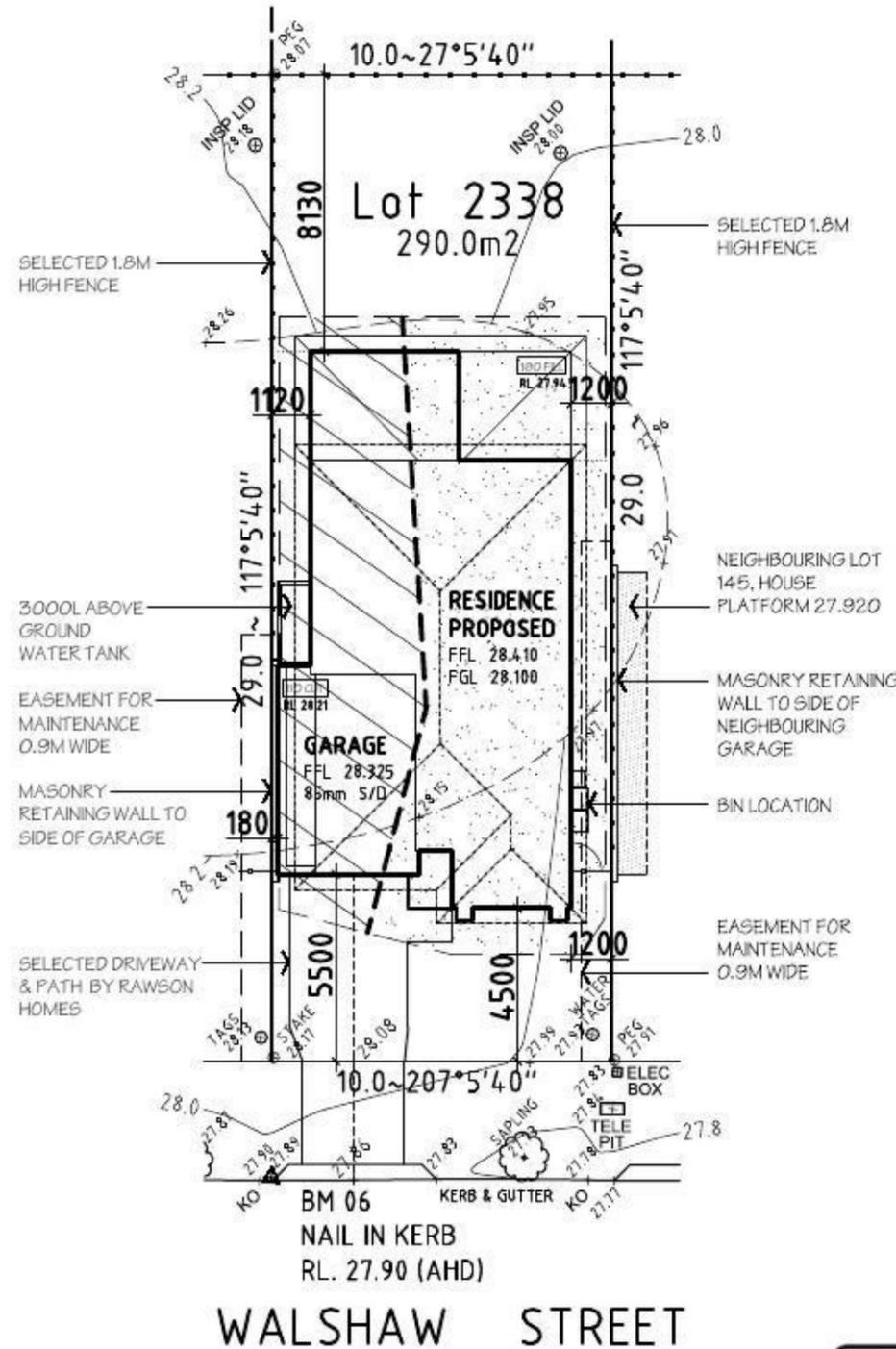
- THIS SURVEY IS FOR CONTOUR PURPOSES ONLY SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY.
- CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
- DIMENSIONS AND AREAS HAVE BEEN DETERMINED FROM PLANS MADE AVAILABLE AT LPI NSW AND ARE SUBJECT TO FINAL SURVEY.
- SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH ACCURATE POSITION AND DEPTH OF ANY SERVICES.
- DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE

LEGEND

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- KERB OUTLET
- SERVICE CONDUIT
- TREE (DIA/HEIGHT)



LOT 2338 DRIVEWAY DETAILS (SCALE 1:100)



LOCATION PLAN

DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM

ORIGIN OF LEVELS: SSM 180810 RL. 28.445

SOURCE OF LEVELS: S C I M S

***FURTHER NOTES:**

- FLOOR LEVELS HAVE BEEN BASED ON AN ASSUMED 'M-CLASS' SITE CLASSIFICATION
- REFER TO LANDSCAPING DRAWINGS FOR ALL FENCING & LANDSCAPING DETAILS

LOT 2338

SITE DATA

SITE AREA:	290.00 m ²
PRIVATE OPEN SPACE RATIO:	(33.0 %)
PRIVATE OPEN SPACE AREA:	95.70m ²
LANDSCAPE AREA:	(48.6 %)
SITE AREA:	290.00m ²
TOTAL HARDSTAND AREAS: (INC. Driveway & Path.)	149.09m ²
REMAINING SOFT AREA:	140.91m ²

FLOOR AREAS

GROUND FLOOR:	92.24 m ²
FIRST FLOOR:	93.28 m ²
GARAGE:	24.16 m ²
PORCH:	1.98 m ²
ALFRESCO:	10.56 m ²
TOTAL FLOOR AREA:	222.22 m ²



NOTES:

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

- * ALL DIMENSIONS ARE TO STRUCTURAL FRAMES
- * ALL DIMENSIONS ARE IN MILLIMETRES
- * DO NOT SCALE - USE WRITTEN DIMENSIONS

RAWSON HOMES

1 HOMEBUSH BAY DRIVE
BUILDING F, LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C



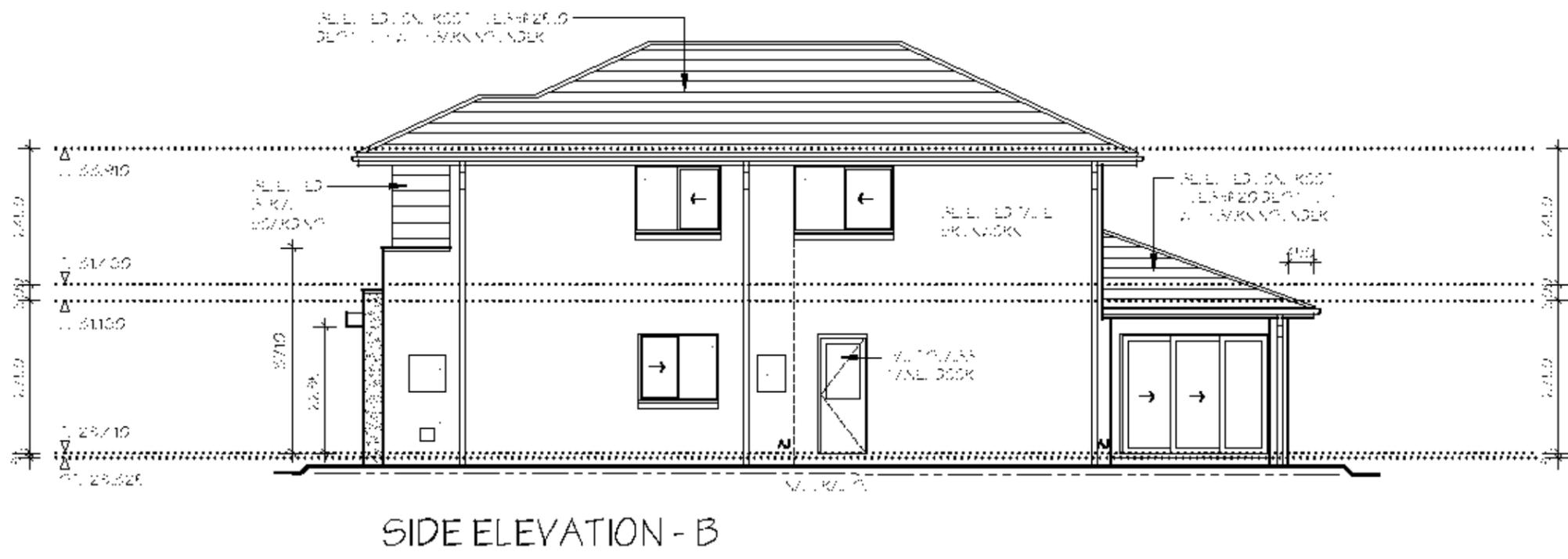
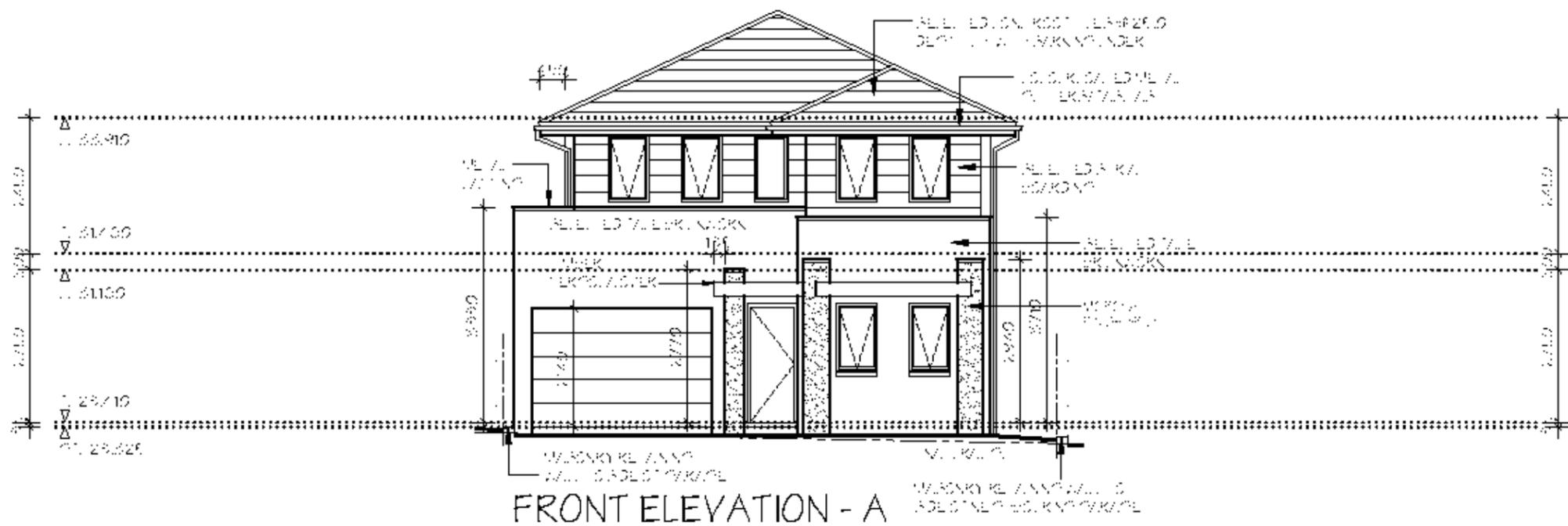
CLIENT:
ZHONGHAO ZHOU & HAIQING ZHOU

SITE ADDRESS:
LOT 2338
WALSHAW STREET
PENRITH (THORNTON ESTATE)

HOUSETYPE:
MODEL: HUNTLEY 25 LH
FACADE: VOGUE
TYPE:
SPECIFICATION:
DRAWING TITLE:
SITE PLAN

DRAWN BY: SJB	DATE DRAWN: FEB '14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:200	
JOB No: J003506	DRWG No.:	ISSUE:	
	02	D	

NOTE:
THIS DRAWING IS FOR INFORMATION ONLY
AND DOES NOT CONSTITUTE AN OFFER
OR CONTRACT. FOR MORE INFORMATION
PLEASE CONTACT RAWSON HOMES.



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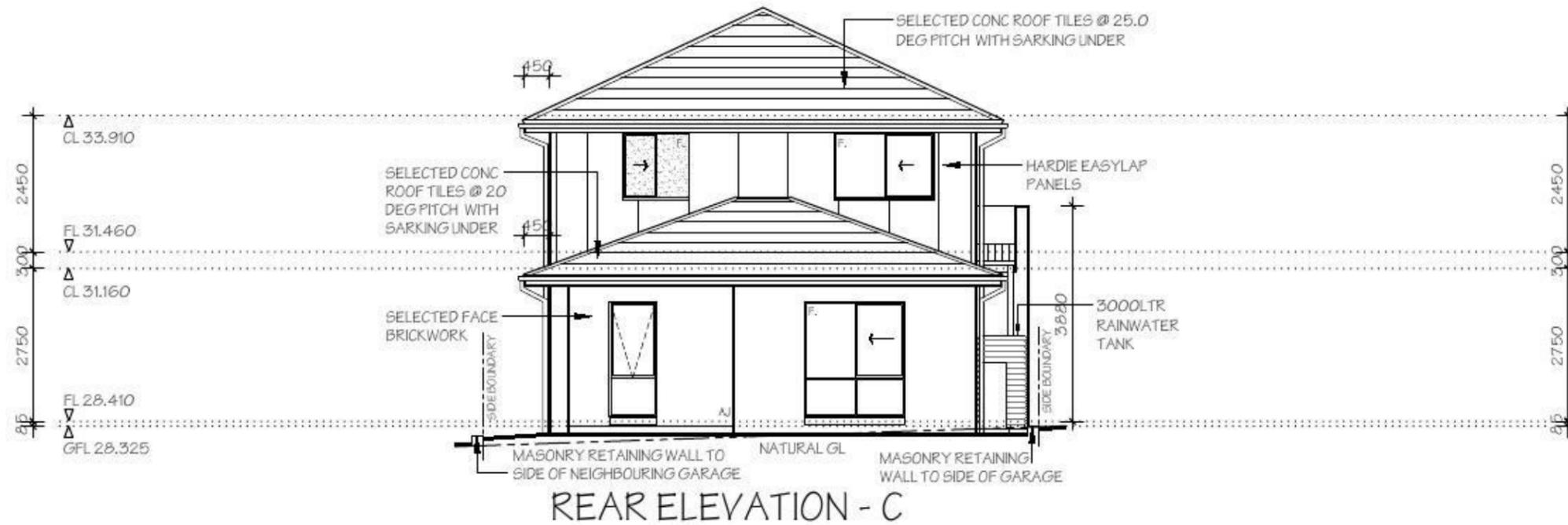
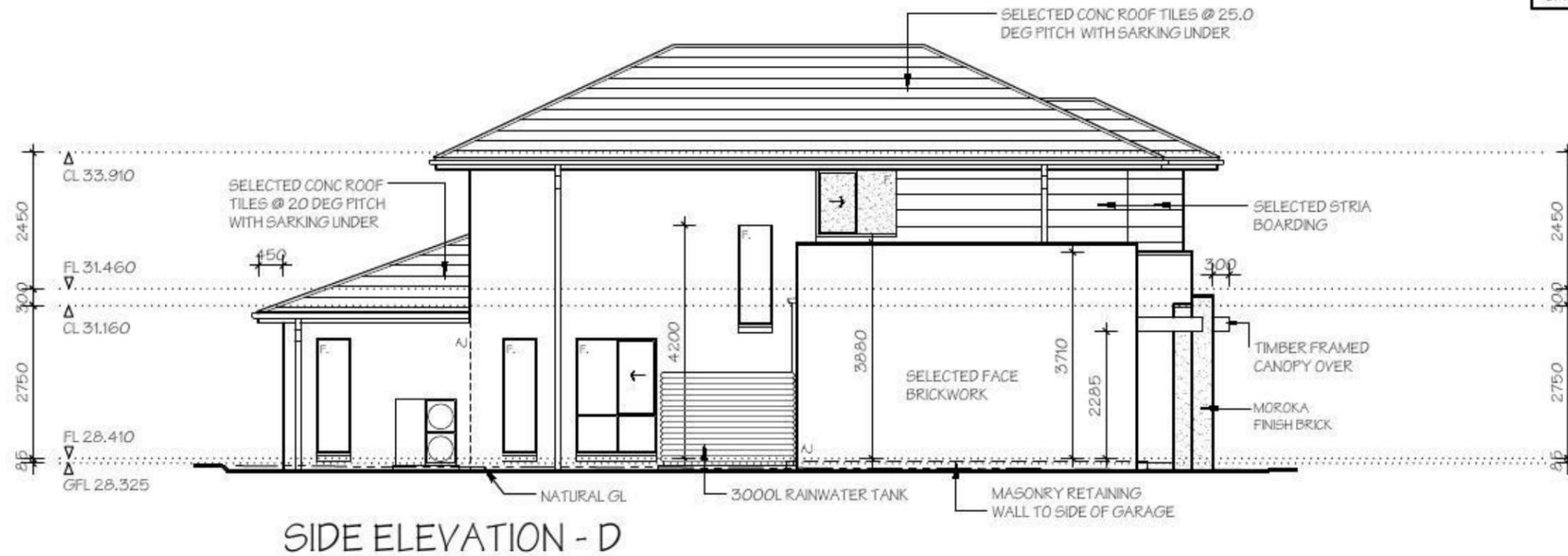
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RHODES NSW 2138
TELEPHONE: 02 8765 5500
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CLIENT:
ZHONGHAO ZHOU & HAIQING ZHOU
SITE ADDRESS:
LOT 2338
WALSHAW STREET
PENRITH (THORNTON ESTATE)

HOUSETYPE:
MODEL: HUNTLEY 25 LH
FACADE: VOGUE
TYPE:
SPECIFICATION:
DRAWING TITLE:
ELEVATIONS 1

DRAWN BY: SUB	DATE DRAWN: FEB/14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:100	
JOB No: J003506	DRAWG No.:	ISSUE:	
	05	D	

NOTE:
*STAINLESS STEEL MESH SECURITY
SCREEN DOOR TO FRONT ENTRY
*NYLON MESH FLYSCREENS TO ALL
OPENING WINDOWS & SLIDING
DOORS (EXCLUDING HINGED DOORS)



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RHODES NSW 2138
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FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C

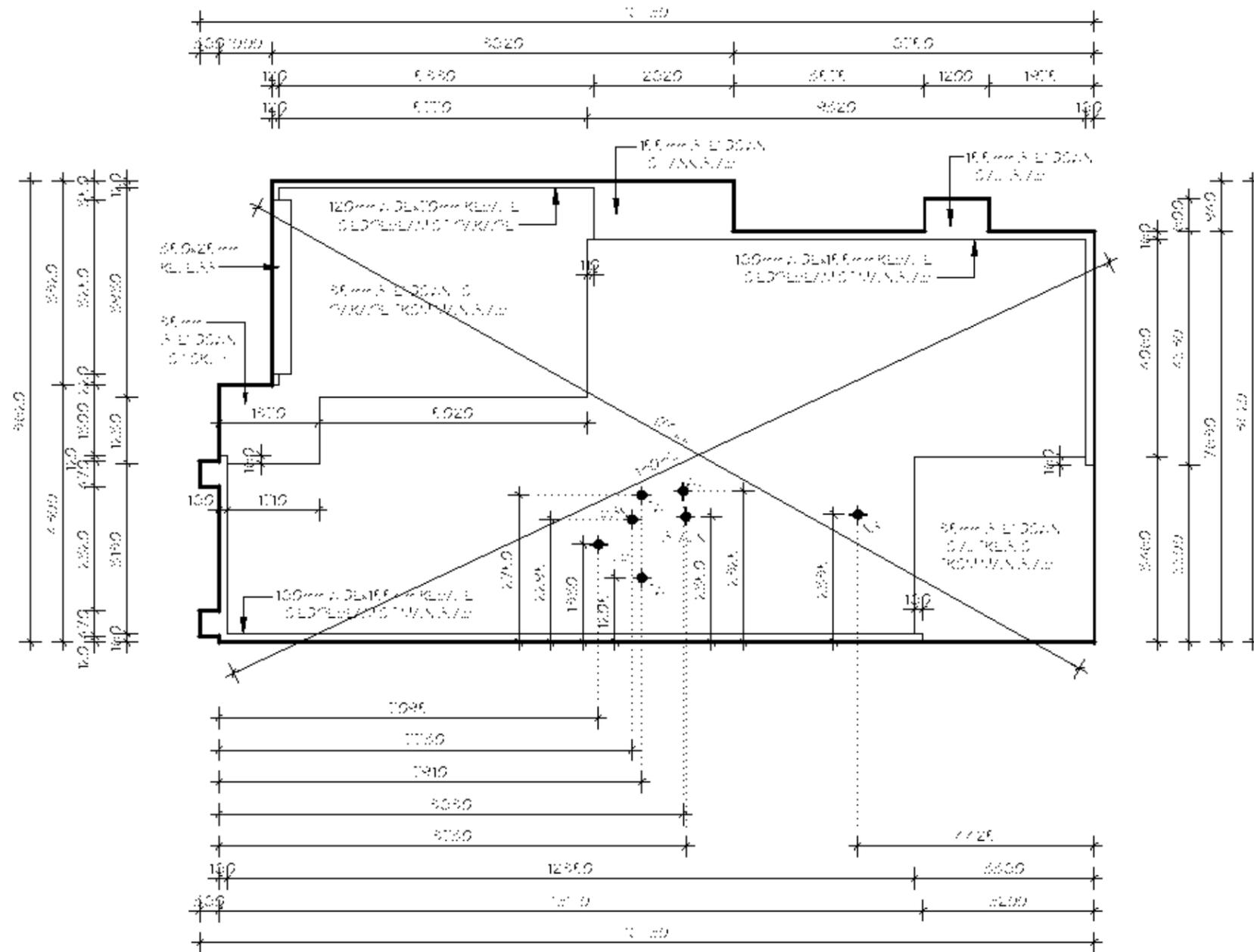


CLIENT:
ZHONGHAO ZHOU & HAIQING ZHOU

SITE ADDRESS:
**LOT 2338
WALSHAW STREET
PENRITH (THORNTON ESTATE)**

HOUSETYPE:
MODEL: HUNTLEY 25 LH
FACADE: VOGUE
TYPE:
SPECIFICATION:
DRAWING TITLE:
ELEVATIONS 2

DRAWN BY: SJB	DATE DRAWN: FEB '14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:100	
JOB No: J003506	DRWG No.:	ISSUE:	
	06	D	



GROUND FLOOR SLAB SETOUT

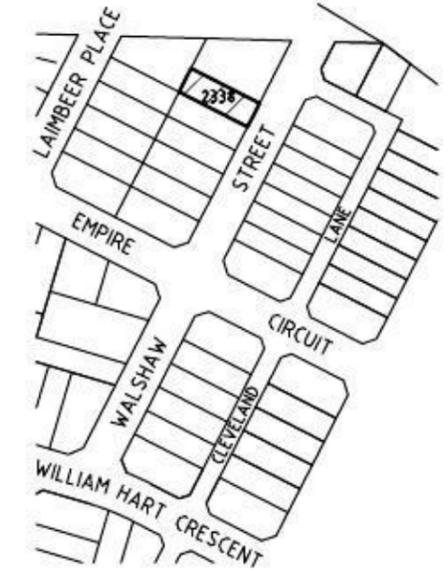
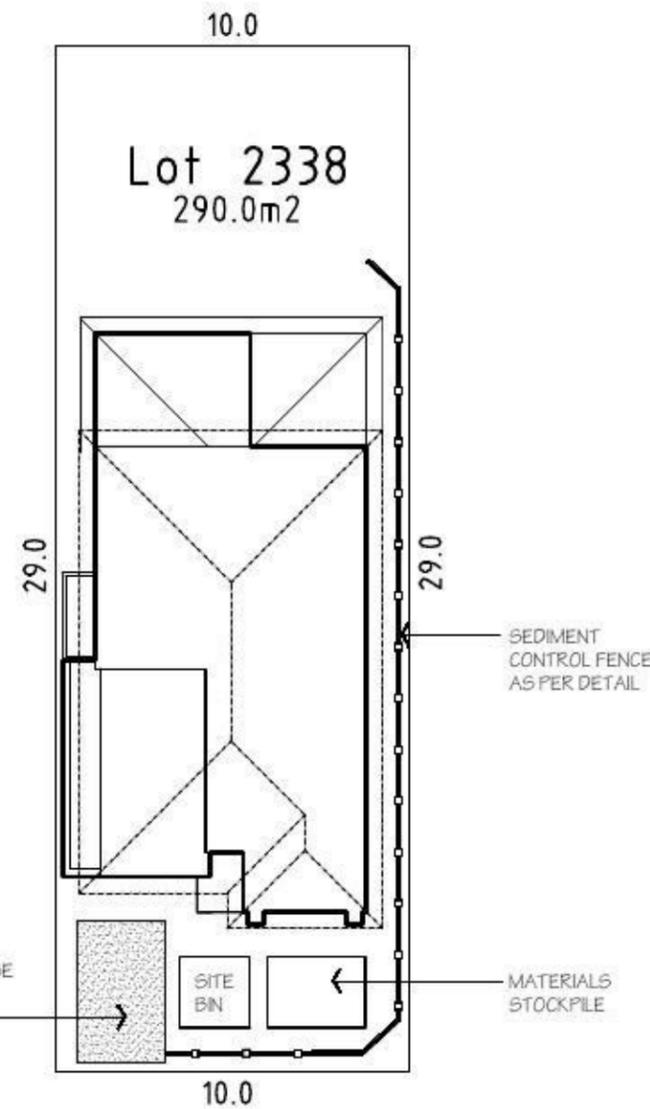
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BUILDING F. LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C

CLIENT:
ZHONGHAO ZHOU & HAIQING ZHOU
SITE ADDRESS:
LOT 2338
WALSHAW STREET
PENRITH (THORNTON ESTATE)

HOUSE TYPE:
MODEL: HUNTLEY 25 LH
FACADE: VOGUE
TYPE:
SPECIFICATION:
DRAWING TITLE:
SLAB PLAN

DRAWN BY: SUB	DATE DRAWN: FEB/14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:100	
JOB No: J003506	DRWG No.: 08	ISSUE: D	



LOCATION PLAN

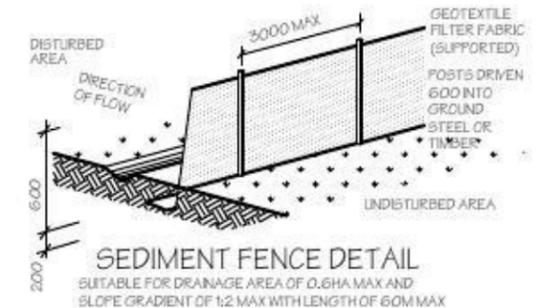
LEGEND

- | | |
|----------------------------|--------------------|
| WATER METER | ELECTRICITY POLE |
| TELECOM PIT | ELECTRICITY PILLAR |
| MANHOLE (SEWER/STORMWATER) | HYDRANT |
| VEHICLE CROSSING | STOP VALVE |
| KERB INLET PIT | KERB OUTLET |
| LIGHT POLE | SERVICE CONDUIT |
| | TREE (DOWHEIGHT) |

SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO 'URBAN EROSION AND SEDIMENT CONTROL' GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



WALSHAW STREET



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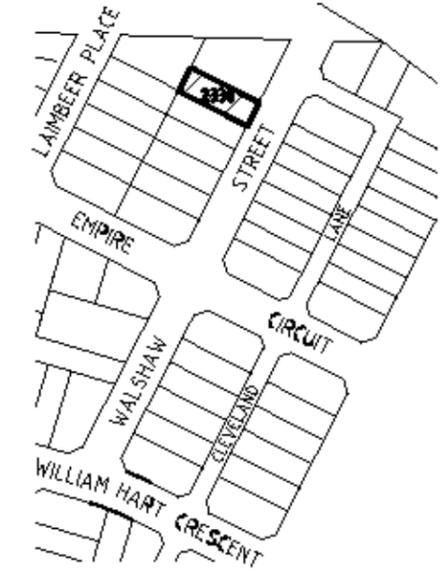
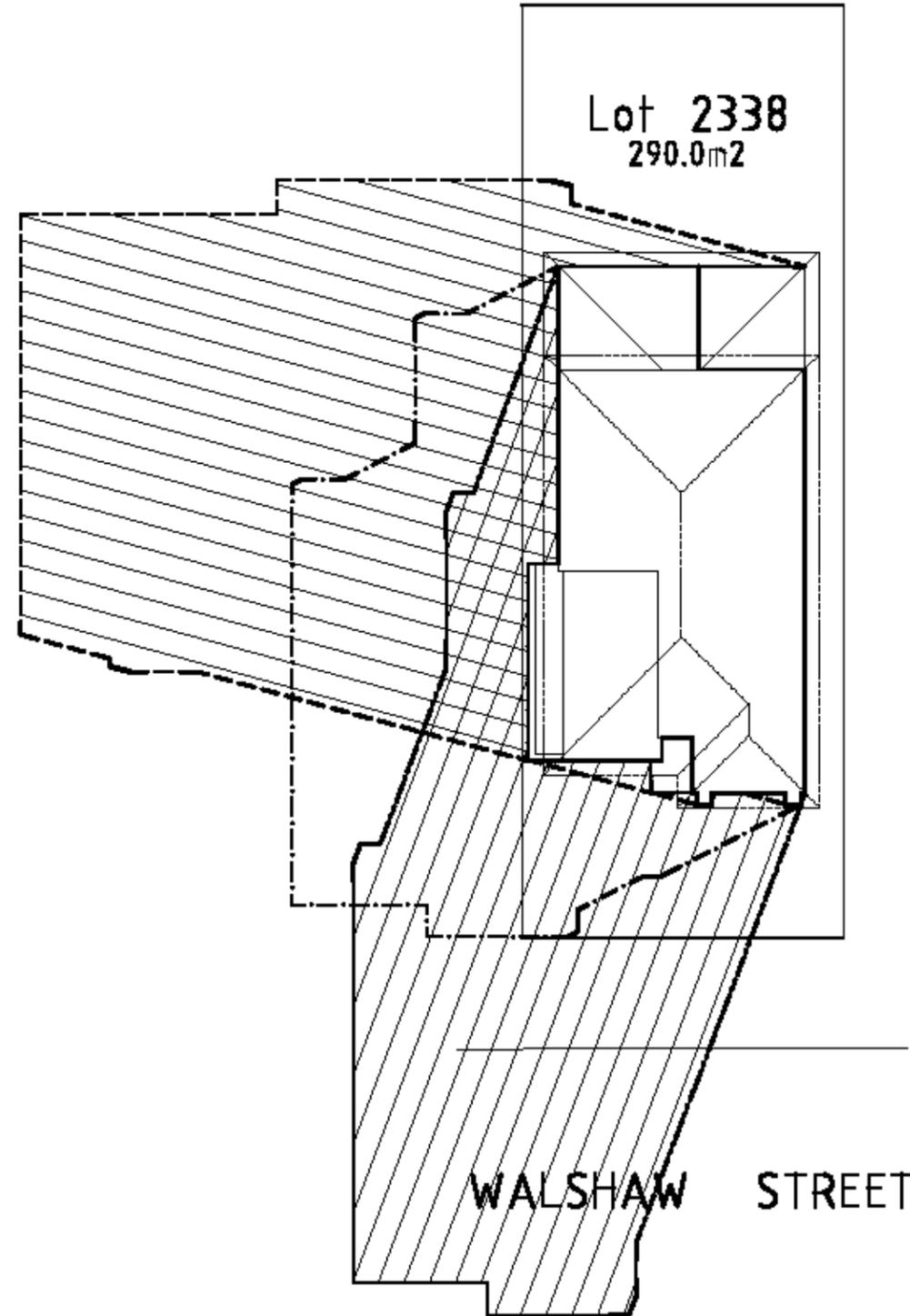
CLIENT:
ZHONGHAO ZHOU & HAIQING ZHOU

SITE ADDRESS:
LOT 2338
WALSHAW STREET
PENRITH (THORNTON ESTATE)

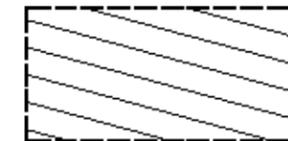
HOUSETYPE:
MODEL: HUNTLEY 25 LH
FACADE: VOGUE
TYPE:
SPECIFICATION:

DRAWING TITLE:
SEDIMENT & WASTE PLAN

DRAWN BY: SJB	DATE DRAWN: FEB '14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:200	
JOB No: J003506	DRWG No.:	ISSUE:	
	11	D	



LOCATION PLAN



2:00 PM SHADOWS 2:00 PM



9:00 AM SHADOWS 9:00 AM



3:00 PM SHADOWS 3:00 PM

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FAX : 02 8765 8099
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CLIENT:
ZHONGHAO ZHOU & HAIQING ZHOU

SITE ADDRESS:
LOT 2338
WALSHAW STREET
PENRITH (THORNTON ESTATE)

HOUSETYPE:
MODEL: HUNTLEY 25 LH
FACADE: VOGUE
TYPE:
SPECIFICATION:

DRAWING TITLE:
SHADOW DIAGRAM

DRAWN BY: SUB	DATE DRAWN: FEB/14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:200	
JOB No: J003506	DRAWG No.:	ISSUE:	
	12	D	

Lot 2338 Walshaw

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Bmm	Buxus microphylla v ar. microphylla	Dwarf Box Hedge	24	200mm	0.5m
Cpl	Camellia sasanqua 'Paradise Pearl'	Camellia	6	300mm	2m
Cbn	Catalpa bignonioides 'Nana'	Designer Catalpa	1	75L	5m
Dg	Dietes grandiflora	Wild Iris	4	200mm	1m
Oi	Ophiopogon 'Stripey White'	Stripey White Mondo Grass	6	200mm	0.3-0.4m

LOT PLANTING SUMMARY

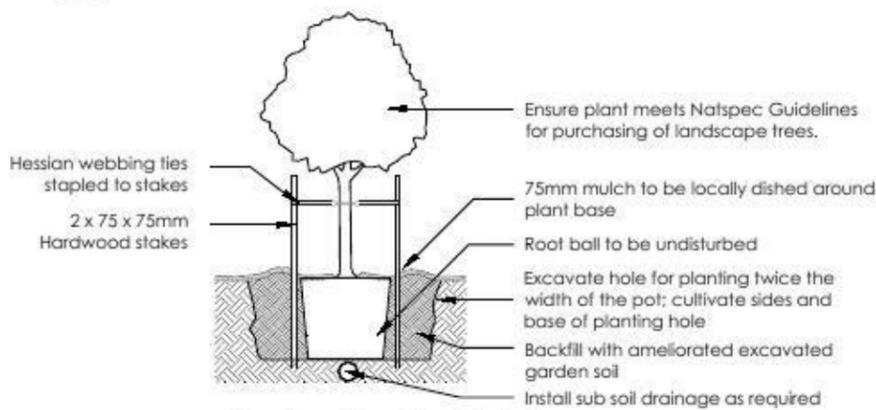
Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
41	6	0	35	1

LEGEND

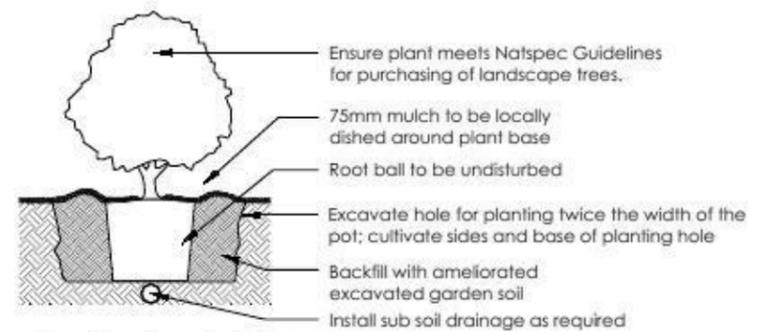
- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels
- Boundary
- Garden edging
- Masonry retaining walls
- Existing contours

Existing tree to be retained

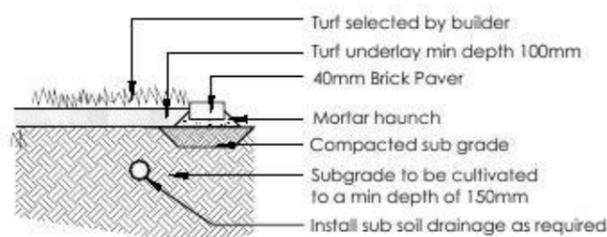
Existing tree to be removed



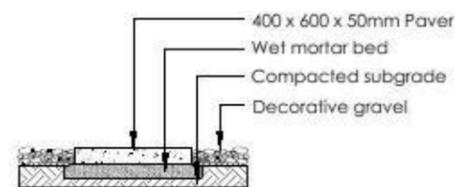
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size

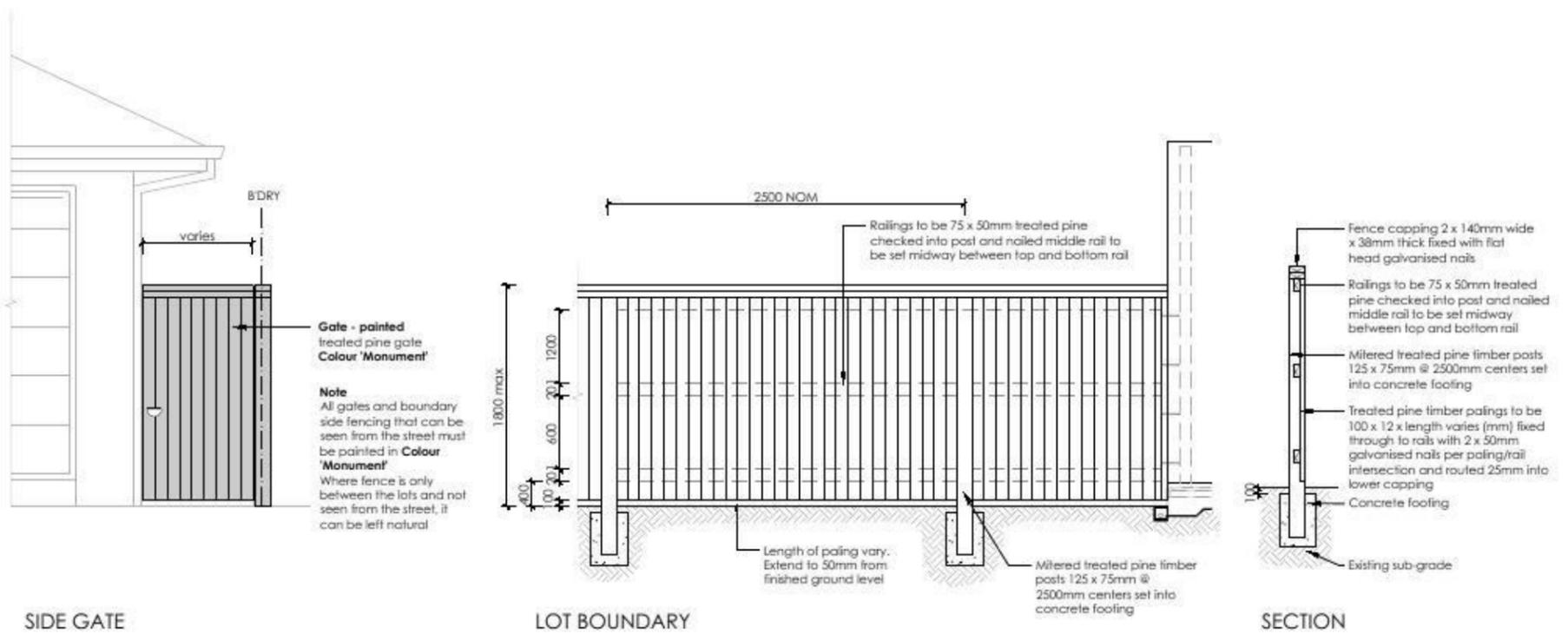
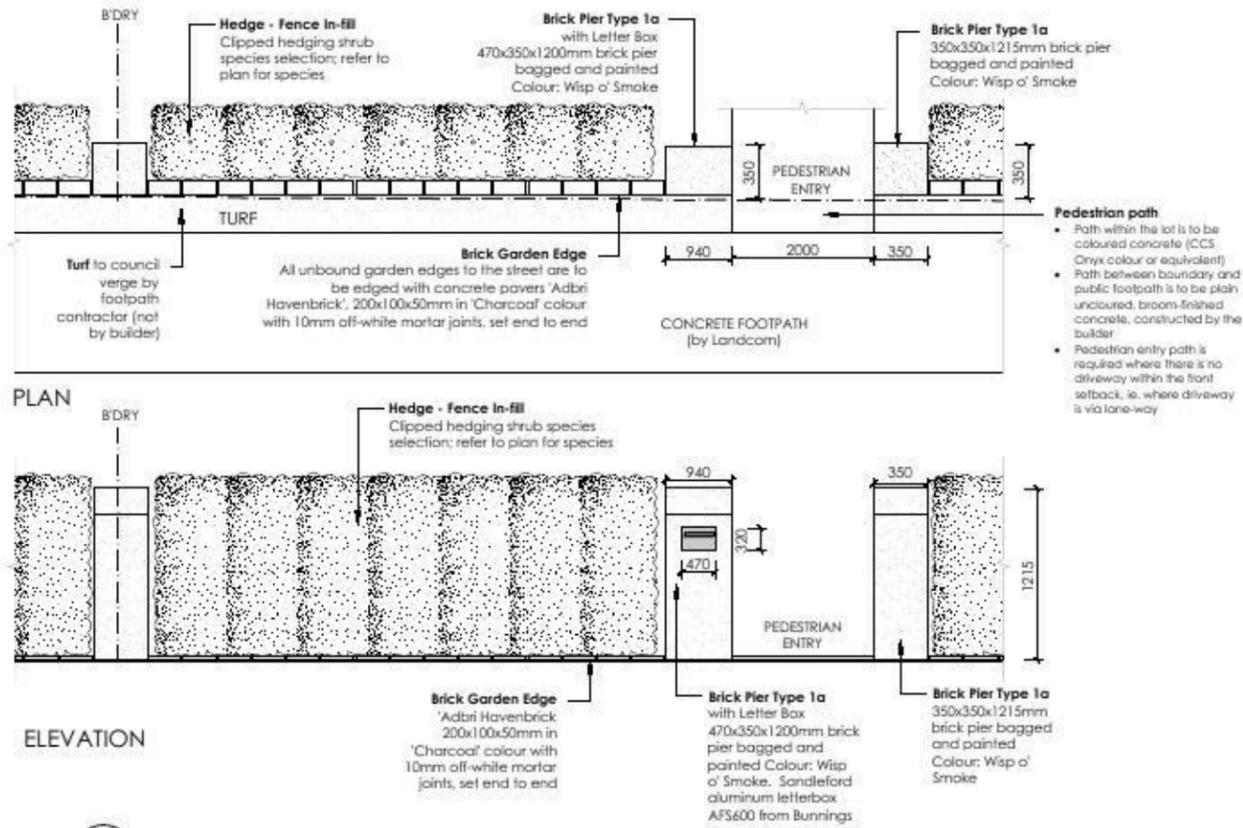


3 Turf Detail
NTS Brick Paver Edge

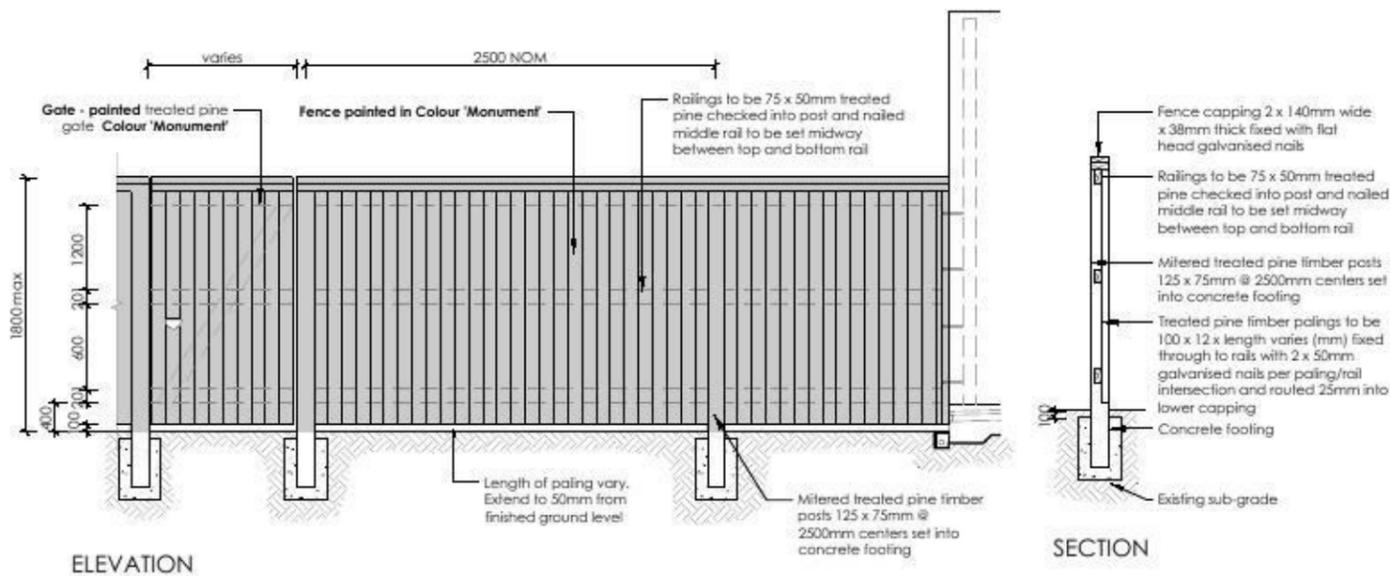


4 Stepping stones in gravel
NTS Low traffic zone

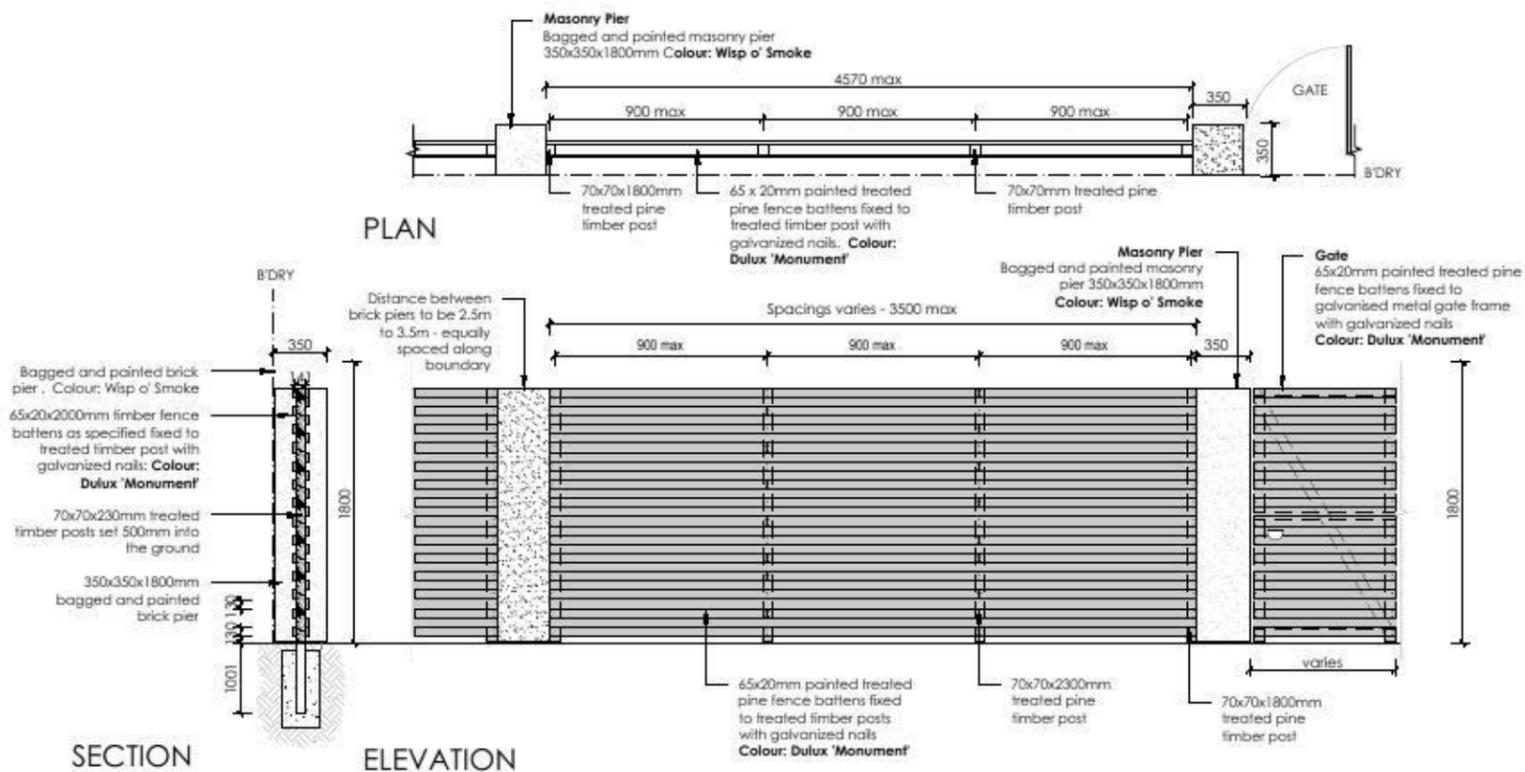
<table border="1"> <tr> <th>NO</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td>1</td> <td>ISSUE FOR CLIENT REVIEW</td> <td>28-02-14</td> <td>BT</td> </tr> </table>	NO	DESCRIPTION	DATE	BY	1	ISSUE FOR CLIENT REVIEW	28-02-14	BT	<p>PO Box 4136, Southport QLD, NSW 2128 PH: 02 9480 7112 Fax: 02 9480 7125 Email: info@ecodeign.com.au Web: www.ecodeign.com.au</p>	<p>LOT 2338 WALSHAW STREET, PENRITH</p>	<p>NEW RESIDENCE</p> <p>LANDSCAPE PLAN</p>					
NO	DESCRIPTION	DATE	BY													
1	ISSUE FOR CLIENT REVIEW	28-02-14	BT													
<p>1. Do not scale from drawings 2. Verify all measurements on site 3. Notify ecodeign of any inconsistencies 4. Copyright © ecodeign. All rights reserved 5. Drawing remains the property of ecodeign</p>	<p>6. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson 8. For application purposes only - NOT FOR CONSTRUCTION</p>	<p>RAWSON HOMES</p>	<table border="1"> <tr> <td>SCALE</td> <td>DATE</td> <td>NO</td> <td>BY</td> </tr> <tr> <td>1:100 @ A3</td> <td>DA</td> <td>02</td> <td></td> </tr> <tr> <td>RS</td> <td>BT</td> <td>28-02-14</td> <td>A</td> </tr> </table>	SCALE	DATE	NO	BY	1:100 @ A3	DA	02		RS	BT	28-02-14	A	
SCALE	DATE	NO	BY													
1:100 @ A3	DA	02														
RS	BT	28-02-14	A													



REVISION	DESCRIPTION	DATE	BY	CHKD	DATE	 PO Box 8116, Southport QLD 4215 Ph: 07 550 7112 Fax: 07 550 7100 Email: info@ecodesign.com.au Web: www.ecodesign.com.au www.ecodesign.com.au	LOT 2338 WALSHAW STREET, PENRITH	NEW RESIDENCE	
A	ISSUE FOR CLIENT REVIEW	02	BT		28-02-14				
1. Do not scale from drawings. 2. Verify all measurements on site. 3. Notify ecodesign of any inconsistencies. 4. Copyright © ecodesign. All rights reserved. 5. Drawing remains the property of ecodesign.						6. All work to comply with relevant Australian Standards or Building Code of Australia. 7. All work to be performed by a suitably qualified tradesperson. 8. For application purposes only - NOT FOR CONSTRUCTION.		SCALE: 1:100 @ A3 DATE: DA 03 DRAWN: RS CHECKED: BT DATE: 28-02-14 PROJECT: A	
RAWSON HOMES									

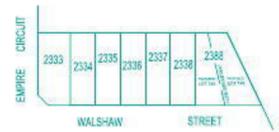


7 FENCE TYPE 4b - Rear Boundary
 1:50 All Laneways (except Barlett Lane)
 Typical detail

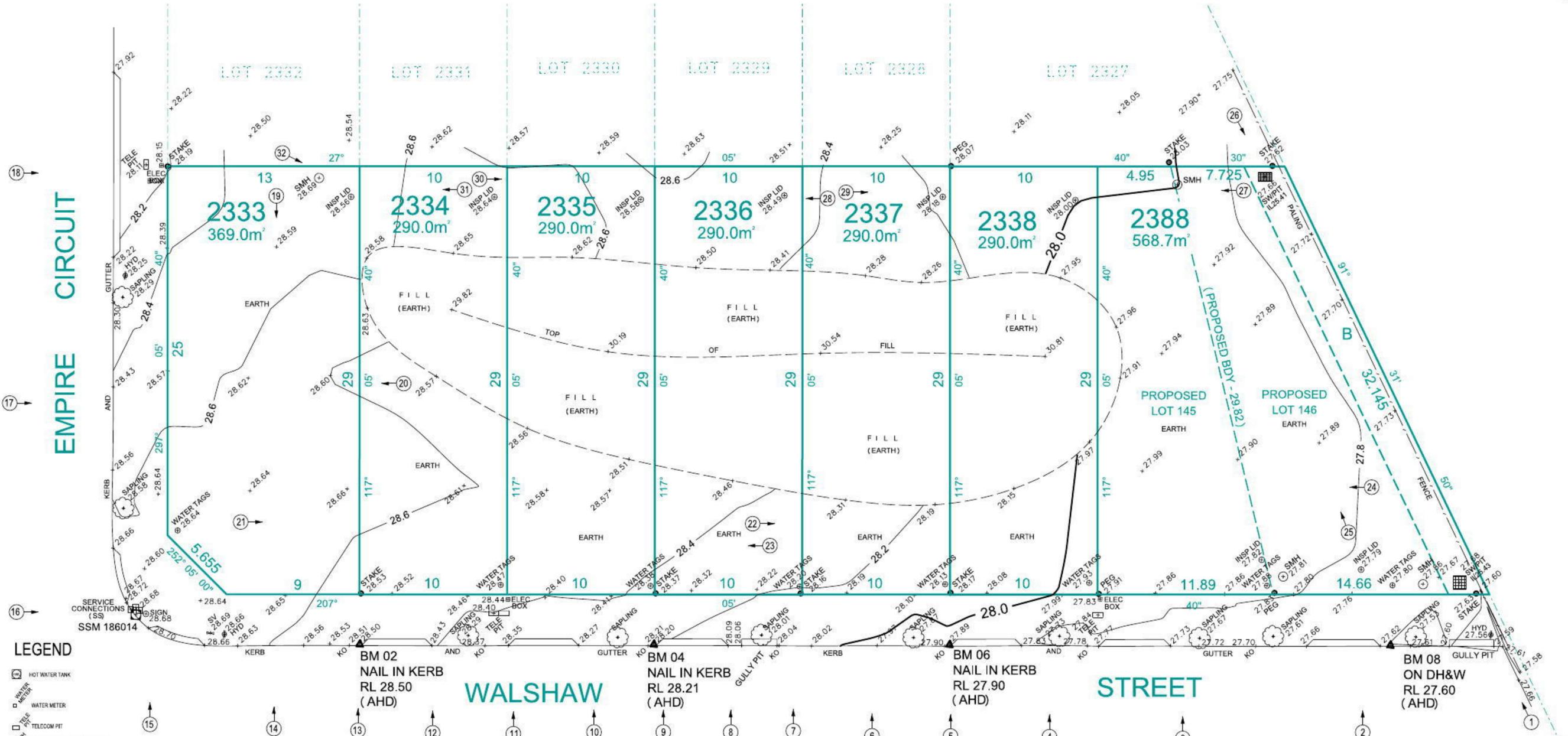


8 FENCE TYPE 2a - Secondary Street Fencing
 1:50 Typical detail

<table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>CHECK</th> </tr> <tr> <td>A.</td> <td>ISSUE FOR CLIENT REVIEW</td> <td>28-02-14</td> <td>BT</td> <td>RS</td> </tr> </table>	NO.	DESCRIPTION	DATE	BY	CHECK	A.	ISSUE FOR CLIENT REVIEW	28-02-14	BT	RS	<p>PO Box 4136, Southport QLD, NSW 2138 Ph: 02 9480 7712 Fax: 02 9480 7702 Email: info@ecodesign.com.au Web: www.ecodesign.com.au</p>	<p>LOT 2338 WALSHAW STREET, PENRITH</p>	<p>NEW RESIDENCE</p>
NO.	DESCRIPTION	DATE	BY	CHECK									
A.	ISSUE FOR CLIENT REVIEW	28-02-14	BT	RS									
<p>1. Do not scale from drawings 2. Verify all measurements on site 3. Notify ecodesign of any inconsistencies 4. Copyright & ecodesign. All rights reserved 5. Drawing remains the property of ecodesign</p>	<p>6. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson 8. For application purposes only - NOT FOR CONSTRUCTION</p>	<p>RAWSON HOMES</p>	<p>LANDSCAPE PLAN</p>										
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1:100 @ A3	DA	04											
			<table border="1"> <tr> <td>DATE</td> <td>BY</td> <td>CHK</td> <td>DATE</td> </tr> <tr> <td>RS</td> <td>BT</td> <td>RS</td> <td>28-02-14</td> </tr> </table>	DATE	BY	CHK	DATE	RS	BT	RS	28-02-14	<p>A</p>	
DATE	BY	CHK	DATE										
RS	BT	RS	28-02-14										



MGA (TRUE)



- LEGEND**
- HOT WATER TANK
 - WATER METER
 - WATER TAP
 - TELECOM PIT
 - MANHOLE (SEWER/STORMWATER)
 - VEHICLE CROSSING
 - KERB INLET PIT
 - LIGHT POLE
 - ELECTRICITY POLE
 - ELECTRICITY PILLAR
 - HYDRANT
 - STOP VALVE
 - KERB OUTLET
 - SERVICE CONDUIT
 - TREE (DIAM/HEIGHT)
 - GARDEN BED
 - SHRUB
 - DENOTES PHOTO POINT

SSM 186014

BM 02
 NAIL IN KERB
 RL 28.50
 (AHD)

BM 04
 NAIL IN KERB
 RL 28.21
 (AHD)

BM 06
 NAIL IN KERB
 RL 27.90
 (AHD)

BM 08
 ON DH&W
 RL 27.60
 (AHD)

EMPIRE CIRCUIT

WALSHAW STREET

B: EASEMENT TO DRAIN WATER 2.5 WIDE
 NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

WARNING - UNREGISTERED PLAN
 THIS CONTOUR AND DETAIL SURVEY IS BASED UPON AN UNREGISTERED PLAN. ALL BOUNDARIES AND EASEMENTS ARE UNREGISTERED AND MAY BE AMENDED TO SUIT THE REQUIREMENTS OF COUNCIL OR THE LAND TITLES OFFICE. THIS INFORMATION MUST BE VERIFIED UPON REGISTRATION. NO FURTHER INVESTIGATION HAS BEEN UNDERTAKEN TO DISCLOSE EASEMENTS ETC OMITTED FROM THE UNREGISTERED PLAN. STRUCTERRE SURVEYING CAN ACCEPT NO LIABILITY FOR ANY LOSS OR DAMAGE HOWSOEVER ARISING, TO ANY PERSON OR CORPORATION, DUE TO OMISSIONS, ERRORS OR VARIATIONS ON THE UNREGISTERED PLAN. COPIES OF THIS CONTOUR PLAN MUST NOT BE REPRODUCED WITHOUT THIS NOTICE.



DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM
 ORIGIN OF LEVELS: SSM 186014 RL 28.445
 SOURCE OF LEVELS: SCIMS

No.	AMENDMENT	DATE
F		
E		
D		
C		
B		
A		

CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
 DIMENSIONS AND AREAS HAVE BEEN DETERMINED FROM PLANS MADE AVAILABLE AT LPI, NSW AND ARE SUBJECT TO FINAL SURVEY.
 SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH ACCURATE POSITION AND DEPTH OF ANY SERVICES.
 DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE

STRUCterre
 surveying
 REGISTERED SURVEYORS & LAND INFORMATION CONSULTANTS
 Suite 1, Level 2, 42 Birnie Avenue Lidcombe, NSW 2141
 Phone: 9646 5811, Fax: 9646 2311
 Email: info@struc.com.au
www.struc.com.au

SCALE 1: 200 A2

DRAWN: IS	JOB 2070/301668	DATE: 08.10.2014
CHECKED: GT	FILE NAME 301668	DATUM: AHD

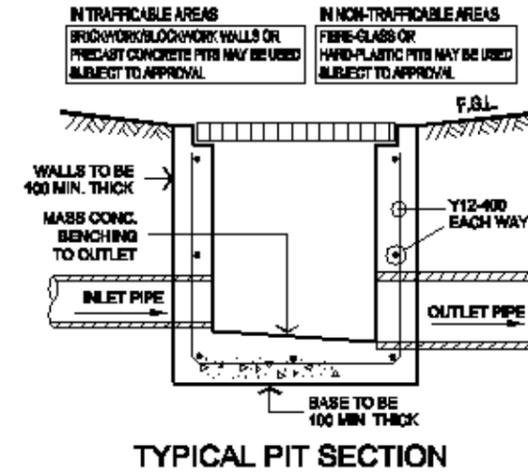
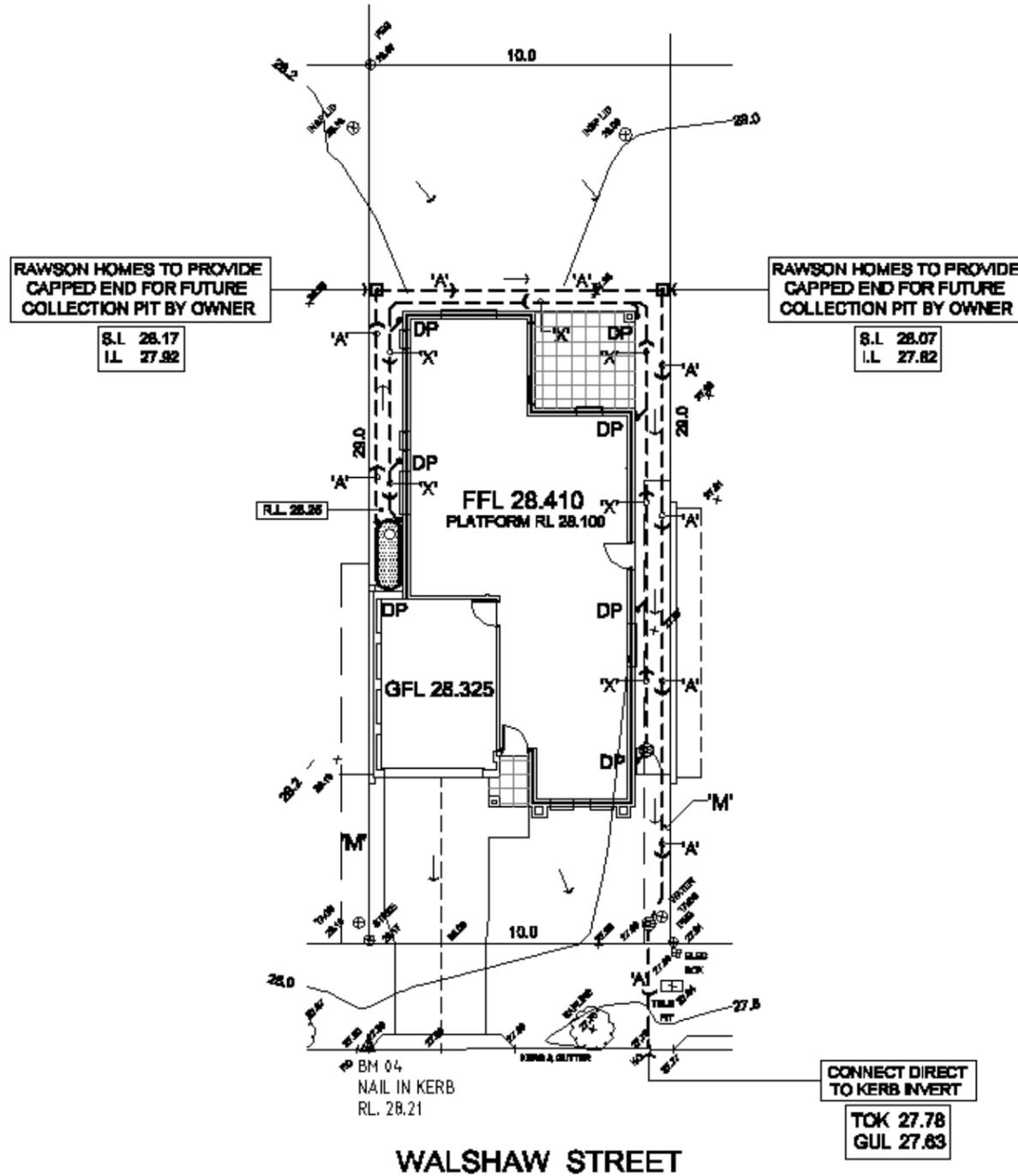
DETAIL & CONTOUR SURVEY
 LOT 2333-2338 & 2388 DP UNREGISTERED
 AT WALSHAW STREET, PENRITH

CLIENT: RAWSON HOMES	REF:
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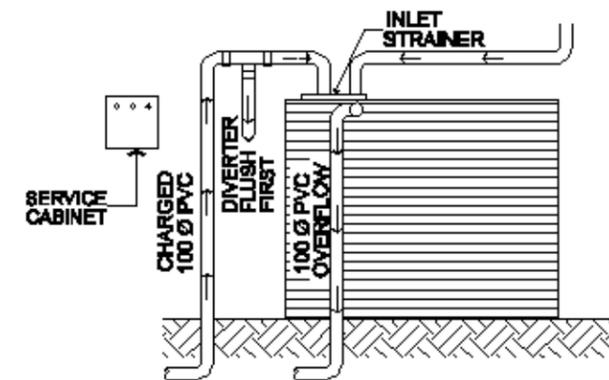
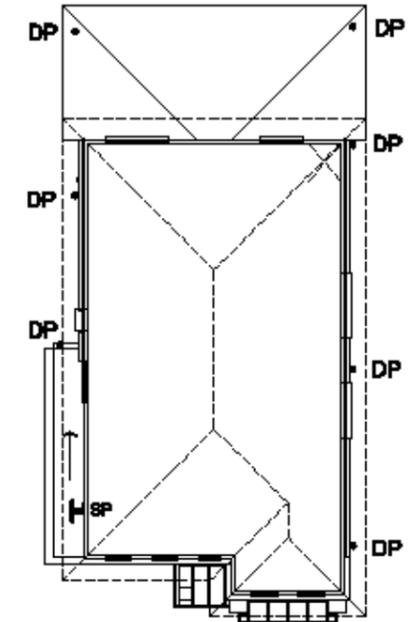
SITE STORMWATER MANAGEMENT LAYOUT
SCALE 1:200/A3



PIPE SCHEDULE			
TAG	SIZE	MATERIAL	DESCRIPTION
'A'	100 Ø	P.V.C	REGULAR GRAVITY PIPE
'B'	150 Ø	P.V.C	REGULAR GRAVITY PIPE
'X'	100 Ø	P.V.C	CHARGED TO FEED RAINWATER TANK



- RAINWATER TANK AS SHOWN ON PLAN
- PROVIDE A RAINWATER TANK 3000L IN CAPACITY TO SUIT ALL BASIX REQUIREMENTS. TANK TO BE CONNECTED AS SPECIFIED IN BASIX REPORT.
- ENSURE ALL CONNECTIONS WITHIN CHARGED SYSTEM ARE SOLVENT WELDED
- ALL DOWNPIPES ARE TO BE ENTIRELY PVC. PIPES ARE TO BE SEALED UP TO US OF ROOF GUTTERS
- ROOF GUTTERS I.L. 30.77
TANK INLET I.L. 30.07
HEAD PRESSURE - 700mm



'M': EASEMENT FOR MAINTENANCE 0.9 WIDE

STORMWATER LAYOUT NOTES	
1) PITS DEEPER THAN 600mm TO BE 800 X 800 W, SLAB 375 SQ U.N.O.	COMMENCING ANY WORKS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
2) ALL PIPES TO HAVE 1% MIN. GRADE U.N.O.	6) DRIVEWAY LEVELS PROVIDED FOR DRAINAGE DESIGN PURPOSES ONLY. LEVELS MAY BE ADJUSTED TO SUIT FINAL HOUSE CUT/FILL CONDITIONS BUT NEED TO MAINTAIN INTENT OF DRAINAGE SYSTEM. ENGINEER TO BE CONSULTED PRIOR TO CONSTRUCTION TO ENSURE INTENT MAINTAINED.
3) ALL DOWNPIPES TO BE 100 X 90 BOX OR 90 Ø.	8) END OF EXISTING DRAINAGE LINE TO BE EXPOSED & LEVELS CONFIRMED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
4) PIPES TO BE U.P.V.C. OR STORMWATER PIPE TO A.S.1284.	10) BUILDERS TO ENSURE SERVICES CONNECTIONS TO HOUSE DO NOT CONFLICT WITH DRAINAGE DESIGN REQUIREMENTS.
5) PITS TO BE STANDARD PRECAST CONCRETE PITS OR BRICK RENDERED WITH CONCRETE HEAVY DUTY GRATES SIZED AS PITS PER PLAN.	11) ALL WORKS TO BE CONSTRUCTED TO GOOD BUILDING PRACTICE & MATERIALS TO MEET ACCEPTED SPECIFICATIONS.
6) NO SEWER VENTS, GULLY PITS OR SIMILAR TO BE LOCATED BELOW THE MAXIMUM WATER SURFACE LEVEL IN DETENTION BASINS.	
7) PERSONS UTILISING THIS PLAN FOR ANY PURPOSES SHALL VERIFY THE DATUM & RESPECTIVE LEVELS PRIOR TO	

LEGEND			
P1	PIT LABEL	G.F.L.	GARAGE FLOOR LEVEL
[Symbol]	SLUMP PIT	+0.00	EXISTING REDUCED LEVEL
[Symbol]	300x300 FLOOR GULLY	+R.L. 157.00	PROPOSED REDUCED LEVEL
[Symbol]	100x100 GARDEN GULLY	DP	DOWNPIPE
[Symbol]	DRAINAGE PIPE	[Symbol]	SPITTER/SPREADER
[Symbol]	AERIAL PIPE	[Symbol]	CLEANING EYE
S.L.	SURFACE LEVEL	[Symbol]	SEDIMENT FENCE
I.L.	INVERT LEVEL	[Symbol]	AG LINE
F.F.L.	FINISHED FLOOR LEVEL	[Symbol]	OVERLAND FLOW

alw design

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PROJECT: PROPOSED RESIDENTIAL DWELLING AT LOT 2338 WALSHAW STREET, THORNTON NSW
DRAWING: SITE STORMWATER MANAGEMENT LAYOUT

DESIGNED	DRAWN	CHECKED	APPR. DATE
AW	AW	ANDREW L WAHBE - BE (CIVIL)	03/11/14
A	ISSUED FOR DEVELOPMENT APPLICATION		
ISSUE	REVISION DESCRIPTION		

JOB NUMBER: SW14468
DRAWING NUMBER: SW14468 - 81