

NOTE:

FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.

FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

Proposed Site Analysis Plan

SCALE 1:200

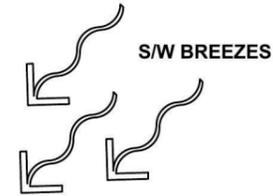
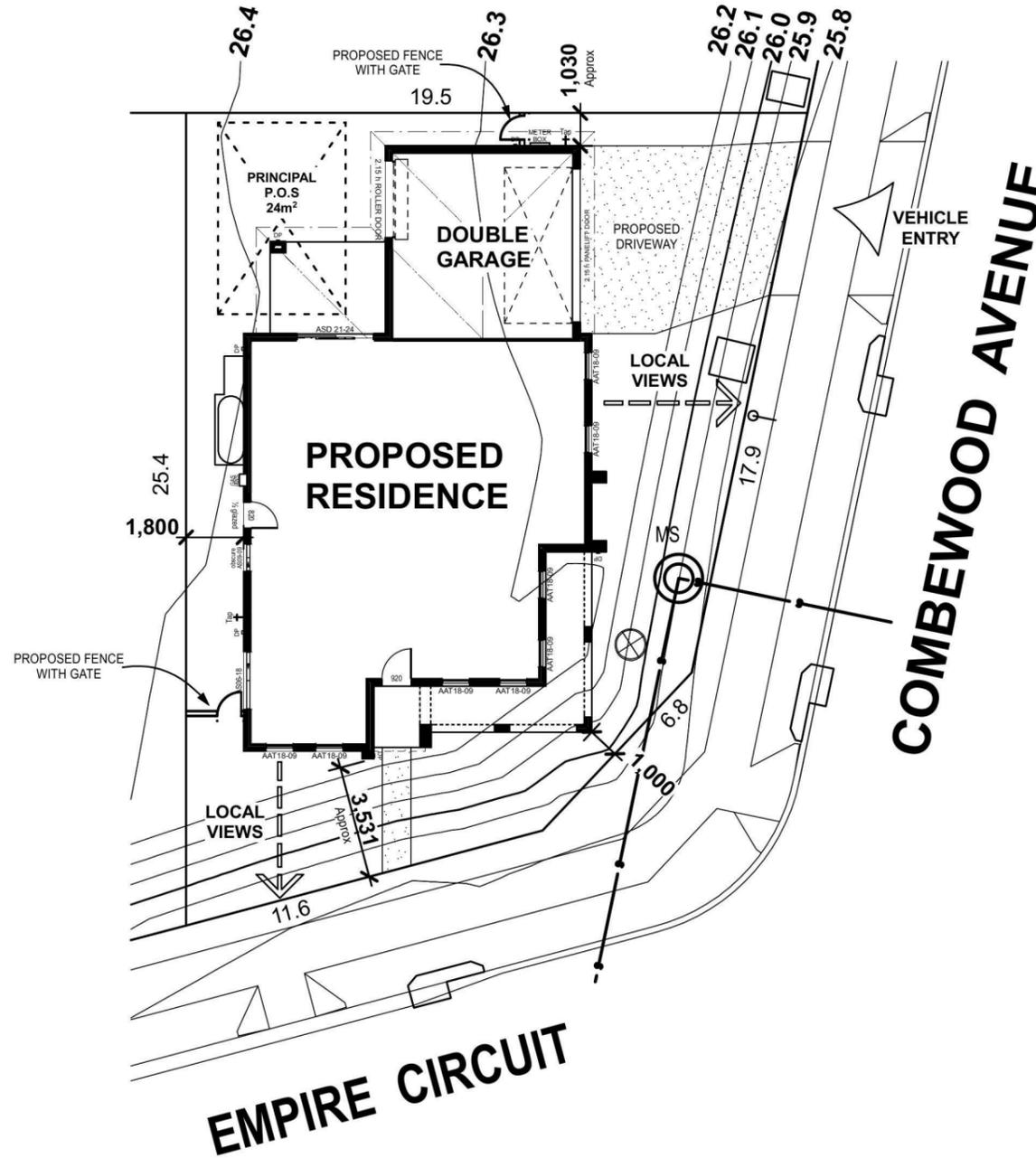
NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



NORTH
LOT 2205
392.7m²

NORTH PENRITH "THORNTON" REQUIREMENTS:

SITE AREA: 392.7m²
PRIVATE OPEN SPACE:
REQUIRED: 20% or 78.54m²
ACHIEVED: 20% or 78.69m²
LANDSCAPE AREA:
ACHIEVED: 36% or 140.55m²
CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES



	Energy Rating	Certificate Number 15430311
<input checked="" type="checkbox"/>	single-dwelling rating	4.5 stars
<input type="checkbox"/>	multi-unit development (attach listing of ratings)	heating 72.6 MJ/m ²
		cooling 43.4 MJ/m ²
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number <u>Luis Contigiani</u> BDAV/13/1543		
Assessor Signature <u>[Signature]</u> Date 12.05.2014		

ALL GLAZING TO BE NFRC VALUE OF UW = 6.50 OR LESS AND SHGCw = 0.70 +/- 10% SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

Plot Date
Wed 11 Jun 2014

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.



Suite 1, Level 1,
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P.O. Box 95 Hoxton Park,
N.S.W. 2171.
Telephone (02) 9825 8000
Fax (02) 9825 8110
Builders Licence No. 92732C

Revision	Date	Amendment
B	04.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	27.03.14	CONTRACT DRAWINGS - BT

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Proposed Residence
at Lot : 2205
Empire Circuit,
Penrith. (Thornton)

Client :
Champion Homes
Sheet Size: A3 Date: 27.03.14 Drawn:BT
Design :
Torino 339
Job No. **3158N** Sheet 2 of 11

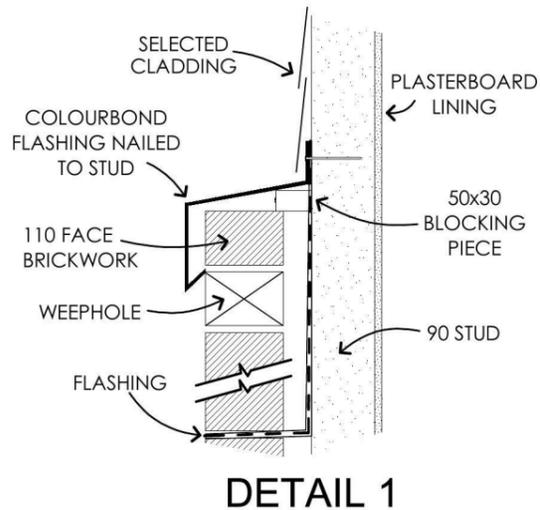
PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

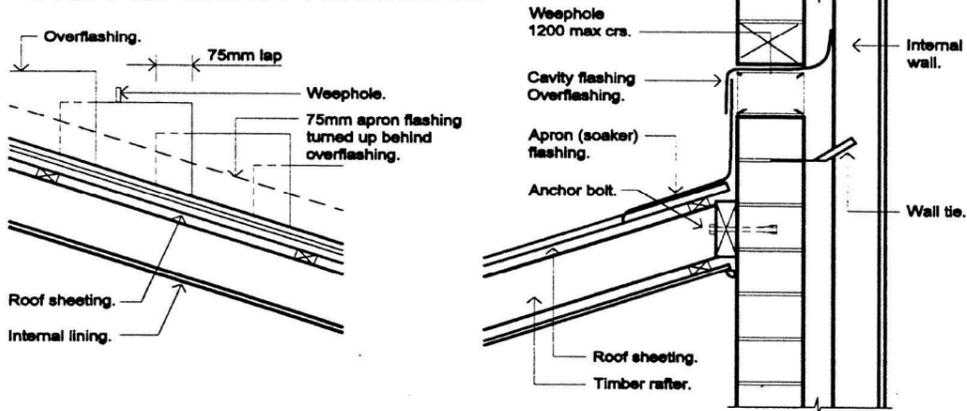


Northern Elevation

SCALE 1:100



STEPPED CAVITY FLASHINGS



Southern Elevation

SCALE 1:100

Energy Rating Certificate Number **15430311**

single-dwelling rating **4.5** stars

multi-unit development (attach listing of ratings) heating **72.6** MJ/m²

cooling **43.4** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani BDAV/13/1543**

Assessor Signature *[Signature]* Date **12.05.2014**

ALL GLAZING TO BE NFRC VALUE OF UW = 6.00 OR LESS AND SHGC = 0.70 +/- 10% SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

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SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
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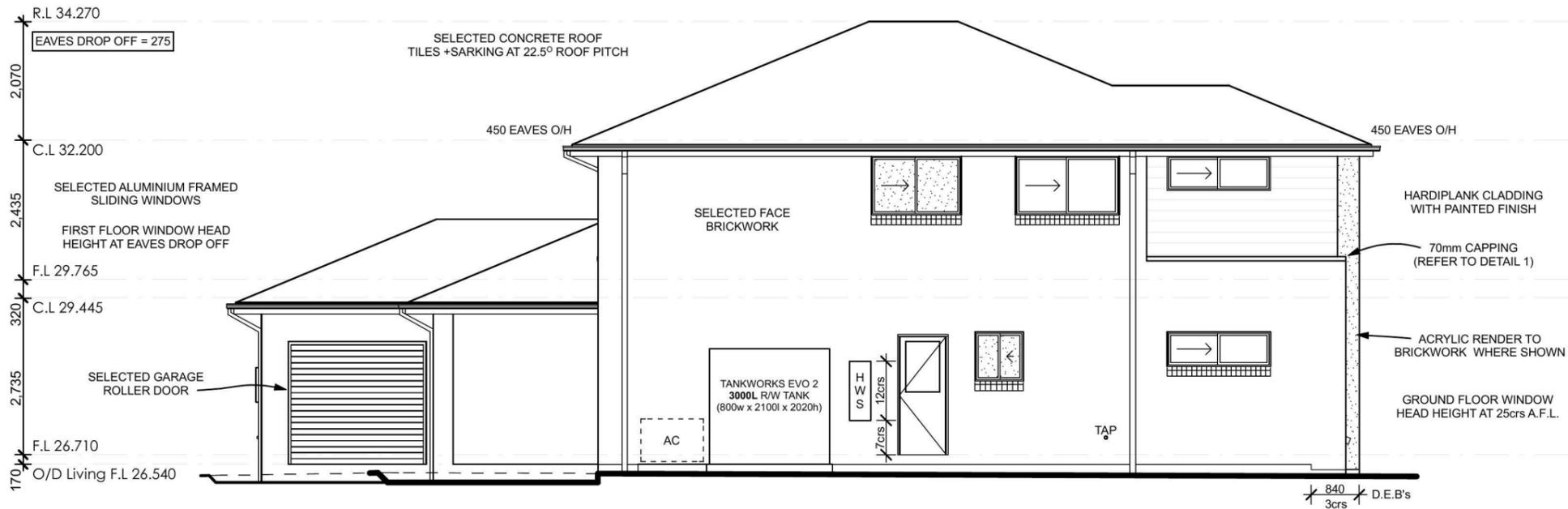
Plot Date
Wed 11 Jun 2014

Client :
Champion Homes

Sheet Size: A3 Date: 27.03.14 Drawn:BT

Design :
Torino 339

Job No. **3158N** Sheet 8 of 11



Energy Rating Certificate Number **15430311**

single-dwelling rating **4.5** stars

multi-unit development (attach listing of ratings) heating **72.6** MJ/m²

cooling **43.4** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani** BDAV/13/1543

Assessor Signature *[Signature]* Date **12.05.2014**

ALL GLAZING TO BE NFRC VALUE OF U_w = 0.65 OR LESS AND SHGC_w = 0.70 ± 10% SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

Eastern Elevation

SCALE 1:100



Western Elevation

SCALE 1:100

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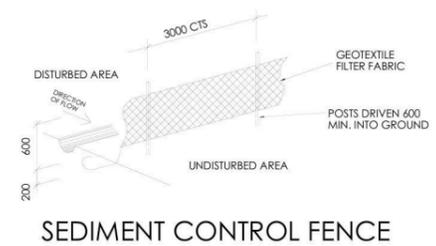
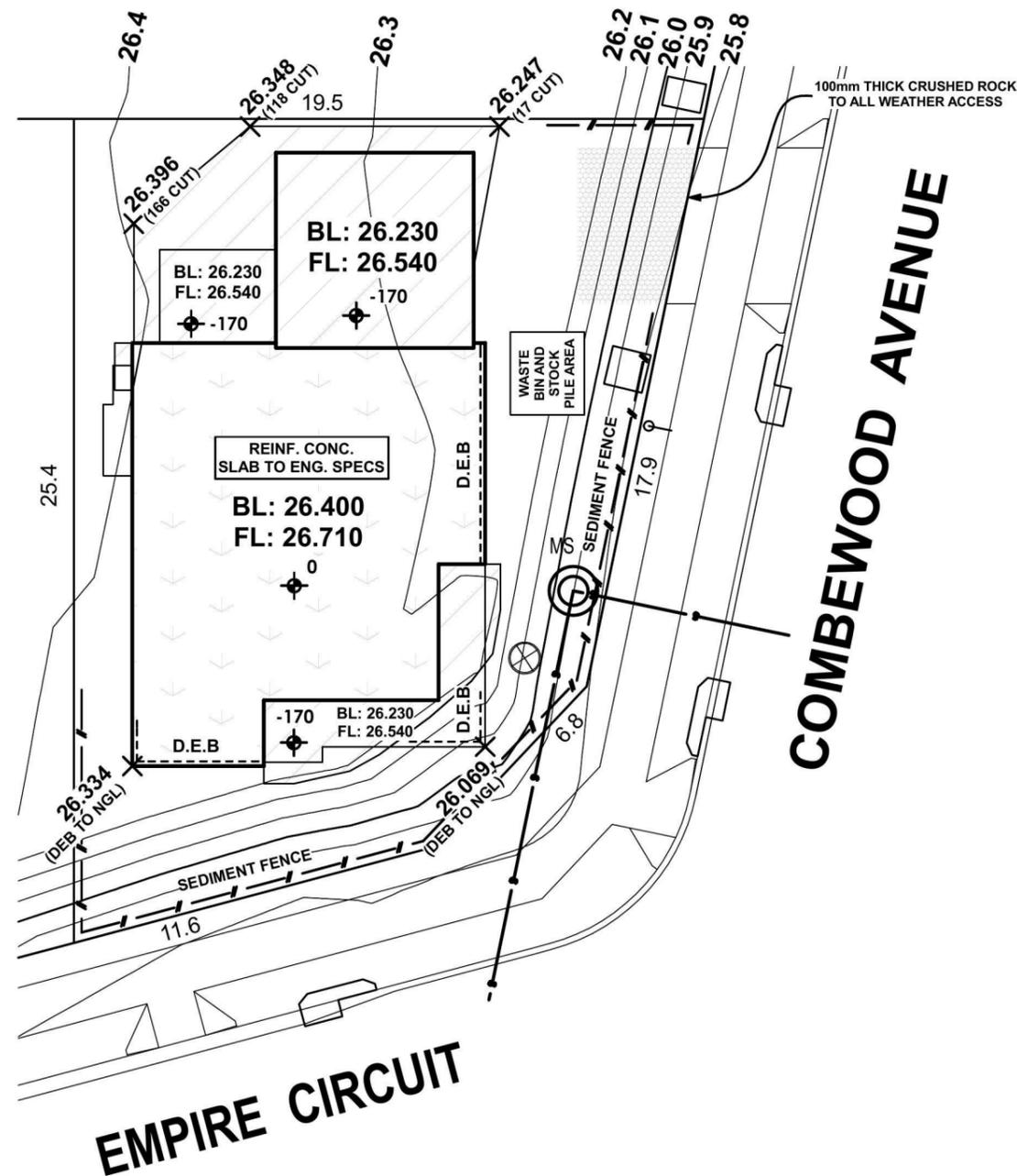
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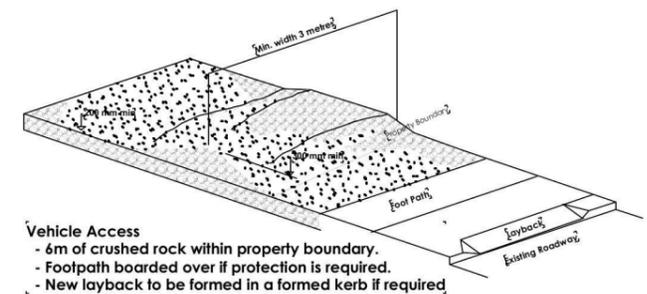
Design :
Torino 339

Job No. **3158N** Sheet 9 of 11

NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



SITE PLAN
ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



Energy Rating		Certificate Number	15430311
<input checked="" type="checkbox"/>	single-dwelling rating	stars	4.5
<input type="checkbox"/>	multi-unit development (attach listing of ratings)	heating	72.6 MJ/m ²
		cooling	43.4 MJ/m ²
Recessed downlights confirmation:		<input checked="" type="checkbox"/> Rated with	<input type="checkbox"/> Rated without
Assessor Name/Number		Luis Contigiani	BDAV/13/1543
Assessor Signature		<i>[Signature]</i>	Date 12.05.2014

ALL GLAZING TO BE NFRC VALUE OF UW = 6.56 OR LESS AND SHGCw = 0.70 +/- 10% SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

Plot Date
Wed 11 Jun 2014

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SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED
Wind Speed : Class = N2

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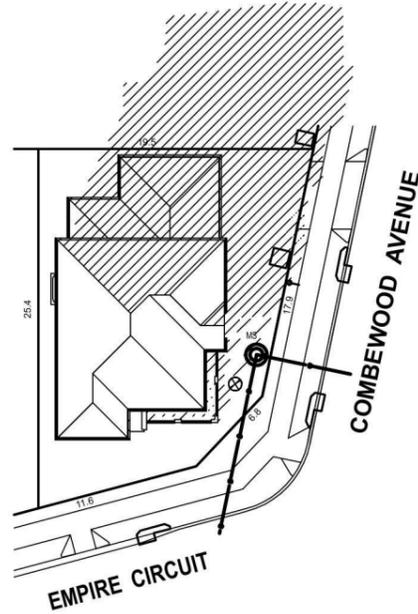
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Design :
Torino 339
Job No. **3158N** Sheet 3 of 11

Shadow Diagrams

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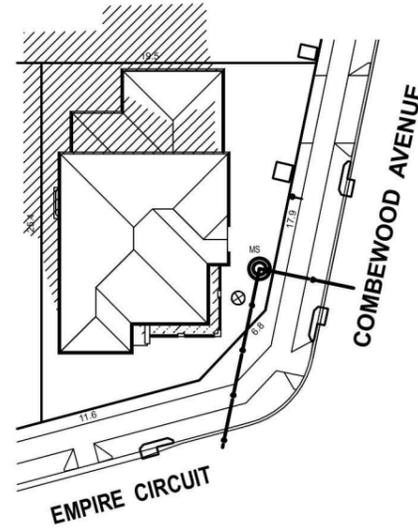
NORTH
LOT 2205
392.7m²



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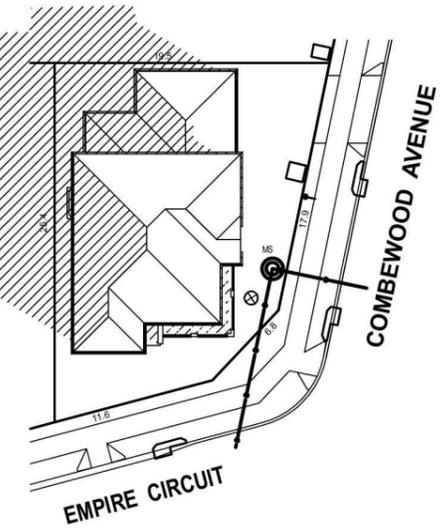
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392.7m²



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NORTH
LOT 2205
392.7m²



June 21st - 9am
SCALE 1:500

June 21st - 12noon
SCALE 1:500

June 21st - 3pm
SCALE 1:500

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Design :
Torino 339
Job No. **3158N** Sheet 4 of 11

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Proposed Site & Drainage Plan

SCALE 1:200

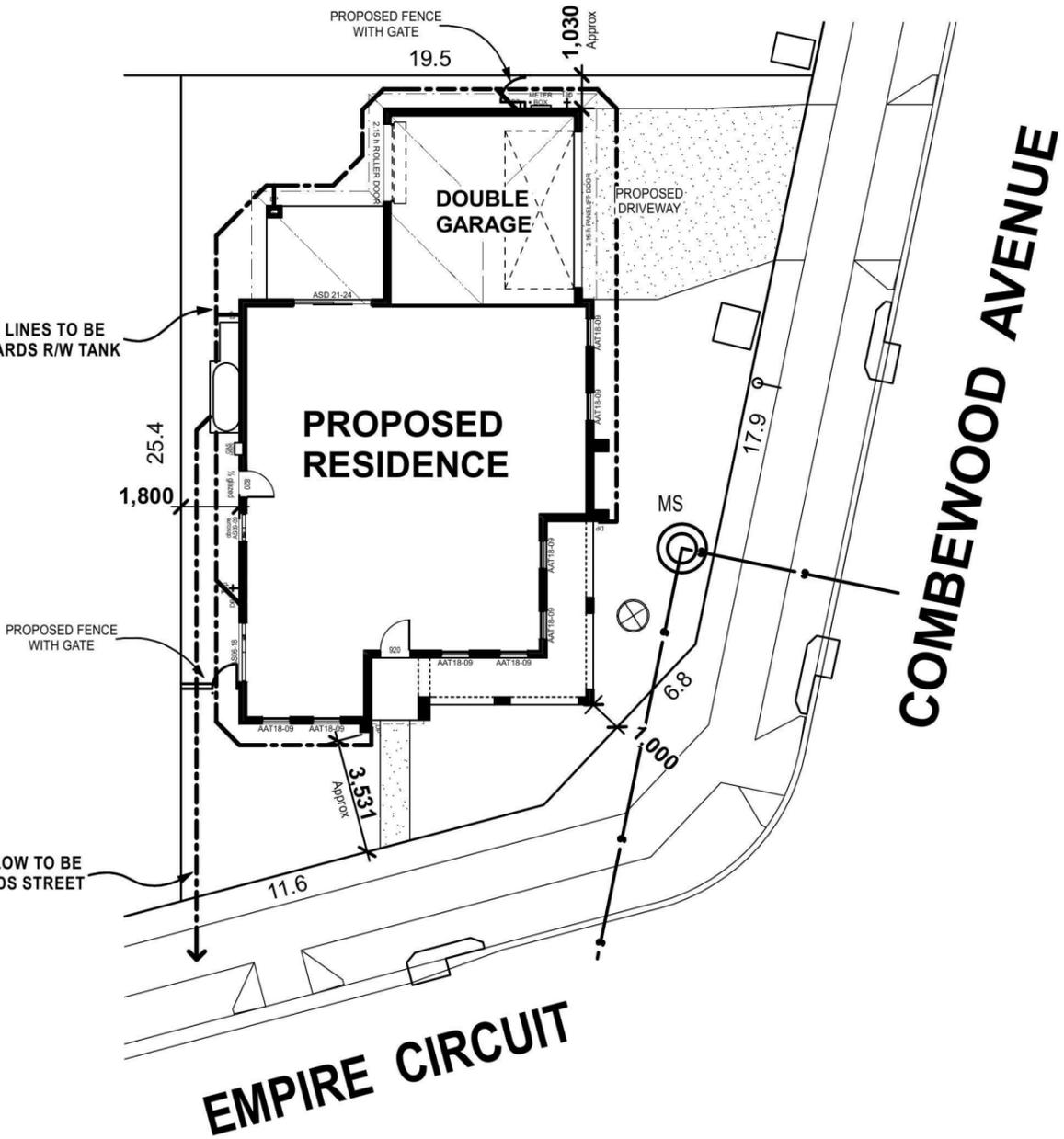
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NORTH
LOT 2205
392.7m²

SUPPLEMENTARY B.C.A ENERGY EFFICIENCY CLAUSES FOR NATHERS / BASIX ASSESSMENTS

3.12.1.1	Building fabric thermal insulation	Any Insulation installation required by plans must be fitted in alignment with this clause.
3.12.1.2 (e)		Recompense for any reduced ceiling insulation is required to comply with this clause (any downlights installed must be non - ventilated). Recompense for loss of any ceiling insulation is not necessary when suitable approved non - ventilated down light covers are supplied, as these provide continuous flow of insulation.
3.12.3.3	External Windows & Doors	The sealing of any windows or doors must be in conformity with this clause.
3.12.3.4	Exhaust Fans	Refer to Current B.C.A for Detailed specification
3.12.3.5	Construction of Roofs, Walls & Floors	The sealing of roofs , walls and / or floors must align with this clause.
3.12.5.0	Acceptable Construction Manuals	Installation of any hot water systems must abide by this clause.
3.12.5.1	Insulation of Services	Installation of any services must observe requirements of this clause.
3.12.5.3	Heating & Cooling Ductwork	Ductwork insulation to cooling & heating systems must abide by this clause.



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Do not assume - if in doubt ASK.

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IS TO BE CONFIRMED

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Torino 339
Job No. **3158N** Sheet 1 of 11

	Energy Rating	Certificate Number 15430311
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Plot Date
Wed 11 Jun 2014

Lot 2205 Empire

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aw	Agapanthus 'White'	White Agapanthus	58	200mm	0.5m
Cpl	Camellia sasanqua 'Paradise Pearl'	Camellia	32	200mm	2m
Gfs	Gardenia 'Four Seasons'	Four Seasons Gardenia	12	200mm	1m
Lcb	Loropetalum chinense var. rubrum 'Burgundy'	Pink Fringe Flower	12	300mm	1-1.5m
Mlg	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1	75L	4m
Vh	Viola hederacea	Native Violet	10	150mm	0.1m

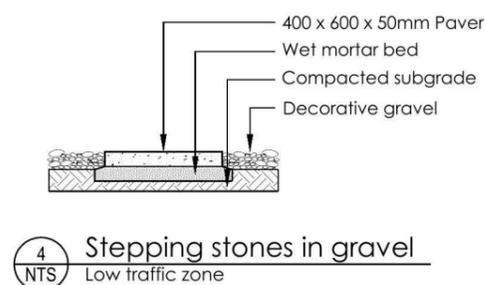
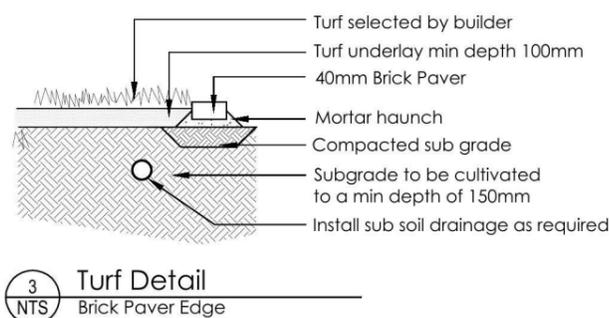
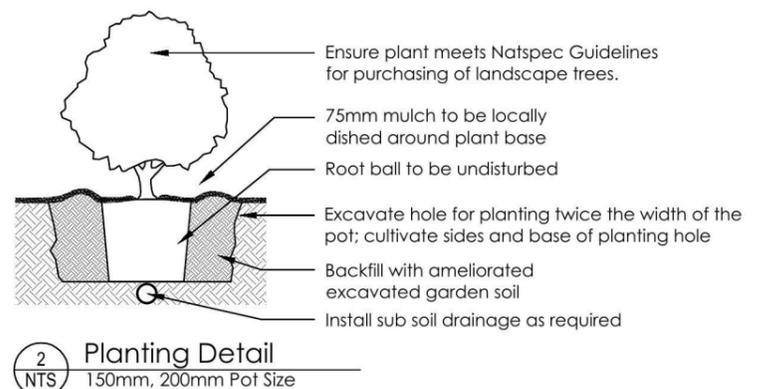
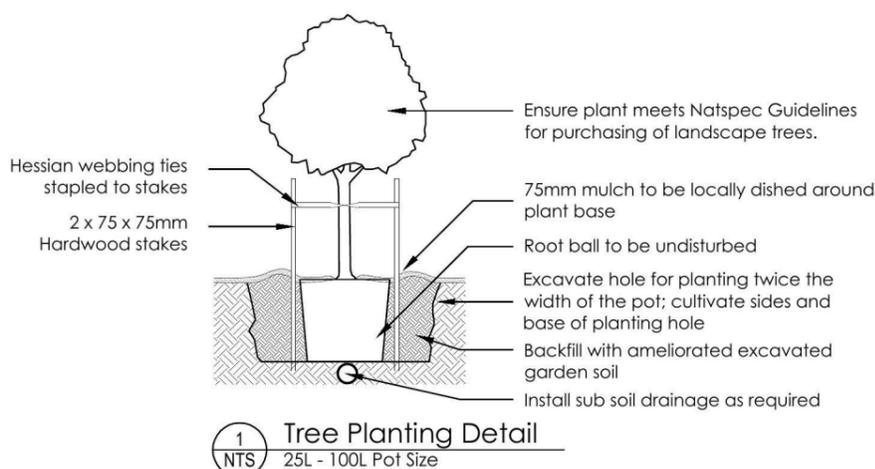
LOT PLANTING SUMMARY

Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
125	32	58	35	1

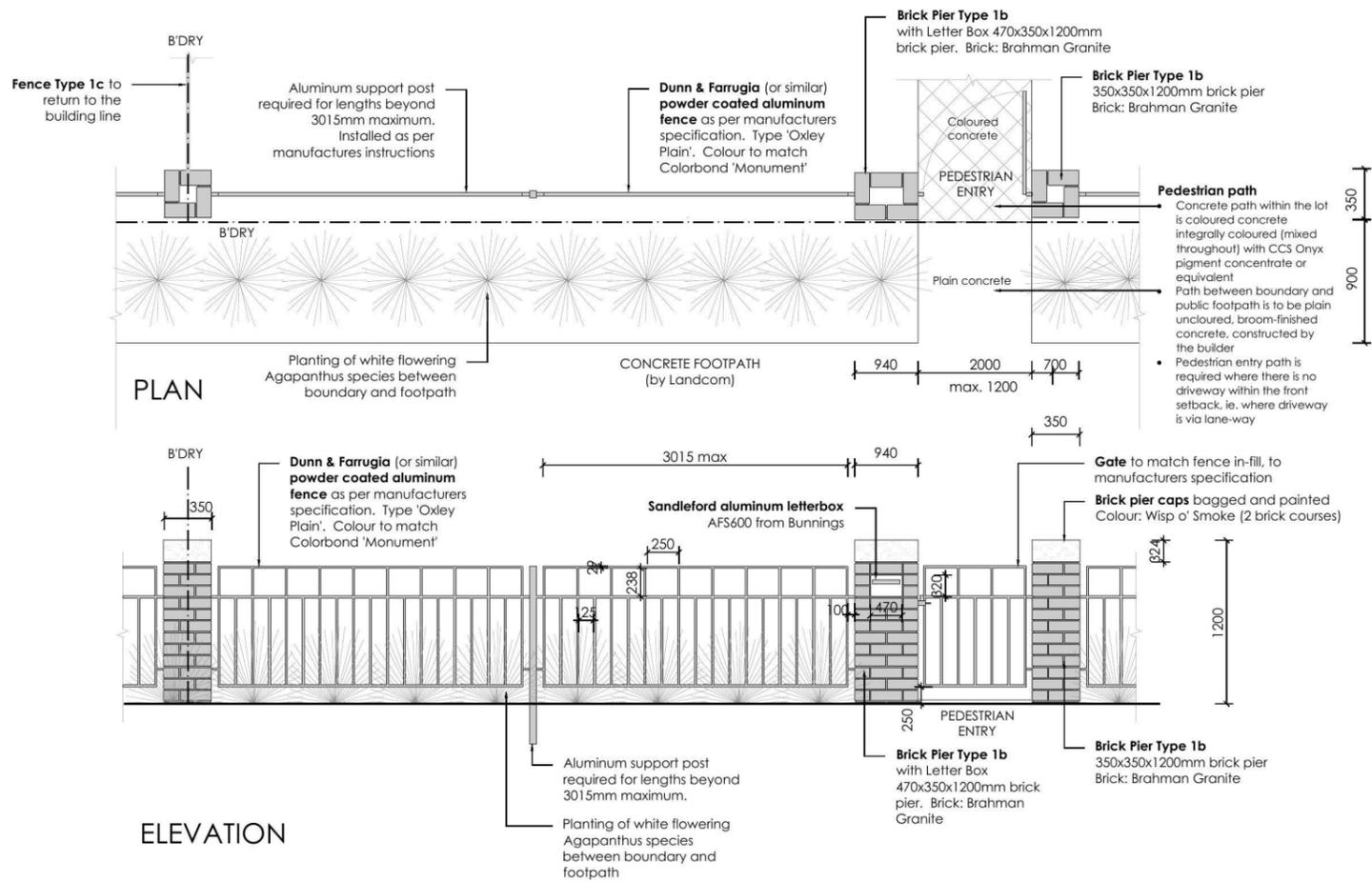
Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)

LEGEND

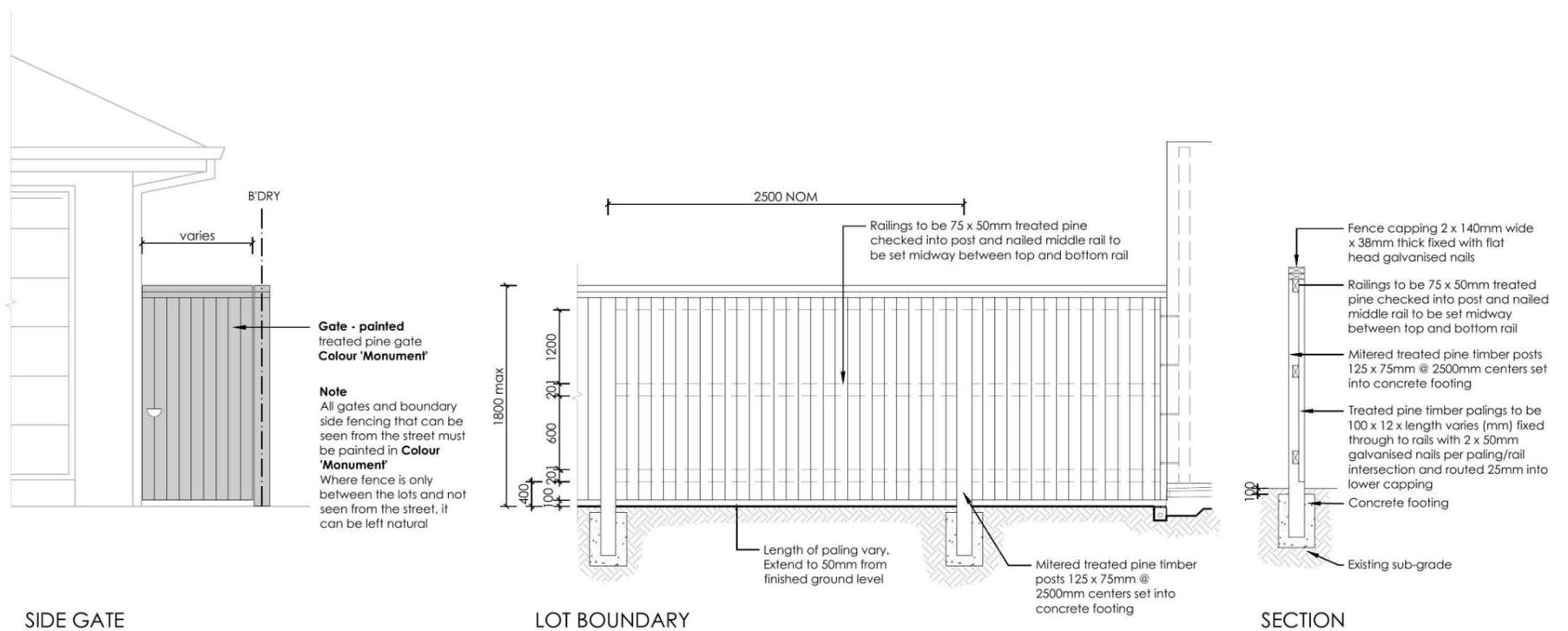
- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Boundary
- Garden edging
- Masonry retaining walls
- Existing contours
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels



<table border="1"> <thead> <tr> <th>REVISION</th> <th>DESCRIPTION</th> <th>DRAWN</th> <th>CHECK</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>ISSUE COLOUR PLAN FOR CLIENT REVIEW</td> <td>RS</td> <td>BT</td> <td>04-05-14</td> </tr> <tr> <td>B</td> <td>AMEND TO BUILDERS MARK UP</td> <td>RS</td> <td>RS</td> <td>08-05-14</td> </tr> </tbody> </table>	REVISION	DESCRIPTION	DRAWN	CHECK	DATE	A	ISSUE COLOUR PLAN FOR CLIENT REVIEW	RS	BT	04-05-14	B	AMEND TO BUILDERS MARK UP	RS	RS	08-05-14	<p>ecodeign outdoor living environments</p> <p>PO Box 8136, Baulkham Hills NSW 2153 Ph: (02) 9480 7712 Fax: (02) 9480 7705 Email: info@ecodeign.com.au Web: www.ecodeign.com.au Member of the Australian Institute of Landscape Designers and Managers</p>	<p>ADDRESS LOT 2205 COMBWOOD AVE, PENRITH</p>	<p>PROJECT NEW RESIDENCE</p> <p>DRAWING LANDSCAPE PLAN</p> <p>SCALE 1:100 @ A3</p> <p>ISSUE DA</p> <p>SHEET 02</p> <p>DRAWN RS</p> <p>CHECK RS</p> <p>DATE 08-05-14</p> <p>REVISION B</p>	<p>CLIENT CHAMPION HOMES</p>
REVISION	DESCRIPTION	DRAWN	CHECK	DATE															
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B	AMEND TO BUILDERS MARK UP	RS	RS	08-05-14															



5 **FENCE TYPE 1b - Front Fence**
1:50 Typical detail



6 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail

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B	AMEND TO BUILDERS MARK UP	RS	RS	08-05-14

ecodesign
outdoor living environments

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Ph: (02) 9480 7712 Fax: (02) 9480 7705
Email: info@ecodesign.com.au
Web: www.ecodesign.com.au
Member of the Australian Institute of Landscape Designers and Managers

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2. Verify all measurements on site
3. Notify ecodesign of any inconsistencies
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5. Drawing remains the property of ecodesign

6. All work to comply with relevant Australian Standards or Building Code of Australia
7. All work to be performed by a suitably qualified tradesperson
8. For application purposes only - NOT FOR CONSTRUCTION

PROJECT: **NEW RESIDENCE**

ADDRESS: **LOT 2205 COMBWOOD AVE, PENRITH**

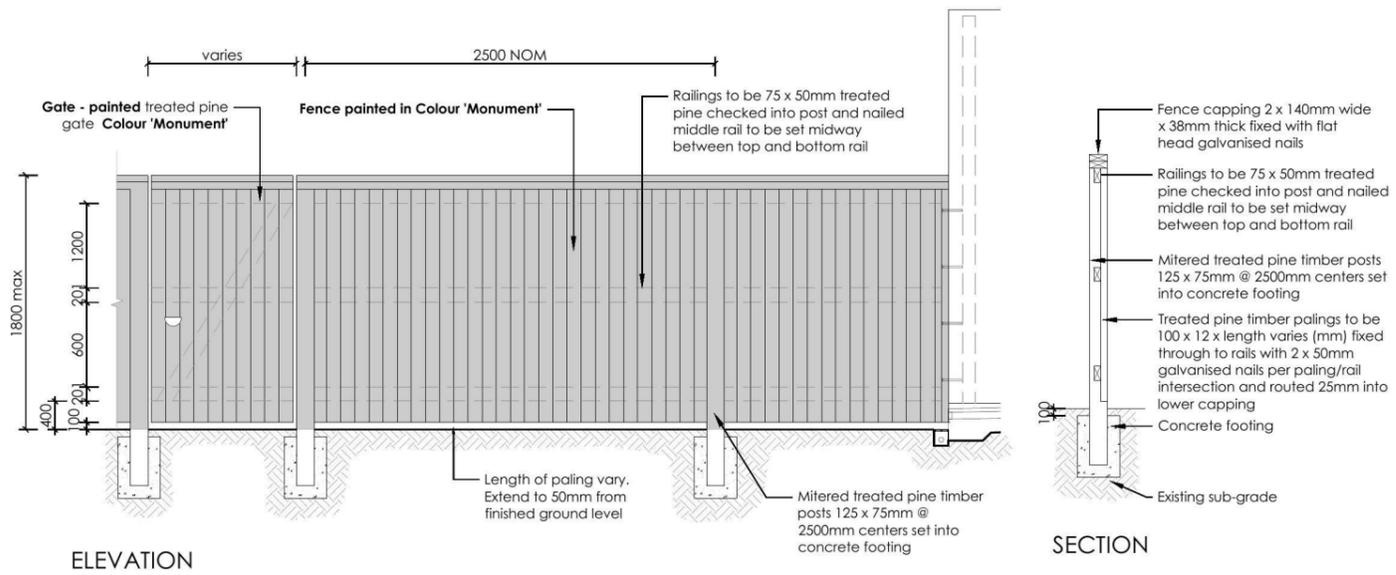
CLIENT: **CHAMPION HOMES**

DRAWING: **LANDSCAPE PLAN**

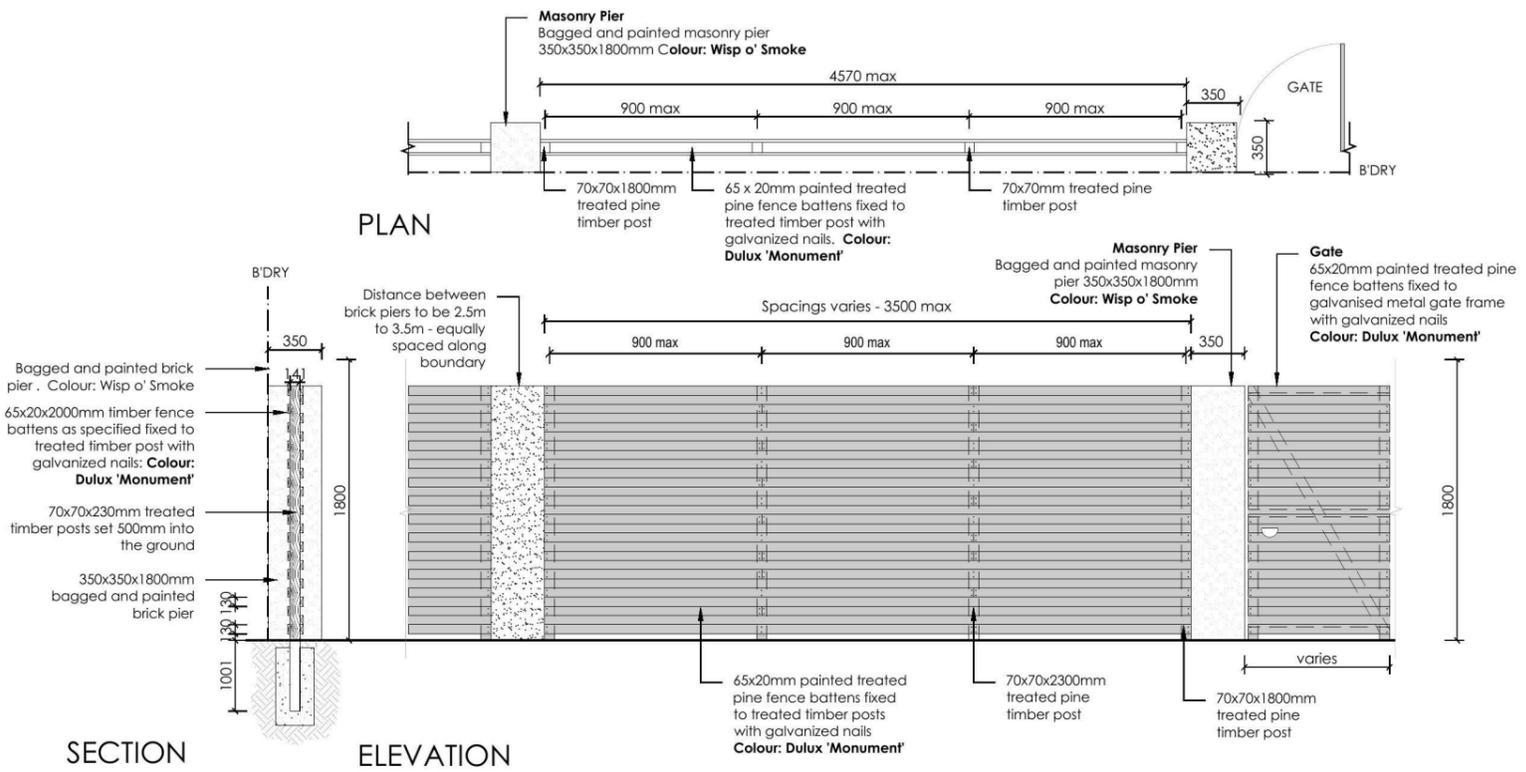
SCALE: **1:100 @ A3**

ISSUE: **DA** SHEET: **03**

DRAWN: **RS** CHECK: **RS** DATE: **08-05-14** REVISION: **B**



7 **FENCE TYPE 4b - Rear Boundary**
 1:50 All Laneways (except Barlett Lane)
 Typical detail



8 **FENCE TYPE 2a - Secondary Street Fencing**
 1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLAN FOR CLIENT REVIEW	RS	BT	04-05-14
B	AMEND TO BUILDERS MARK UP	RS	RS	08-05-14

ecodesign
 outdoor living environments

PO Box 8136, Baulkham Hills NSW 2153
 Ph: (02) 9480 7712 Fax: (02) 9480 7705
 Email: info@ecodesign.com.au
 Web: www.ecodesign.com.au
 Member of the Australian Institute of Landscape Designers and Managers

- Do not scale from drawings
- Verify all measurements on site
- Notify ecodesign of any inconsistencies
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- All work to comply with relevant Australian Standards or Building Code of Australia
- All work to be performed by a suitably qualified tradesperson
- For application purposes only - NOT FOR CONSTRUCTION

PROJECT	NEW RESIDENCE
ADDRESS	LOT 2205 COMBWOOD AVE, PENRITH
CLIENT	CHAMPION HOMES

PROJECT	NEW RESIDENCE
DRAWING	LANDSCAPE PLAN
SCALE	1:100 @ A3
DATE	08-05-14
DRAWN	RS
CHECK	RS
DATE	08-05-14
REVISION	B



NOTE:

FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.

FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

Proposed Site & Drainage Plan

SCALE 1:200

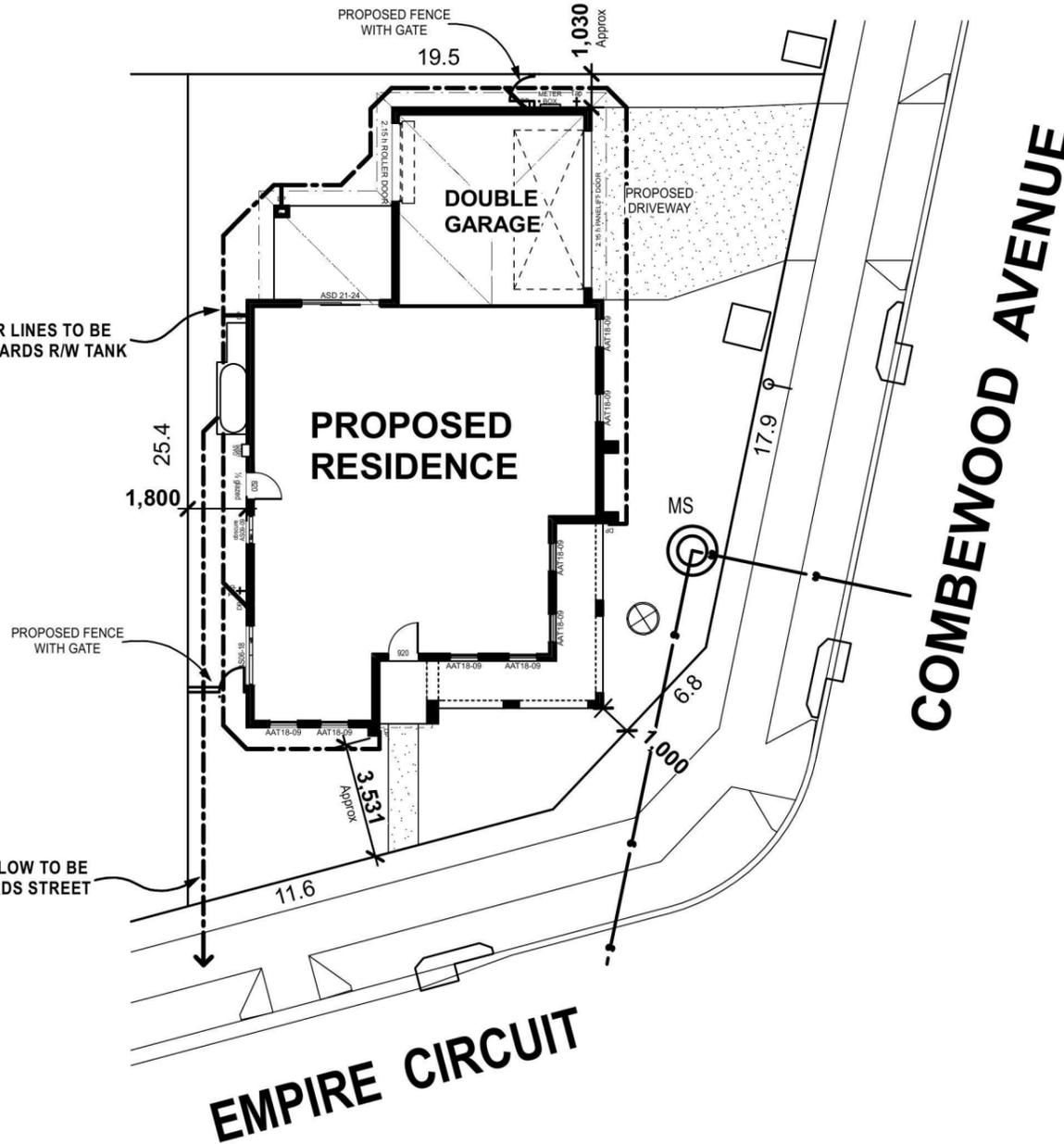
NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



NORTH
LOT 2205
392.7m²

SUPPLEMENTARY B.C.A ENERGY EFFICIENCY CLAUSES FOR NATHERS / BASIX ASSESSMENTS

3.12.1.1	Building fabric thermal insulation	Any Insulation installation required by plans must be fitted in alignment with this clause.
3.12.1.2 (e)		Recompense for any reduced ceiling insulation is required to comply with this clause (any downlights installed must be non - ventilated). Recompense for loss of any ceiling insulation is not necessary when suitable approved non - ventilated down light covers are supplied, as these provide continuous flow of insulation.
3.12.3.3	External Windows & Doors	The sealing of any windows or doors must be in conformity with this clause.
3.12.3.4	Exhaust Fans	Refer to Current B.C.A for Detailed specification
3.12.3.5	Construction of Roofs, Walls & Floors	The sealing of roofs , walls and / or floors must align with this clause.
3.12.5.0	Acceptable Construction Manuals	Installation of any hot water systems must abide by this clause.
3.12.5.1	Insulation of Services	Installation of any services must observe requirements of this clause.
3.12.5.3	Heating & Cooling Ductwork	Ductwork insulation to cooling & heating systems must abide by this clause.



Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:

EDGE REBATES	-	172mm x 150mm WIDE
GARAGE	170	mm FROM F.F.L.
FRONT PORCH/VERANDAH	170	mm FROM F.F.L.
BALCONY	130	mm FROM F.F.L.



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Builders Licence No. 92732C

Revision	Date	Amendment
B	04.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	27.03.14	CONTRACT DRAWINGS - BT

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Proposed Residence
at Lot : 2205
Empire Circuit,
Penrith. (Thornton)

Client :
Champion Homes
Sheet Size: A3 Date: 27.03.14 Drawn:BT
Design :
Torino 339
Job No. **3158N** Sheet 1 of 11

Energy Rating Certificate Number **15430311**

single-dwelling rating **4.5** stars
 multi-unit development (attach listing of ratings) heating **72.6** MJ/m²
 cooling **43.4** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number Luis Contigiani BDAV/13/1543
 Assessor Signature [Signature] Date **12.05.2014**

ALL GLAZING TO BE NFRC VALUE OF UW = 6.50 OR LESS AND SHGCW = 0.70 +/- 10% SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

Plot Date
Thu 05 Jun 2014

NOTE:

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Proposed Site Analysis Plan

SCALE 1:200

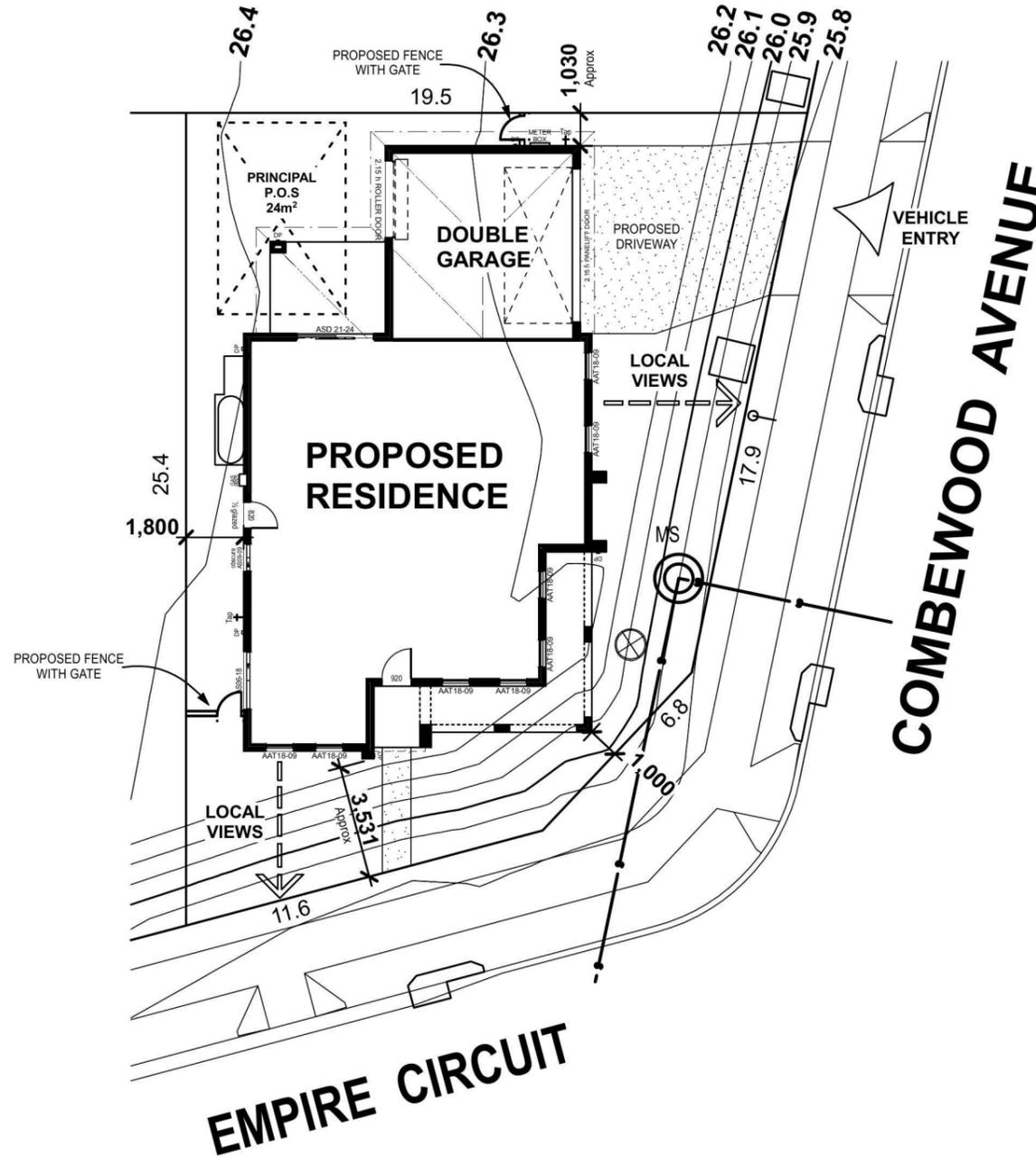
NOTE:
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NORTH
LOT 2205
392.7m²

NORTH PENRITH "THORNTON" REQUIREMENTS:

SITE AREA: 392.7m²
PRIVATE OPEN SPACE:
REQUIRED: 20% or 78.54m²
ACHIEVED: 20% or 78.69m²
LANDSCAPE AREA:
ACHIEVED: 36% or 140.55m²
CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES



	Energy Rating	Certificate Number	15430311
<input checked="" type="checkbox"/>	single-dwelling rating		4.5 stars
<input type="checkbox"/>	multi-unit development (attach listing of ratings)	heating	72.6 MJ/m ²
		cooling	43.4 MJ/m ²
Recessed downlights confirmation:		<input checked="" type="checkbox"/> Rated with	<input type="checkbox"/> Rated without
Assessor Name/Number		Luis Contigiani	BDAV/13/1543
Assessor Signature			Date 12.05.2014

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Plot Date
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Wind Speed : Class = N2

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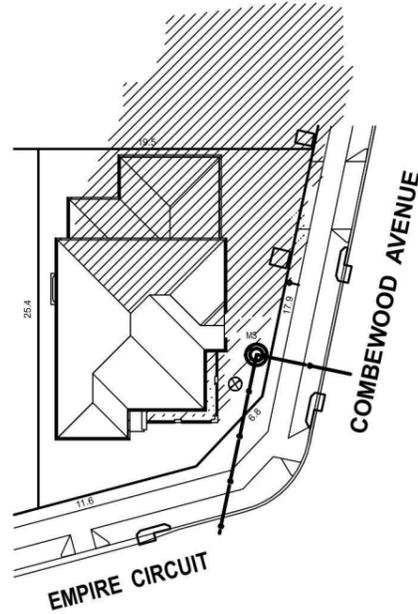
Client :
Champion Homes
Sheet Size: A3 Date: 27.03.14 Drawn: BT
Design :
Torino 339
Job No. **3158N** Sheet 2 of 11

Shadow Diagrams

NOTE: FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



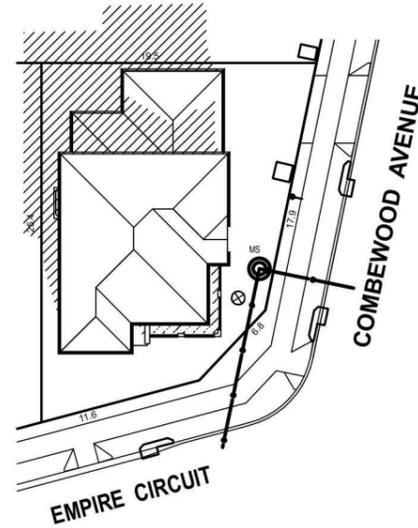
NORTH
LOT 2205
392.7m²



NOTE: FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



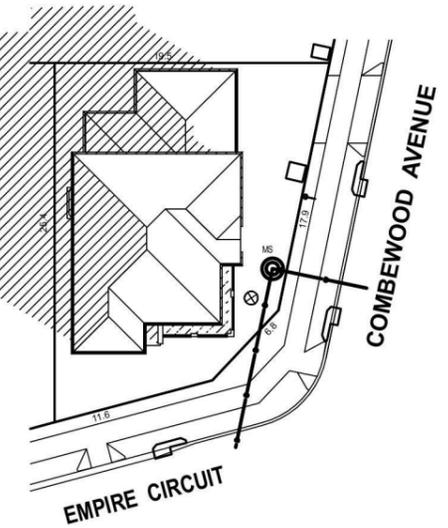
NORTH
LOT 2205
392.7m²



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NORTH
LOT 2205
392.7m²



June 21st - 9am
SCALE 1:500

June 21st - 12noon
SCALE 1:500

June 21st - 3pm
SCALE 1:500

Energy Rating		Certificate Number	15430311
<input checked="" type="checkbox"/> single-dwelling rating			4.5 stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating		72.6 MJ/m ²
	cooling		43.4 MJ/m ²
Recessed downlights confirmation:		<input checked="" type="checkbox"/> Rated with	<input type="checkbox"/> Rated without
Assessor Name/Number		Luis Contigiani	BDAV/13/1543
Assessor Signature		<i>[Signature]</i>	Date 12.05.2014

ALL GLAZING TO BE NFRC VALUE OF UW = 6.56 OR LESS AND SHGCw = 0.70 +/- 10% SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

Plot Date
Thu 05 Jun 2014

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Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
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BALCONY	130 mm FROM F.F.L.

Wind Speed : Class = N2



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A	27.03.14	CONTRACT DRAWINGS - BT

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Proposed Residence
at Lot : 2205
Empire Circuit,
Penrith. (Thornton)

Client :
Champion Homes
Sheet Size: A3 Date: 27.03.14 Drawn:BT
Design :
Torino 339
Job No. **3158N** Sheet 4 of 11

Schedule of BASIX commitments

BASIX TEMPLATE

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 101 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Thermal Comfort Commitments			
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.			
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

ALL GLAZING TO BE NFRC VALUE OF UW = 6.66 OR LESS AND SHGC_w = 0.70 + / - 10 % SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.



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A	27.03.14	CONTRACT DRAWINGS - BT

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Proposed Residence at Lot : 2205 Empire Circuit, Penrith. (Thornton)

Plot Date Thu 05 Jun 2014

Client : **Champion Homes**
Sheet Size: A3 Date: 27.03.14 Drawn: BT
Design : **Torino 339**
Job No. **3158N** Sheet 5 of 11

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 4 of the bedrooms / study;		✓	✓
Energy Commitments			
• at least 2 of the living / dining rooms;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Energy Rating Certificate Number **15430311**

single-dwelling rating 4.5 stars

multi-unit development (attach listing of ratings) heating **72.6** MJ/m²

If selected, data specified is the average across the entire development

cooling **43.4** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number Luis Contigiani BDAV/13/1543

Assessor Signature *Luis Contigiani* Date **12.05.2014**

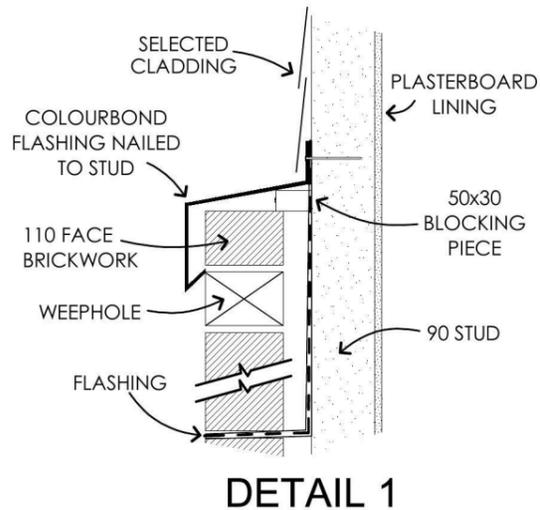
PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

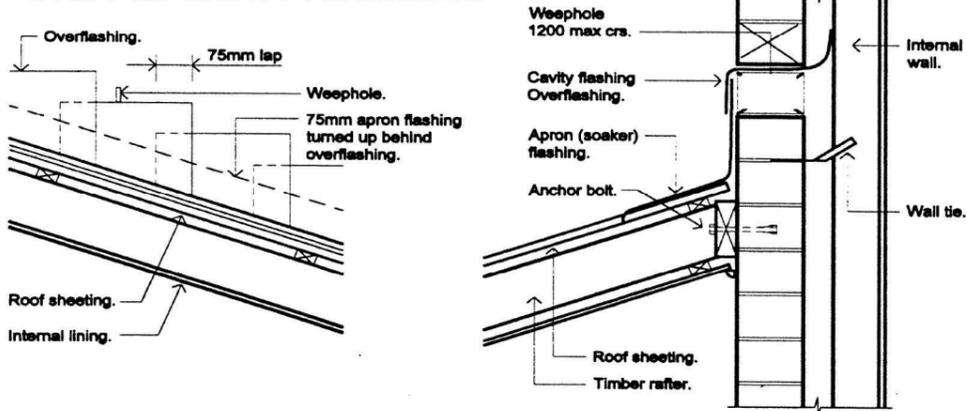


Northern Elevation

SCALE 1:100



STEPPED CAVITY FLASHINGS



Southern Elevation

SCALE 1:100

Energy Rating Certificate Number **15430311**

single-dwelling rating **4.5** stars

multi-unit development (attach listing of ratings) heating **72.6** MJ/m²

cooling **43.4** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani BDAV/13/1543**

Assessor Signature *[Signature]* Date **12.05.2014**

ALL GLAZING TO BE NFRC VALUE OF UW = 6.56 OR LESS AND SHGCW = 0.78 +/- 10% SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
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BALCONY	130 mm FROM F.F.L.



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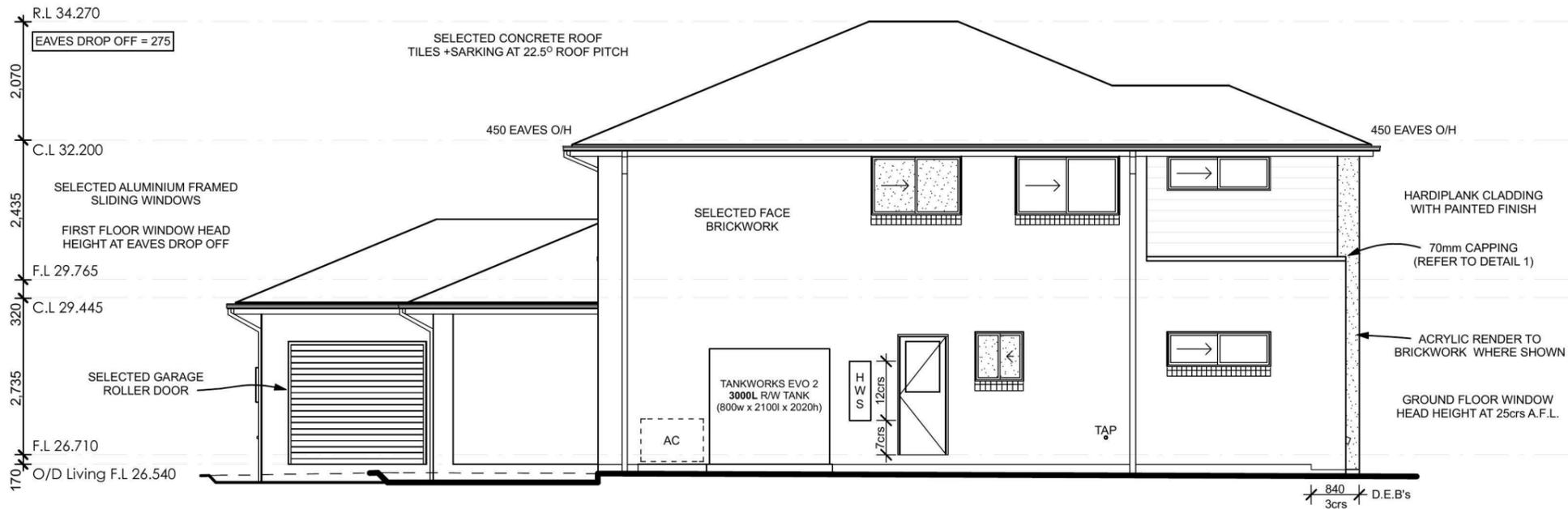
Plot Date
Thu 05 Jun 2014

Client :
Champion Homes

Sheet Size: A3 Date: 27.03.14 Drawn:BT

Design :
Torino 339

Job No. **3158N** Sheet 8 of 11



Energy Rating Certificate Number **15430311**

single-dwelling rating **4.5** stars

multi-unit development (attach listing of ratings) heating **72.6** MJ/m²

cooling **43.4** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani** BDAV/13/1543

Assessor Signature *[Signature]* Date **12.05.2014**

ALL GLAZING TO BE NFRC VALUE OF U_w = 0.65 OR LESS AND SHGC_w = 0.70 ± 10% SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

Eastern Elevation

SCALE 1:100



Western Elevation

SCALE 1:100

PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

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Do not assume - if in doubt ASK.

Plot Date
Thu 05 Jun 2014

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

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Client :
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Sheet Size: A3 Date: 27.03.14 Drawn:BT

Design :
Torino 339

Job No. **3158N** Sheet 9 of 11