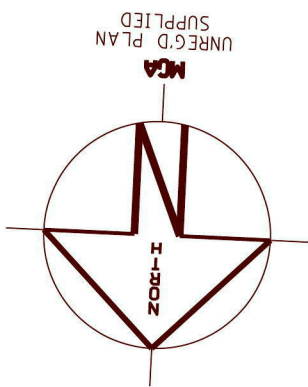


NORTH



LOCALITY SKETCH

UBD AREA: SYD REVISION: 48
 MAP: 144 REF: F14
 S
 GPS E



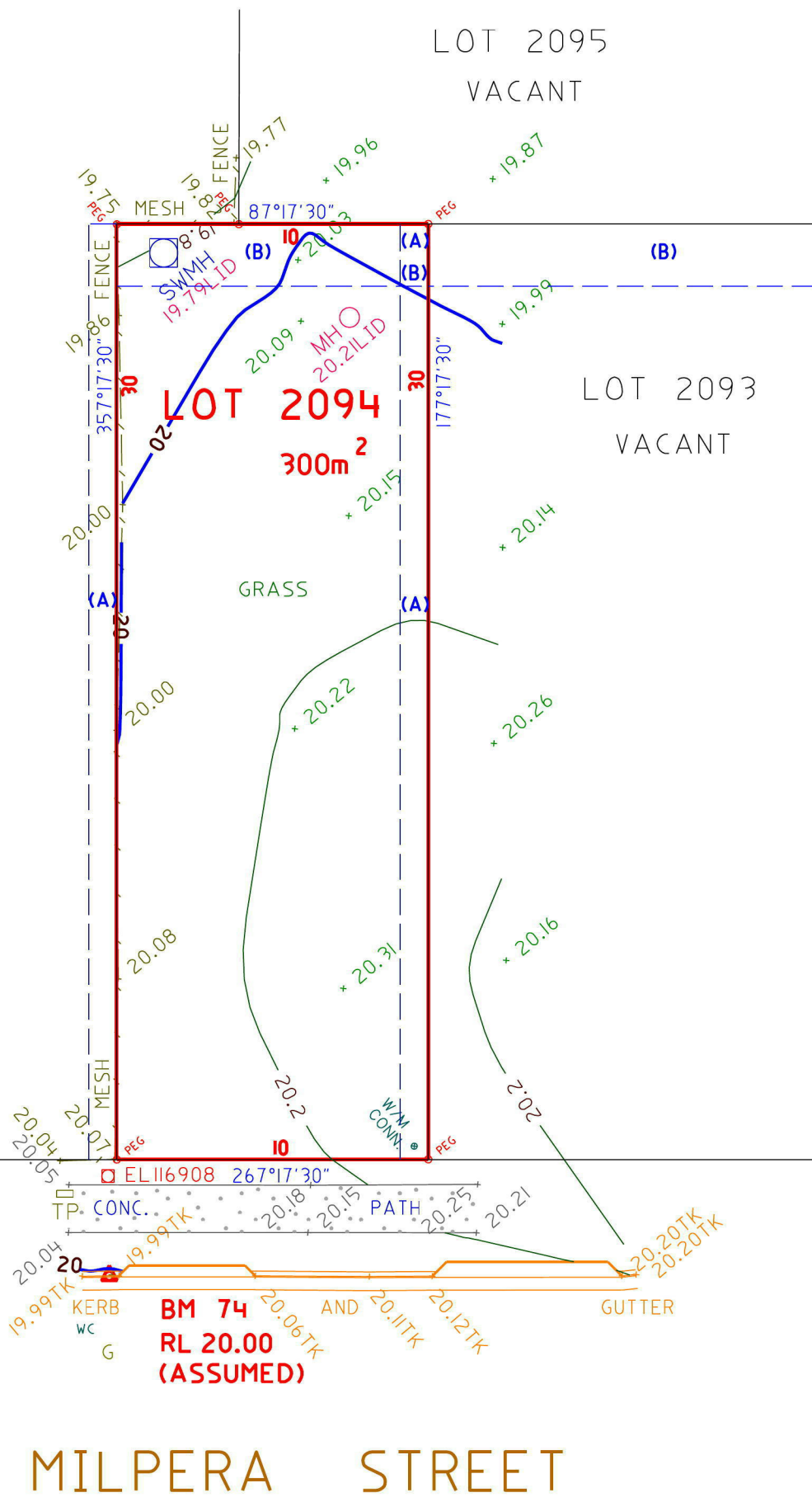
SERVICES NOTE:-
 SURVEY PLAN UNREGISTERED
 SERVICES CONNECTION PLAN NOT
 AVAILABLE AT TIME OF SURVEY

NOTE: DIMENSIONS FOR LOT 2094
 HAVE BEEN TAKEN FROM A DOCUMENT
 RECEIVED FROM MCDONALD JONES HOMES
 ON 09/04/2013 AND ARE TO BE VERIFIED UPON
 REGISTRATION OF DEPOSITED PLAN.

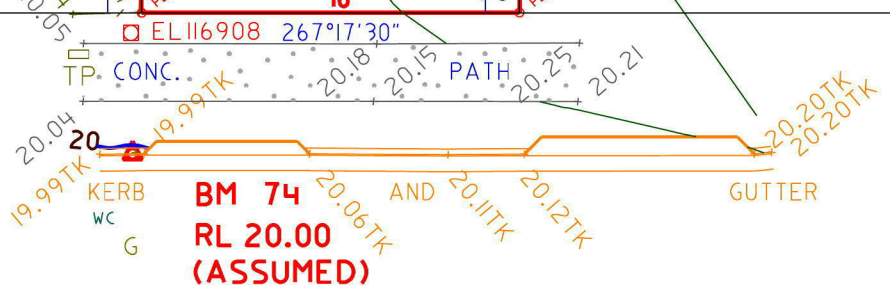
NOTE: AREAS AND DIMENSIONS ARE FROM AN
 UNREGISTERED PLAN AND ARE TO BE VERIFIED
 UPON REGISTRATION OF DEPOSITED PLAN.
 THE BOUNDARY POSITION IS APPROXIMATE ONLY
 AND SHOULD BE VERIFIED PRIOR TO ANY
 CONSTRUCTION WORKS INCLUDING THE SITING
 OF A RESIDENCE.

LOT 2146
 VACANT

LOT 2095
 VACANT



LOT 2093
 VACANT



(A) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE

(B) PROPOSED EASEMENT TO DRAIN WATER 2 WIDE



MILPERA STREET

<p>COPYRIGHT COPYRIGHT OF THIS PLAN AND IN THE ACCOMPANYING CAD FILE(S) WHERE APPLICABLE VESTS WITH ASPECT DEVELOPMENT & SURVEY PTY LTD. THE PLAN AND CAD FILE SHALL ONLY BE USED BY THE ADDRESSED CLIENT FOR THE PURPOSE FOR WHICH THE SURVEY WAS CARRIED OUT.</p>	<p>GENERAL NOTES A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY. B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. C) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.</p>	<p>SYMBOLS & ABBREVIATIONS:</p> <table border="1"> <tr><td>GP</td><td>GULLY PIT</td><td>-E-</td><td>OVERHEAD ELEC LINE</td></tr> <tr><td>HYD</td><td>HYDRANT</td><td>-S-</td><td>SEWER LINE</td></tr> <tr><td>SIP</td><td>SURFACE INLET PIT</td><td>GM</td><td>GAS METER</td></tr> <tr><td>SIC</td><td>SEWER INSPECTION COVER</td><td>LP</td><td>LIGHT POLE</td></tr> <tr><td>SMH</td><td>SEWER MANHOLE</td><td>EC</td><td>ELECTRICITY CONDUIT</td></tr> <tr><td>W/M</td><td>WATER METER</td><td>ECT</td><td>ELEC & TELE CONDUIT</td></tr> <tr><td>EL</td><td>ELECTRICITY BOX</td><td>TC</td><td>TELECOM CONDUIT</td></tr> <tr><td>TP</td><td>TELECOM PIT</td><td>WC</td><td>WATER CONDUIT</td></tr> <tr><td>VC</td><td>VEHICLE CROSSING</td><td>INV</td><td>INVERT</td></tr> <tr><td>SV</td><td>STOP VALVE</td><td>KO</td><td>KERB OUTLET</td></tr> <tr><td>SMWH</td><td>STORMWATER MANHOLE</td><td>TK</td><td>TOP OF KERB</td></tr> </table>	GP	GULLY PIT	-E-	OVERHEAD ELEC LINE	HYD	HYDRANT	-S-	SEWER LINE	SIP	SURFACE INLET PIT	GM	GAS METER	SIC	SEWER INSPECTION COVER	LP	LIGHT POLE	SMH	SEWER MANHOLE	EC	ELECTRICITY CONDUIT	W/M	WATER METER	ECT	ELEC & TELE CONDUIT	EL	ELECTRICITY BOX	TC	TELECOM CONDUIT	TP	TELECOM PIT	WC	WATER CONDUIT	VC	VEHICLE CROSSING	INV	INVERT	SV	STOP VALVE	KO	KERB OUTLET	SMWH	STORMWATER MANHOLE	TK	TOP OF KERB	<p>ASPECT DEVELOPMENT & SURVEY PTY LTD CONSULTING REGISTERED SURVEYORS ABN 60 078 649 000</p> <p>SUITE 1 103 VANESSA STREET KINGSGROVE NSW 2208 PHONE (02) 9554 8388 FAX (02) 9554 8588</p> <p>PO BOX 161 KINGSGROVE NSW 1480 DX 11392 HURSTVILLE</p>	<p>PROJECT</p> <table border="1"> <tr><td>OUR REFERENCE</td><td>3/1022274/135005</td></tr> <tr><td>LOT 2094</td><td>DP UNREG'D SECTION</td></tr> <tr><td>DATUM ASSUMED</td><td>SOURCE</td></tr> <tr><td>ORIGIN OF LEVELS</td><td>BM 74 REDUCED LEVEL 20.00</td></tr> <tr><td>SURVEYED NR</td><td>DATE 18/04/2013</td></tr> <tr><td>DRAWN SK/BK</td><td>DATE 29/04/2013</td></tr> <tr><td>SCALE 1: 200</td><td>A3 SHEET</td></tr> </table>	OUR REFERENCE	3/1022274/135005	LOT 2094	DP UNREG'D SECTION	DATUM ASSUMED	SOURCE	ORIGIN OF LEVELS	BM 74 REDUCED LEVEL 20.00	SURVEYED NR	DATE 18/04/2013	DRAWN SK/BK	DATE 29/04/2013	SCALE 1: 200	A3 SHEET	<p>CLIENT: McDONALD JONES HOMES REF: GREAT AUSSIE DREAM REF: 601036 ADDRESS: MILPERA STREET SUBURB JORDAN SPRINGS</p>
GP	GULLY PIT	-E-	OVERHEAD ELEC LINE																																																												
HYD	HYDRANT	-S-	SEWER LINE																																																												
SIP	SURFACE INLET PIT	GM	GAS METER																																																												
SIC	SEWER INSPECTION COVER	LP	LIGHT POLE																																																												
SMH	SEWER MANHOLE	EC	ELECTRICITY CONDUIT																																																												
W/M	WATER METER	ECT	ELEC & TELE CONDUIT																																																												
EL	ELECTRICITY BOX	TC	TELECOM CONDUIT																																																												
TP	TELECOM PIT	WC	WATER CONDUIT																																																												
VC	VEHICLE CROSSING	INV	INVERT																																																												
SV	STOP VALVE	KO	KERB OUTLET																																																												
SMWH	STORMWATER MANHOLE	TK	TOP OF KERB																																																												
OUR REFERENCE	3/1022274/135005																																																														
LOT 2094	DP UNREG'D SECTION																																																														
DATUM ASSUMED	SOURCE																																																														
ORIGIN OF LEVELS	BM 74 REDUCED LEVEL 20.00																																																														
SURVEYED NR	DATE 18/04/2013																																																														
DRAWN SK/BK	DATE 29/04/2013																																																														
SCALE 1: 200	A3 SHEET																																																														

DRAWING SCHEDULE

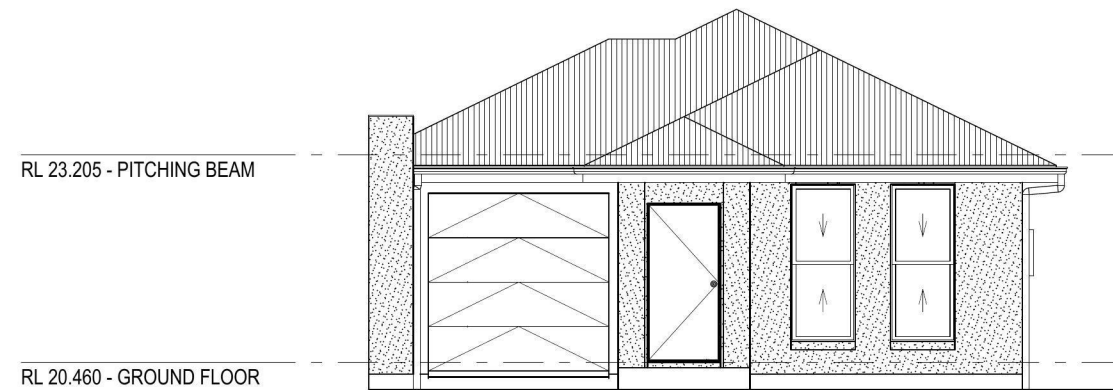
COVER PAGE / LOCATION MAP	Sheet	1
DATA PAGE	Sheet	2
SITE PLAN	Sheet	3
FLOOR PLAN	Sheet	4
ELEVATIONS / SECTION	Sheet	5
ELEVATIONS	Sheet	6
KITCHEN DETAILS	Sheet	7
BATHROOM DETAILS	Sheet	8
ENSUITE DETAILS	Sheet	9
WATER RECYCLING / FLOOR FINISHES	Sheet	10
SLAB PLAN	Sheet	11
DRAINAGE PLAN	Sheet	12

NOTE: REFER TO 'DATA PAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
 - BASIX/ABSA REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL HOUSE SPECIFICATIONS

SALINE REQUIREMENTS

PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN A 'SALINE PRONE ENVIRONMENT', AS REQUIRED BY COUNCIL. THIS SHALL INCLUDE THE FOLLOWING:-

- PROVIDE 32MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.
- PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB.
- PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE FLOOR STRUCTURE.
- PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.
- USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE IN LIEU OF STANDARD.
- USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE, BELOW THE DAMP PROOF COURSE.
- YOUR ATTENTION IS DRAWN TO THE 'BUILDING IN SALINITY PRONE ENVIRONMENT' POLICY FROM PENRITH COUNCIL.



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

CDC COMPLIANT: NO

REASON FOR NON-COMPLIANCE: ZERO LOT BUILDING NOT PERMITTED ON 10m BLOCK

	SPECIFICATION:		DRAWING		DRAWN		CLIENT:		LOT No:		HOUSE DESIGN:		DESIGN CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 601036
	GENONE BY McDONALD JONES HOMES		1	PRELIMINARY PLANS	MPA	2013.03.12	GREAT AUSSIE DREAM		2094		DOUGLAS		H-DUGCLAS12300B		
	www.mcdonaldjoneshomes.com.au © 2013		2	CONTRACT PLANS	MPA	2013.04.10	ADDRESS:		DP No:		CLASSIC		F-DUGCLAS01		
			3	CONTOUR ADDED & REGISTERED	MPA	2013.06.06	MILPERA STREET		1168991		SHEET TITLE:		COVER PAGE / LOCATION MAP		
			4	PCV002,003,006,007 & 008	MPA	2013.07.09	SUBURB:		SECTION No:		SCALES:		SHEET No:		
		5				JORDAN SPRINGS		---		1:100, 1:1		1 / 12			

BASIX REQUIREMENTS

WATER COMMITMENTS

3 STAR (> 6 BUT <= 7.5 L/min) SHOWER HEADS
 4 STAR TOILET SUITES
 4 STAR KITCHEN TAPS
 4 STAR BATHROOM TAPS

1550 L WATER TANK(S) MINIMUM CAPACITY
 189.91 m² MINIMUM ROOF AREA TO TANK(S)
 189.91 m² TOTAL ROOF AREA

RAINWATER TANK(S) TO BE CONNECTED TO:

- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

- 117 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 5 STAR

HEATING SYSTEM

- NO ACTIVE HEATING SYSTEM

COOLING SYSTEM

- NO ACTIVE COOLING SYSTEM

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:
INDIVIDUAL FAN, NOT DUCTED, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
INDIVIDUAL FAN, NOT DUCTED, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- 3 BEDROOMS/STUDY, NON DEDICATED
- 2 LIVING/DINING AREAS, NON DEDICATED
- KITCHEN, NON DEDICATED
- ALL BATHROOMS/TOILETS, NON DEDICATED
- LAUNDRY, NON DEDICATED
- ALL HALLWAYS, NON DEDICATED

NATURAL LIGHTING TO

- KITCHEN
- 3 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

- N/A

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

BASIX CERTIFICATE NUMBER:

-

DATED:

-

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2700 mm
 FRAMES AND TRUSSES: STEEL
 ROOF PITCH (U.N.O.): 26°
 ELECTRICITY SUPPLY: SINGLE PHASE

ROOF MATERIAL: SHEET METAL
 ROOF COLOUR: DARK
 ROOF INSULATION: R3.0 BATTS SARKING
 WHIRLYBIRDS: 1

WALL MATERIAL: BRICK VENEER
 WALL COLOUR: DARK
 WALL INSULATION: R1.5 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH B.C.A. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: M

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: M

FLOOR AREAS

ALFRESCO 11.775
 GARAGE 19.803
 LIVING 129.952
 PATIO / VERANDAH 3.813
165.343 m²



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

McDonald Jones
 YOUR HOME, YOUR DREAM

SPECIFICATION:
GENONE BY McDONALD JONES HOMES
 www.mcdonaldjoneshomes.com.au
 © 2013

	DRAWING	DRAWN
1	PRELIMINARY PLANS	MPA 2013.03.12
2	CONTRACT PLANS	MPA 2013.04.10
3	CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4	PCV002,003,006,007 & 008	MPA 2013.07.09
5		

CLIENT: GREAT AUSSIE DREAM			LOT No: 2094
ADDRESS: MILPERA STREET			DP No: 1168991
SUBURB: JORDAN SPRINGS	POSTCODE: 2750	COUNCIL: PENRITH	SECTION No: ---

HOUSE DESIGN: DOUGLAS	DESIGN CODE: H-DUGCLAS12300B
FACADE: CLASSIC	FACADE CODE: F-DUGCLAS01
SHEET TITLE: DATA PAGE	SCALES: 1:1, 1:100
	SHEET No: 2 / 12

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

601036

McDonald Jones
YOUR HOME. YOUR DREAM

GENONE
BY MCDONALD JONES HOMES

www.mcdonaldjoneshomes.com.au @2013

DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA 2013.03.12
2 CONTRACT PLANS	MPA 2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4 PCV002.003.006.007 & 008	MPA 2013.07.09
5	

CLIENT:	GREAT AUSSIE DREAM
ADDRESS:	MILPERA STREET
SUBURB:	JORDAN SPRINGS
POSTCODE:	2750
COUNCIL:	PENRITH
LOT No:	2094
DP No:	1168991
SECTION No:	---

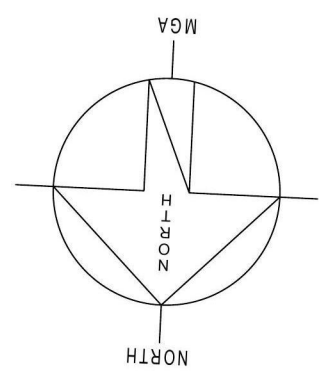
HOUSE DESIGN:	DOUGLAS
FACADE:	CLASSIC
SHEET TITLE:	SITE PLAN
DESIGN CODE:	H-DUGCLAS12300B
FACADE CODE:	F-DUGCLAS01
SCALE:	1:200, 1:100
SHEET No:	3 / 12
DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REFERRED TO THE DRAFTING OFFICE.	601036

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO

NOTE: CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'DPR' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

DPR DPR - CHARGED DOWNPIPE DIRECTED TO TANK



NOTE: STORMWATER LAYOUT IS DIAGRAMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

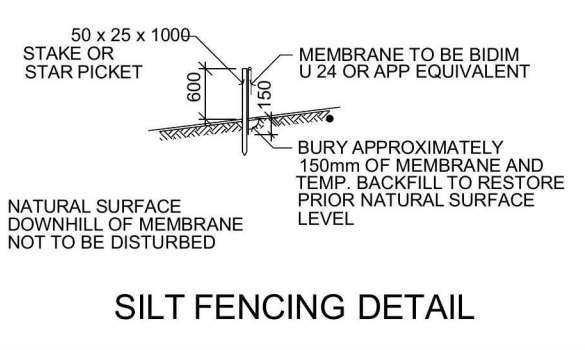
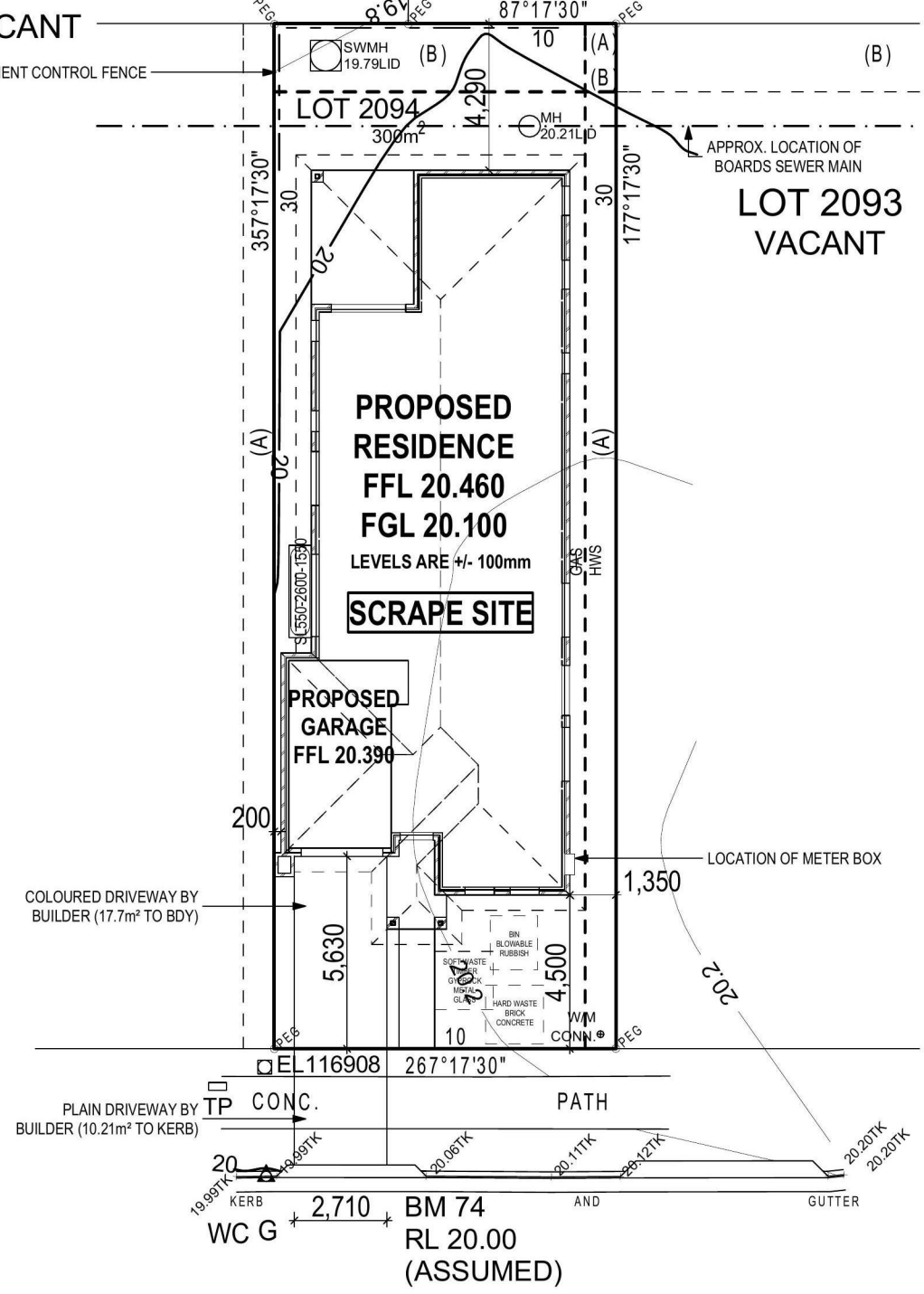
EXCAVATION NOTES

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

(A) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
(B) PROPOSED EASEMENT TO DRAIN WATER 2 WIDE

LOT 2146
VACANT

LOT 2095
VACANT



JORDAN SPRING NOTES

THIS PLAN SHALL INCLUDE THE FOLLOWING:-

- PLAIN CONCRETE TO PENRITH CITY COUNCIL SPECIFICATION IS TO BE 3M WIDE
- LAYBACK TO BE RELOCATED AND RECTIFIED AT BUILDER/OWNERS EXPENSE
- ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.
- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND ARE TO BE OF MASONRY CONSTRUCTION
- ALL GARDEN/LAWN EDGING VISIBLE FROM THE STREET IS REQUIRED TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED

Energy Rating

Single dwelling rating: 5.0 stars

multi-unit development (average rating of ratings): 4.4 stars

Facade energy efficiency (average rating): 54.8 stars

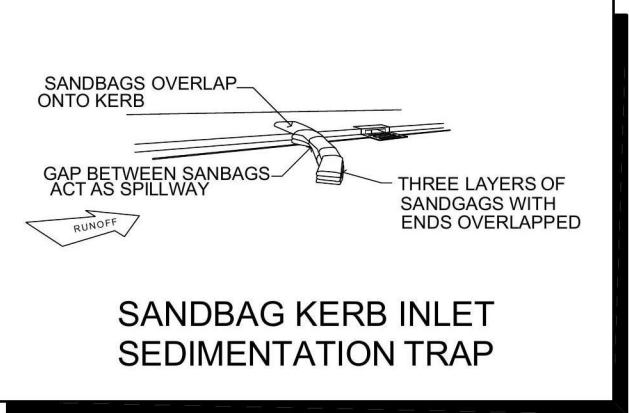
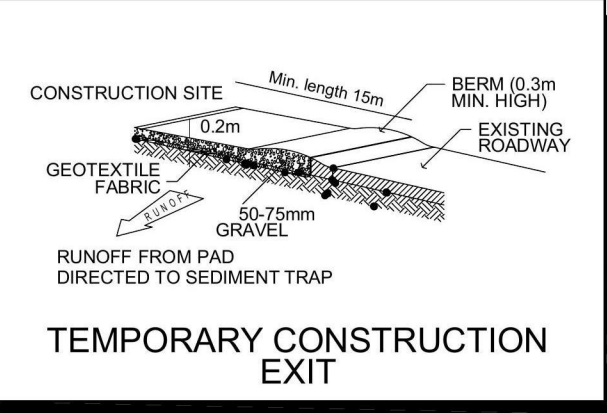
Assessor Name/Number: Stephen Harty VICBCA101402

Assessor Signature: [Signature]

Date: 2013/07/18

CFR-A=11.87 and CFR-E=9.36 w/2

P.O.S		
REQUIRED	15%	45m²
PROVIDED	19.64%	58.94m²



SALINE REQUIREMENTS
SEE SHEET 1 (COVER PAGE) FOR DETAILS

THIS PLAN ACCEPTED BY:

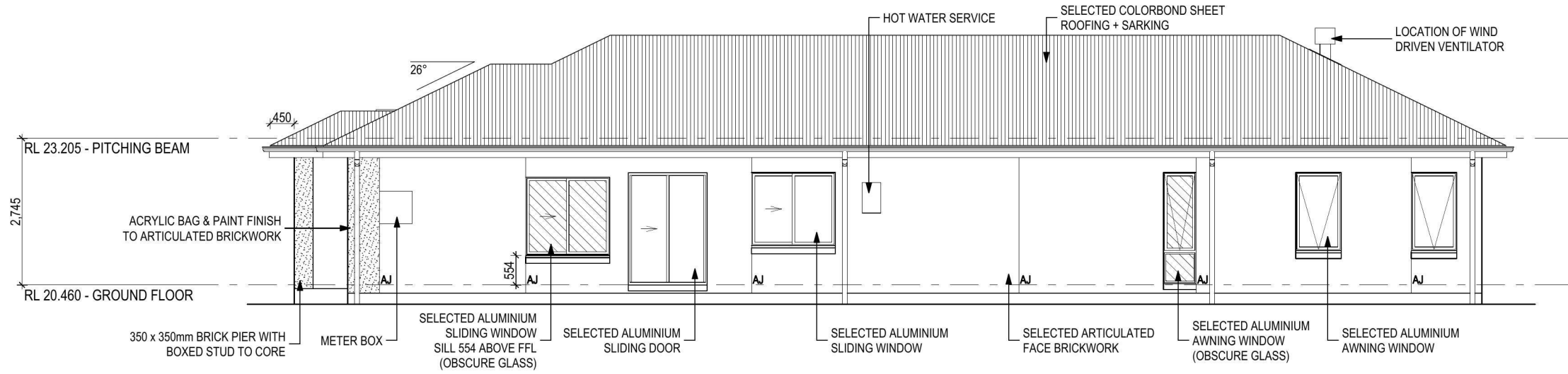
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: _____

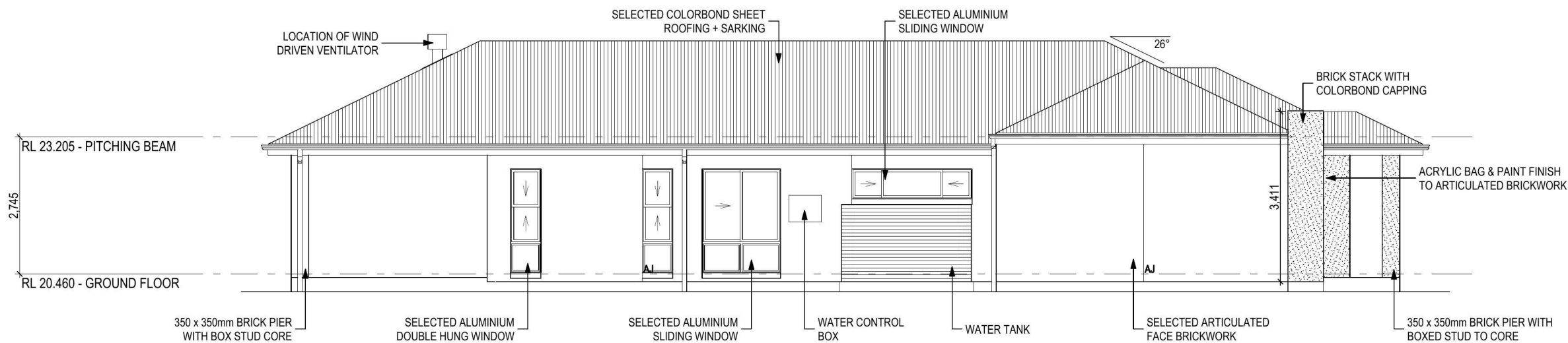
DATE: _____

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
 - BASIX/ABSA REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL HOUSE SPECIFICATIONS

SALINE REQUIREMENTS
 SEE SHEET 1 (COVER PAGE) FOR DETAILS



WEST ELEVATION
 Scale: 1:100



EAST ELEVATION
 Scale: 1:100



THIS PLAN ACCEPTED BY: _____

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: _____

DATE: _____



SPECIFICATION:
GENONE BY McDONALD JONES HOMES
 www.mcdonaldjoneshomes.com.au
 © 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA/2013.03.12
2 CONTRACT PLANS	MPA/2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA/2013.06.06
4 PCV002,003,006,007 & 008	MPA/2013.07.09
5	

CLIENT:
GREAT AUSSIE DREAM

ADDRESS:
MILPERA STREET

SUBURB:
JORDAN SPRINGS

POSTCODE:
2750

COUNCIL:
PENRITH

LOT No:
2094

DP No:
1168991

SECTION No:

HOUSE DESIGN:
DOUGLAS

FACADE:
CLASSIC

SHEET TITLE:
ELEVATIONS

DESIGN CODE:
H-DUGCLAS12300B

FACADE CODE:
F-DUGCLAS01

SCALES:
1:100

SHEET No:
6 / 12

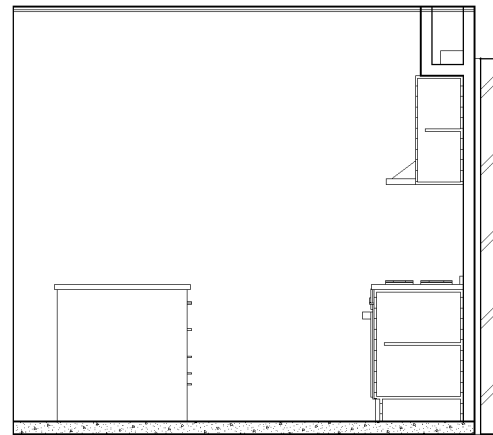
DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

601036

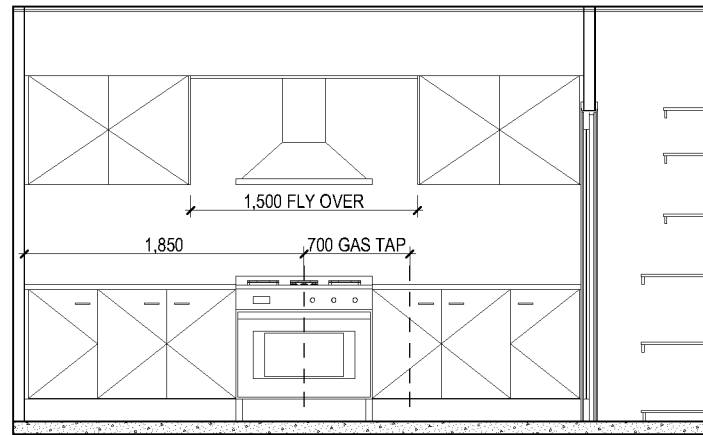
NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
 - BASIX/ABSA REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL HOUSE SPECIFICATIONS

NOTE: KITCHEN DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

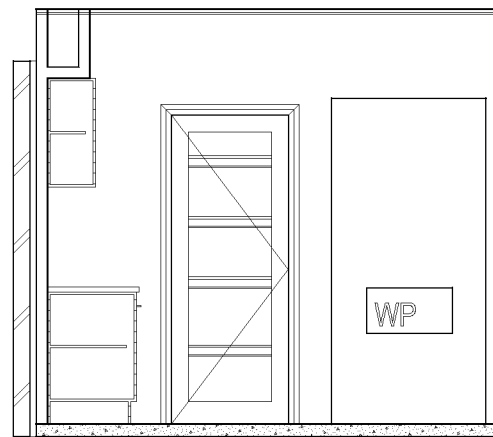
SALINE REQUIREMENTS
 SEE SHEET 1 (COVER PAGE) FOR DETAILS



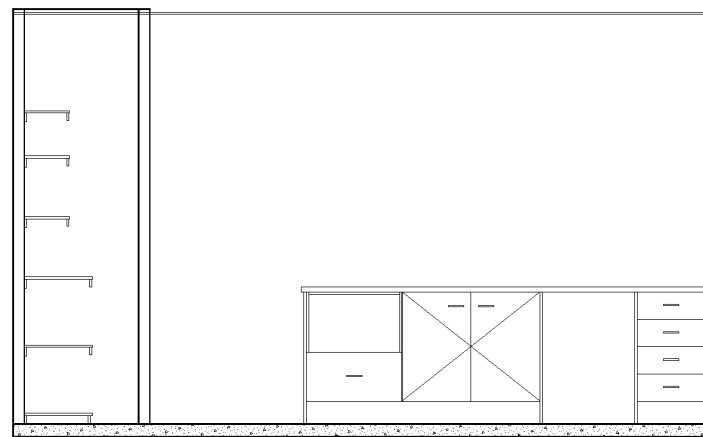
ELEVATION A
 Scale: 1:50



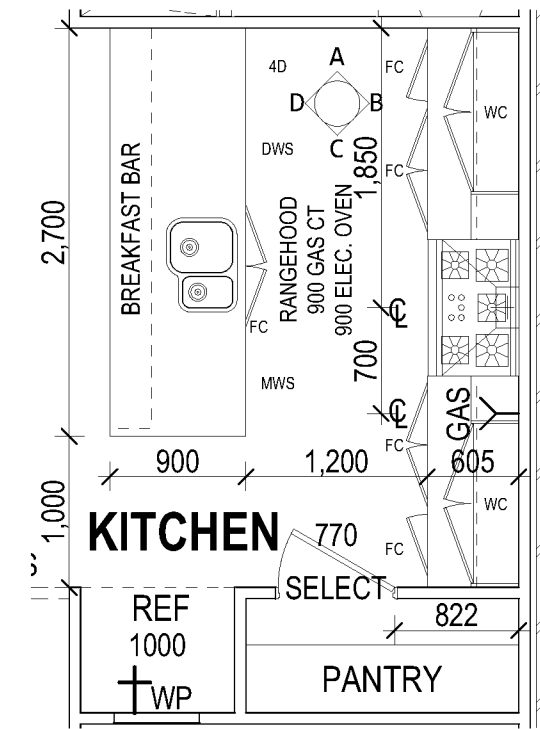
ELEVATION B
 Scale: 1:50



ELEVATION C
 Scale: 1:50



ELEVATION D
 Scale: 1:50



KITCHEN FLOOR PLAN
 Scale: 1:50

THIS PLAN ACCEPTED BY:

 PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING
 SIGNATURE:

 DATE:



McDonald Jones
 YOUR HOME, YOUR DREAM

SPECIFICATION:
GENONE BY McDONALD JONES HOMES
 www.mcdonaldjoneshomes.com.au
 © 2013

	DRAWING	DRAWN
1	PRELIMINARY PLANS	MPA 2013.03.12
2	CONTRACT PLANS	MPA 2013.04.10
3	CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4	PCV002,003,006,007 & 008	MPA 2013.07.09
5		

CLIENT: GREAT AUSSIE DREAM			LOT No: 2094
ADDRESS: MILPERA STREET			DP No: 1168991
SUBURB: JORDAN SPRINGS	POSTCODE: 2750	COUNCIL: PENRITH	SECTION No: ---

HOUSE DESIGN: DOUGLAS	DESIGN CODE: H-DUGCLAS12300B
FACADE: CLASSIC	FACADE CODE: F-DUGCLAS01
SHEET TITLE: KITCHEN DETAILS	SCALES: 1:50, 1:100
	SHEET No: 7 / 12

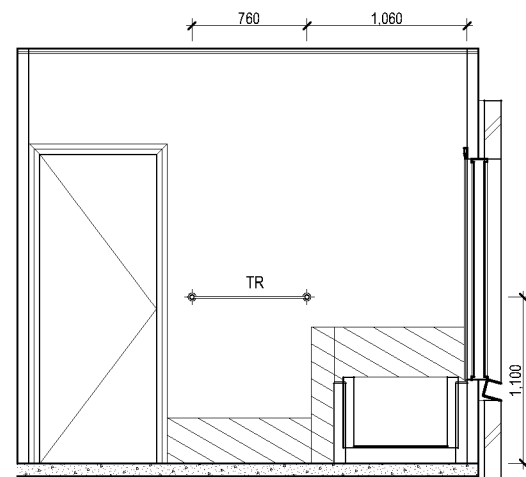
DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
601036

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
 - BASIX/ABSA REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL HOUSE SPECIFICATIONS

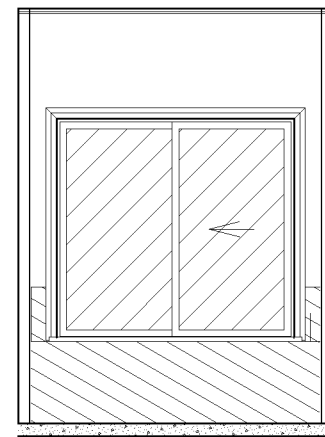
NOTE: BATHROOM DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

LEGEND

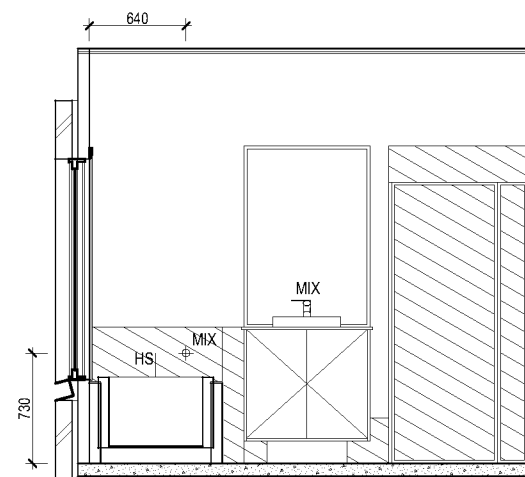
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR TOWEL RAIL
- TL TOWEL LADDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS



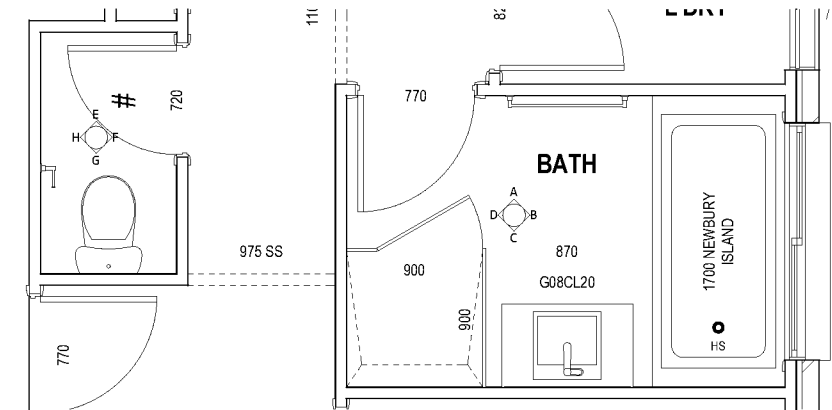
ELEVATION A
Scale: 1:50



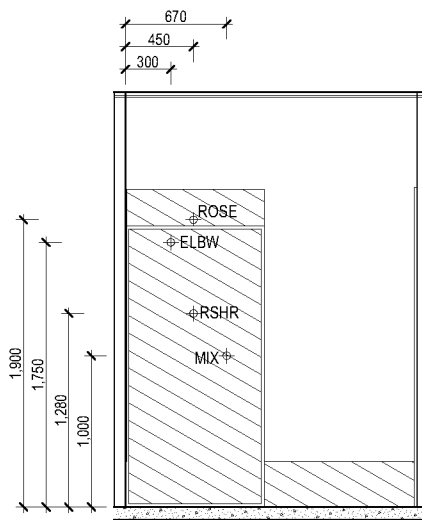
ELEVATION B
Scale: 1:50



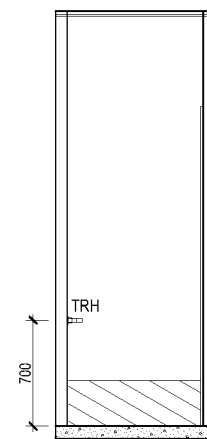
ELEVATION C
Scale: 1:50



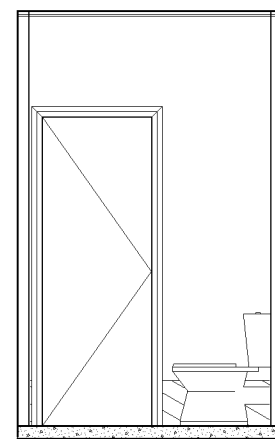
BATHROOM FLOOR PLAN
Scale: 1:50



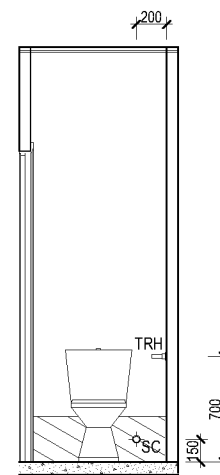
ELEVATION D
Scale: 1:50



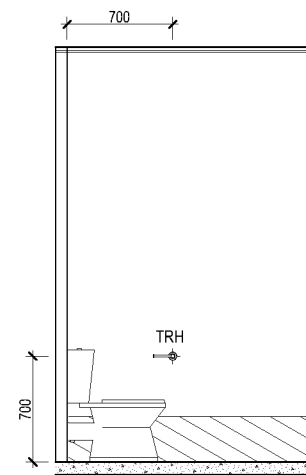
ELEVATION E
Scale: 1:50



ELEVATION F
Scale: 1:50



ELEVATION G
Scale: 1:50



ELEVATION H
Scale: 1:50

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



SPECIFICATION:
GENONE BY McDONALD JONES HOMES
 www.mcdonaldjoneshomes.com.au
 © 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA 2013.03.12
2 CONTRACT PLANS	MPA 2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4 PCV002,003,006,007 & 008	MPA 2013.07.09
5	

CLIENT: GREAT AUSSIE DREAM		LOT No: 2094
ADDRESS: MILPERA STREET		DP No: 1168991
SUBURB: JORDAN SPRINGS	POSTCODE: 2750	COUNCIL: PENRITH
		SECTION No: ---

HOUSE DESIGN: DOUGLAS	DESIGN CODE: H-DUGCLAS12300B
FACADE: CLASSIC	FACADE CODE: F-DUGCLAS01
SHEET TITLE: BATHROOM DETAILS	SCALES: 1:50, 1:100
	SHEET No: 8 / 12

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

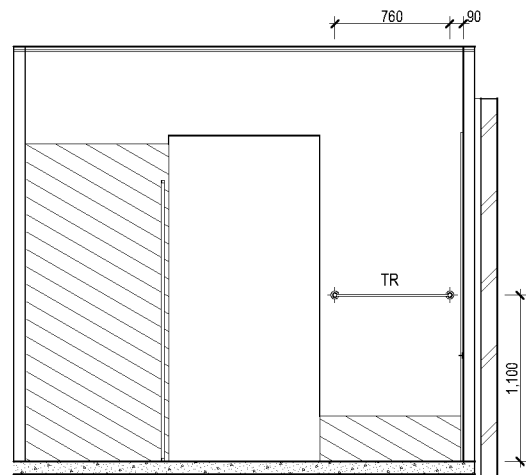
601036

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
 - BASIX/ABSA REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL HOUSE SPECIFICATIONS

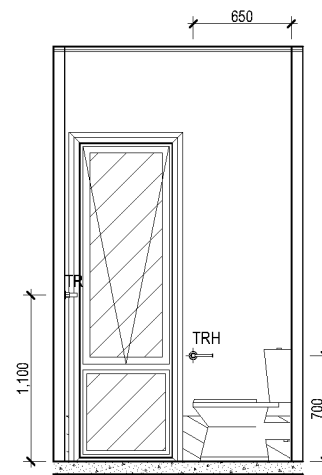
NOTE: BATHROOM DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

LEGEND

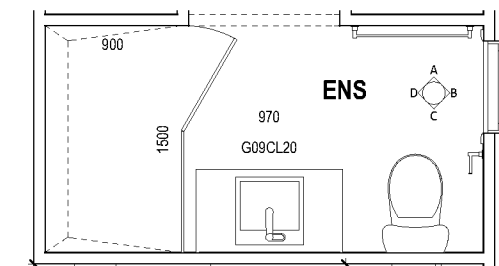
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR TOWEL RAIL
- TL TOWEL LADDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS



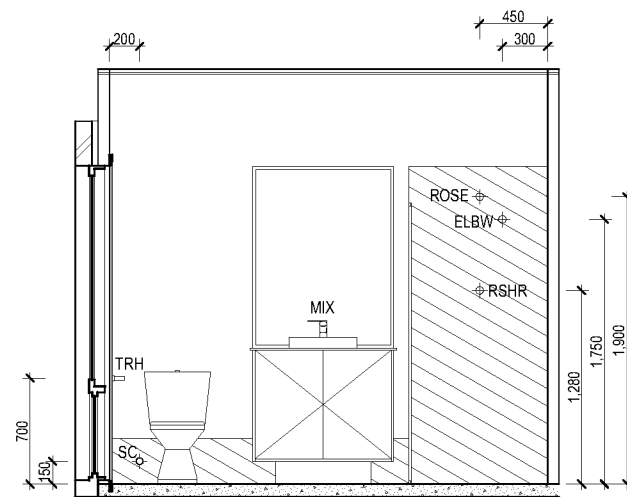
ELEVATION A
Scale: 1:50



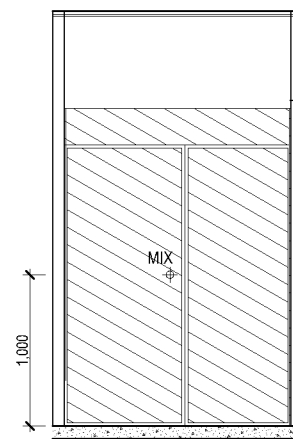
ELEVATION B
Scale: 1:50



ENSUITE FLOOR PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



McDonald Jones
YOUR HOME, YOUR DREAM

SPECIFICATION:
GENONE BY McDONALD JONES HOMES
 www.mcdonaldjoneshomes.com.au
 © 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA 2013.03.12
2 CONTRACT PLANS	MPA 2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4 PCV002,003,006,007 & 008	MPA 2013.07.09
5	

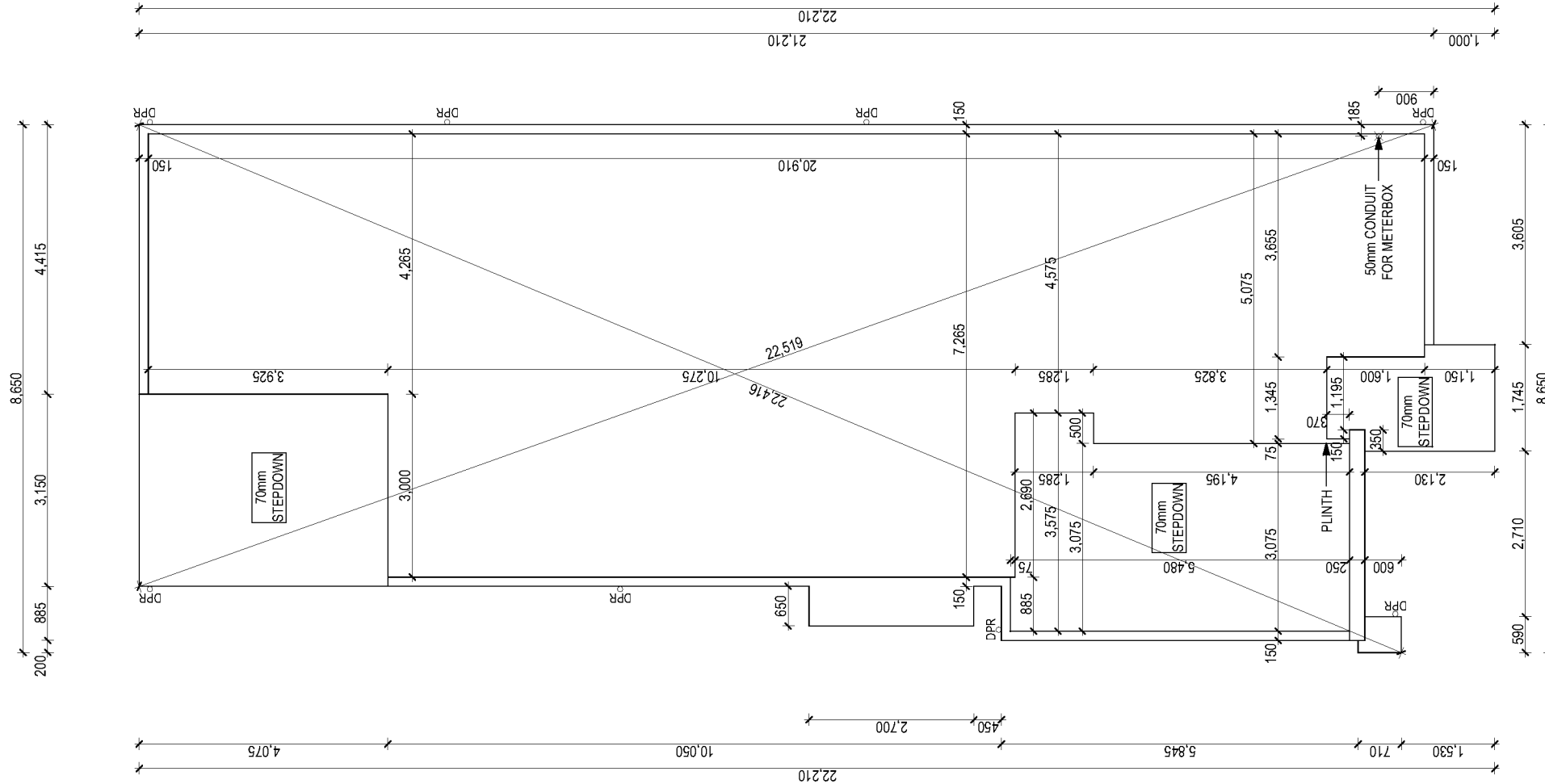
CLIENT: GREAT AUSSIE DREAM			LOT No: 2094
ADDRESS: MILPERA STREET			DP No: 1168991
SUBURB: JORDAN SPRINGS	POSTCODE: 2750	COUNCIL: PENRITH	SECTION No: ---

HOUSE DESIGN: DOUGLAS	DESIGN CODE: H-DUGCLAS12300B
FACADE: CLASSIC	FACADE CODE: F-DUGCLAS01
SHEET TITLE: ENSUITE DETAILS	SCALES: 1:50, 1:100
	SHEET No: 9 / 12

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

601036

SALINE REQUIREMENTS
SEE SHEET 1 (COVER PAGE) FOR DETAILS



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



McDonald Jones
YOUR HOME, YOUR DREAM

SPECIFICATION:

GENONE BY McDONALD JONES HOMES

www.mcdonaldjoneshomes.com.au
© 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA 2013.03.12
2 CONTRACT PLANS	MPA 2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4 PCV002,003,006,007 & 008	MPA 2013.07.09
5	

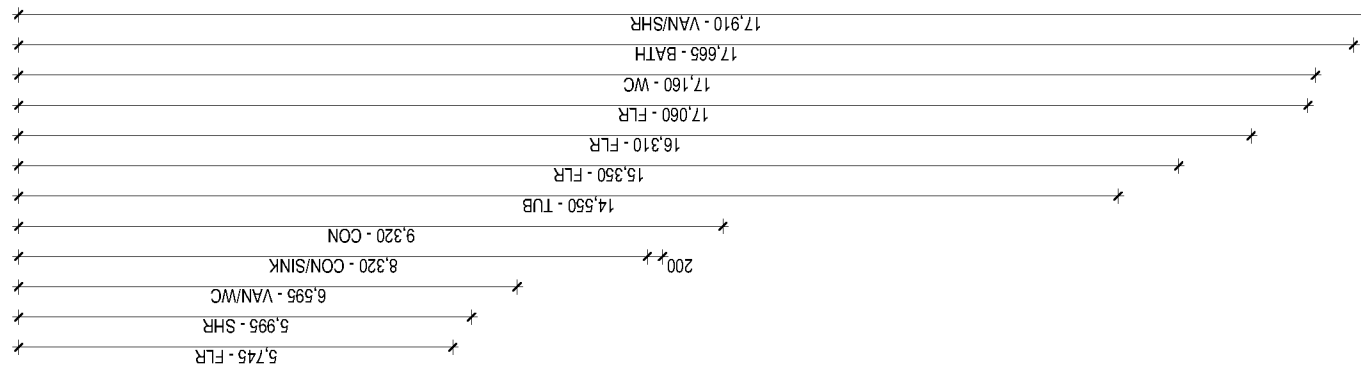
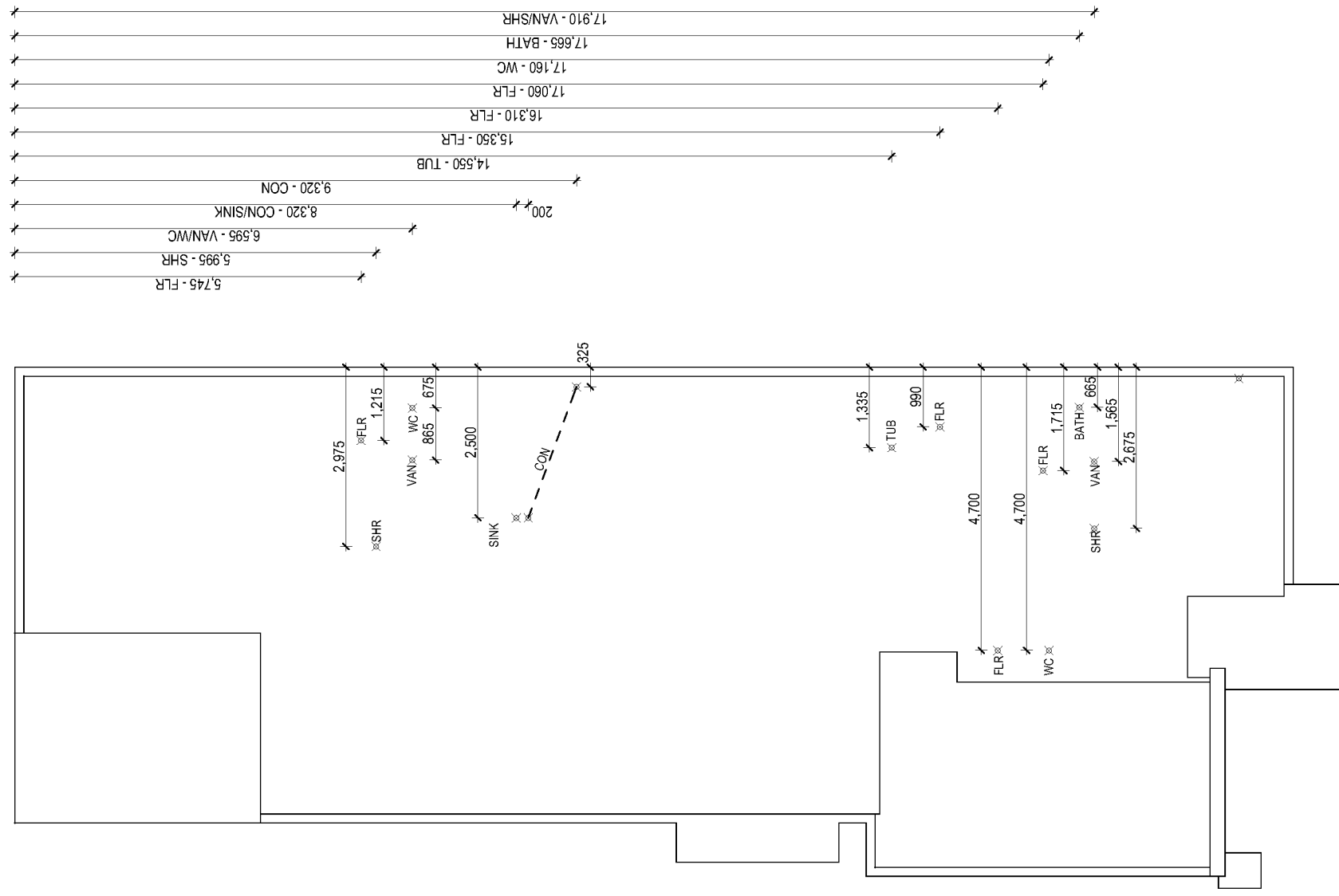
CLIENT: GREAT AUSSIE DREAM			LOT No: 2094
ADDRESS: MILPERA STREET			DP No: 1168991
SUBURB: JORDAN SPRINGS	POSTCODE: 2750	COUNCIL: PENRITH	SECTION No: ---

HOUSE DESIGN: DOUGLAS		DESIGN CODE: H-DUGCLAS12300B
FACADE: CLASSIC		FACADE CODE: F-DUGCLAS01
SHEET TITLE: SLAB PLAN	SCALES: 1:100	SHEET No: 11 / 12

DO NOT SCALE DRAWINGS. USE
FIGURED DIMENSIONS ONLY. CHECK
AND VERIFY DIMENSIONS AND LEVELS
PRIOR TO THE COMMENCEMENT OF
ANY WORK. ALL DISCREPANCIES TO BE
REPORTED TO THE DRAFTING OFFICE.

601036

SALINE REQUIREMENTS
SEE SHEET 1 (COVER PAGE) FOR DETAILS



THIS PLAN ACCEPTED BY: _____
 PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING
 SIGNATURE: _____
 DATE: _____



SPECIFICATION:
GENONE BY McDONALD JONES HOMES
 www.mcdonaldjoneshomes.com.au
 © 2013

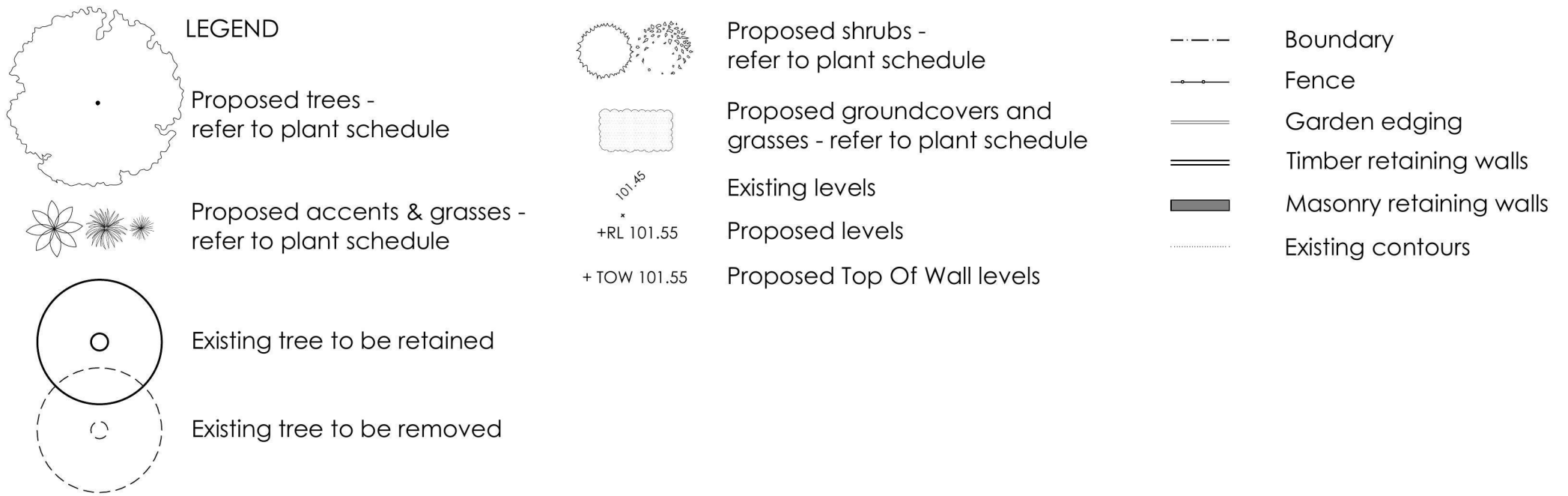
	DRAWING	DRAWN
1	PRELIMINARY PLANS	MPA 2013.03.12
2	CONTRACT PLANS	MPA 2013.04.10
3	CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4	PCV002,003,006,007 & 008	MPA 2013.07.09
5		

CLIENT: GREAT AUSSIE DREAM			LOT No: 2094
ADDRESS: MILPERA STREET			DP No: 1168991
SUBURB: JORDAN SPRINGS	POSTCODE: 2750	COUNCIL: PENRITH	SECTION No: ---

HOUSE DESIGN: DOUGLAS	DESIGN CODE: H-DUGCLAS12300B
FACADE: CLASSIC	FACADE CODE: F-DUGCLAS01
SHEET TITLE: DRAINAGE PLAN	SCALES: 1:100
	SHEET No: 12 / 12

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

601036



PLANT SCHEDULE Prepared by **ecodesign Pty Ltd**

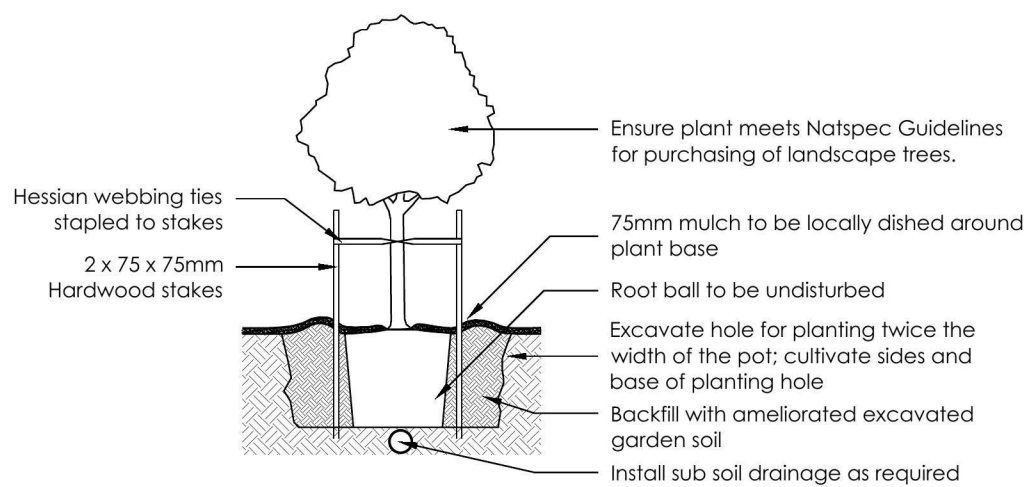
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Dg	Dietes grandiflora	Wild Iris	13	200mm	1m
Dcl	Dianella caerulea 'Little Jess'*	Compact Blue Flax Lily	15	150mm	0.3m
Er	Elaeocarpus reticulatus*	Blueberry Ash	1	25L	9m
Gmt	Grevillea 'Mt Tamboritha'*	Prostrate Woolly Grevillea	4	200mm	0.4m
Lcj	Lomandra confertifolia 'Crackerjack'*	Fine-leaved Lomandra	12	140mm	0.45m
Lcb	Loropetalum chinense var. rubrum 'Burgundy'	Pink Fringe Flower	2	200mm	1-1.5m
Tl	Tibouchina lepidota 'Alstonville'	Alstonville Tibouchina	1	25L	4m
Wg	Westringia 'Wynyabbie Gem'*	Dwarf Native Rosemary	5	200mm	1.5m

* Australian native plant

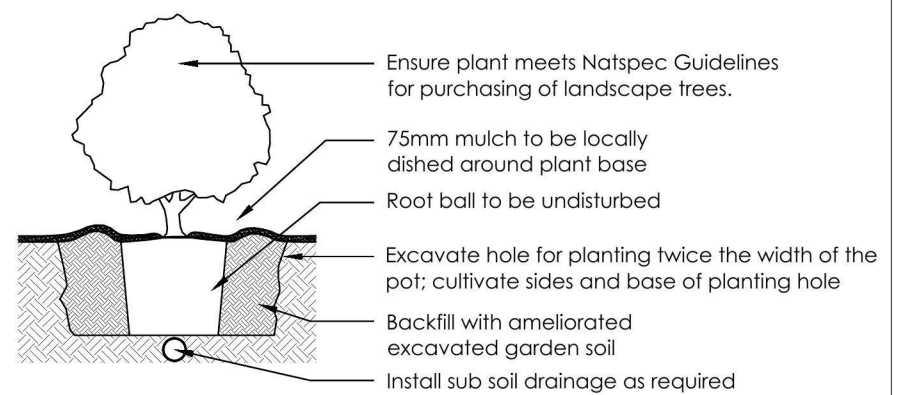
PLANTING SUMMARY

Total Plants	Total Native Plants	Total Exotic Plants	% Native Plants	Total Trees
53	37	16	70%	2

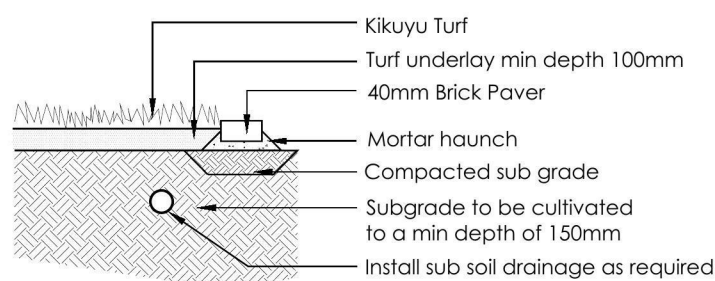
* Minimum 50% native plants and 2 trees



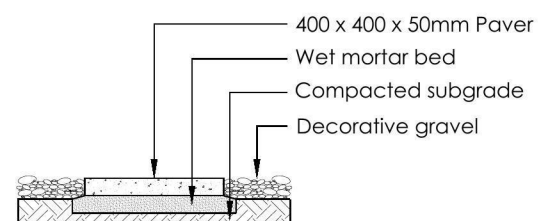
1 Tree Planting Detail
NTS 25L - 75L Pot Size



2 Planting Detail
NTS Tube, 150mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

REVISION	DESCRIPTION	DRAWN	CHECK	DATE	<p>PO Box 3136, Carrington, NSW 2118 Ph: (02) 9871 7701 Fax: (02) 9873 2583 Email: info@ecodesign.com.au Web: www.ecodesign.com.au Member of the Australian Institute of Landscape Designers and Managers</p>	ADDRESS	PROJECT	
A	SUBMITTED FOR APPROVAL	RS	MD	19-06-13		LOT 2094 MILPERA STREET, JORDAN SPRINGS	NEW RESIDENCE	
					<p>1. Do not scale from drawings 2. Verify all measurements on site 3. Notify ecodesign of any inconsistencies 4. Copyright © ecodesign. All rights reserved 5. Drawing remains the property of ecodesign</p> <p>6. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson 8. For application purposes only - NOT FOR CONSTRUCTION</p>	CLIENT	DRAWING	<p>SCALE: 1:100 @ A3</p> <p>ISSUE: DA</p> <p>SHEET: L-02</p>
						GREAT AUSSIE DREAM	LANDSCAPE PLAN	
		DRAWN	CHECK	DATE			REVISION	
		RS	MD	19-06-13			A	

DRAWING SCHEDULE

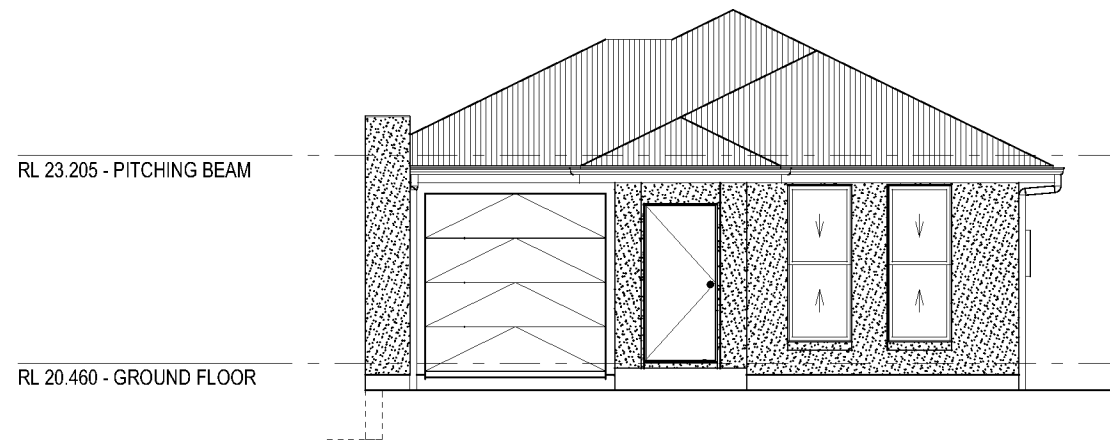
COVER PAGE / LOCATION MAP	Sheet	1
DATA PAGE	Sheet	2
SITE PLAN	Sheet	3
FLOOR PLAN	Sheet	4
ELEVATIONS / SECTION	Sheet	5
ELEVATIONS	Sheet	6
KITCHEN DETAILS	Sheet	7
BATHROOM DETAILS	Sheet	8
ENSUITE DETAILS	Sheet	9
WATER RECYCLING / FLOOR FINISHES	Sheet	10
SLAB PLAN	Sheet	11
DRAINAGE PLAN	Sheet	12

NOTE: REFER TO 'DATA PAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
 - BASIX/ABSA REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL HOUSE SPECIFICATIONS

SALINE REQUIREMENTS

PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN A 'SALINE PRONE ENVIRONMENT', AS REQUIRED BY COUNCIL. THIS SHALL INCLUDE THE FOLLOWING:-

- PROVIDE 32MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.
- PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB.
- PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE FLOOR STRUCTURE.
- PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.
- USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE IN LIEU OF STANDARD.
- USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE, BELOW THE DAMP PROOF COURSE.
- YOUR ATTENTION IS DRAWN TO THE 'BUILDING IN SALINITY PRONE ENVIRONMENT' POLICY FROM PENRITH COUNCIL.



THIS PLAN ACCEPTED BY:


PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

CDC COMPLIANT: NO

REASON FOR NON-COMPLIANCE: ZERO LOT BUILDING NOT PERMITTED ON 10m BLOCK

 McDonald Jones YOUR HOME, YOUR DREAM	SPECIFICATION:	DRAWING		DRAWN		CLIENT:	LOT No:	HOUSE DESIGN:	DESIGN CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 601036
	GENONE BY McDONALD JONES HOMES www.mcdonaldjoneshomes.com.au © 2013	1 PRELIMINARY PLANS	MPA	2013.03.12	GREAT AUSSIE DREAM		2094	DOUGLAS	H-DUGCLAS12300B	
		2 CONTRACT PLANS	MPA	2013.04.10	ADDRESS:		DP No:	CLASSIC	FACADE CODE:	
		3 CONTOUR ADDED & REGISTERED	MPA	2013.06.06	MILPERA STREET		1168991		F-DUGCLAS01	
		4 PCV002,003,006,007 & 008	MPA	2013.07.09	SUBURB:	POSTCODE:	COUNCIL:	SECTION No:	SHEET TITLE:	
5 DEVELOPER LETTER	MPA	2013.07.25	JORDAN SPRINGS	2750	PENRITH	---	COVER PAGE / LOCATION MAP	1:100, 1:1	1 / 12	

BASIX REQUIREMENTS

WATER COMMITMENTS

3 STAR (> 6 BUT <= 7.5 L/min) SHOWER HEADS
 4 STAR TOILET SUITES
 4 STAR KITCHEN TAPS
 4 STAR BATHROOM TAPS

1550 L WATER TANK(S) MINIMUM CAPACITY
 189.91 m² MINIMUM ROOF AREA TO TANK(S)
 189.91 m² TOTAL ROOF AREA

RAINWATER TANK(S) TO BE CONNECTED TO:
 - AT LEAST ONE OUTDOOR TAP
 - ALL TOILETS
 - WASHING MACHINE

- 117 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 5 STAR

HEATING SYSTEM

- NO ACTIVE HEATING SYSTEM

COOLING SYSTEM

- NO ACTIVE COOLING SYSTEM

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:
 INDIVIDUAL FAN, NOT DUCTED, MANUAL SWITCH ON/OFF
 - KITCHEN RANGEHOOD:
 INDIVIDUAL FAN, NOT DUCTED, MANUAL SWITCH ON/OFF
 - NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- 3 BEDROOMS/STUDY, NON DEDICATED
 - 2 LIVING/DINING AREAS, NON DEDICATED
 - KITCHEN, NON DEDICATED
 - ALL BATHROOMS/TOILETS, NON DEDICATED
 - LAUNDRY, NON DEDICATED
 - ALL HALLWAYS, NON DEDICATED

NATURAL LIGHTING TO

- KITCHEN
 - 3 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

- N/A

OTHER

- GAS COOKTOP, ELECTRIC OVEN
 - FIXED OUTDOOR CLOTHESLINE BY OWNER

BASIX CERTIFICATE NUMBER:

-

DATED:

-

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2700 mm
 FRAMES AND TRUSSES: STEEL
 ROOF PITCH (U.N.O.): 26°
 ELECTRICITY SUPPLY: SINGLE PHASE

ROOF MATERIAL: SHEET METAL
 ROOF COLOUR: DARK
 ROOF INSULATION: R3.0 BATTS
 SARKING
 1

WHIRLYBIRDS: 1
 WALL MATERIAL: BRICK VENEER
 WALL COLOUR: DARK
 WALL INSULATION: R1.5 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH B.C.A. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: M

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: M

FLOOR AREAS

ALFRESCO 11.775
 GARAGE 19.803
 LIVING 129.952
 PATIO / VERANDAH 3.813
165.343 m²

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE
 ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



SPECIFICATION:
GENONE BY McDONALD JONES HOMES
 www.mcdonaldjoneshomes.com.au
 © 2013

	DRAWING	DRAWN
1	PRELIMINARY PLANS	MPA 2013.03.12
2	CONTRACT PLANS	MPA 2013.04.10
3	CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4	PCV002,003,006,007 & 008	MPA 2013.07.09
5	DEVELOPER LETTER	MPA 2013.07.25

CLIENT: GREAT AUSSIE DREAM		LOT No: 2094
ADDRESS: MILPERA STREET		DP No: 1168991
SUBURB: JORDAN SPRINGS	POSTCODE: 2750	COUNCIL: PENRITH
		SECTION No: ---

HOUSE DESIGN: DOUGLAS	DESIGN CODE: H-DUGCLAS12300B
FACADE: CLASSIC	FACADE CODE: F-DUGCLAS01
SHEET TITLE: DATA PAGE	SCALES: 1:1, 1:100
	SHEET No: 2 / 12

DO NOT SCALE DRAWINGS. USE
 FIGURED DIMENSIONS ONLY. CHECK
 AND VERIFY DIMENSIONS AND LEVELS
 PRIOR TO THE COMMENCEMENT OF
 ANY WORK. ALL DISCREPANCIES TO BE
 REPORTED TO THE DRAFTING OFFICE.

601036



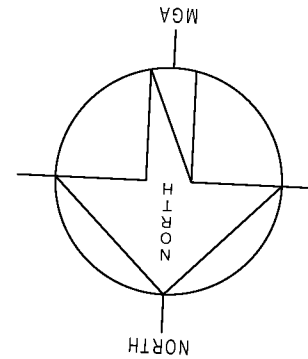
GENONIE: BY APPOINTMENT
www.mcdonaldjoneshomes.com.au
© 2013

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO

NOTE: CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'DPR' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

DPR DPR - CHARGED DOWNPIPE DIRECTED TO TANK

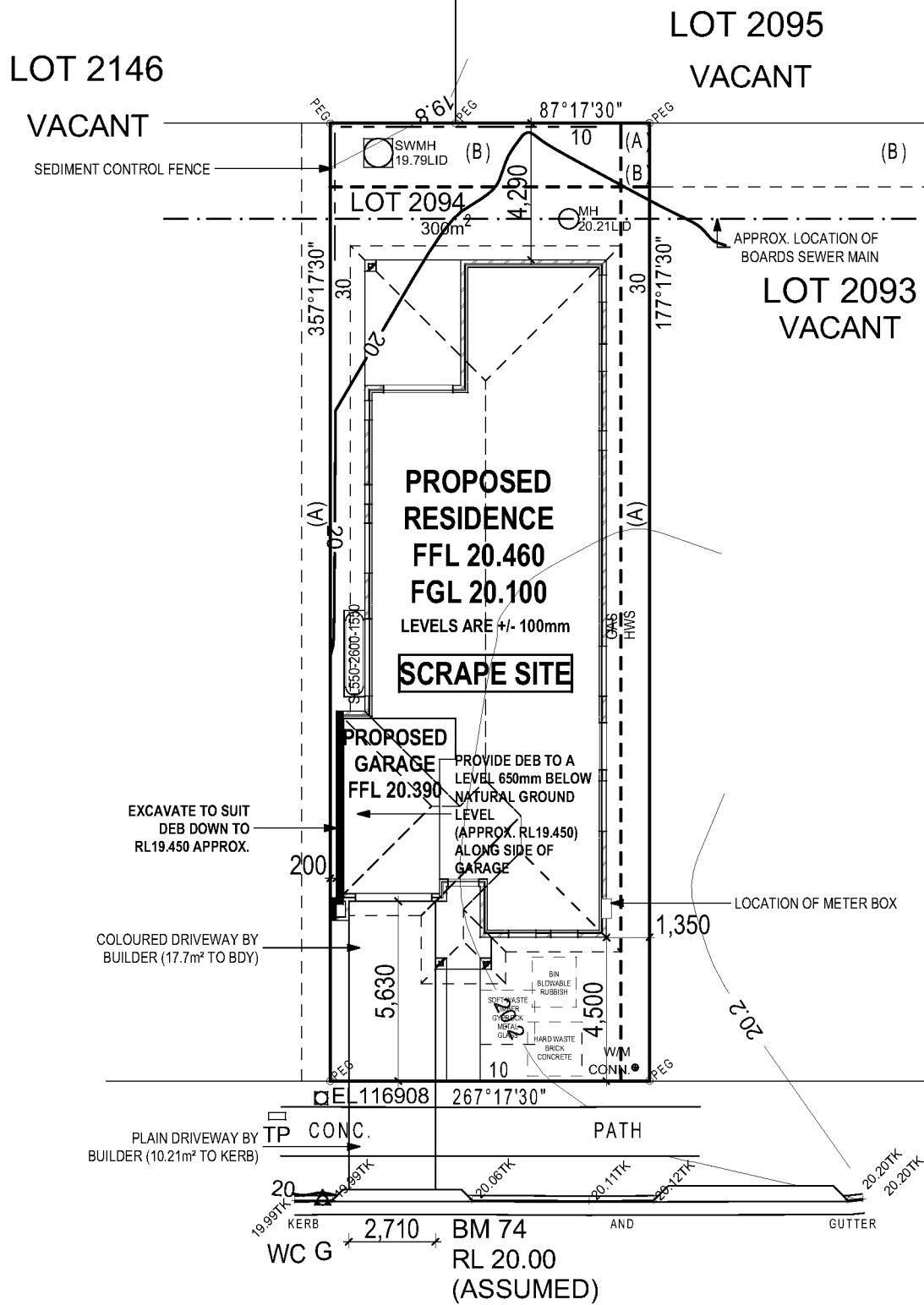


NOTE: STORMWATER LAYOUT IS DIAGRAMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

EXCAVATION NOTES

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

(A) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
(B) PROPOSED EASEMENT TO DRAIN WATER 2 WIDE



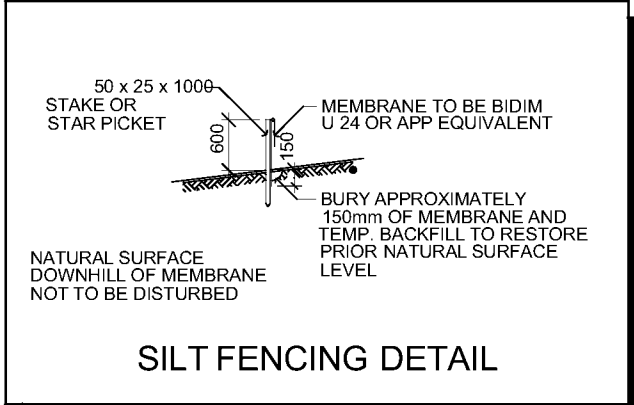
DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA/2013.03.12
2 CONTRACT PLANS	MPA/2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA/2013.06.06
4 PCV/002.003.006.007 & 008	MPA/2013.07.09
5	

CLIENT: GREAT AUSSIE DREAM
ADDRESS: MILPERA STREET
SUBURB: JORDAN SPRINGS
POSTCODE: 2750
COUNCIL: PENRITH

LOT No: 2094
DP No: 1168991
SECTION No: ---

HOUSE DESIGN: DOUGLAS
FACADE: CLASSIC
SHEET TITLE: SITE PLAN

DESIGN CODE: H-DUGCLAS12300B
FACADE CODE: F-DUGCLAS01
SCALES: 1:200, 1:100
SHEET No: 3 / 12

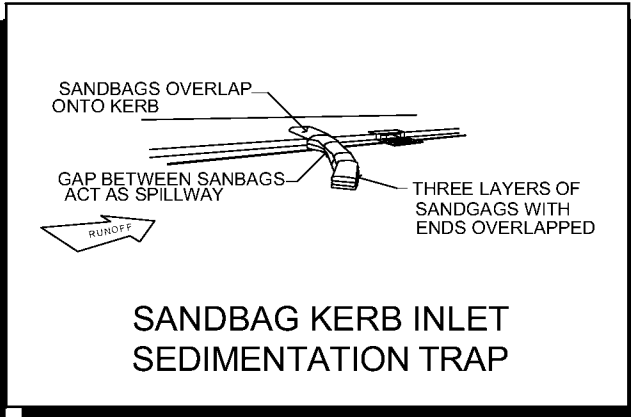
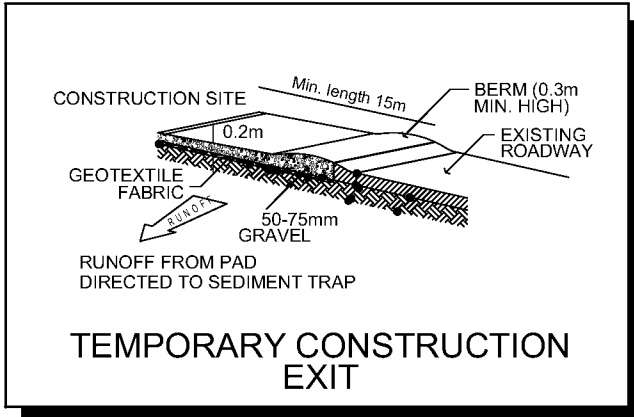


JORDAN SPRING NOTES

- THIS PLAN SHALL INCLUDE THE FOLLOWING:-
- PLAIN CONCRETE TO PENRITH CITY COUNCIL SPECIFICATION IS TO BE 3M WIDE
 - LAYBACK TO BE RELOCATED AND RECTIFIED AT BUILDER/OWNERS EXPENSE
 - ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.
 - ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND ARE TO BE OF MASONRY CONSTRUCTION
 - ALL GARDEN/LAWN EDGING VISIBLE FROM THE STREET IS REQUIRED TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED

P.O.S		
REQUIRED	15%	45m ²
PROVIDED	19.64%	58.94m ²

SALINE REQUIREMENTS
SEE SHEET 1 (COVER PAGE) FOR DETAILS



THIS PLAN ACCEPTED BY: _____

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: _____

DATE: _____



www.mcdonaldjoneshomes.com.au
© 2013

NO.	DRAWING	DRAWN
1	PRELIMINARY PLANS	MPA/2013.03.12
2	CONTRACT PLANS	MPA/2013.04.10
3	CONTOUR ADDED & REGISTERED	MPA/2013.06.06
4	PCV/002.003.006.007 & 008	MPA/2013.07.09
5		

CLIENT: GREAT AUSSIE DREAM
ADDRESS: MILPERA STREET
SUBURB: JORDAN SPRINGS
POSTCODE: 2750
COUNCIL: PENRITH

HOUSE DESIGN: DOUGLAS
FACADE: CLASSIC
SHEET TITLE: FLOOR PLAN

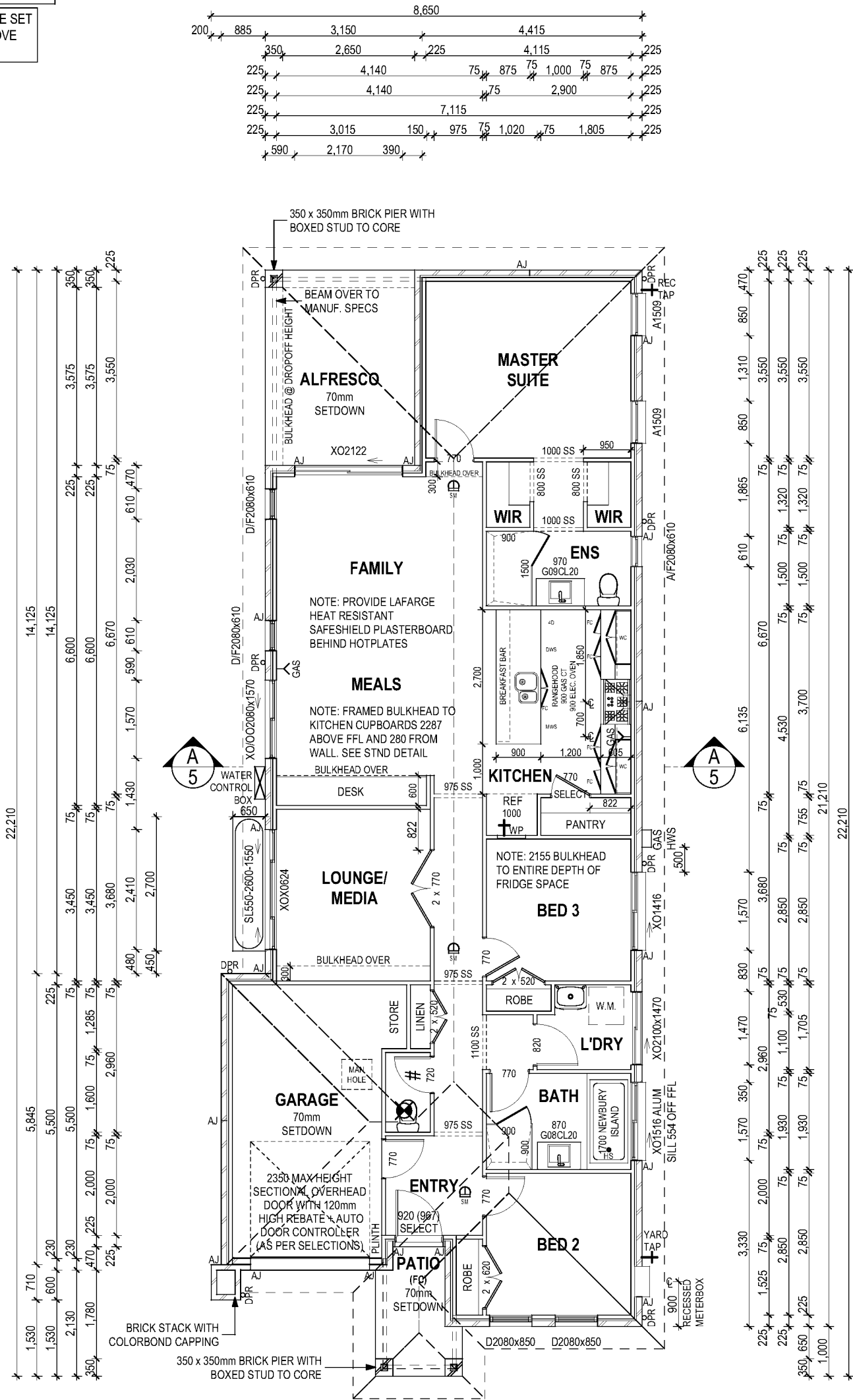
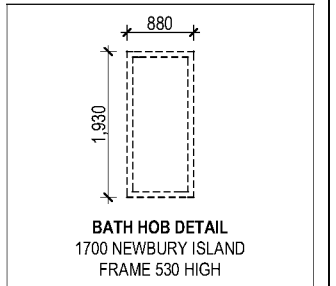
DESIGN CODE: H-DUGCLAS12300B
FACADE CODE: F-DUGCLAS01
SCALE: 1:100
SHEET NO: 4 / 12

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

LAFARGE SOUNDSHIELD PLASTERBOARD TO BED 2, BED 3 & MEDIA

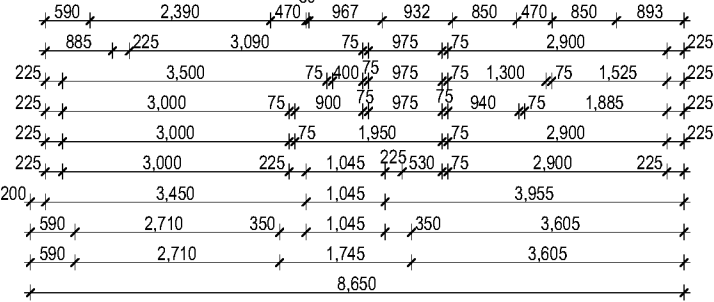
NOTE: ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

DPR - CHARGED DOWNPIPE DIRECTED TO TANK



FLOOR PLAN LEGEND

- ① WINDOW NUMBER
- HS / WS HOB SPOUT / WALL SPOUT
- AJ (BRICK) ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- EXHAUST FAN
- L.B.W LOAD BEARING WALL
- THIS DOOR OPENS FIRST
- SMOKE ALARM
- # LIFT OFF HINGE
- SOUNDSHIELD PLASTERBOARD
- + WATER POINT
- WP FRIDGE WATER POINT
- GAS GAS BAYONET
- APPROX. LOCATION OF RETURN AIR GRILLE (FINAL LOCATION SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS)



NOTE: ALL DIMENSIONS ARE FRAME DIMENSIONS

SALINE REQUIREMENTS
SEE SHEET 1 (COVER PAGE) FOR DETAILS

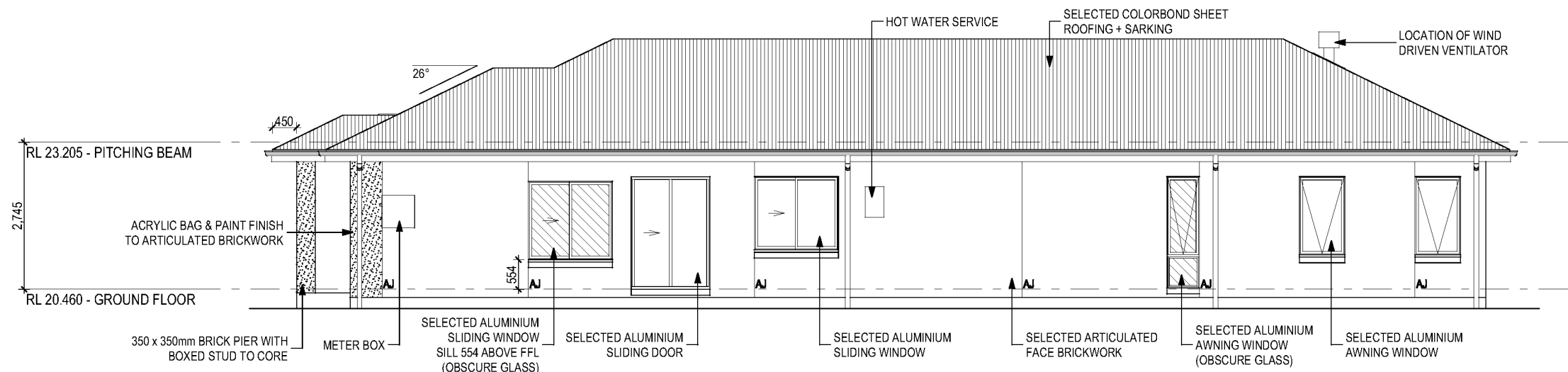
THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING
SIGNATURE:

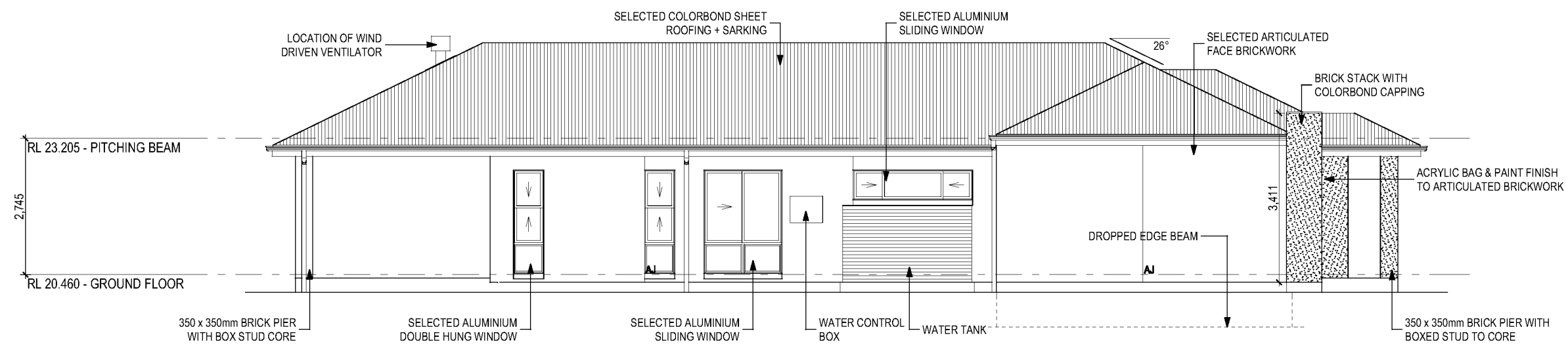
DATE:

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
 - BASIX/ABSA REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL HOUSE SPECIFICATIONS

SALINE REQUIREMENTS
 SEE SHEET 1 (COVER PAGE) FOR DETAILS



WEST ELEVATION
 Scale: 1:100



EAST ELEVATION
 Scale: 1:100

THIS PLAN ACCEPTED BY:

 PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING
 SIGNATURE:

 DATE:



SPECIFICATION:
GENONE BY McDONALD JONES HOMES
 www.mcdonaldjoneshomes.com.au
 © 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA 2013.03.12
2 CONTRACT PLANS	MPA 2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4 PCV002,003,006,007 & 008	MPA 2013.07.09
5 DEVELOPER LETTER	MPA 2013.07.25

CLIENT:
GREAT AUSSIE DREAM
 ADDRESS:
MILPERA STREET
 SUBURB:
JORDAN SPRINGS POSTCODE:
2750 COUNCIL:
PENRITH
 LOT No:
2094
 DP No:
1168991
 SECTION No:

HOUSE DESIGN:
DOUGLAS
 FACADE:
CLASSIC
 SHEET TITLE:
ELEVATIONS

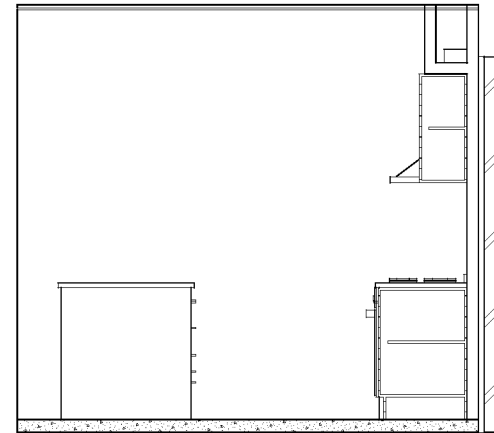
DESIGN CODE:
H-DUGCLAS12300B
 FACADE CODE:
F-DUGCLAS01
 SCALES:
1:100 SHEET No:
6 / 12

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
601036

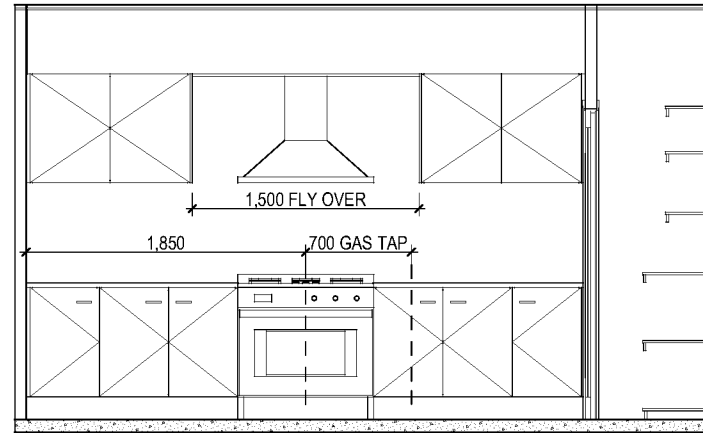
NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
 - BASIX/ABSA REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL HOUSE SPECIFICATIONS

NOTE: KITCHEN DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

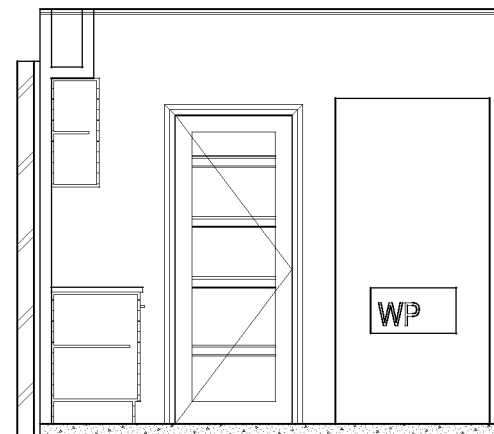
SALINE REQUIREMENTS
 SEE SHEET 1 (COVER PAGE) FOR DETAILS



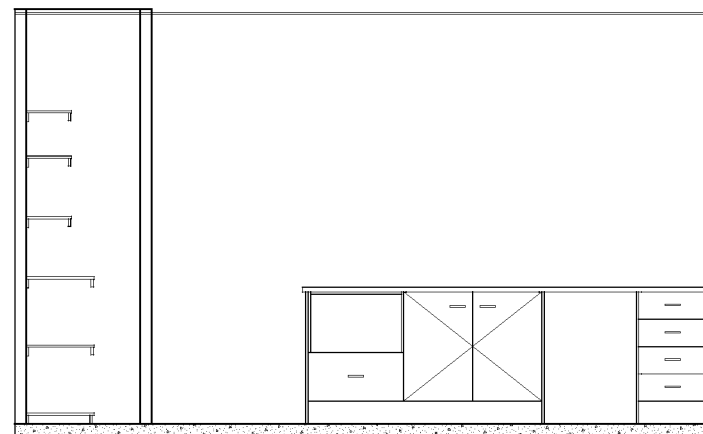
ELEVATION A
 Scale: 1:50



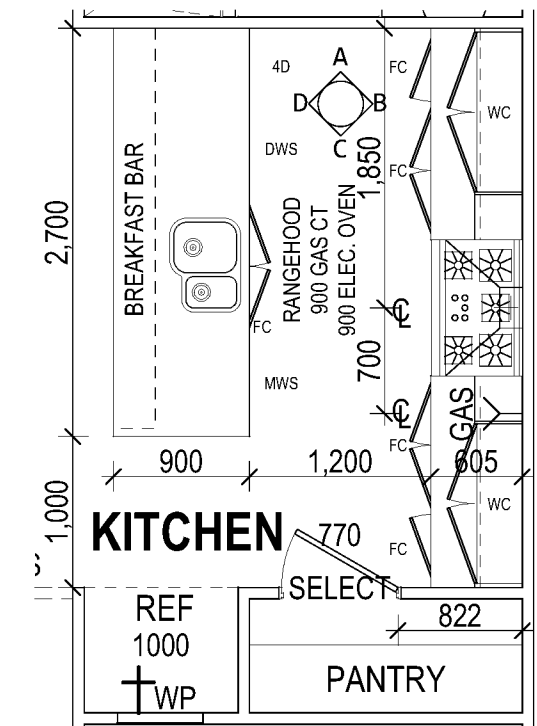
ELEVATION B
 Scale: 1:50



ELEVATION C
 Scale: 1:50



ELEVATION D
 Scale: 1:50



KITCHEN FLOOR PLAN
 Scale: 1:50

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



SPECIFICATION:
GENONE BY McDONALD JONES HOMES
 www.mcdonaldjoneshomes.com.au
 © 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA 2013.03.12
2 CONTRACT PLANS	MPA 2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4 PCV002,003,006,007 & 008	MPA 2013.07.09
5 DEVELOPER LETTER	MPA 2013.07.25

CLIENT: GREAT AUSSIE DREAM		LOT No: 2094
ADDRESS: MILPERA STREET		DP No: 1168991
SUBURB: JORDAN SPRINGS	POSTCODE: 2750	COUNCIL: PENRITH
		SECTION No: ---

HOUSE DESIGN: DOUGLAS	DESIGN CODE: H-DUGCLAS12300B
FACADE: CLASSIC	FACADE CODE: F-DUGCLAS01
SHEET TITLE: KITCHEN DETAILS	SCALES: 1:50, 1:100
	SHEET No: 7 / 12

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

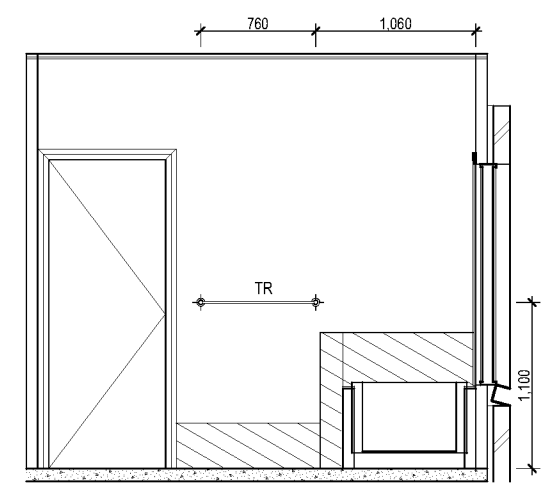
601036

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
 - BASIX/ABSA REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL HOUSE SPECIFICATIONS

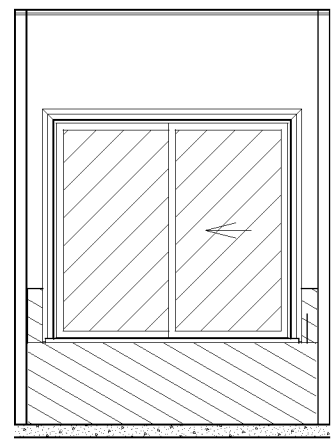
NOTE: BATHROOM DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

LEGEND

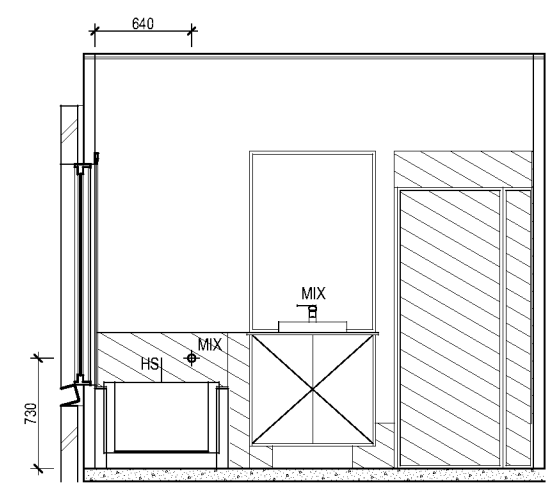
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR TOWEL RAIL
- TL TOWEL LADDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS



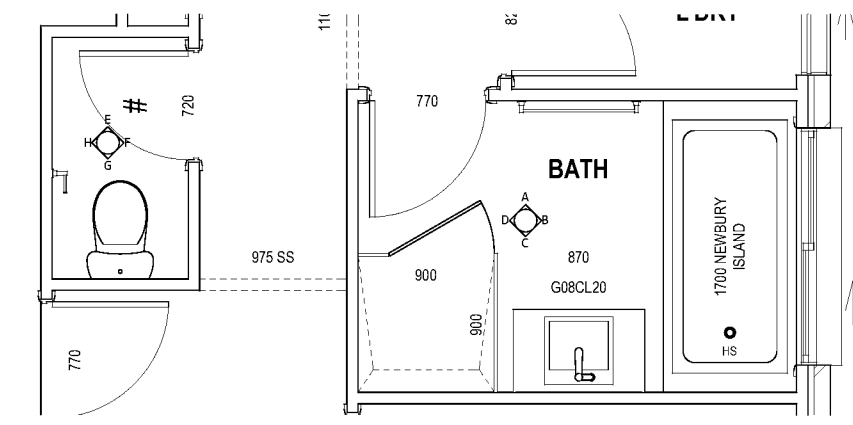
ELEVATION A
Scale: 1:50



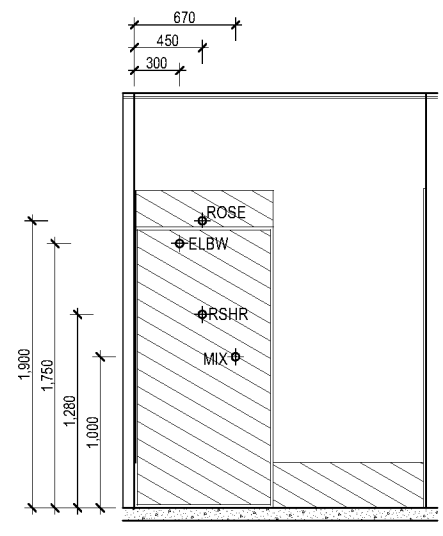
ELEVATION B
Scale: 1:50



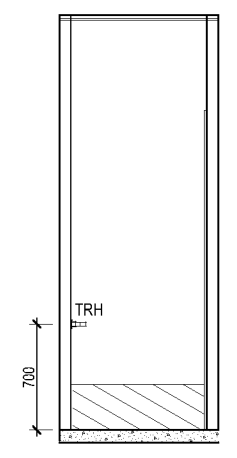
ELEVATION C
Scale: 1:50



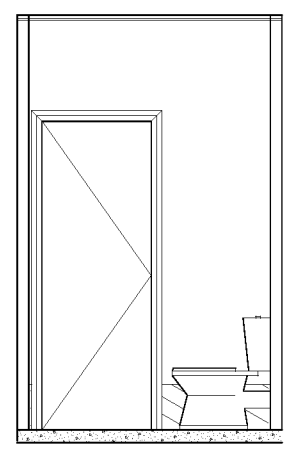
BATHROOM FLOOR PLAN
Scale: 1:50



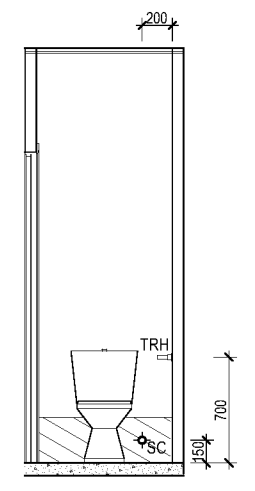
ELEVATION D
Scale: 1:50



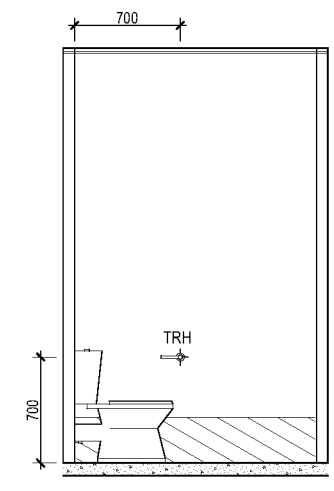
ELEVATION E
Scale: 1:50



ELEVATION F
Scale: 1:50



ELEVATION G
Scale: 1:50



ELEVATION H
Scale: 1:50

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



SPECIFICATION:
GENONE BY McDONALD JONES HOMES
 www.mcdonaldjoneshomes.com.au
 © 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA 2013.03.12
2 CONTRACT PLANS	MPA 2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4 PCV002,003,006,007 & 008	MPA 2013.07.09
5 DEVELOPER LETTER	MPA 2013.07.25

CLIENT:
GREAT AUSSIE DREAM

ADDRESS:
MILPERA STREET

SUBURB:
JORDAN SPRINGS

POSTCODE:
2750

COUNCIL:
PENRITH

LOT No:
2094

DP No:
1168991

SECTION No:

HOUSE DESIGN:
DOUGLAS

FAÇADE:
CLASSIC

SHEET TITLE:
BATHROOM DETAILS

DESIGN CODE:
H-DUGCLAS12300B

FAÇADE CODE:
F-DUGCLAS01

SCALES:
1:50, 1:100

SHEET No:
8 / 12

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

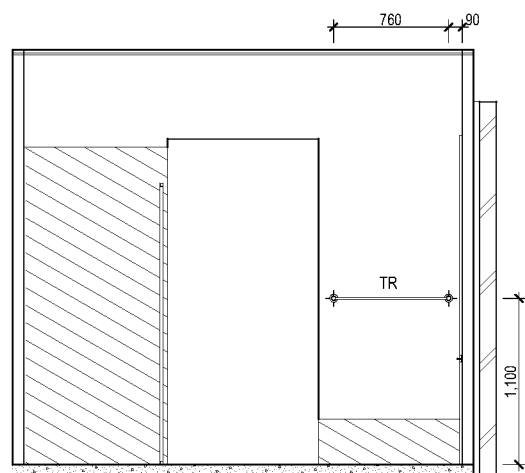
601036

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
 - BASIS/ABSA REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL HOUSE SPECIFICATIONS

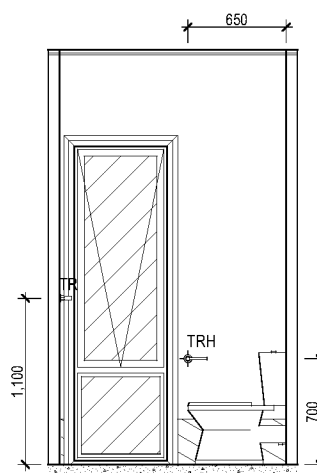
NOTE: BATHROOM DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

LEGEND

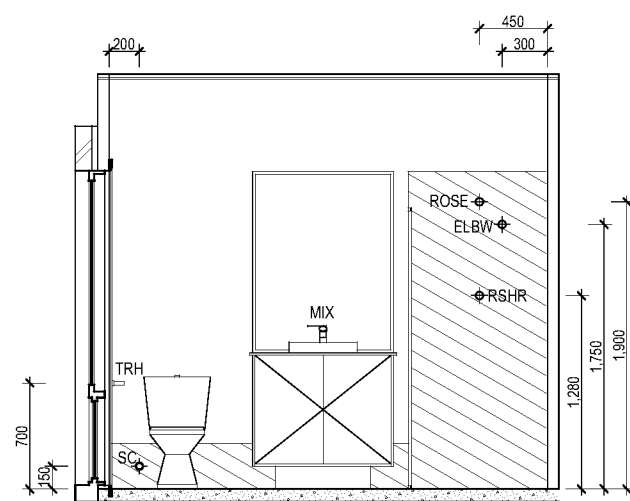
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR TOWEL RAIL
- TL TOWEL LADDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS



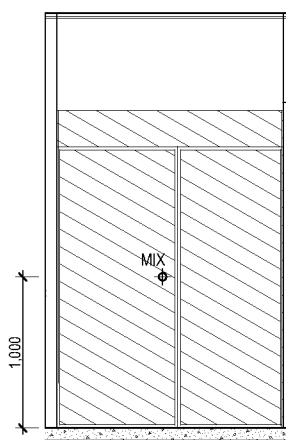
ELEVATION A
Scale: 1:50



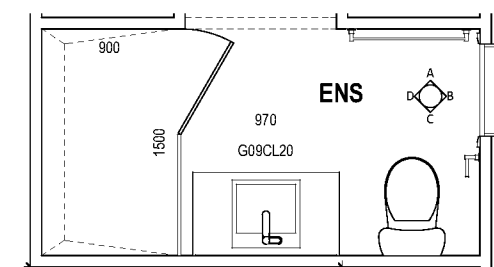
ELEVATION B
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



ENSUITE FLOOR PLAN
Scale: 1:50

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



McDonald Jones
YOUR HOME, YOUR DREAM

SPECIFICATION:

GENONE BY McDONALD JONES HOMES

www.mcdonaldjoneshomes.com.au
© 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA 2013.03.12
2 CONTRACT PLANS	MPA 2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA 2013.06.06
4 PCV002,003,006,007 & 008	MPA 2013.07.09
5 DEVELOPER LETTER	MPA 2013.07.25

CLIENT: GREAT AUSSIE DREAM		LOT No: 2094
ADDRESS: MILPERA STREET		DP No: 1168991
SUBURB: JORDAN SPRINGS	POSTCODE: 2750	COUNCIL: PENRITH
		SECTION No: ---

HOUSE DESIGN: DOUGLAS	DESIGN CODE: H-DUGCLAS12300B
FAÇADE: CLASSIC	FAÇADE CODE: F-DUGCLAS01
SHEET TITLE: ENSUITE DETAILS	SCALES: 1:50, 1:100
	SHEET No: 9 / 12

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

601036



NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

NOTE: STORMWATER LAYOUT IS DIAGRAMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

DPR DPR - CHARGED DOWNPIPE DIRECTED TO TANK

NOTE: CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'DPR' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

SALINE REQUIREMENTS
SEE SHEET 1 (COVER PAGE) FOR DETAILS

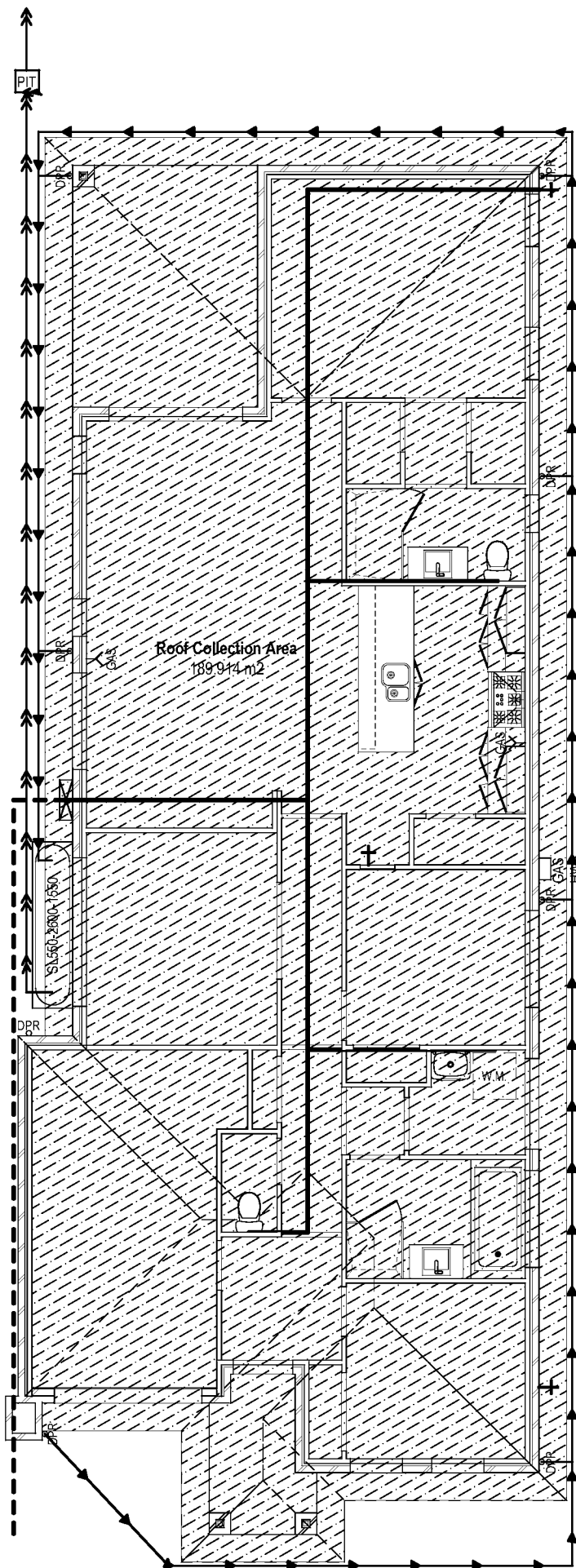
DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA/2013.03.12
2 CONTRACT PLANS	MPA/2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA/2013.06.06
4 PCV/002.003.006.007 & .008	MPA/2013.07.09
5	

CLIENT:	ADDRESS:	LOT No:
GREAT AUSSIE DREAM	MILPERA STREET	2094
JORDAN SPRINGS		1168991
	POSTCODE: 2750	SECTION No: ---
	COUNCIL: PENRITH	

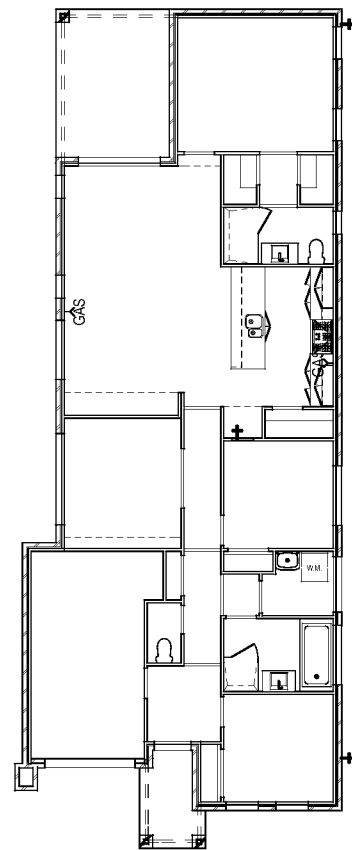
HOUSE DESIGN:	DESIGN CODE:
DOUGLAS	H-DUGGLAS12300B
CLASSIC	F-DUGGLAS01
WATER RECYCLING / FLOOR FINISHES	SCALES: 1:200, 1:100, 1:1
	SHEET No: 10 / 12

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE

601036



WATER RECYCLING PLAN (GROUND FLOOR)
Scale: 1:100



FLOOR FINISHES (GROUND FLOOR)
Scale: 1:200

FLOOR FINISHES

CONC	NO COVERING
CPT	CARPET
CT	CERAMIC TILES - WET AREAS
CT-I	CERAMIC TILES - SELECTED INTERNAL
CT-E	CERAMIC TILES - SELECTED EXTERNAL
TIM	TIMBER (BY OWNER)
VIN	VINYL

NOTE: FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT POSITIONING OF THE ACTUAL FLOOR TILES. TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE DIRECTION OF THE ACTUAL FLOORING.

NOTE: MAINS YARD TAP TO BE LOCATED AT FRONT OF DWELLING AT POINT CLOSEST TO MAINS CONNECTION

NOTE TO PLUMBER: ROOF WATER FROM HATCHED AREA TO BE DIVERTED TO WATER TANK. BALANCE TO BE TAKEN TO REAR INTER-ALLOTMENT DRAINAGE HATCH = 189.914 m²

PLUMBING LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS
TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY
ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)
ALL DRAINAGE LINES ARE FOR ROOF WATER/WATER TANK DRAINAGE ONLY

	CONTROL PANEL
	RECYCLED COLD WATER LINE
	WATER LINE TO MAIN SUPPLY
	CHARGED LINE TO WATER TANK
	WATER TANK OVERFLOW
	STORMWATER OVERFLOW
	WM WASHING MACHINE
	WC WATER CLOSET
	RC YARD TAP

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



SALINE REQUIREMENTS
SEE SHEET 1 (COVER PAGE) FOR DETAILS

SPECIFICATION:
GENONIE BY MCDONALD JONES HOMES
www.mcdonaldjoneshomes.com.au
© 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA/2013.03.12
2 CONTRACT PLANS	MPA/2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA/2013.06.06
4 PCV002.003.006.007 & 008	MPA/2013.07.09
5	

CLIENT:
GREAT AUSSIE DREAM
ADDRESS:
MILPERA STREET
SUBURB:
JORDAN SPRINGS

LOT No: **2094**
DP No: **1168991**
SECTION No: **---**

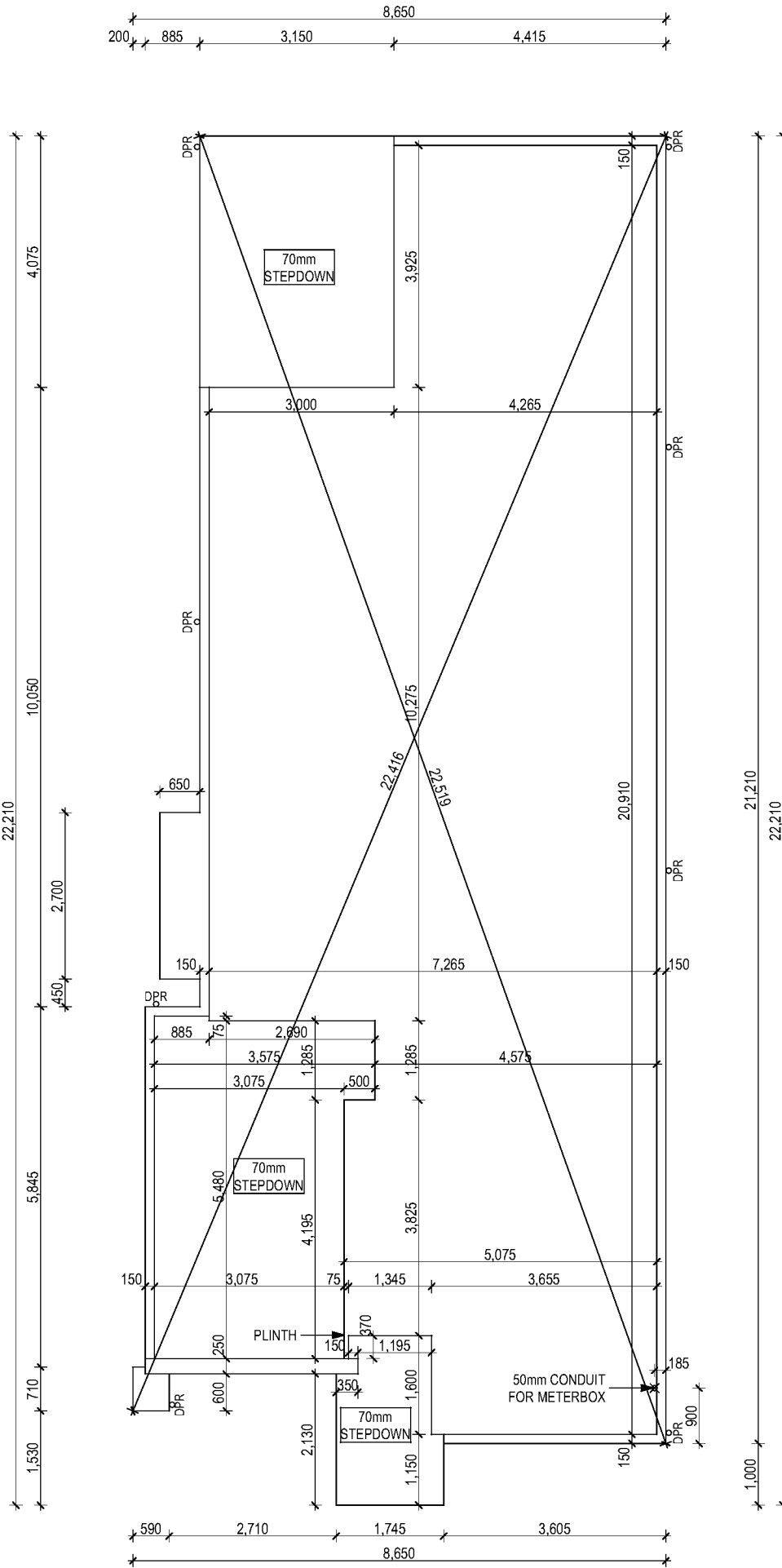
POSTCODE: **2750**
COUNCIL: **PENRITH**

HOUSE DESIGN:
DOUGLAS
FACADE:
CLASSIC
SHEET TITLE:
SLAB PLAN

DESIGN CODE:
H-DUGCLAS12300B
FACADE CODE:
F-DUGCLAS01
SCALES:
1:100
SHEET No:
11 / 12

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

601036



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



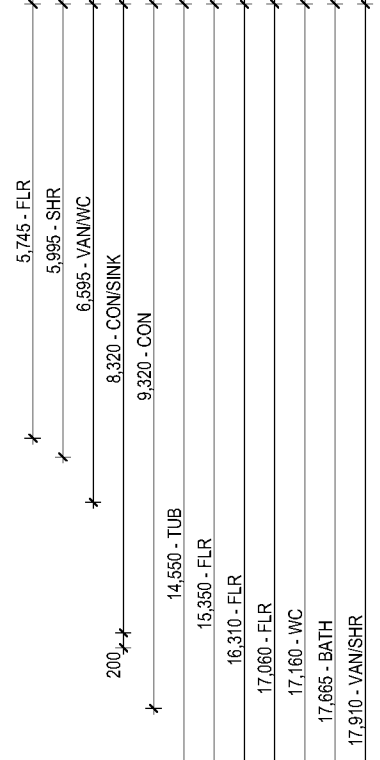
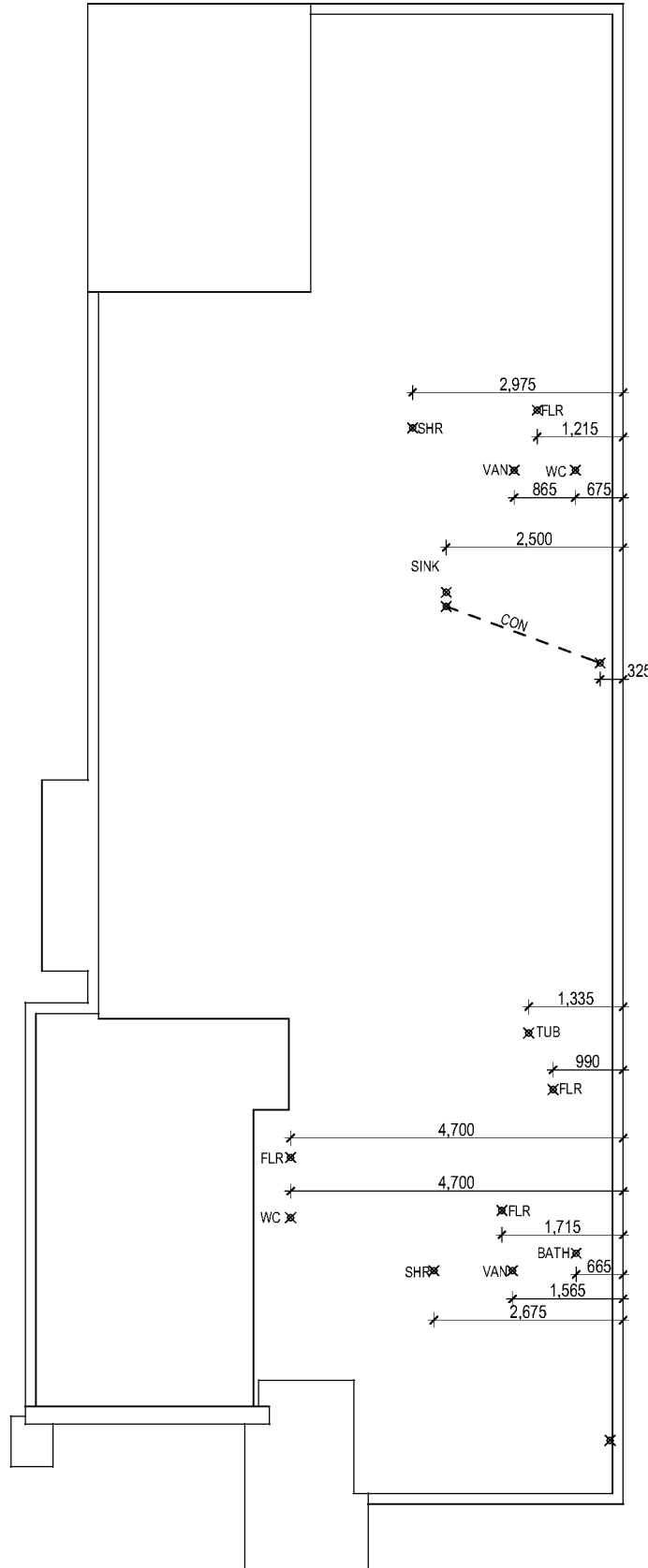
SPECIFICATION:
GENONIE BY MCDONALD JONES HOMES
www.mcdonaldjoneshomes.com.au
© 2013

SALINE REQUIREMENTS
SEE SHEET 1 (COVER PAGE) FOR DETAILS

DRAWING	DRAWN
1 PRELIMINARY PLANS	MPA/2013.03.12
2 CONTRACT PLANS	MPA/2013.04.10
3 CONTOUR ADDED & REGISTERED	MPA/2013.06.06
4 PCV002.003.006.007 & 008	MPA/2013.07.09
5	

CLIENT:	LOT No:
GREAT AUSSIE DREAM	2094
ADDRESS: MILPERA STREET	DP No: 1168991
SUBURB: JORDAN SPRINGS	SECTION No: ---
POSTCODE: 2750	COUNCIL: PENRITH

HOUSE DESIGN:	DESIGN CODE:
DOUGLAS	H-DUGCLAS12300B
FACADE: CLASSIC	FACADE CODE: F-DUGCLAS01
SHEET TITLE: DRAINAGE PLAN	SCALES: 1:100
	SHEET No: 12 / 12



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE

601036