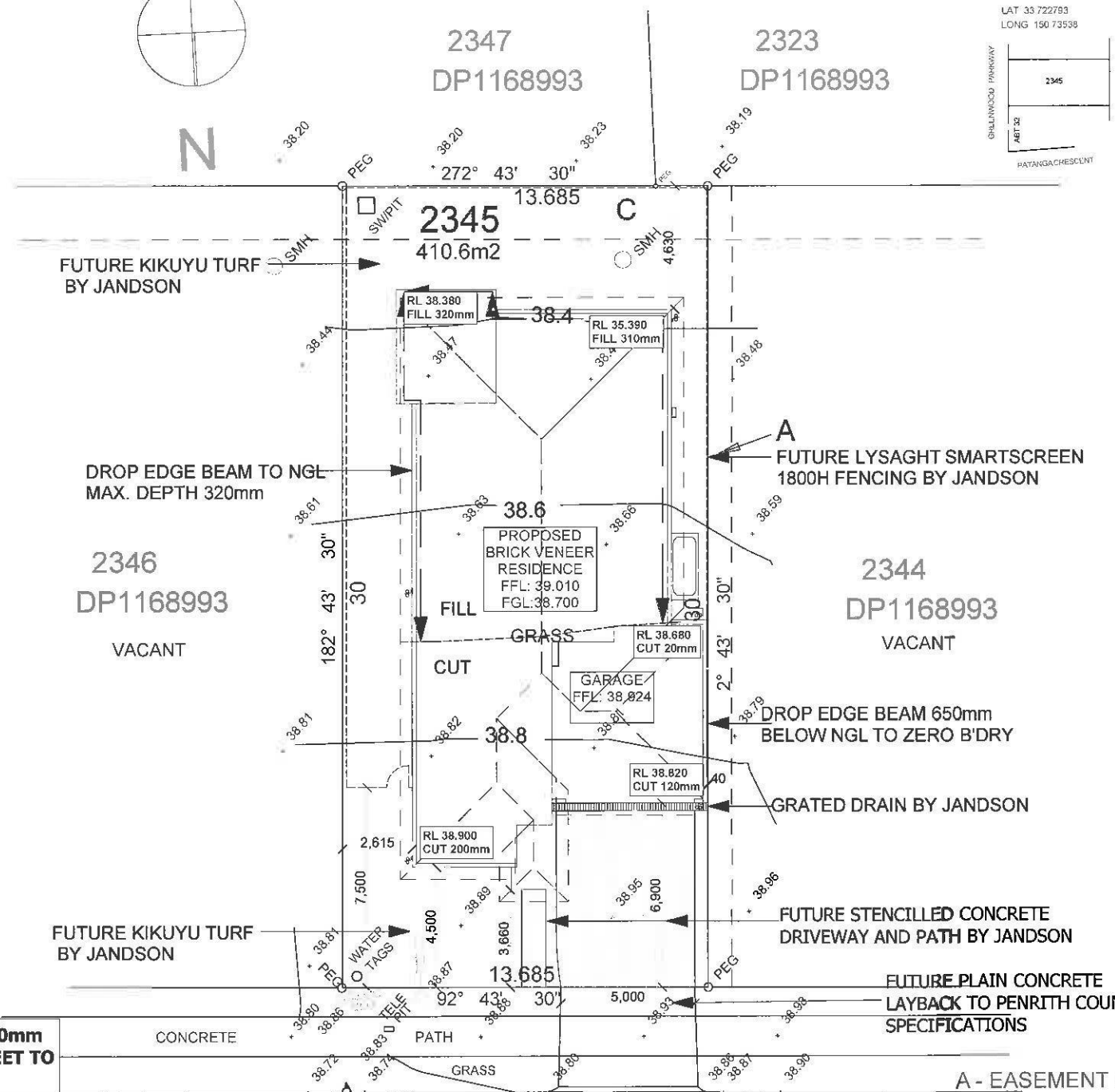
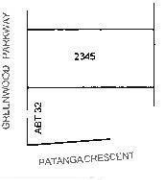


LOCATION PLAN
LAT 33 722793
LONG 150 73598



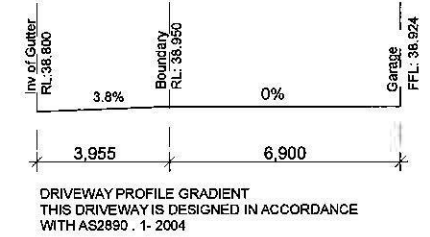
DEVELOPMENT DATA

SITE AREA	410.6m ²
HOUSE FOOT PRINT	207.61 m ²
DRIVEWAY & PATH	38.85 m ²
ROOF AREA	239.36m ²
TOTAL POST-DEVELOPMENT IMPERVIOUS AREA	246.46m ²
LANDSCAPED AREA (Excluding driveway)	164.14m ²
PRIVATE OPEN SPACE	121.5m ²

- LEGEND**
- WATER METER
 - TELECOM PIT
 - MANHOLE (SEWER/STORMWATER)
 - VEHICLE CROSSING
 - KERB INLET PIT
 - LIGHT POLE
 - ELECTRICITY POLE
 - ELECTRICITY PILLAR
 - HYDRANT
 - STOP VALVE
 - KERB OUTLET

Note: All existing street trees and verge planting are to be protected during construction.

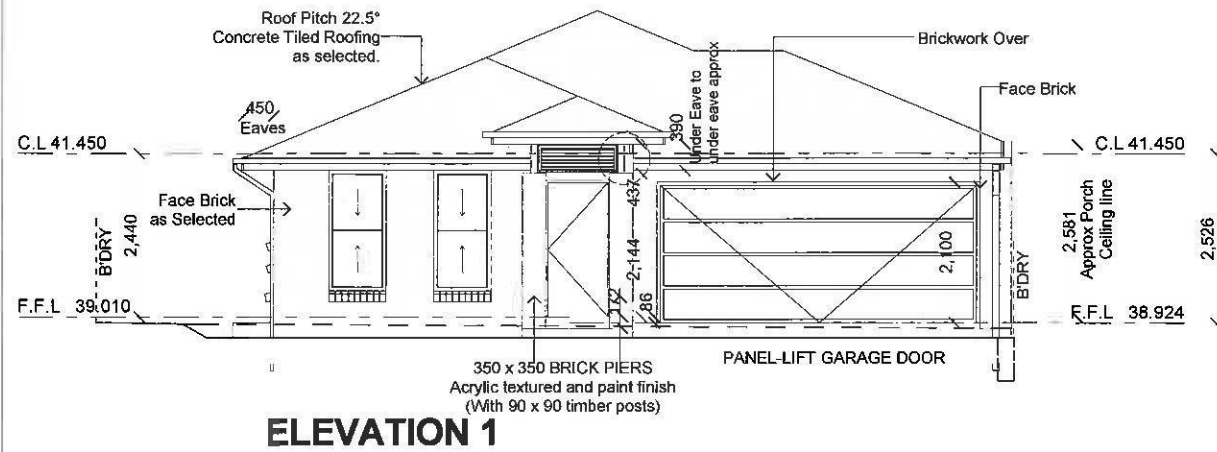
NOTE: RETAINING WALLS OVER 900mm OR THOSE VISIBLE FROM THE STREET TO BE MASONRY CONSTRUCTION



GREENWOOD PARKWAY
BM 31 NAIL IN KERB RL 38.74 (AHD)

A - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
C - EASEMENT TO DRAIN WATER 2 WIDE

WD	24.07.13	Working Drawings To Tender # ... and Variations ...	PROPOSED BRICK VENEER RESIDENCE AT ADDRESS Lot 2345 Greenwood Parkway, Jordan Springs	SITE PLAN	
AMENDMENTS			CLIENT	JOB # 2887	SHEET # 1
REV	DATE	DETAILS	DHA	DESIGN BY : ACN 003 144 330	
A	09.08.13	BASIX update	DESIGN : ULTIMA 24	Jandson Homes	
B	21.08.13	Council Prep, developer changes and amended BASIX	DATE 24.07.13	SUITE 402, GATEWAY BUSINESS PARK	
			FINISH Classic	63-79 PARRAMATTA ROAD	
			UBD REF ...	SILVERWATER, NSW 2128	
			DRAWN BY JD	PH : 9741 7100 FAX: 9737 9372	
			CHECKED BY ...	Written dimension to take precedence over scale if unclear, check with builder	



ELEVATION 1



ELEVATION 3

BERS AND BASIX REQUIREMENTS

Minimum BERS Requirements

INSULATION:

- * Provide R1.5 Wall Insulation to External walls of house only
- * Provide R1.5 Int. Walls insulation to garage only;
- * Provide R2.5 Ceiling Insulation to Ceiling of House excluding Garage

EXTERNAL COLOURS

- * External Wall Colour must be MEDIUM(0.475<SA<0.70)
- * Roof Colour must be DARK(SA>0.70)

GLAZING:

- * Provide Clear glazing to all windows and doors (Uw= 6.57& SHGCw= 0.74)
- * Provide Weather strips to all windows and doors

Note:

- * All glazing ratings are as per National Fenestration Rating Council (NFRC) regulations
- * Wideline Windows data accquired from Windows Energy Rating Scheme (WERS)

FLOOR COVERINGS

- * Jandson is to provide Ceramic Tile/Carpet Covering as per plan

ROOF VENTILATION

- * No Roof Ventilation

Minimum BASIX Requirements Certificate No 496648S-02

RAINWATER

- * Provide minimum 2500ltr Above ground Rainwater tank connected to WC's, Outdoor Tap and washing machine

WELS Water Rating

- * Provide 4Star Rated Taps to Bathrooms / Ensuites
- * Provide 4Star Rated Taps to Kitchen
- * Provide 3Star Rated Toilets
- * Provide 3Star Rated Showerheads to all Showers

HEATING AND COOLING

- * Provide cooling system With EER of 2.5-3.0 to at least one living area and one bedroom, 1-phase + ceiling fans
- * Provide heating system With EER of 3.0-3.5 to at least one living area and one bedroom, 1-phase

VENTILATION

- * Provide fan-ducted/non ducted - to min One Bathroom-IXL
- * Provide fan-ducted/non ducted - to Kitchen-rangehood
- * Artificial/Natural Ventilation to Powder Room/Laundry/Bathroom

HWS.

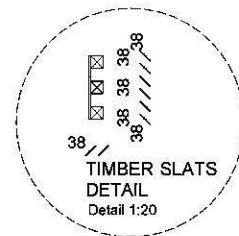
- * Provide Gas Instantaneous 5 Star HWS

NATURAL LIGHT

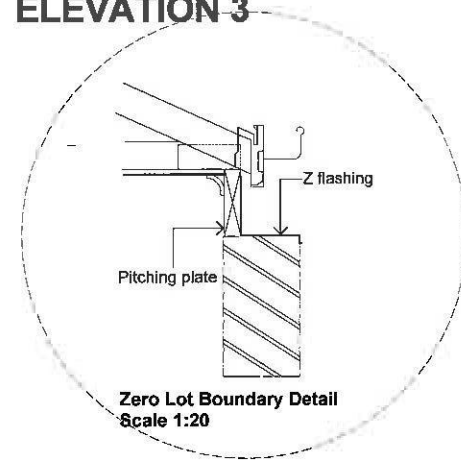
- * Provide Natural Lighting to Kitchen
- * Provide Natural Lighting to Bathrooms & Toilets
- * Provide Natural Lighting to Powder Room

DESIGN ENHANCEMENTS

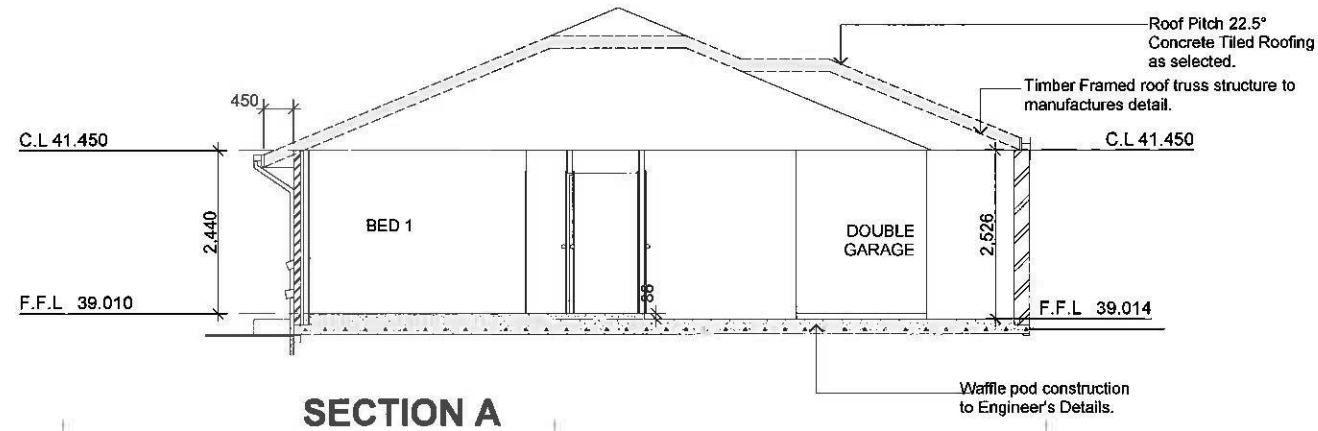
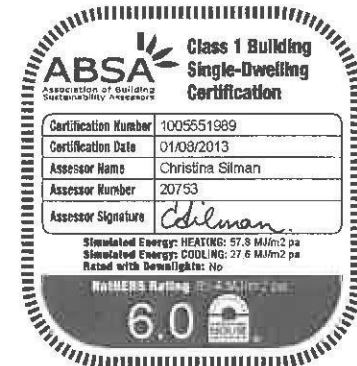
- * Indoor Clothes Drying Line or Cupboard
- * Outdoor Clothes Drying Line
- * Gas Cooktop & Electric Oven




**TIMBER SLATS
Detail 1:20**



**Zero Lot Boundary Detail
Scale 1:20**

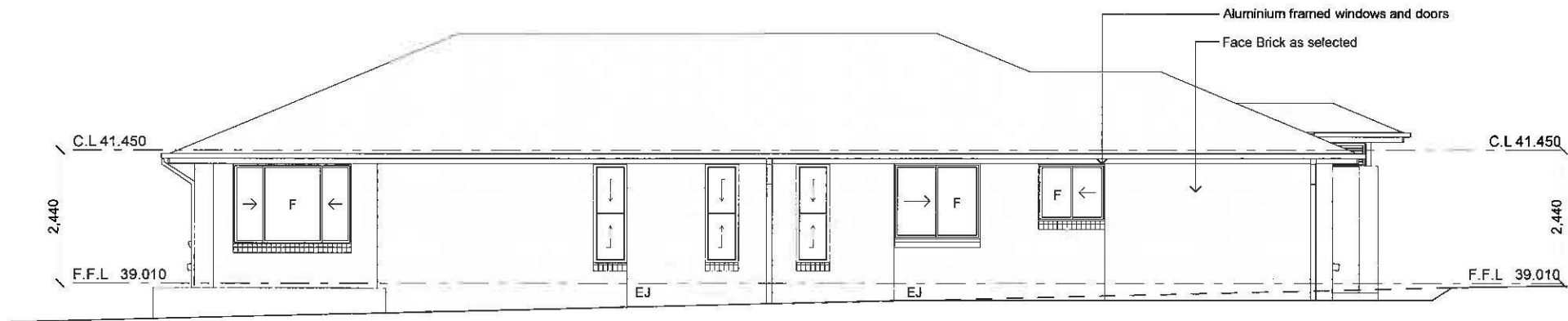


SECTION A

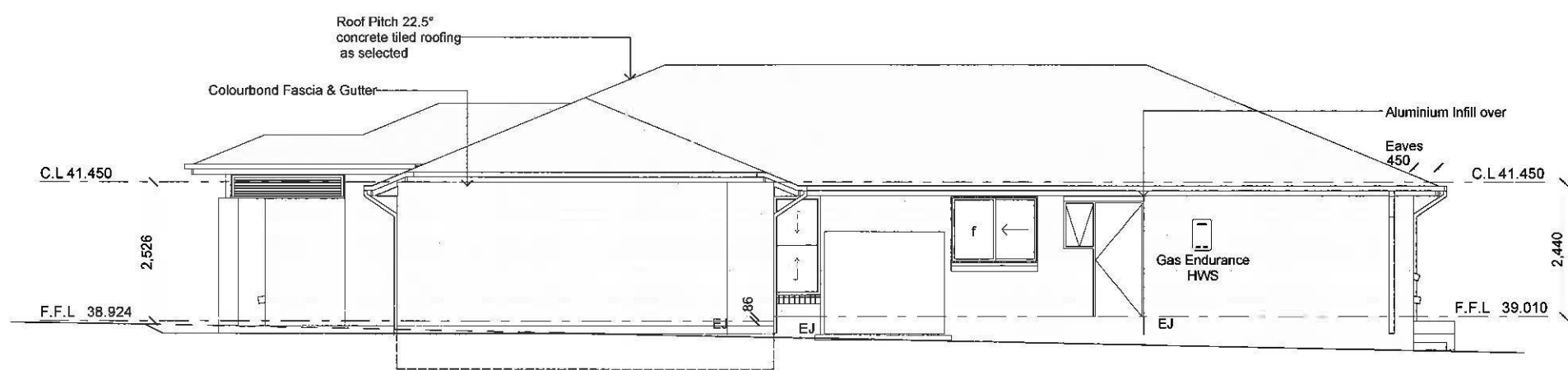
WD	24.07.13	Working Drawings To Tender # and Variations	PROPOSED BRICK VENEER RESIDENCE AT ADDRESS Lot 2345 Greenwood Parkway, Jordan Springs	ELEVATIONS/SECTIONS	
AMENDMENTS			CLIENT DHA	JOB # 2887	SHEET # 3
REV	DATE	DETAILS	DESIGN : ULTIMA 24	DESIGN BY : ACN 003 144 330	
A	09.08.13	BASIX update	DATE 24.07.13	FINISH Classic	 Jandson Homes SUITE 402, GATEWAY BUSINESS PARK 63-79 PARRAMATTA ROAD SILVERWATER, NSW 2128 PH : 9741 7100 FAX: 9737 9372
B	21.08.13	Council Prep, developer changes and amended BASIX	UBD REF JD	FACADE Trend	
			DRAWN BY JD	SCALE 1:100	
			CHECKED BY	D.P No	

Written dimension to take precedence over scale if unclear, check with builder

Window Schedule					
ID	Height	Width	Orientation	Quantity	2D Symbol
W1	1,800	850	R	1	
W2	1,800	850	R	1	
W3	1,800	850	L	1	
W4	1,200	1,570	R	1	
W5	1,370	1,570	R	1	
W6	1,800	610	L	1	
W7	1,800	610	R	1	
W8	1,460	2,170	R	1	
W9	1,800	610	L	1	
W10	1,800	610	L	1	
W11	1,800	610	L	1	
W12	1,370	1,570	L	1	
W13	1,030	1,210	R	1	

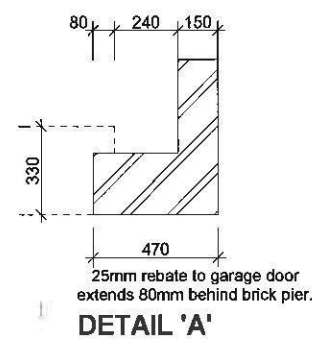
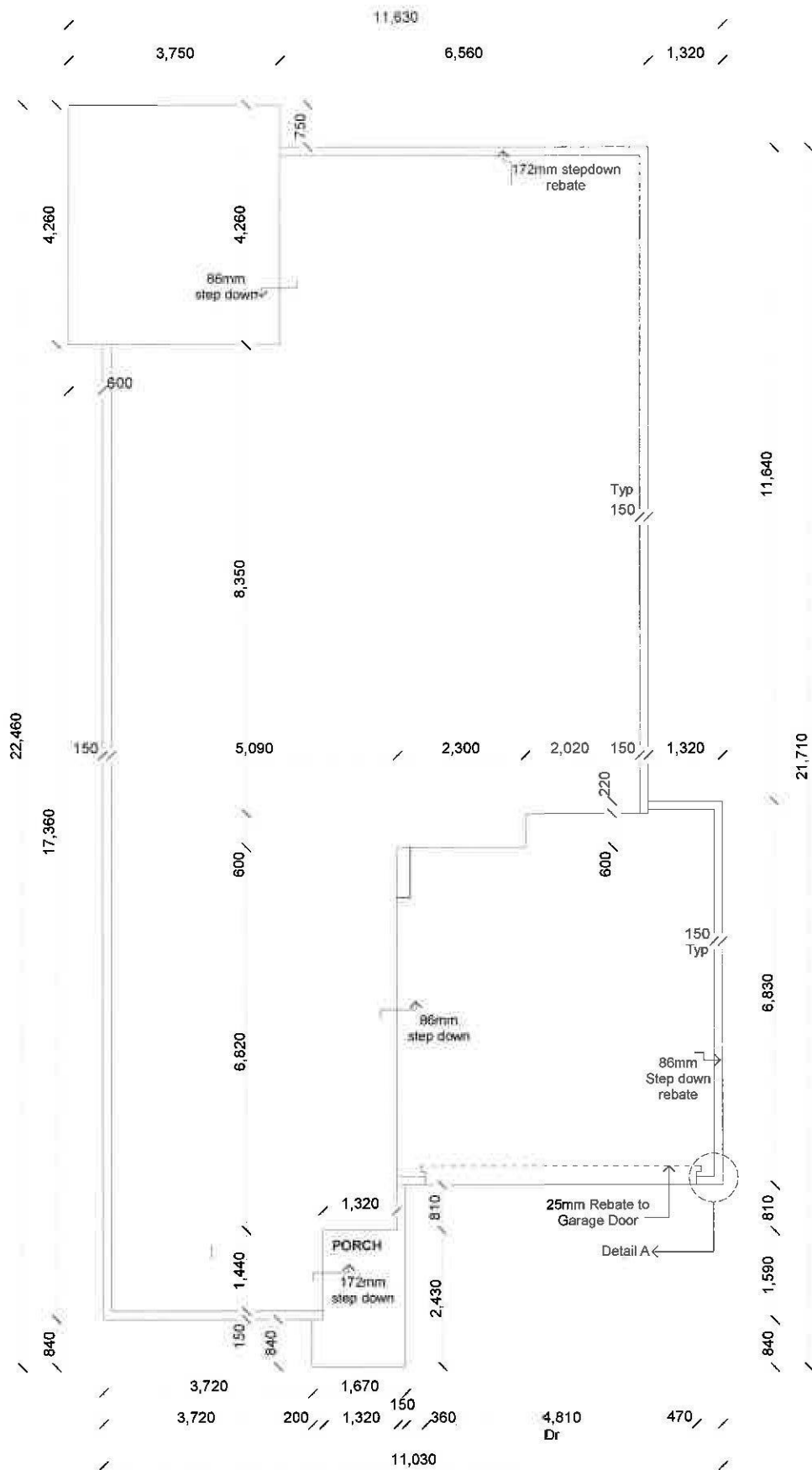



ELEVATION 2



ELEVATION 4

WD	24.07.13	Working Drawings To Tender # and Variations	PROPOSED BRICK VENEER RESIDENCE AT ADDRESS Lot 2345 Greenwood Parkway, Jordan Springs	ELEVATIONS	
AMENDMENTS			CLIENT DHA	JOB # 2887	SHEET # 4
REV	DATE	DETAILS	DESIGN : ULTIMA 24	DESIGN BY : ACN 003 144 330	
A	09.08.13	BASIX update	DATE 24.07.13	FINISH Classic	Jandson Homes SUITE 402, GATEWAY BUSINESS PARK 83-79 PARRAMATTA ROAD SILVERWATER, NSW 2128 PH: 9741 7100 FAX: 9737 9372
B	21.08.13	Council Prep, developer changes and amended BASIX	UBD REF ...	FACADE Trend	
			DRAWN BY JD	SCALE 1:100	
			CHECKED BY ...	D.P No ...	
			Written dimension to take precedence over scale if unclear, check with builder		



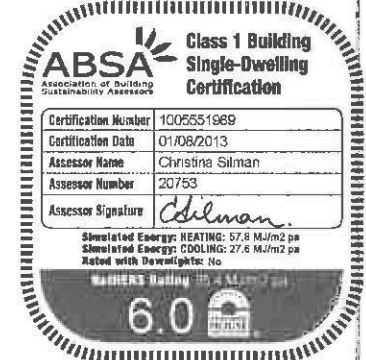
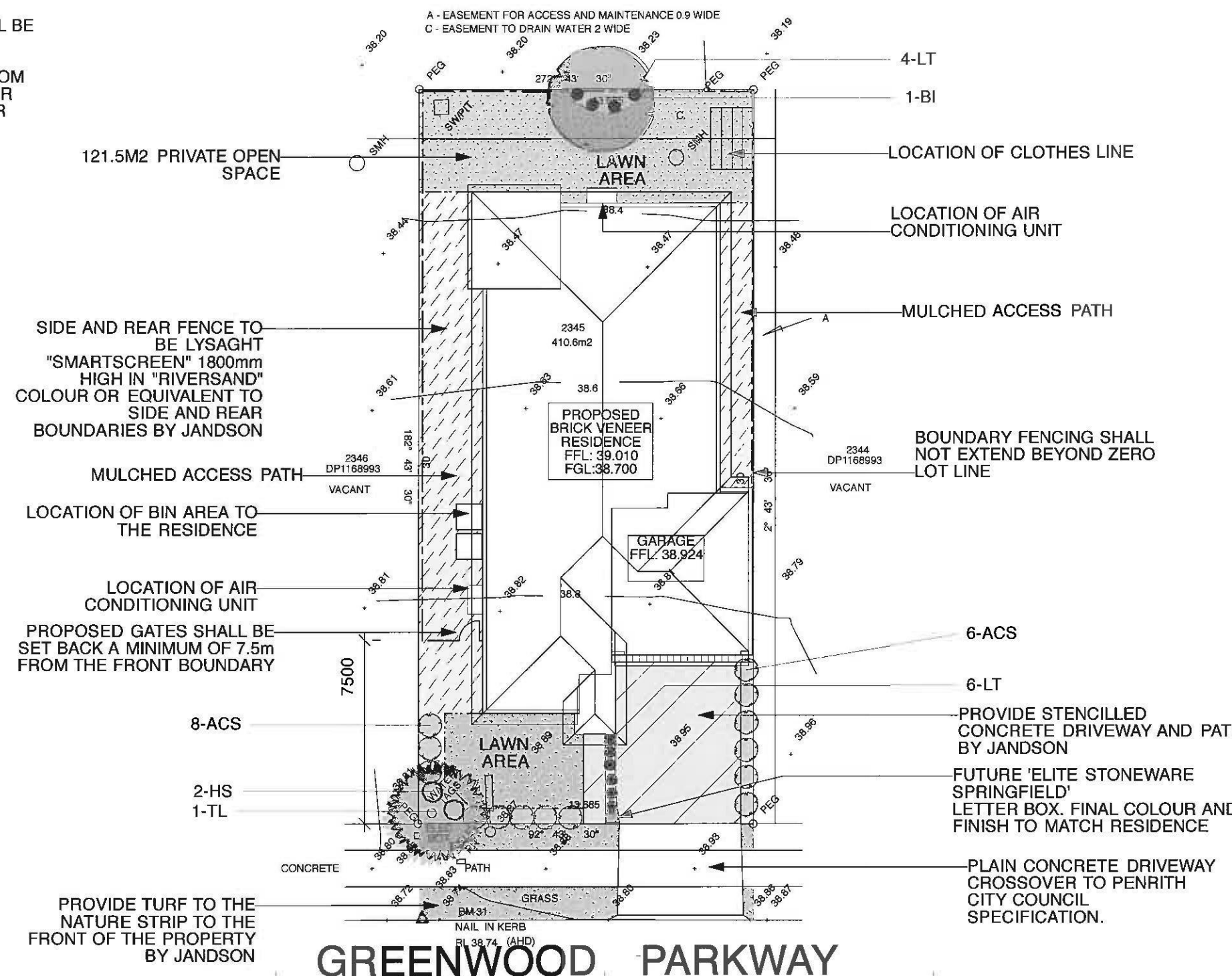
WD		24.07.13 Working Drawings To Tender # ... and Variations ...	PROPOSED BRICK VENEER RESIDENCE AT ADDRESS Lot 2345 Greenwood Parkway, Jordan Springs		SLAB LAYOUT	
AMENDMENTS			CLIENT DHA		JOB # 2887 SHEET # 5	
REV	DATE	DETAILS	DESIGN : ULTIMA 24		DESIGN BY : ACN 003 144 330	
A	09.08.13 JD	BASIX update	DATE	24.07.13	FINISH	Classic
B	21.08.13 JD	Council Prep, developer changes and amended BASIX	UBD REF	...	FACADE	Trend
			DRAWN BY	JD	SCALE	1:100
			CHECKED BY	...	D.P No	...
			 Jandson Homes SUITE 402, GATEWAY BUSINESS PARK 63-79 PARRAMATTA ROAD SILVERWATER, NSW 2128 PH: 9741 7100 FAX: 9737 8372		Written dimension to take precedence over scale if unclear, check with builder	

NOTE:
 - ANY RETAINING WALLS VISIBLE FROM THE STREET OR CONSTRUCTED GREATER THAN 900mm HIGH SHALL BE OF MASONRY CONSTRUCTION

- ANY GARDEN EDGING VISIBLE FROM THE STREET SHALL BE OF BRICK OR COLOURED CONCRETE. NO TIMBER EDGING IS PERMITTED

LEGEND

- PROPOSED LEVEL FFL.RL. 29.360
- EXISTING LEVEL 28.50
- MULCHED ACCESS PATH
- PROPOSED PAVED AREA
- LAWN AREA
- PROPOSED RETAINING WALL
- PAVED LAWN EDGE T/E
- PROPOSED BOUNDARY FENCING

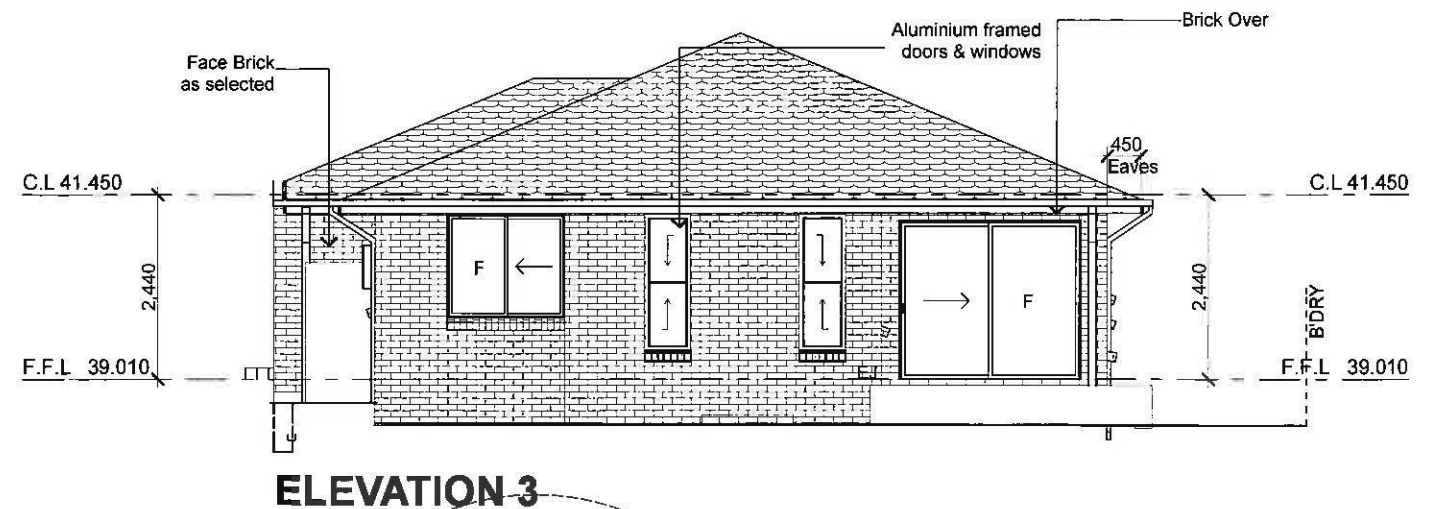
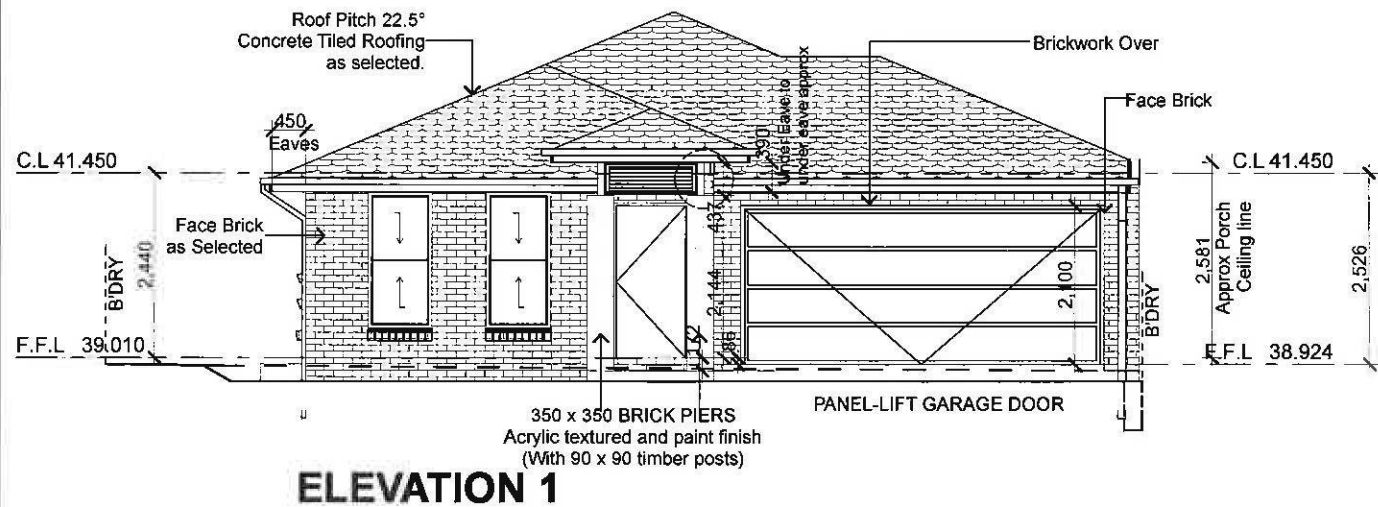


PLANTING SCHEDULE

- Notes:**
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
 2. All detailing of drainage to paved areas shall be by others.
 3. All levels shall be determined by others and approved on site by client.
 4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.
 5. Do not scale from drawings.
 6. If in doubt contact the Landscape Architect.
 7. All boundaries shall be surveyed prior to commencement of construction works.
 8. This plan is for DA purposes only. It has not been detailed for construction.
 9. All dimensions, levels and boundaries are nominal only.
 10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A. Total Concept Landscape Architects.

ID	Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
ACS	Acmena smithii 'Minor'	Lillypilly	14	15lt	1000	2000
BI	Banksia integrifolia	Coastal Banksia	1	25lt	4500	12000
HS	Hibbertia scandens	Climbing Guinea Flower	2	tube	1000	350
LT	Lomandra 'Tanika'	Dwarf Lomandra	10	5lt	500	500
TL	Tristaniaopsis laurina	Water Gum	1	25lt	4000	7000

DATE:	REVISION
PROPOSED LANDSCAPE PLAN	
ADDRESS	LOT 2345 GREENWOOD, JORDAN SPRINGS
PROJECT #	Jandson
CLIENT	DHA
DATE #	25/07/13
SCALE @ A3	1:200
DRAWN	JS
CHKD	JRS
REVISION-	
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fax: (02) 9957 5922	



BERS AND BASIX REQUIREMENTS

Minimum BERS Requirements

INSULATION:

- * Provide R1.5 Wall Insulation to External walls of house only
- * Provide R1.5 Int. Walls insulation to garage only:
- * Provide R2.5 Ceiling Insulation to Ceiling of House excluding Garage

EXTERNAL COLOURS

- * External Wall Colour must be MEDIUM(0.475<SA<0.70)
- * Roof Colour must be DARK(SA>0.70)

GLAZING:

- * Provide Clear glazing to all windows and doors (Uw= 6.57& SHGCw= 0.74)
- * Provide Weather strips to all windows and doors

Note:

- * All glazing ratings are as per National Fenestration Rating Council (NFRC) regulations
- * Wideline Windows data accured from Windows Energy Rating Scheme (WERS)

FLOOR COVERINGS

- * Jandson is to provide Ceramic Tile/Carpet Covering as per plan

ROOF VENTILATION

- * No Roof Ventilation

Minimum BASIX Requirements Certificate No 496648S-02

RAINWATER

- * Provide minimum 2500ltr Above ground Rainwater tank connected to WC's, Outdoor Tap and washing machine

WELS Water Rating

- * Provide 4Star Rated Taps to Bathrooms / Ensuites
- * Provide 4Star Rated Taps to Kitchen
- * Provide 3Star Rated Toilets
- * Provide 3Star Rated Showerheads to all Showers

HEATING AND COOLING

- * Provide cooling system With EER of 2.5-3.0 to at least one living area and one bedroom,

1-phase + ceiling fans

- * Provide heating system With EER of 3.0-3.5 to at least one living area and one bedroom,

1-phase

VENTILATION

- * Provide fan-ducted/non ducted - to min One Bathroom-IXL
- * Provide fan-ducted/non ducted - to Kitchen-rangehood
- * Artificial/Natural Ventilation to Powder Room/Laundry/Bathroom

HWS.

- * Provide Gas Instantaneous 5 Star HWS

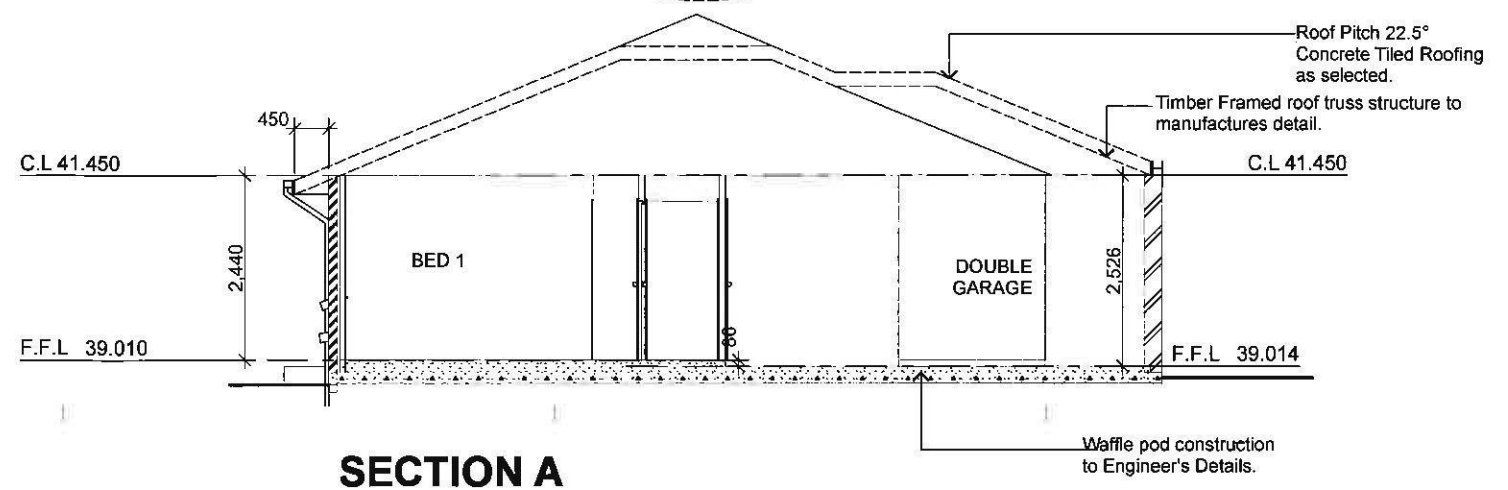
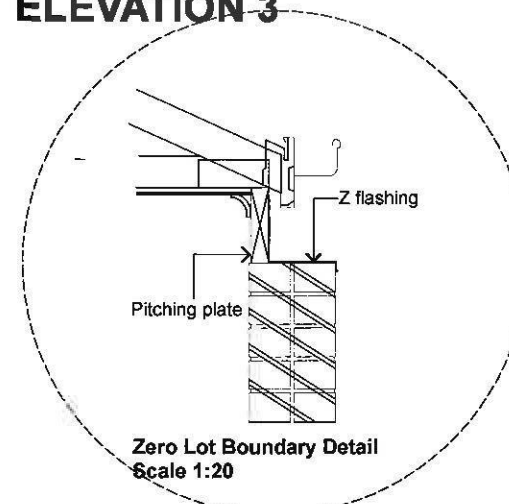
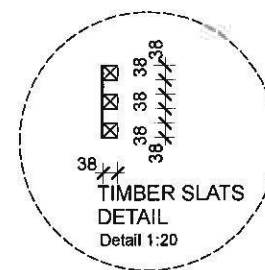
NATURAL LIGHT

- * Provide Natural Lighting to Kitchen
- * Provide Natural Lighting to Bathrooms & Toilets
- * Provide Natural Lighting to Powder Room

DESIGN ENHANCEMENTS

- * Indoor Clothes Drying Line or Cupboard
- * Outdoor Clothes Drying Line
- * Gas Cooktop & Electric Oven

PRELIMINARY
DATED 22/08/2013
NOT FOR CONSTRUCTION

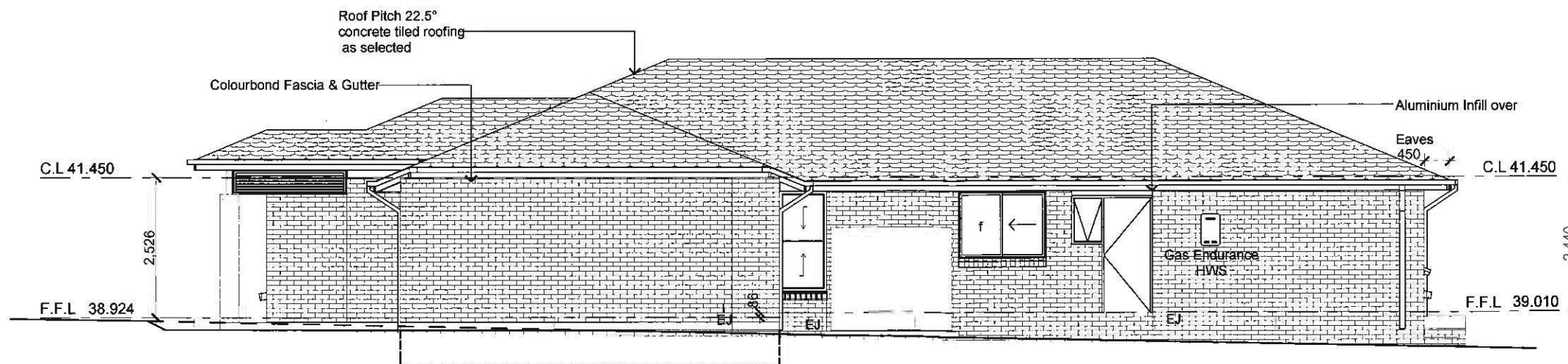


WD	24.07.13	Working Drawings To Tender # ... and Variations ...	PROPOSED BRICK VENEER RESIDENCE AT ADDRESS Lot 2345 Greenwood Parkway, Jordan Springs		ELEVATIONS/SECTIONS JOB # 2887 SHEET # 3 DESIGN BY : ACN 003 144 330	
AMENDMENTS			CLIENT DHA			
REV	DATE	DETAILS	DESIGN : ULTIMA 24		 Jandson Homes SUITE 402, GATEWAY BUSINESS PARK 63-79 PARRAMATTA ROAD SILVERWATER, NSW 2128 PH : 9741 7100 FAX: 9737 9372 <small>Written dimension to take precedence over scale if unclear, check with builder</small>	
A	09.08.13	BASIX update	DATE	24.07.13		
B	21.08.13	Council Prep, developer changes and amended BASIX	UBD REF	....	
			DRAWN BY	JD		
			CHECKED BY	....	FINISH	Classic
					FACADE	Trend
					SCALE	1:100
					D.P No	....

Window Schedule					
ID	Height	Width	Orientation	Quantity	2D Symbol
W1	1,800	850	R	1	
W2	1,800	850	R	1	
W3	1,800	850	L	1	
W4	1,200	1,570	R	1	
W5	1,370	1,570	R	1	
W6	1,800	610	L	1	
W7	1,800	610	R	1	
W8	1,460	2,170	R	1	
W9	1,800	610	L	1	
W10	1,800	610	L	1	
W11	1,800	610	L	1	
W12	1,370	1,570	L	1	
W13	1,030	1,210	R	1	




ELEVATION 2



ELEVATION 4

PRELIMINARY
DATED 21/08/2013
NOT FOR CONSTRUCTION

WD	24.07.13	Working Drawings To Tender # ... and Variations ...	PROPOSED BRICK VENEER RESIDENCE AT ADDRESS Lot 2345 Greenwood Parkway, Jordan Springs		ELEVATIONS JOB # 2887 SHEET # 4 DESIGN BY : ACN 003 144 330	
AMENDMENTS			CLIENT DHA			
REV	DATE	DETAILS	DESIGN : ULTIMA 24		 Jandson Homes SUITE 402, GATEWAY BUSINESS PARK 63- 79 PARRAMATTA ROAD SILVERWATER, NSW 2128 PH : 9741 7100 FAX:9737 9372	
A	09.08.13	BASIX update	DATE	24.07.13		
B	21.08.13	Council Prep, developer changes and amended BASIX	FINISH	Classic		
			UBD REF	....	
			DRAWN BY	JD	FACADE	Trend
			CHECKED BY	SCALE	1:100
					D.P No

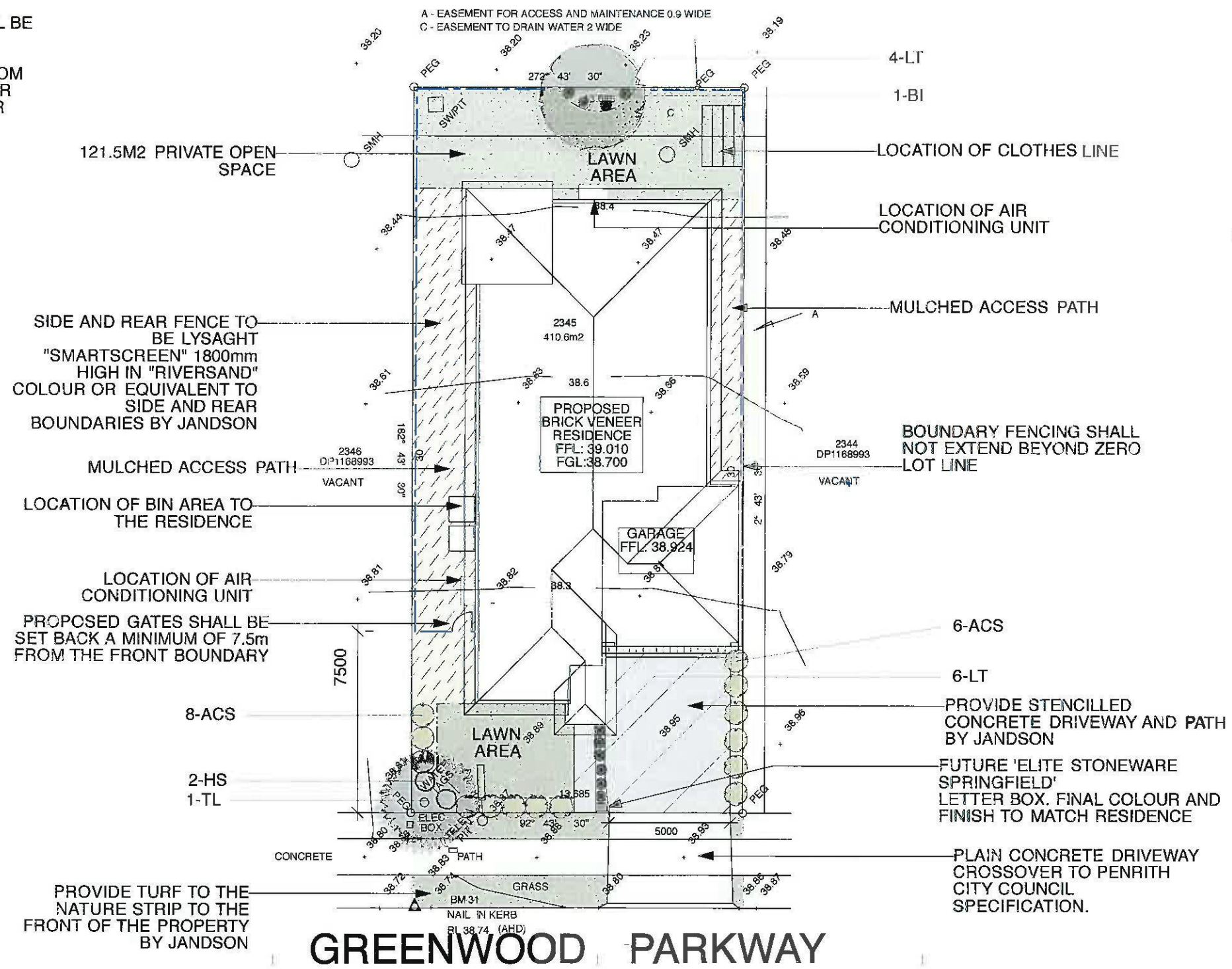
Written dimension to take precedence over scale if unclear, check with builder

NOTE:
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- ANY GARDEN EDGING VISIBLE FROM THE STREET SHALL BE OF BRICK OR COLOURED CONCRETE. NO TIMBER EDGING IS PERMITTED

LEGEND

- PROPOSED LEVEL FFL.RL. 29.360
- EXISTING LEVEL 28.50
- MULCHED ACCESS PATH
- PROPOSED PAVED AREA
- LAWN AREA
- PROPOSED RETAINING WALL
- PAVED LAWN EDGE T/E
- PROPOSED BOUNDARY FENCING



121.5M2 PRIVATE OPEN SPACE

SIDE AND REAR FENCE TO BE LYSAGHT "SMARTSCREEN" 1800mm HIGH IN "RIVERSAND" COLOUR OR EQUIVALENT TO SIDE AND REAR BOUNDARIES BY JANDSON

MULCHED ACCESS PATH

LOCATION OF BIN AREA TO THE RESIDENCE

LOCATION OF AIR CONDITIONING UNIT

PROPOSED GATES SHALL BE SET BACK A MINIMUM OF 7.5m FROM THE FRONT BOUNDARY

8-ACS

2-HS

1-TL

PROVIDE TURF TO THE NATURE STRIP TO THE FRONT OF THE PROPERTY BY JANDSON

4-LT

1-BI

LOCATION OF CLOTHES LINE

LOCATION OF AIR CONDITIONING UNIT

MULCHED ACCESS PATH

BOUNDARY FENCING SHALL NOT EXTEND BEYOND ZERO LOT LINE

6-ACS

6-LT

PROVIDE STENCILLED CONCRETE DRIVEWAY AND PATH BY JANDSON

FUTURE 'ELITE STONEWARE SPRINGFIELD' LETTER BOX. FINAL COLOUR AND FINISH TO MATCH RESIDENCE

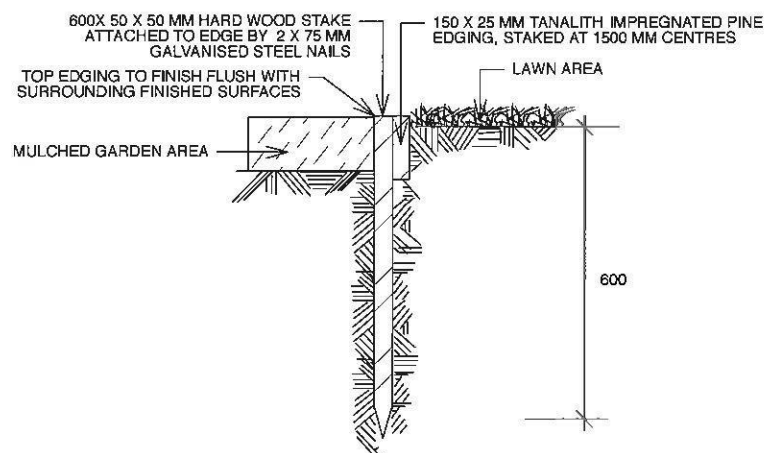
PLAIN CONCRETE DRIVEWAY CROSSOVER TO PENRITH CITY COUNCIL SPECIFICATION.

PLANTING SCHEDULE

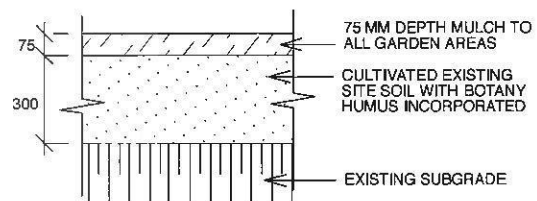
- Notes:**
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ID	Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
ACS	Acmena smithii 'Minor'	Lillypilly	14	15lt	1000	2000
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LT	Lomandra 'Tanika'	Dwarf Lomandra	10	5lt	500	500
TL	Tristaniaopsis laurina	Water Gum	1	25lt	4000	7000

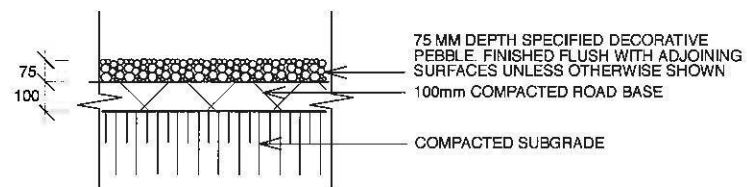
DATE: 22/08/13	REVISION 'A' Amendments made as per developers request
DRAWING PROPOSED LANDSCAPE PLAN	
ADDRESS: LOT 2345 GREENWOOD, JORDAN SPRINGS	PROJECT #: Jandson
CLIENT: DHA	DATE #: 25/07/13
	DWG #: L/01
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922	
SCALE @ A3: 1:200	DRAWN: JS
CHKD: JRS	REVISION - A



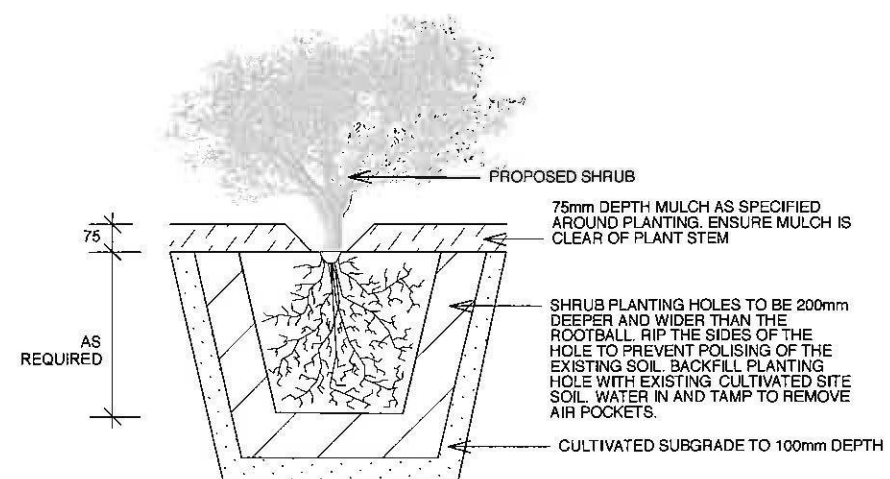
TYPICAL TIMBER EDGE DETAIL
SCALE 1:10
DO NOT SCALE



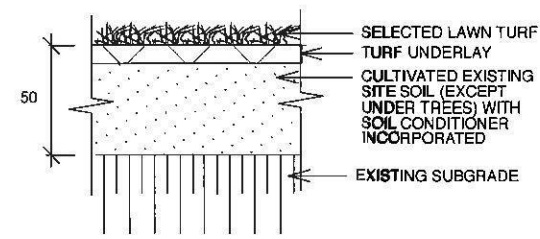
SOIL TO GARDEN AREAS
SCALE 1:20



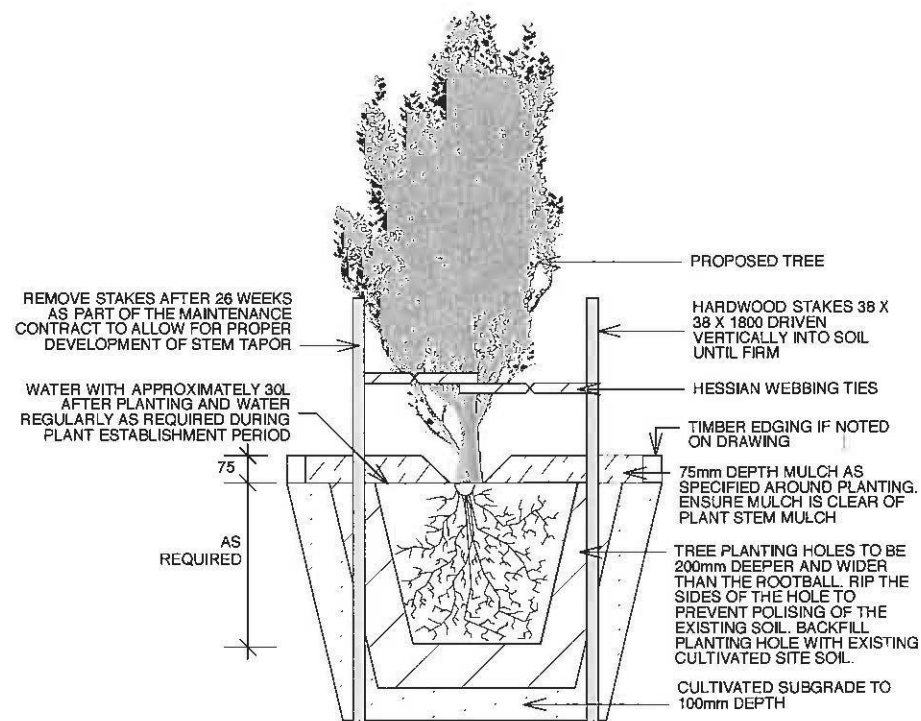
PEBBLE PATHWAY
SCALE 1:10



PLANTING DETAIL
SCALE 1:20



TYPICAL TURF DETAIL
SCALE 1:20



TREE PLANTING & STAKING DETAIL
SCALE 1:20

Notes:

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DATE	REVISION		
LANDSCAPE DETAILS		PROJECT #	Jandson
ADDRESS LOT 2345 GREENWOOD, JORDAN SPRINGS		DWG #	L/02
CLIENT DHA	DATE # 25/07/13	REVISION -	
A Total Concept Landscape Architects & Swimming Pool Designers		SCALE @ A3	as shown
65 West Street, North Sydney NSW 2060		DRAWN	JS
Tel: (02) 9957 5122 Fax: (02) 9957 5922		CHKD	JRS
			

OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.

Excavate as necessary, then fill with approved site topsoil to allow for minimum 300mm soil depth in garden areas and 50mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 300mm depth of premium grade topsoil mix to garden areas and 50mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones:(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging.(ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Kikuyu turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: Contractor shall water all plants on site for a period of two weeks from the date of installation.

(a) Recurrent works Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) Watering Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) Replacements Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) Mulched surfaces Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) Stakes & ties Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) Lawn areas Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) Weeding Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

(h) Pruning Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

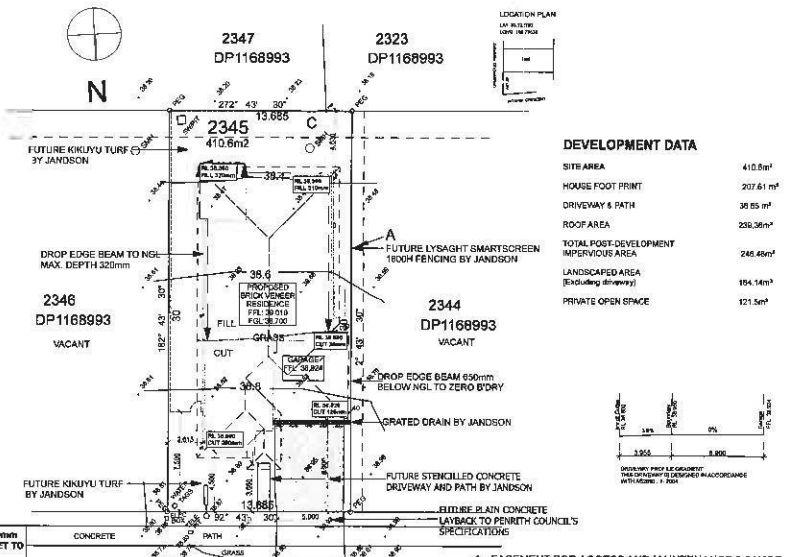
(i) Spraying Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) Tree Care Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

Notes:

- All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
- All detailing of drainage to paved areas shall be by others.
- All levels shall be determined by others and approved on site by client.
- Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
- Do not scale from drawings.
- If in doubt contact the Landscape Architect.
- All boundaries shall be surveyed prior to commencement of construction works.
- This plan is for DA purposes only. It has not been detailed for construction.
- All dimensions, levels and boundaries are nominal only.
- This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

DATE	REVISION
LANDSCAPE SPECIFICATION	
ADDRESS LOT 2345 GREENWOOD, JORDAN SPRINGS	PROJECT # Jandson
CLIENT DHA	DATE # 25/07/13 DWG # L/03
A Total Concept Landscape Architects & Swimming Pool Designers	
65 West Street, North Sydney NSW 2060	
Tel: (02) 9957 5122 Fax: (02) 9957 5922	
DRAWN JS	REVISION-
CHKD JRS	
	



DEVELOPMENT DATA

SITE AREA	410.6m ²
HOUSE FOOT PRINT	207.61 m ²
DRIVEWAY & PATH	30.85 m ²
ROOF AREA	230.36m ²
TOTAL FOOT DEVELOPMENT	246.46m ²
IMPERVIOUS AREA	194.14m ²
LANDSCAPED AREA (Excluding driveway)	194.14m ²
PRIVATE OPEN SPACE	121.5m ²

LEGEND

- EXISTING WALLS
- BLINDS
- UNCOVERED CONCRETE
- CONCRETE
- GRAVEL
- GRASS
- PAVING
- ROAD
- DRIVEWAY
- PATH
- CONCRETE

Note: All existing street trees and verge planting are to be protected during construction.

Note: RETAINING WALLS OVER 900mm OR THOSE VISIBLE FROM THE STREET TO BE MASONRY CONSTRUCTION

GREENWOOD PARKWAY

BM 31 NAIL IN KERB RL 38.74 (AHD)

A - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
C - EASEMENT TO DRAIN WATER 2 WIDE



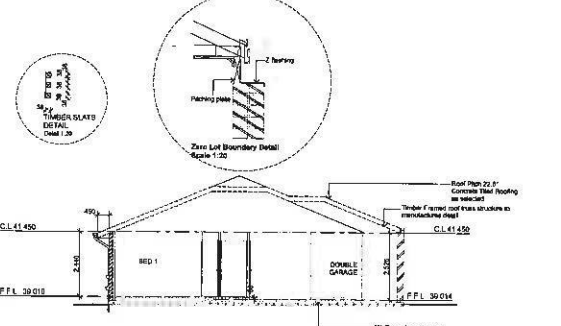
ELEVATION 1

TERS AND BASIC REQUIREMENTS

- Minimum BERS Requirements**
- INSULATION**
- Provide R1.5 Wall Insulation for External walls of house only
 - Provide R1.5 for Wall Insulation to garage only
 - Provide R2.5 Ceiling Insulation for Ceiling of House excluding Garage
- EXTERNAL COLOURS**
- External Wall Colour must be MEDIUM (475-540, 70)
 - Roof Colour must be DARK (425-50, 70)
- GLAZING**
- Provide Clear glazing to all windows and doors (Low E 578 SHGC=0.74)
 - Provide TINTED glazing to all windows and doors
- Notes**
- All glazing ratings are as per National Federation Rating Council (NFRC) regulations
 - Windows Windows Data accrued from Windows Energy Rating Scheme (WERS)
- FLOOR COVERINGS**
- Jandson is to provide Ceramic Tile/Carpets Covering as per plan
- ROOF COVERINGS**
- No Roof Ventilation
- Minimum BERS Requirements Certificate No 4966483-02**
- PLASTER**
- Provide plasterboard to all walls and doors (Line 6 578 SHGC=0.74)
 - Provide plasterboard to all windows and doors
- WALLS**
- Provide 438mm Rigid Tape to Bathrooms + Enslaves
 - Provide 438mm Rigid Tape to Kitchen
 - Provide 328mm Rigid Tiles
 - Provide 328mm Rigid Showerheads to all Showers
- HEATING AND COOLING**
- Provide heating system With BER of 2.5-3.0 to at least one living area and one bedroom.
 - 3-phase + cooling fans
 - Provide heating system With BER of 2.0-3.0 to at least one living area and one bedroom.
- VENTILATION**
- Provide fan-distribution ducted - to main One Bedroom-DLX
 - Provide fan-distribution ducted - to Kitchen-rangehood
 - Provide Natural Ventilation in Powder Room/Laundry/Bathroom
 - Provide Gas Installation 5 Star HWG
- NATURAL LIGHT**
- Provide Natural Lighting to Kitchen
 - Provide Natural Lighting to Bathroom & Toilets
 - Provide Natural Lighting to Powder Room
- EXTERIOR FINISHES**
- Provide Outdoor Clothes Drying Line
 - Provide Outdoor Clothes Drying Line
 - Provide Gas Cooking & Electric Oven



ELEVATION 3



SECTION A

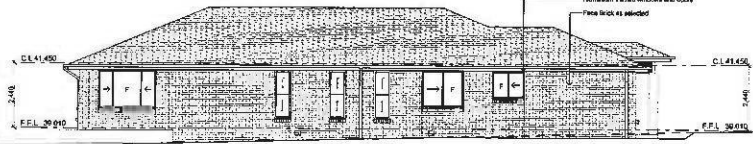
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REV	DATE	DESCRIPTION	BY	CLIENT	DHA	DESIGN BY:	ACN 003 144 330	SHEET # 1	1
A	10.08.13	Block system	JD	CLIENT	DHA	DESIGN BY:	ACN 003 144 330	SHEET # 1	1
B	21.08.13	Consulting, design, drawings and amended blocks	JD	CLIENT	DHA	DESIGN BY:	ACN 003 144 330	SHEET # 1	1

ELEVATIONS TABLE

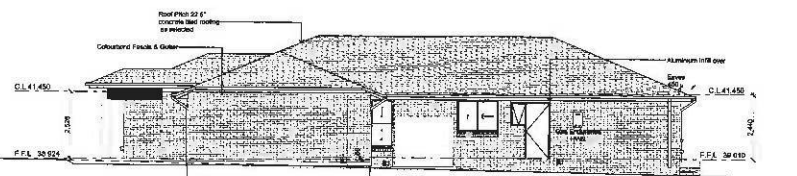
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REV	DATE	DESCRIPTION	BY	CLIENT	DHA	DESIGN BY:	ACN 003 144 330	SHEET # 1	1
A	10.08.13	Block system	JD	CLIENT	DHA	DESIGN BY:	ACN 003 144 330	SHEET # 1	1
B	21.08.13	Consulting, design, drawings and amended blocks	JD	CLIENT	DHA	DESIGN BY:	ACN 003 144 330	SHEET # 1	1

Window Schedule

ID	Height	Width	Orientation	Quantity	2D Symbol
W1	1,800	850	R	1	[Symbol]
W2	1,800	850	R	1	[Symbol]
W3	1,800	850	L	1	[Symbol]
W4	1,200	1,570	R	1	[Symbol]
W5	1,370	1,570	R	1	[Symbol]
W6	1,800	810	L	1	[Symbol]
W7	1,800	810	R	1	[Symbol]
W8	1,480	8,170	R	1	[Symbol]
W9	1,800	810	L	1	[Symbol]
W10	1,800	810	L	1	[Symbol]
W11	1,800	810	L	1	[Symbol]
W12	1,370	1,570	L	1	[Symbol]
W13	1,030	1,210	R	1	[Symbol]



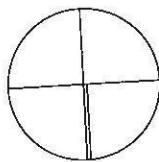
ELEVATION 2



ELEVATION 4

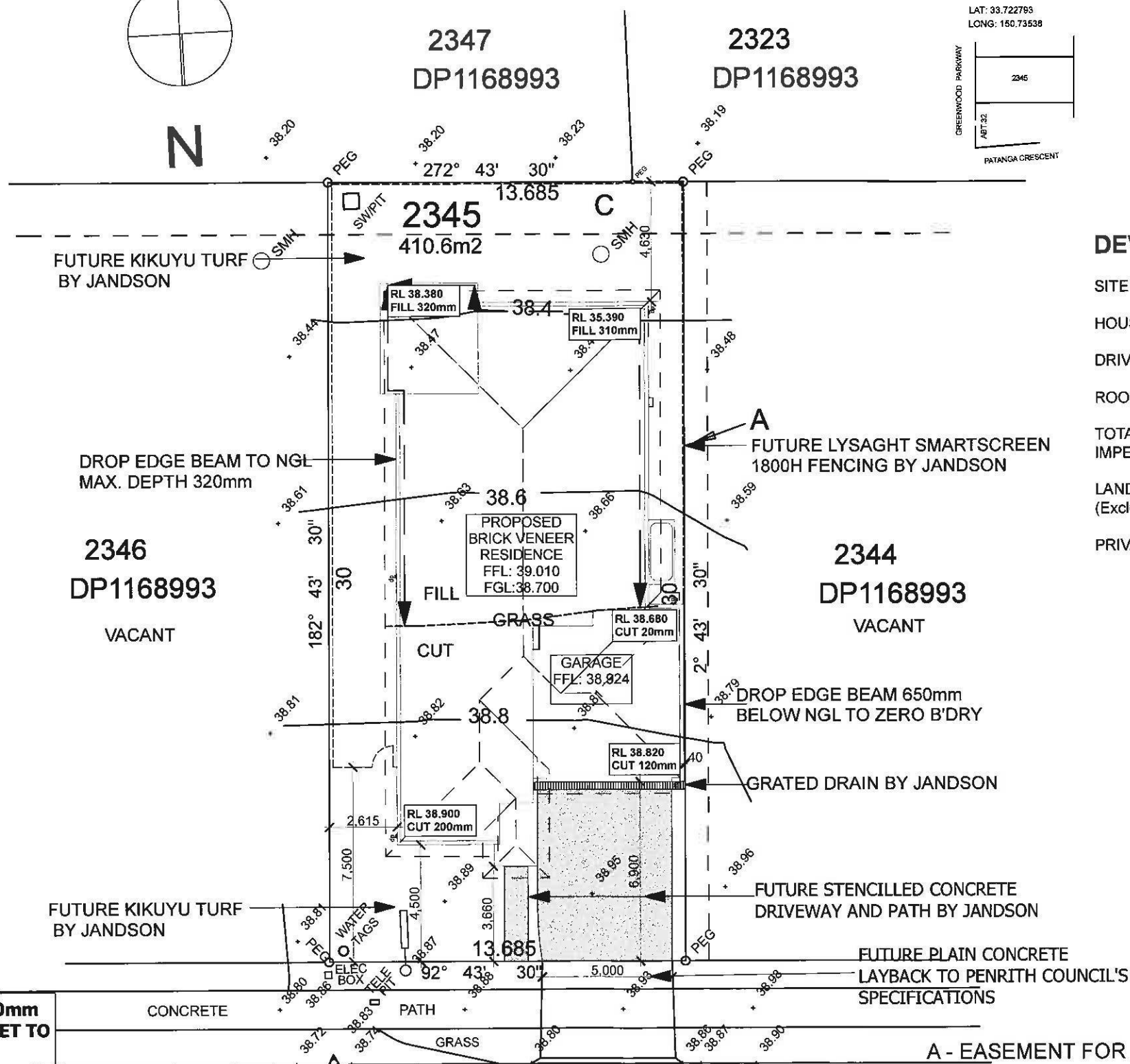
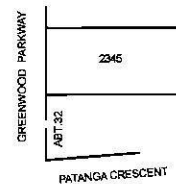
ELEVATIONS

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A	10.08.13	Block system	JD	CLIENT	DHA	DESIGN BY:	ACN 003 144 330	SHEET # 1	1
B	21.08.13	Consulting, design, drawings and amended blocks	JD	CLIENT	DHA	DESIGN BY:	ACN 003 144 330	SHEET # 1	1



LOCATION PLAN

LAT: 33.722795
LONG: 150.73538

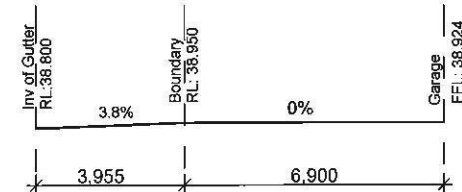


DEVELOPMENT DATA

SITE AREA	410.6m ²
HOUSE FOOT PRINT	207.61 m ²
DRIVEWAY & PATH	38.85 m ²
ROOF AREA	239.36m ²
TOTAL POST-DEVELOPMENT IMPERVIOUS AREA	246.46m ²
LANDSCAPED AREA (Excluding driveway)	164.14m ²
PRIVATE OPEN SPACE	121.5m ²

LEGEND

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- KERB OUTLET



DRIVEWAY PROFILE GRADIENT
THIS DRIVEWAY IS DESIGNED IN ACCORDANCE WITH AS2890 - 1-2004

Note: All existing street trees and verge planting are to be protected during construction.

NOTE: RETAINING WALLS OVER 900mm OR THOSE VISIBLE FROM THE STREET TO BE MASONRY CONSTRUCTION

GREENWOOD PARKWAY

BM 31
NAIL IN KERB
RL 38.74
(AHD)

PRELIMINARY
DATED 22/08/2013
NOT FOR CONSTRUCTION

WD	24.07.13	Working Drawings To Tender # ... and Variations ...
AMENDMENTS		
REV	DATE	DETAILS
A	09.08.13	BASIX update
B	21.08.13	Council Prep, developer changes and amended BASIX

PROPOSED BRICK VENEER RESIDENCE AT ADDRESS Lot 2345 Greenwood Parkway, Jordan Springs			
CLIENT DHA			
DESIGN : ULTIMA 24			
DATE	24.07.13	FINISH	Classic
UBD REF	...	FACADE	Trend
DRAWN BY	JD	SCALE	1:200
CHECKED BY	...	D.P No	...

SITE PLAN

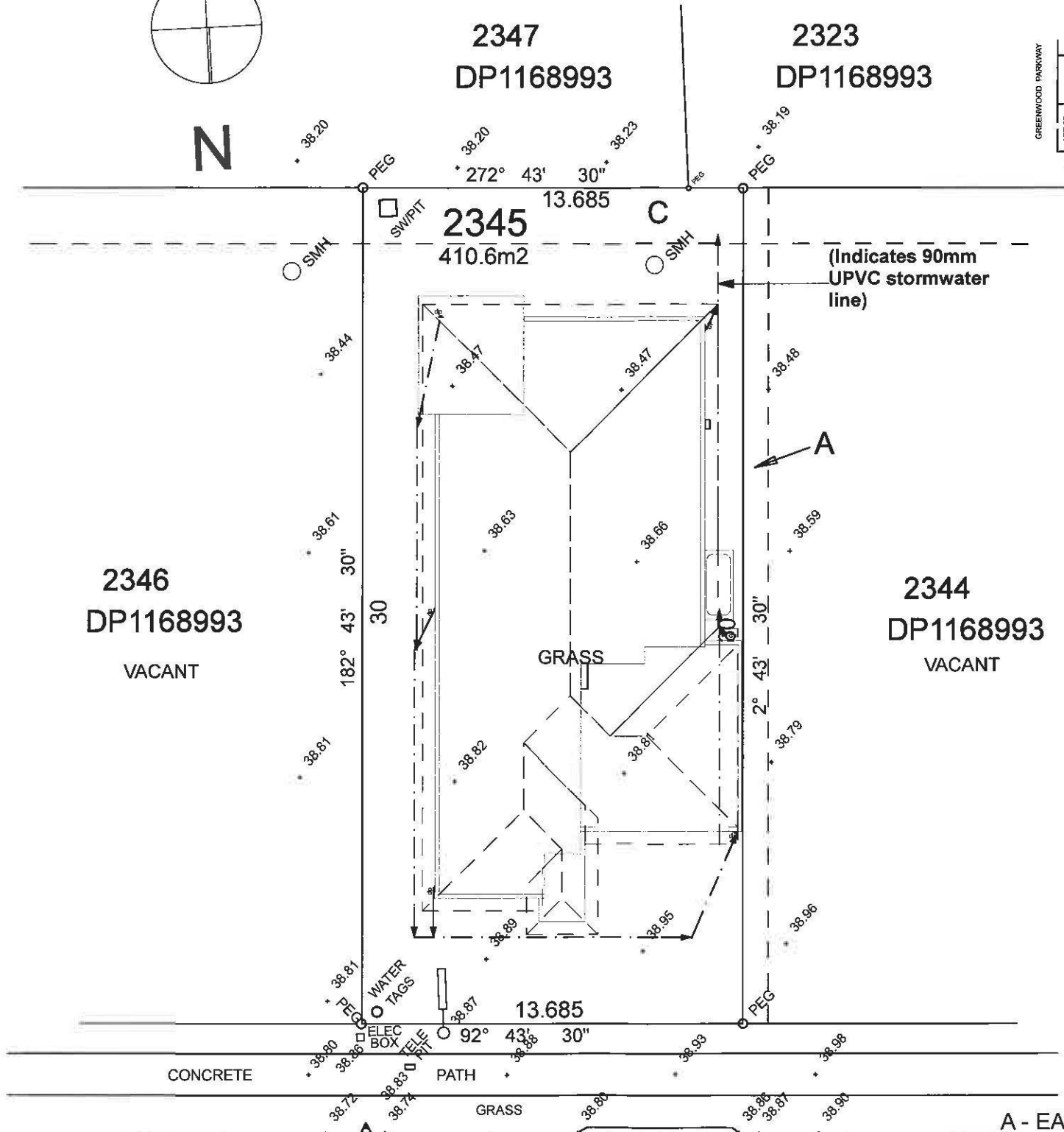
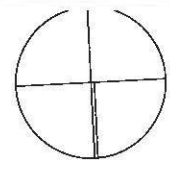
JOB # 2887 SHEET # 1

DESIGN BY : ACN 003 144 330

Jandson Homes

SUITE 402, GATEWAY BUSINESS PARK
63- 79 PARRAMATTA ROAD
SILVERWATER, NSW 2128
PH : 9741 7100 FAX: 9737 9372

Written dimension to take precedence over scale if unclear, check with builder



GREENWOOD PARKWAY
 BM 31
 NAIL IN KERB
 RL 38.74
 (AHD)

A - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
 C - EASEMENT TO DRAIN WATER 2 WIDE

PRELIMINARY
 DATED 22/08/2013
 NOT FOR CONSTRUCTION

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PROPOSED BRICK VENEER RESIDENCE AT ADDRESS Lot 2345 Greenwood Parkway, Jordan Springs			
CLIENT DHA			
DESIGN : ULTIMA 24			
DATE	24.07.13	FINISH	Classic
UBD REF	....	FACADE	Trend
DRAWN BY	JD	SCALE	1:200
CHECKED BY	D.P No

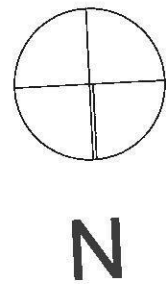
STORMWATER PLAN

JOB # 2887 SHEET # 9

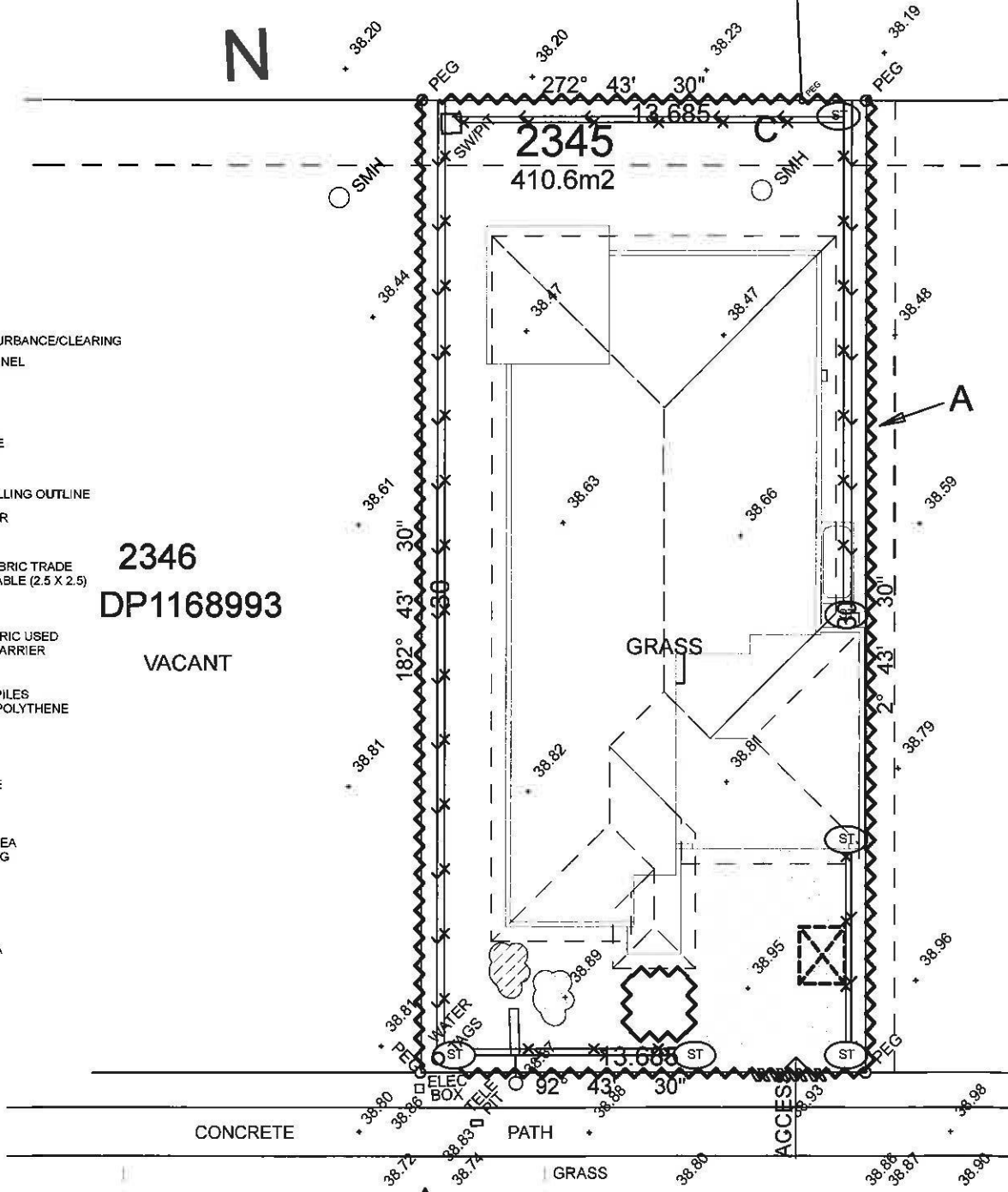
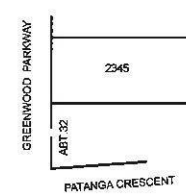
DESIGN BY : ACN 003 144 330

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Written dimension to take precedence over scale if unclear, check with builder



2347 DP1168993
2323 DP1168993

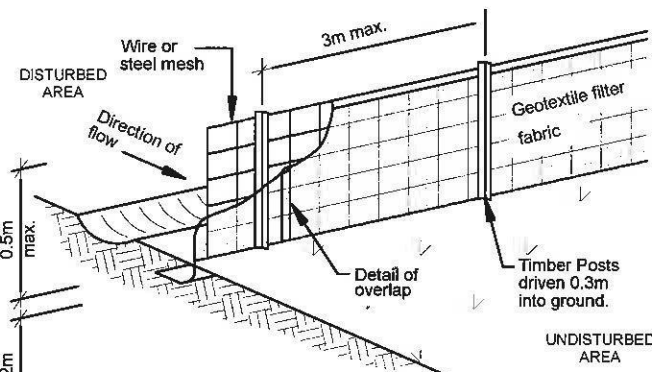


LEGEND

- EXTENT OF DISTURBANCE/CLEARING
- DIVERSION CHANNEL
- SEDIMENT TRAP
- SITE DRAINAGE
- SEDIMENT FENCE
- CONTOUR
- PROPOSED DWELLING OUTLINE
- KERB TURF FILTER
- GEO TEXTILE FABRIC TRADE WASTE RECEPTABLE (2.5 X 2.5)
- GEO TEXTILE FABRIC USED TO FORM A SILT BARRIER
- TOPSOIL STOCKPILES COVERED WITH POLYTHENE MEMBRANE
- SAND STOCKPILE
- PROVISIONAL AREA FOR STOCKPILING OF MATERIALS
- ACCESS
- HARD STAND AREA FOR USE DURING CONSTRUCTION

2346 DP1168993
VACANT

2344 DP1168993
VACANT



- NOTES**
- ALL RUN OFF AND SEDIMENT CONTROL STRUCTURES WILL BE MAINTAINED IN A FUNCTIONAL CONDITION
 - AREAS NOT USED FOR BUILDING SHOULD BE RETAINED WITH VEGETATION
 - REVEGETATION ON RETAIN CUT AND FILLS AS SOON AS POSSIBLE DURING CONSTRUCTION

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

A - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
C - EASEMENT TO DRAIN WATER 2 WIDE

GREENWOOD PARKWAY

BM 31
NAIL IN KERB
RL 38.74
(AHD)

PRELIMINARY
DATED 22/08/2013
NOT FOR CONSTRUCTION

WD	24.07.13	Working Drawings To Tender # ... and
JD		Variations ...
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	JD	
B	21.08.13	Council Prep, developer changes and amended BASIX
	JD	

PROPOSED BRICK VENEER RESIDENCE AT ADDRESS Lot 2345 Greenwood Parkway, Jordan Springs			
CLIENT DHA			
DESIGN : ULTIMA 24			
DATE	24.07.13	FINISH	Classic
UBD REF	....	FACADE	Trend
DRAWN BY	JD	SCALE	1:200
CHECKED BY	....	D.P No	....

CONST MANAGEMENT/SEDIMENT
JOB # 2887 SHEET # 11
DESIGN BY : ACN 003 144 330

Jandson Homes
SUITE 402, GATEWAY BUSINESS PARK
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