

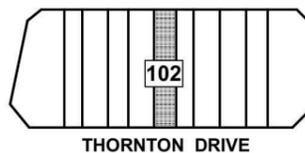
**NOTE:**  
**FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR**



**LOT: 102**  
**164.5m<sup>2</sup>**

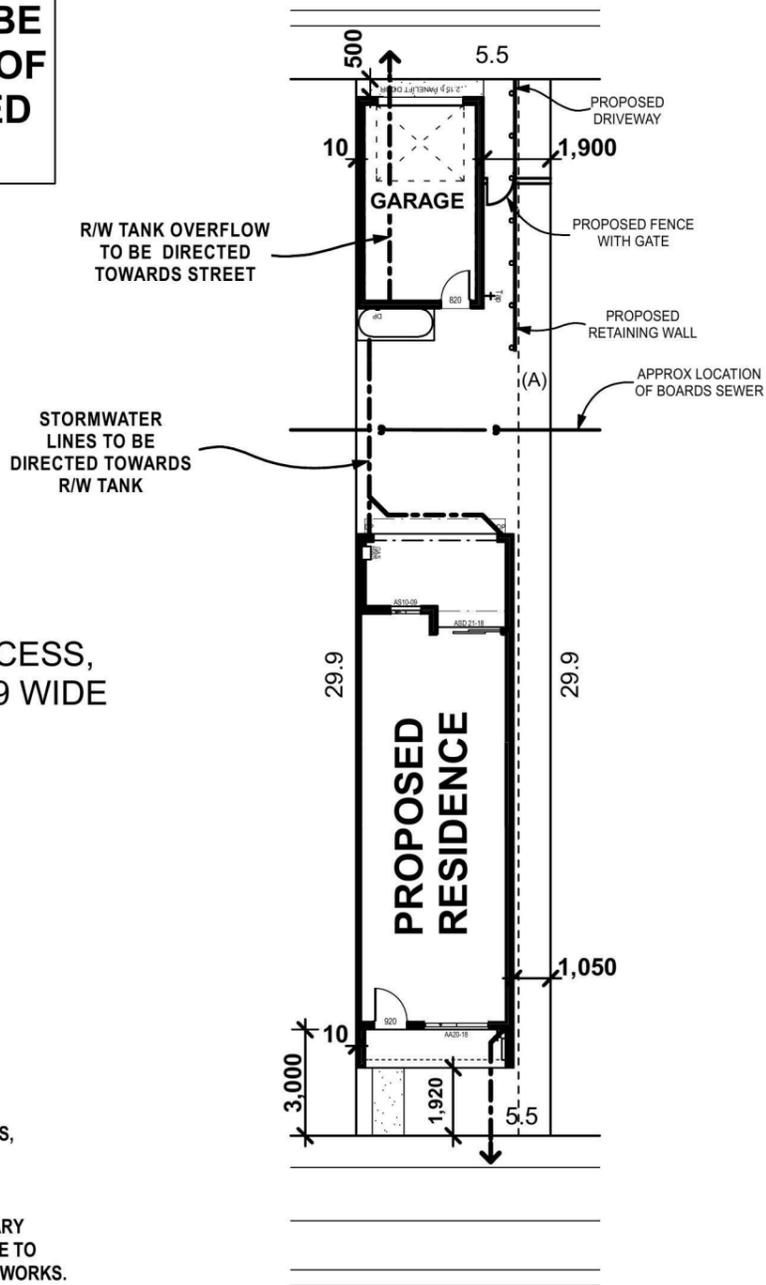
(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**NOTE:**  
 FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.  
 FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

**STODDART LANE**



**THORNTON DRIVE**

**Proposed Site Plan & Drainage Plan**

SCALE 1:200

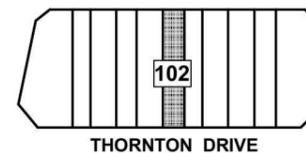
**Energy Rating** Certificate Number 14561082  
 single-dwelling rating **5.5** stars  
 heating 74 MJ/m<sup>2</sup>  
 cooling 22 MJ/m<sup>2</sup>  
 Recessed downlights confirmation:  Rated with  Rated without  
 Assessor Name/Number Thomas Ruck VIC/BDV/12/1456  
 Assessor Signature *T. Ruck* Date 20/10/14  
 PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



**LOT: 102**  
**164.5m<sup>2</sup>**

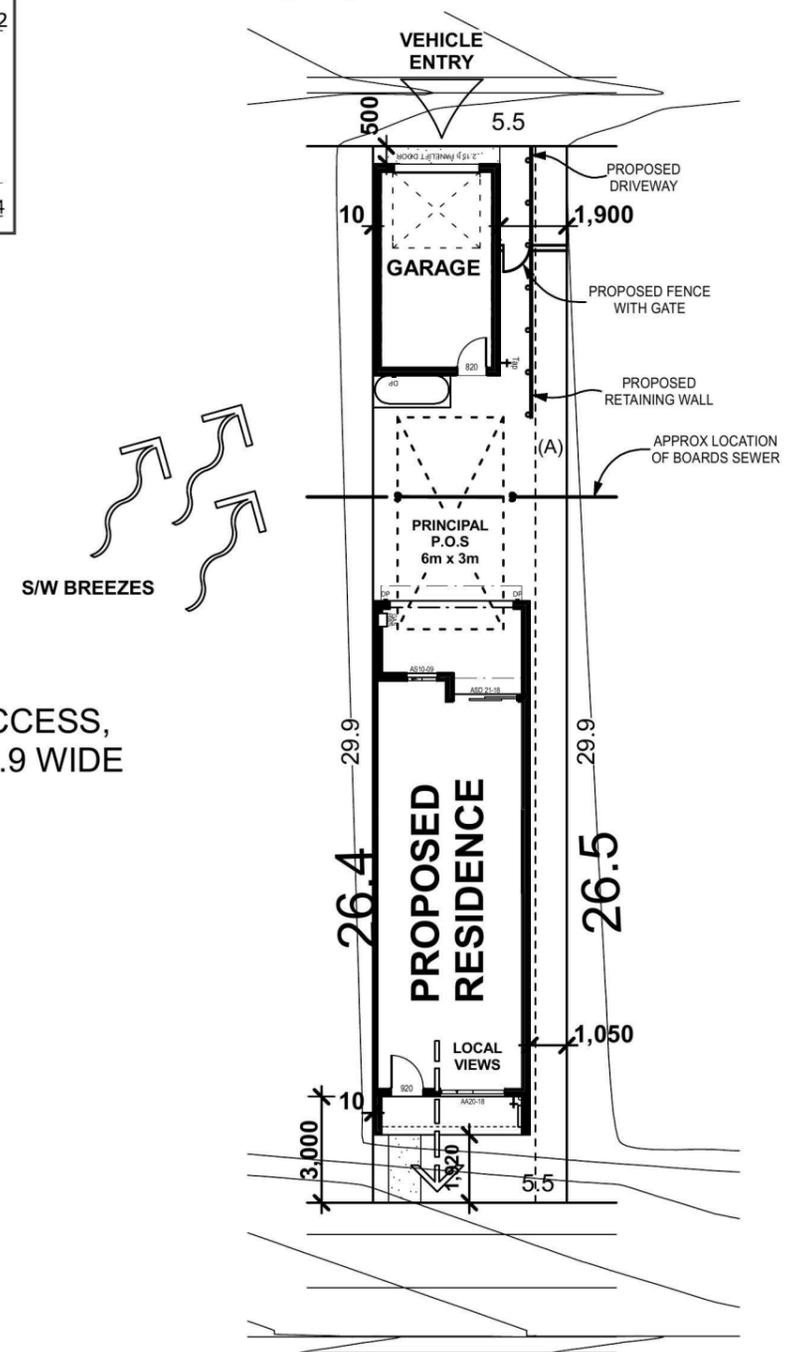
(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**NORTH PENRITH "THORNTON" REQUIREMENTS:**  
**SITE AREA:** 164.5m<sup>2</sup>  
**PRIVATE OPEN SPACE:**  
 (Min 2.0m Wide)  
 REQUIRED: 20% or 32.9m<sup>2</sup>  
 ACHIEVED: 25% or 41.03m<sup>2</sup>  
**LANDSCAPE AREA:**  
 ACHIEVED: 25% or 41.06m<sup>2</sup>

**STODDART LANE**



**THORNTON DRIVE**

**Proposed Site Analysis Plan**

SCALE 1:200

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.



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Revision	Date	Amendment
B	27.10.14	DA PLANS - BT
A	27.08.14	CONTRACT DRAWINGS - MT

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Proposed Terrace at Lot: 102, Thornton Drive, Penrith (Thornton)

Plot Date  
 Mon 27 Oct 2014

Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job No. **3281N** Sheet 1 of 9

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	220 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	110 mm FROM F.F.L.

Wind Speed category is **TO BE CONFIRMED**

# Proposed Erosion & Sediment Control Plan

SCALE 1:200

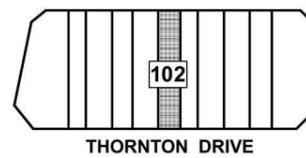
**NOTE:**  
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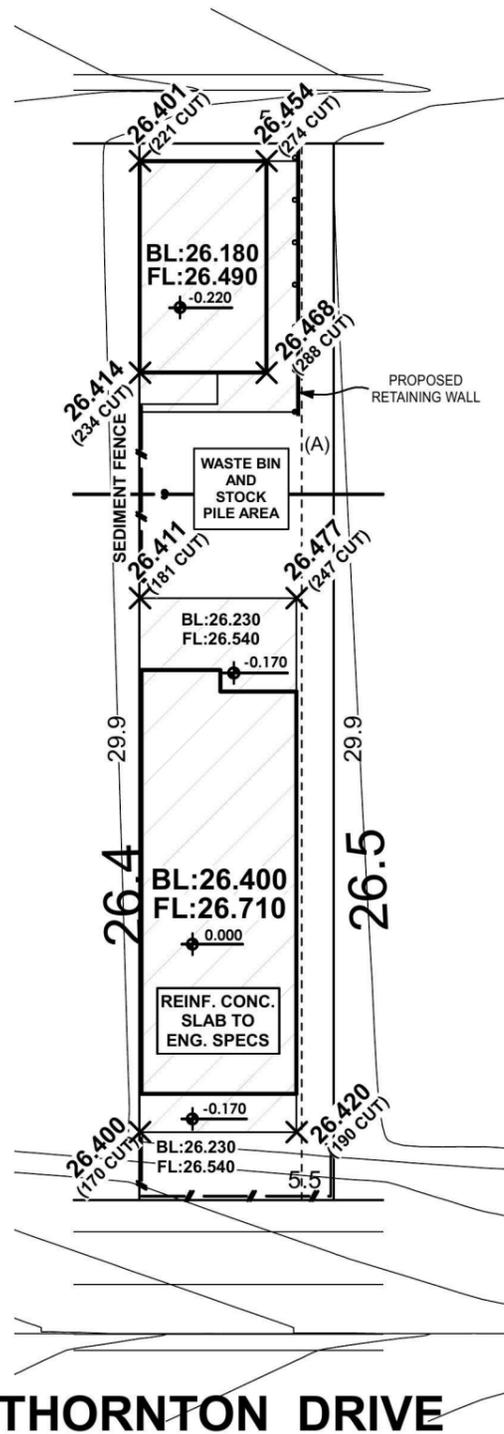
**LOT: 102**  
**164.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 0.9 WIDE

### LOCATION PLAN



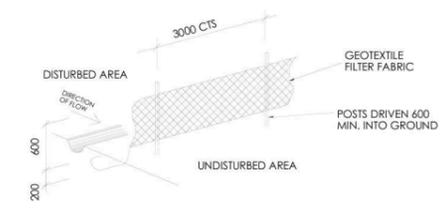
## STODDART LANE



## THORNTON DRIVE

<b>Energy Rating</b>		Certificate Number 14561082
<input checked="" type="checkbox"/> single-dwelling rating		5.5 stars
	heating	74 MJ/m <sup>2</sup>
	cooling	22 MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number Thomas Ruck VIC/BDV/12/1456		
Assessor Signature <i>T. Ruck</i>		Date 20/10/14

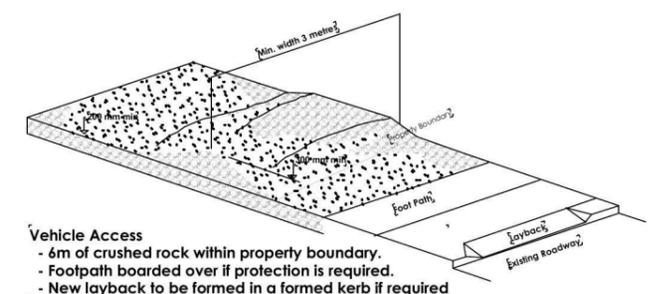
PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



SEDIMENT CONTROL FENCE

### SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**  
Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
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Mon 27 Oct 2014

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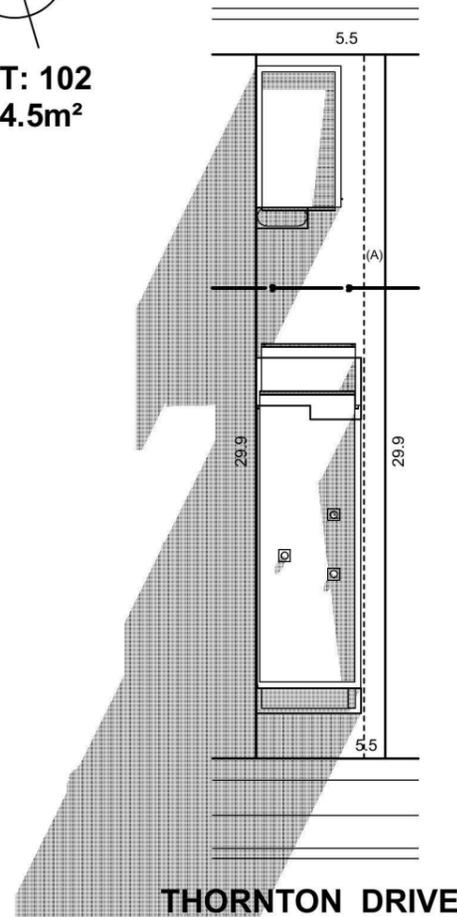
Sheet Size: A3 Date: 27.08.14 Drawn: MT  
Design:  
**Custom Mid-Terrace**  
Job No. **3281N** Sheet 2 of 9

# PROPOSED SHADOW DIAGRAMS



LOT: 102  
164.5m<sup>2</sup>

STODDART LANE



THORNTON DRIVE

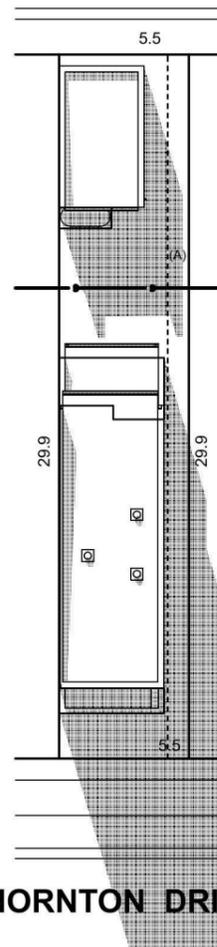
June 21st - 9am

SCALE 1:300



LOT: 102  
164.5m<sup>2</sup>

STODDART LANE



THORNTON DRIVE

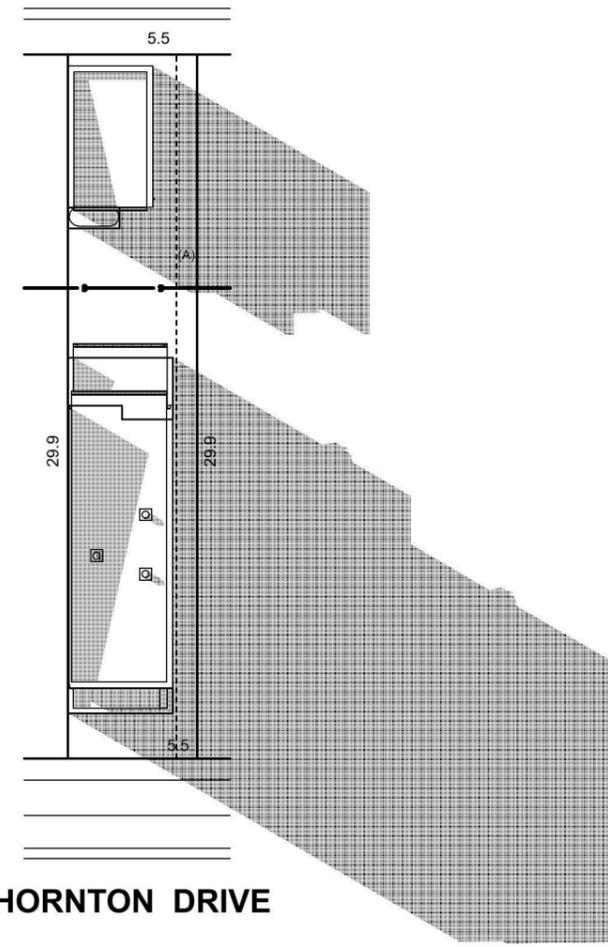
June 21st - 12noon

SCALE 1:300



LOT: 102  
164.5m<sup>2</sup>

STODDART LANE



THORNTON DRIVE

June 21st - 3pm

SCALE 1:300

	<b>Energy Rating</b>	Certificate Number 14561082
<input checked="" type="checkbox"/>	single-dwelling rating	5.5 stars
	heating	74 MJ/m <sup>2</sup>
	cooling	22 MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number Thomas Ruck VIC/BDAV/12/1456		
Assessor Signature <i>T. Ruck</i>		Date 20/10/14

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

Plot Date  
Mon 27 Oct 2014

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**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**  
Wind Speed category is  
**TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	220 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	110 mm FROM F.F.L.



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Revision	Date	Amendment
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Proposed Terrace  
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Thornton Drive,  
Penrith (Thornton)

Client:  
**Champion Homes**  
Sheet Size: A3 Date: 27.08.14 Drawn: MT  
Design:  
**Custom Mid-Terrace**  
Job No. **3281N** Sheet 3 of 9

# BASIX REQUIREMENTS

BASIX & NatHERS COMMITMENTS NOTES				
*REFER TO APPROVED BASIX* REPORT Number – 5819845				
<b>WATER</b>				
<b>Fixtures</b>	<b>All Shower Heads</b>	<b>All toilet flushing systems</b>	<b>All kitchen taps</b>	<b>All bathroom taps</b>
	3 star (> 6 but <= 7.5 L/min)	4 star	4 star	5 star
<b>Alternative water source</b>	<b>Individual water tank to collect run of from at least 63 m<sup>2</sup> of roof area - Tank size min 3000 litres</b>			
	<b>Landscape connection</b>	<b>Toilet connection</b>	<b>Laundry connection</b>	<b>Pool top up</b>
	Yes	Yes	N/A	N/A
<b>ENERGY</b>	<b>Hot water system: Gas Instantaneous 5 stars</b>			
	<b>Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off</b>			
	<b>Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off</b>			
	<b>Laundry: Individual fan, ducted to façade or roof manual switch on/off</b>			
	<b>Cooling system: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)</b>			
	<b>Heating system: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)</b>			
	<b>Natural lighting: As per BASIX</b>			
	<b>Artificial lighting: As per BASIX</b>			
	<b>Must install a gas cooktop and electric oven</b>			
	<b>Must install a fixed outdoor clothes drying line as part of the development.</b>			

	<b>Energy Rating</b>	Certificate Number <b>14561082</b>
<input checked="" type="checkbox"/>	single-dwelling rating	<b>5.5</b> stars
		heating <b>74</b> MJ/m <sup>2</sup>
		cooling <b>22</b> MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number <b>Thomas Ruck VIC/BDV/12/1456</b>		
Assessor Signature 		Date <b>20/10/14</b>

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



## NATHERS - THERMAL COMFORT CERTIFICATE



<b>Project Address:</b> Lot 102, Thornton Drive Penrith, NSW 2750			<b>Energy Rating</b>	Certificate Number <b>14561082</b>
Accreditation # : <b>BDV/12/1456</b>		Certificate # : <b>14561082</b>		
Software: <b>BERS 4.2 V110811/A</b>		Date: <b>20/10/2014</b>		
Heating load (MJ/m <sup>2</sup> ): <b>74</b>		Cooling load (MJ/m <sup>2</sup> ): <b>22</b>		Star rating: <b>5.5</b>
Conditioned area (m <sup>2</sup> ): <b>87</b>		Unconditioned area (m <sup>2</sup> ): <b>0</b>		
<b>Building Elements</b>	<b>Material</b>	<b>Detail</b>		
<b>External walls</b>	Brick Veneer	R1.5 Bulk Insulation		
	Light Weight Cladding			
<b>Internal walls</b>	Plasterboard on studs	-		
<b>Ceiling</b>	Plasterboard	R3.5 bulk insulation		
<b>Floors</b>	Concrete-ground floor	Waffle Pod		
	Timber-first floor			
<b>Roof</b>	Metal Roof	Foil (sisalation) to underside of roof		
<b>Windows</b>	Aluminium frame, single glazed clear	U value 6.65 or less and SHGC of 0.70 +/- 10%		
<b>Lighting: This dwelling has been rated with a maximum of 12 non ventilated LED / Fluorescent downlights to insulated ceilings</b>				
<b>Note: Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA</b>				

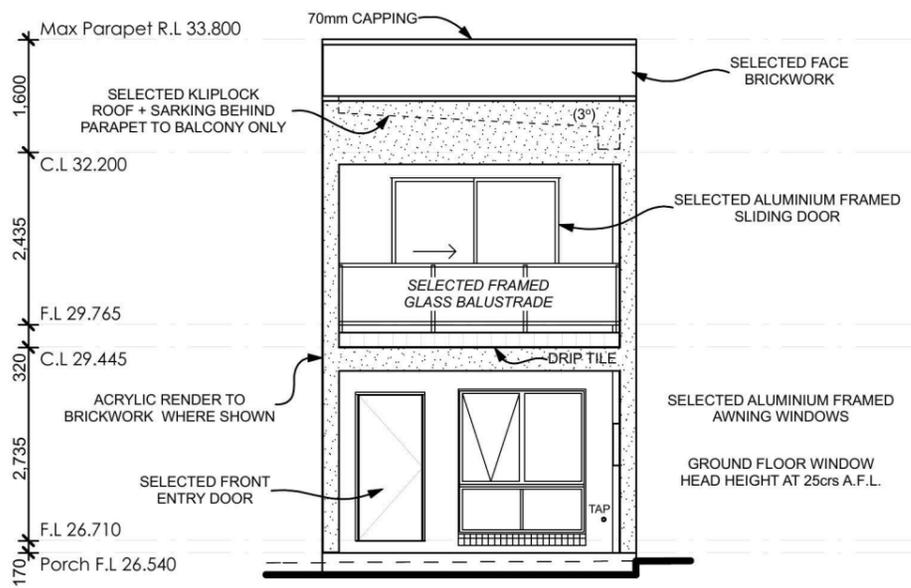
Building Elements	Material	Detail
<b>External walls</b>	Brick Veneer	R1.5 Bulk Insulation
	Light Weight Cladding	
<b>Internal walls</b>	Plasterboard on studs	-
<b>Ceiling</b>	Plasterboard	R3.5 bulk insulation
<b>Floors</b>	Concrete-ground floor	Waffle Pod
	Timber-first floor	
<b>Roof</b>	Metal Roof	Foil (sisalation) to underside of roof
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Do not assume - if in doubt ASK.

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	Revision Date Amendment B 27.10.14 DA PLANS - BT A 27.08.14 CONTRACT DRAWINGS - MT		

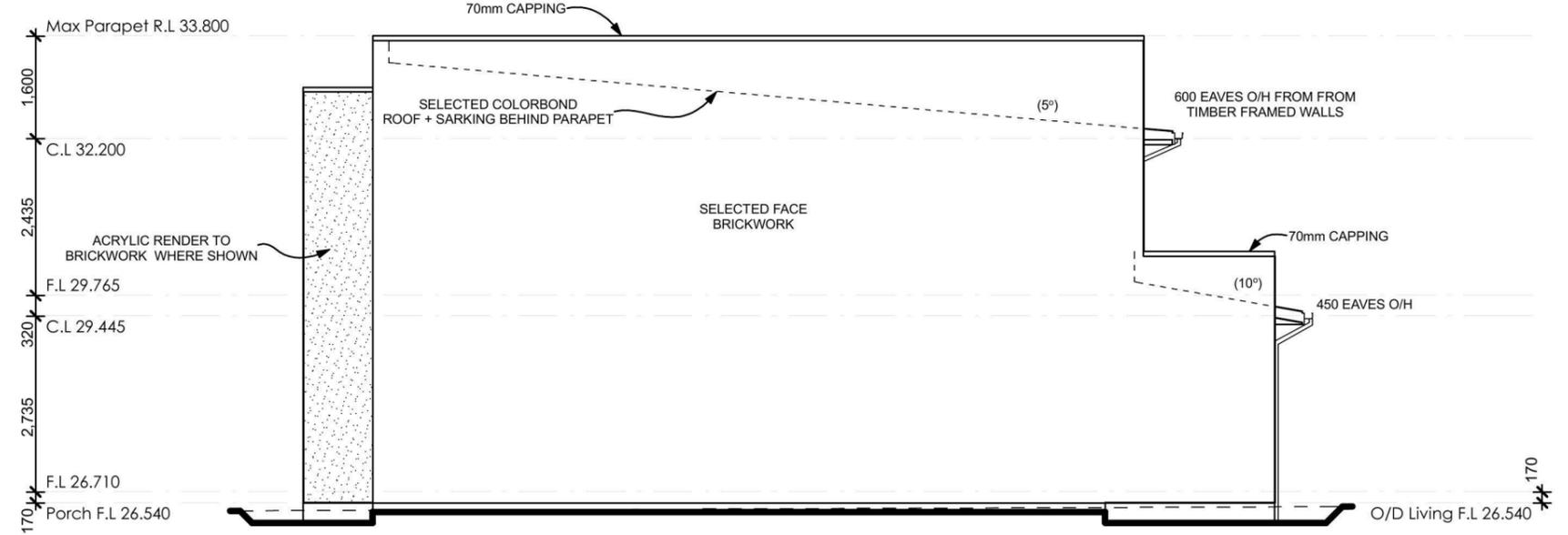
SITE & SLAB CLASSIFICATION  
**IS TO BE CONFIRMED**  
Wind Speed category is  
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SLAB SETDOWNS FROM ENTRY.		
EDGE REBATES	-	172mm x 150mm WIDE
GARAGE	220	mm FROM F.F.L.
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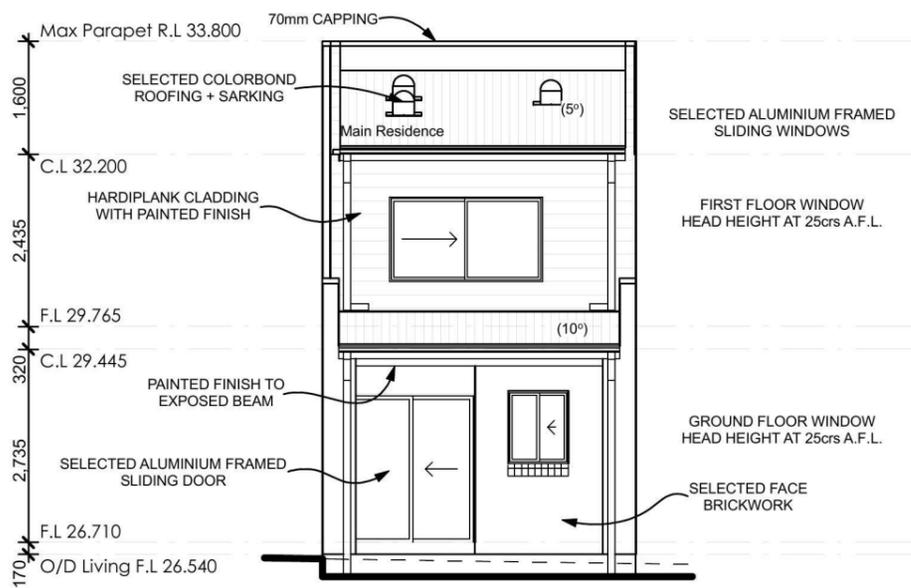
### Southern Elevation

SCALE 1:100



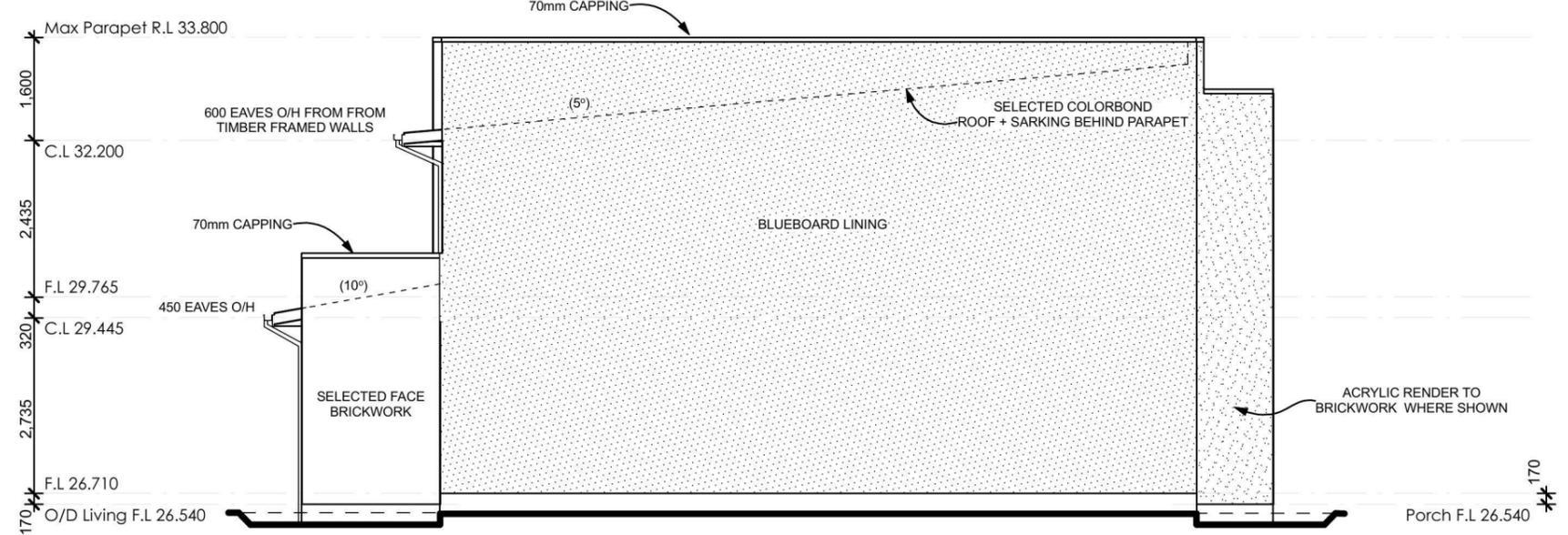
### Eastern Elevation

SCALE 1:100



### Northern Elevation

SCALE 1:100



### Western Elevation

SCALE 1:100

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

**PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5**  
 A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

**Energy Rating** Certificate Number **14561082**

single-dwelling rating 5.5 stars

heating **74** MJ/m<sup>2</sup>

cooling **22** MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number **Thomas Ruck VIC/BDV/12/1456**

Assessor Signature *T. Ruck* Date **20/10/14**

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

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Plot Date  
Mon 27 Oct 2014

**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**

Wind Speed category is **TO BE CONFIRMED**

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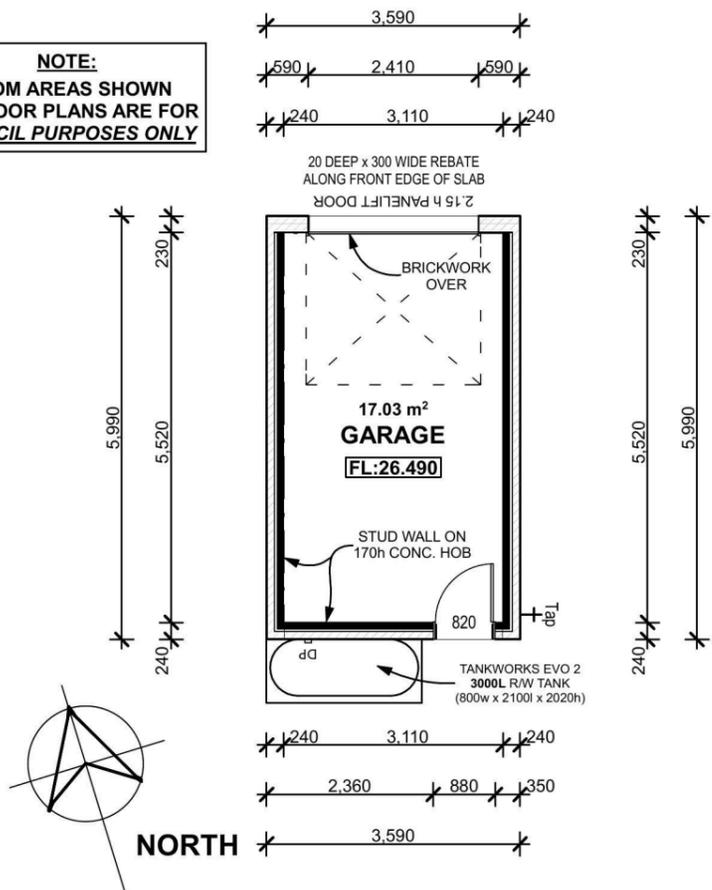
Client:  
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Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job No. **3281N** Sheet 6 of 9

**NOTE:**  
ROOM AREAS SHOWN  
ON FLOOR PLANS ARE FOR  
COUNCIL PURPOSES ONLY



## Garage Floor Plan

SCALE 1:100

**Energy Rating** Certificate Number **14561082**

single-dwelling rating

5.5 stars

heating 74 MJ/m<sup>2</sup>

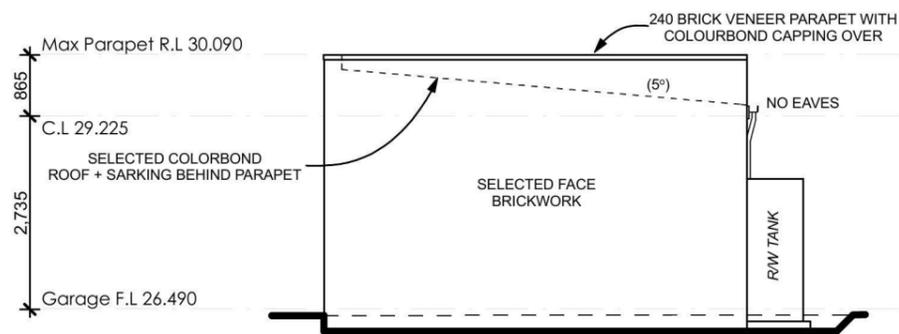
cooling 22 MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDAV/12/1456

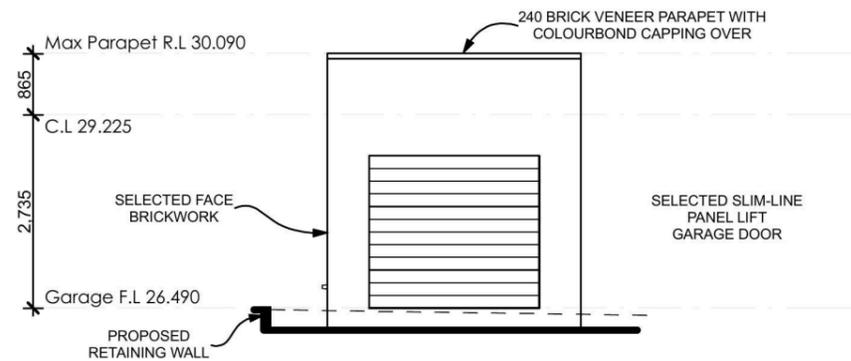
Assessor Signature *T. Ruck* Date 20/10/14

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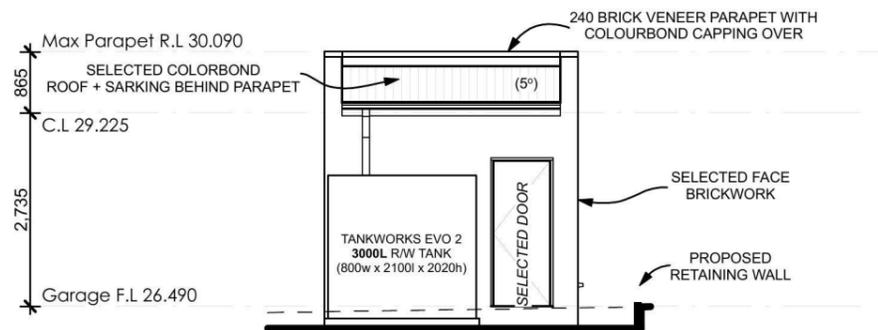
## Western Elevation

SCALE 1:100



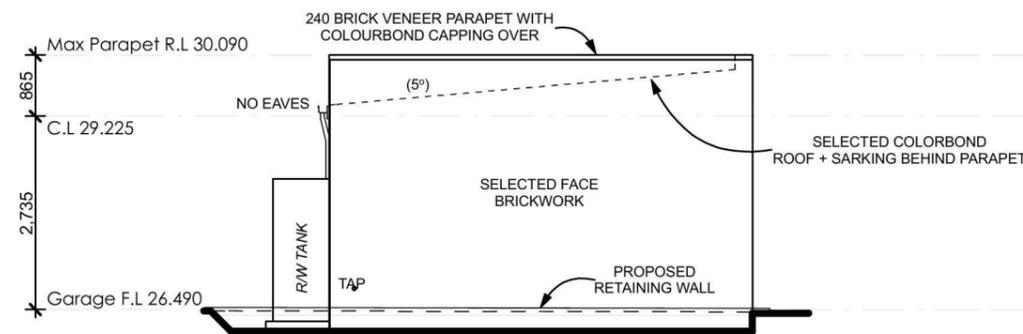
## Northern Elevation

SCALE 1:100



## Southern Elevation

SCALE 1:100



## Eastern Elevation

SCALE 1:100

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

Plot Date  
Mon 27 Oct 2014

SITE & SLAB  
CLASSIFICATION  
**IS TO BE CONFIRMED**

Wind Speed category is  
**TO BE CONFIRMED**

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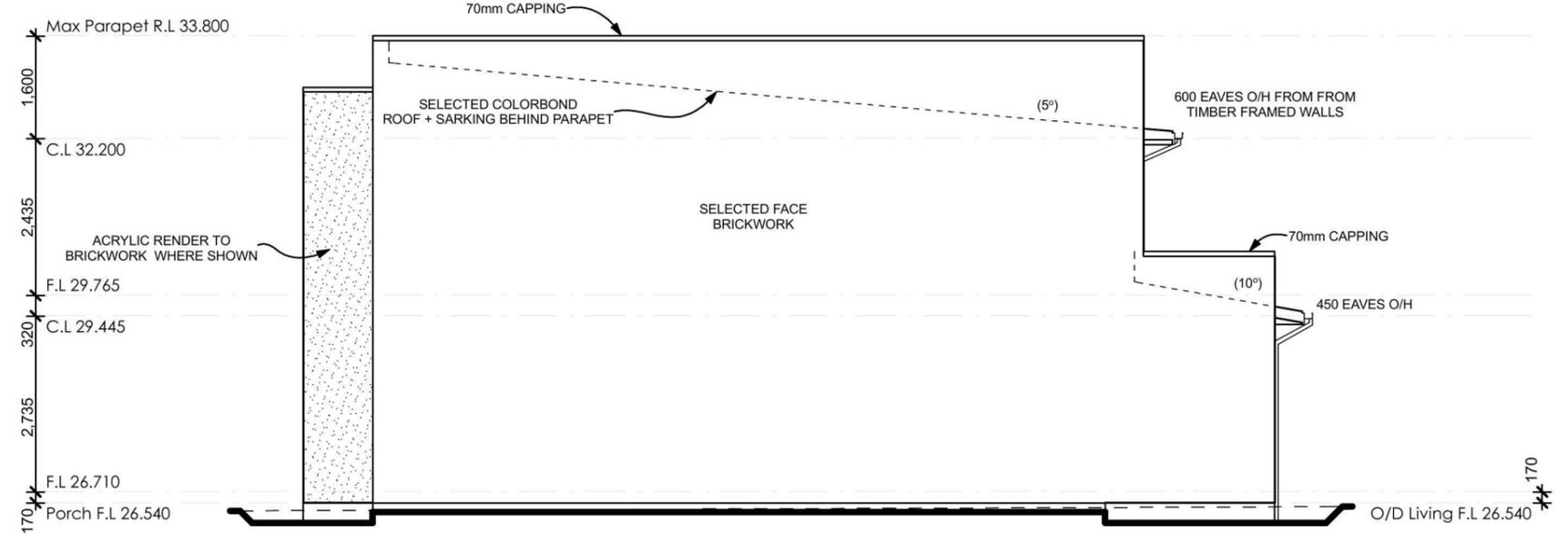
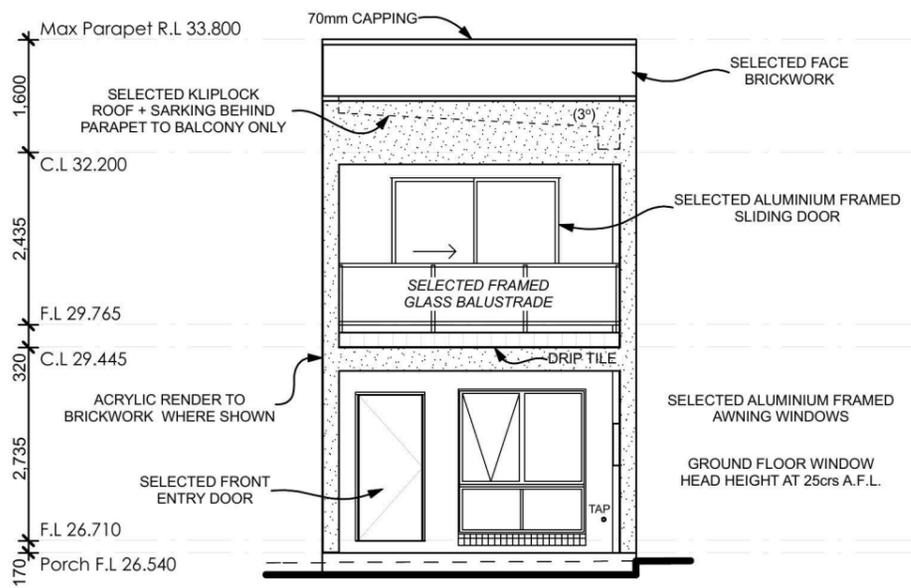
Proposed Terrace  
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Penrith (Thornton)

Client:  
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Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
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Job  
No. **3281N** Sheet 7 of 9

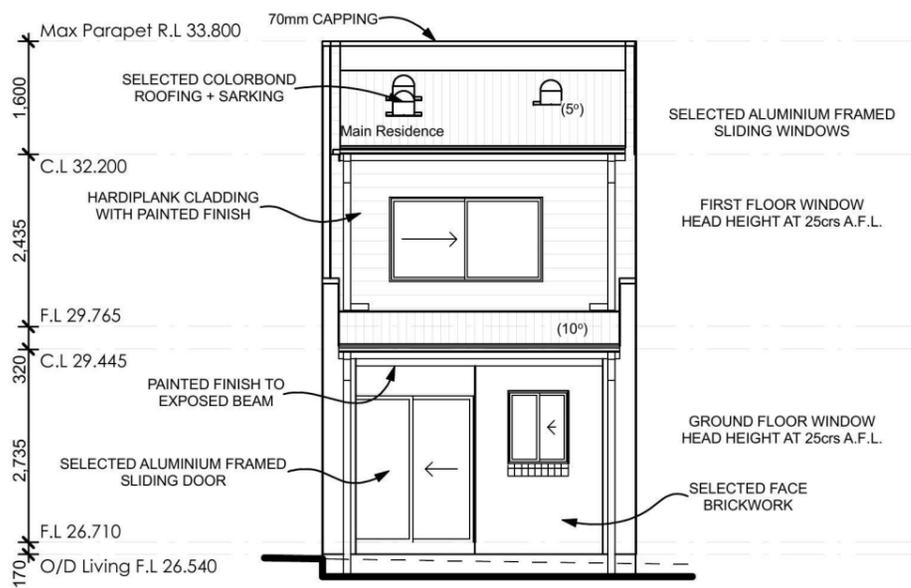


### Southern Elevation

SCALE 1:100

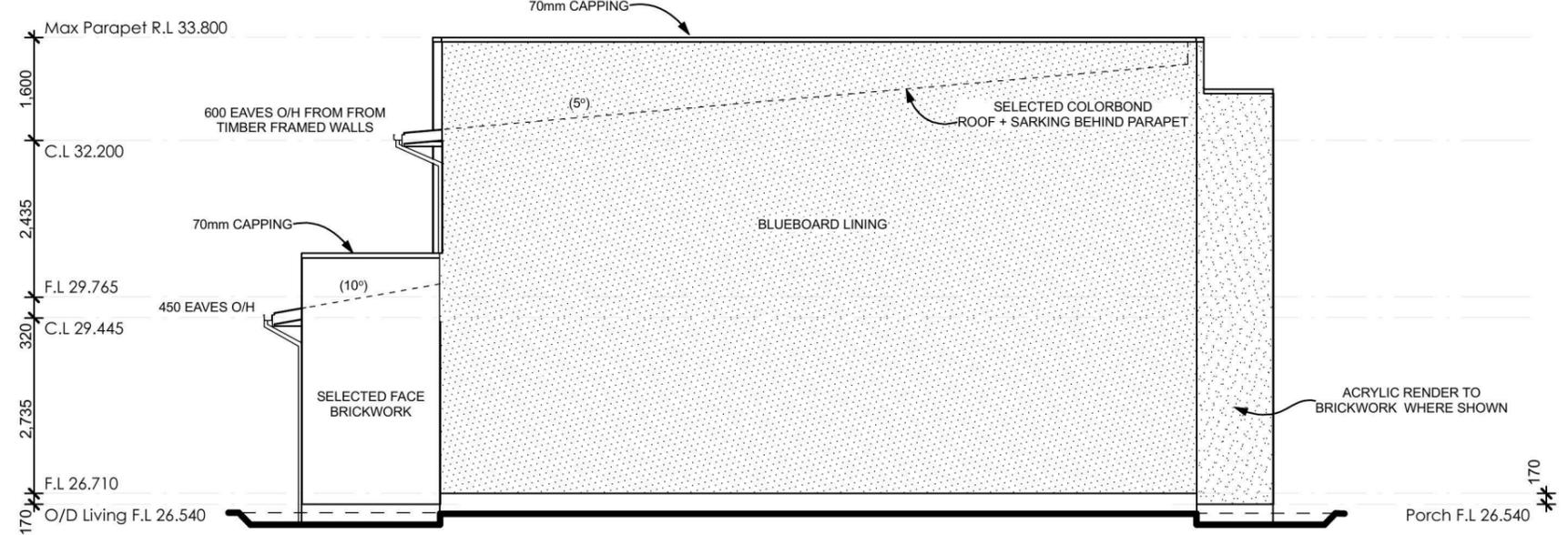
### Eastern Elevation

SCALE 1:100



### Northern Elevation

SCALE 1:100



### Western Elevation

SCALE 1:100

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

**PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5**  
 A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

**Energy Rating** Certificate Number **14561082**

single-dwelling rating **5.5** stars

heating **74** MJ/m<sup>2</sup>

cooling **22** MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number **Thomas Ruck VIC/BDV/12/1456**

Assessor Signature *T. Ruck* Date **20/10/14**

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

Plot Date  
Mon 27 Oct 2014

**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**

Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	220 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	110 mm FROM F.F.L.

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Revision	Date	Amendment
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A	27.08.14	CONTRACT DRAWINGS - MT

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Proposed Terrace  
at Lot: 102,  
Thornton Drive,  
Penrith (Thornton)

Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job No. **3281N** Sheet 6 of 9

# Proposed Erosion & Sediment Control Plan

SCALE 1:200

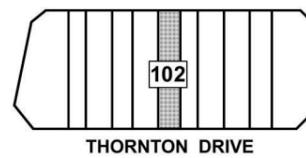
**NOTE:**  
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



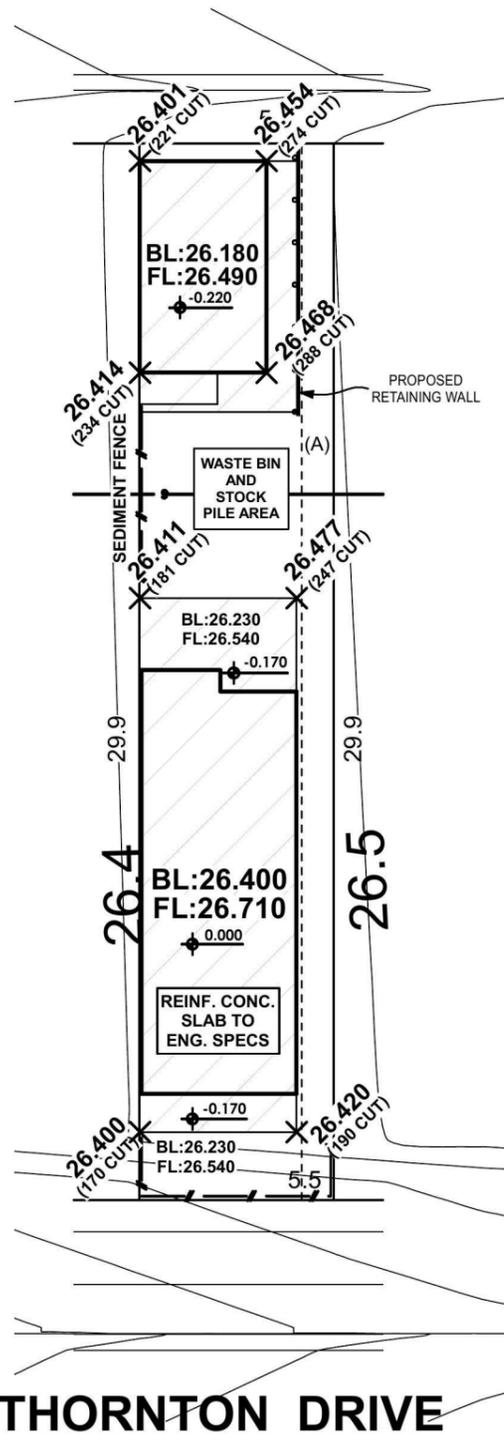
**LOT: 102**  
**164.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE

### LOCATION PLAN

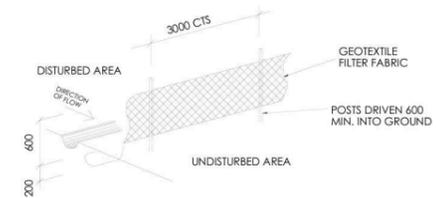


## STODDART LANE



## THORNTON DRIVE

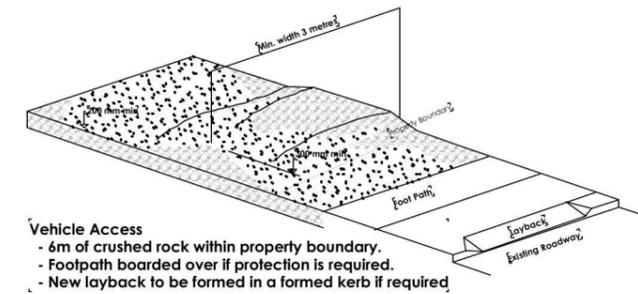
<b>Energy Rating</b>		Certificate Number 14561082
<input checked="" type="checkbox"/> single-dwelling rating	5.5 stars	
	heating 74 MJ/m <sup>2</sup>	
	cooling 22 MJ/m <sup>2</sup>	
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number Thomas Ruck VIC/BDV/12/1456		
Assessor Signature <i>T. Ruck</i>		Date 20/10/14
PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE		



SEDIMENT CONTROL FENCE

### SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



**Vehicle Access**  
- 6m of crushed rock within property boundary.  
- Footpath boarded over if protection is required.  
- New layback to be formed in a formed kerb if required

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**  
Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	220 mm FROM F.F.L.
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BALCONY	110 mm FROM F.F.L.



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Proposed Terrace  
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Plot Date  
Mon 27 Oct 2014

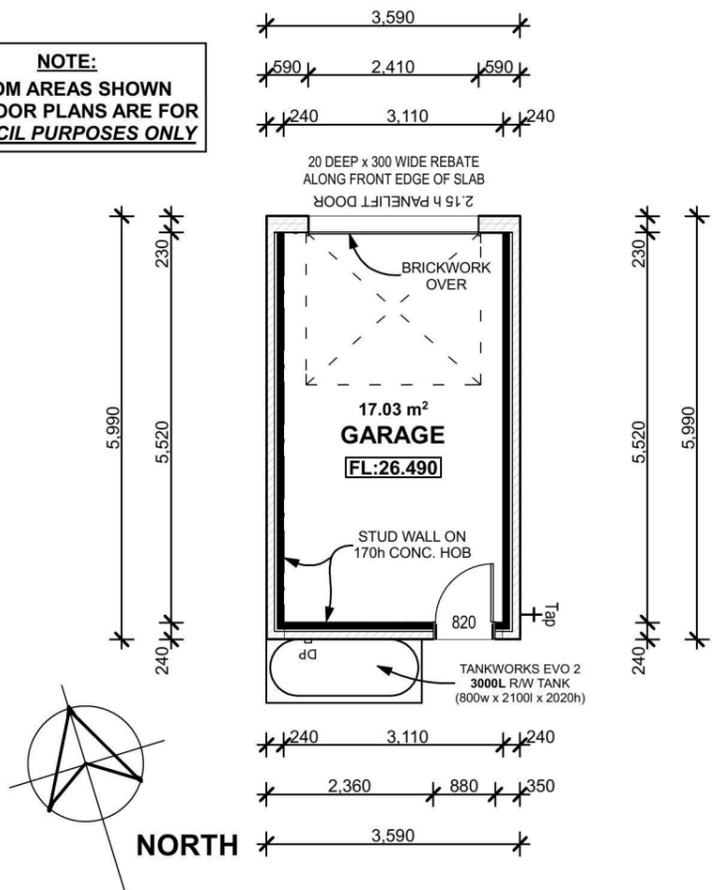
Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job No. **3281N** Sheet 2 of 9

**NOTE:**  
ROOM AREAS SHOWN  
ON FLOOR PLANS ARE FOR  
COUNCIL PURPOSES ONLY



## Garage Floor Plan

SCALE 1:100

**Energy Rating** Certificate Number **14561082**

single-dwelling rating

5.5 stars

heating 74 MJ/m<sup>2</sup>

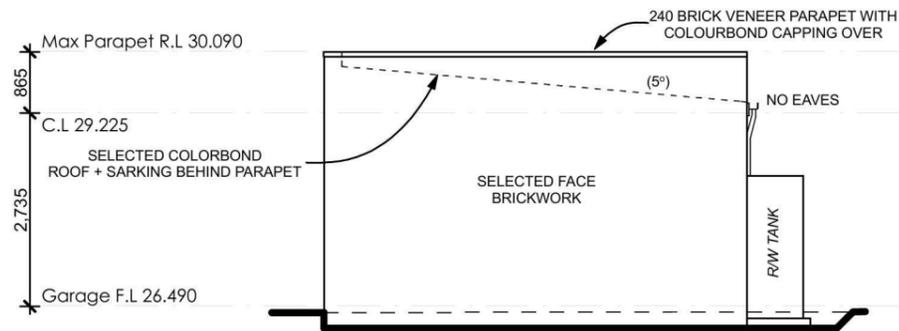
cooling 22 MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDAV/12/1456

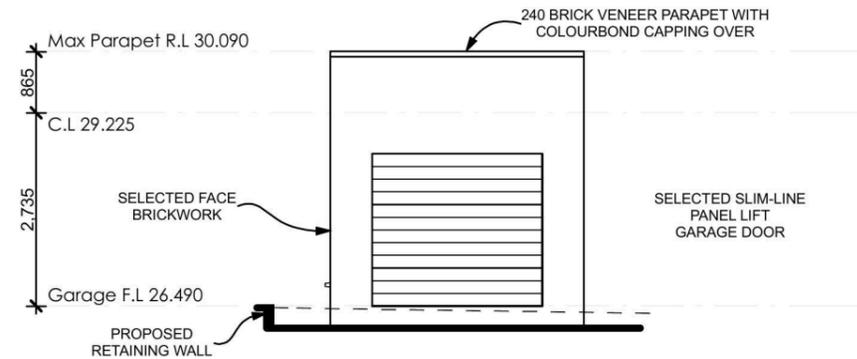
Assessor Signature *T. Ruck* Date 20/10/14

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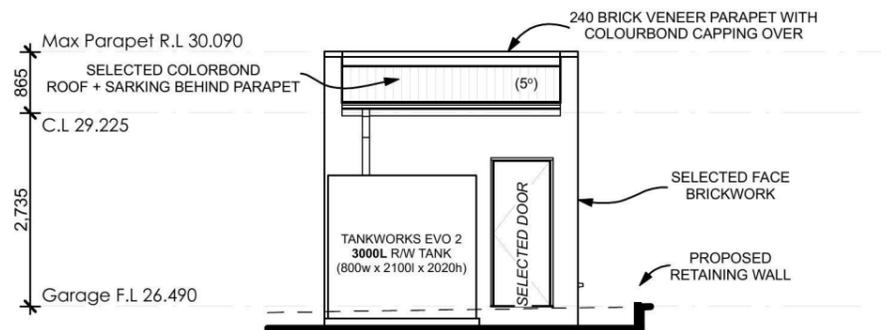
## Western Elevation

SCALE 1:100



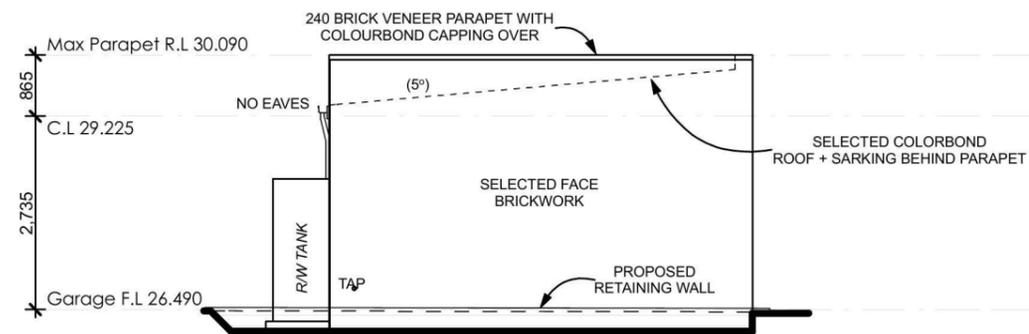
## Northern Elevation

SCALE 1:100



## Southern Elevation

SCALE 1:100



## Eastern Elevation

SCALE 1:100

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

SITE & SLAB  
CLASSIFICATION  
**IS TO BE CONFIRMED**

Wind Speed category is  
**TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
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Plot Date  
Mon 27 Oct 2014

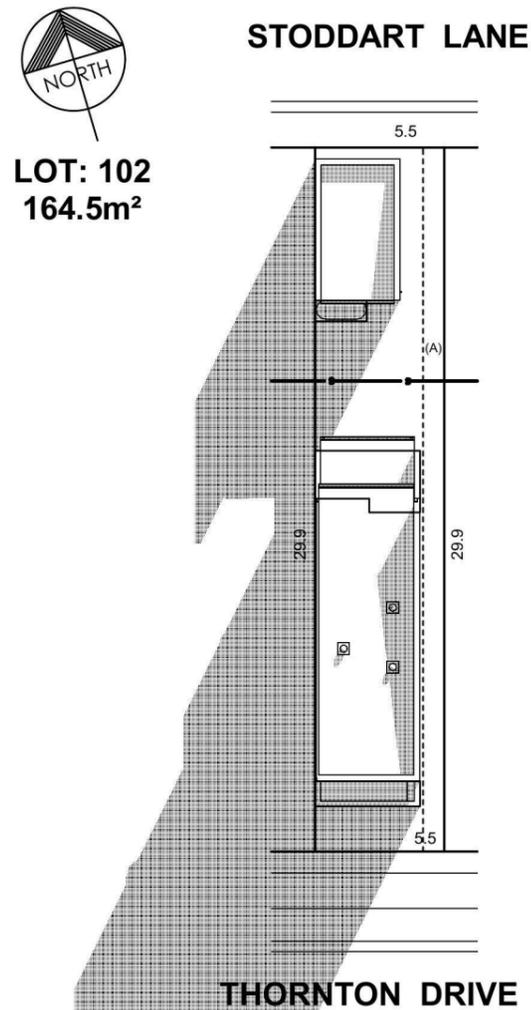
Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

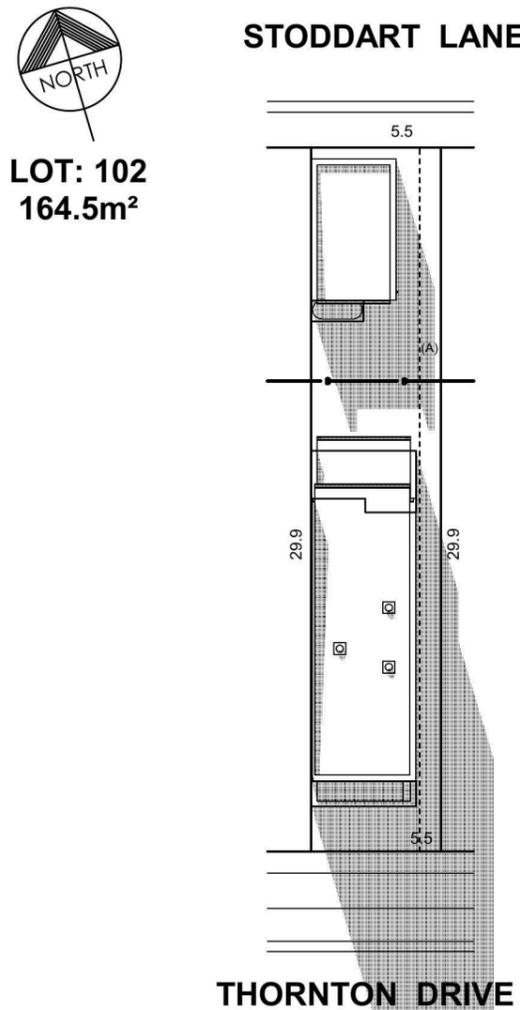
Job  
No. **3281N** Sheet 7 of 9

# PROPOSED SHADOW DIAGRAMS



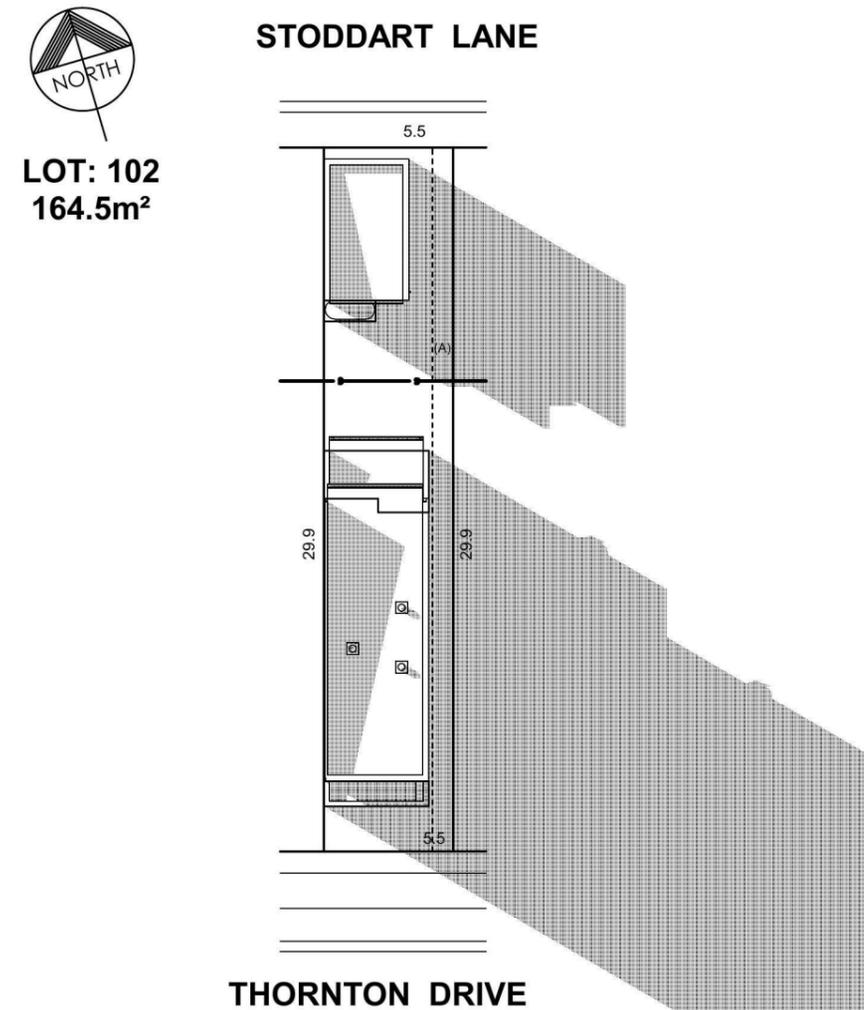
LOT: 102  
164.5m<sup>2</sup>

June 21st - 9am  
SCALE 1:300



LOT: 102  
164.5m<sup>2</sup>

June 21st - 12noon  
SCALE 1:300



LOT: 102  
164.5m<sup>2</sup>

June 21st - 3pm  
SCALE 1:300

	<b>Energy Rating</b>	Certificate Number 14561082
<input checked="" type="checkbox"/>	single-dwelling rating	5.5 stars
		heating 74 MJ/m <sup>2</sup>
		cooling 22 MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number Thomas Ruck VIC/BDV/12/1456		
Assessor Signature <i>T. Ruck</i>		Date 20/10/14

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

Plot Date  
Mon 27 Oct 2014

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**  
Wind Speed category is  
**TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	220 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	110 mm FROM F.F.L.

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Proposed Terrace  
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Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job No. **3281N** Sheet 3 of 9

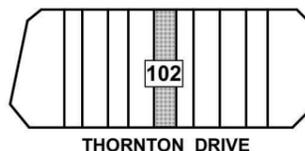
**NOTE:**  
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**LOT: 102**  
**164.5m<sup>2</sup>**

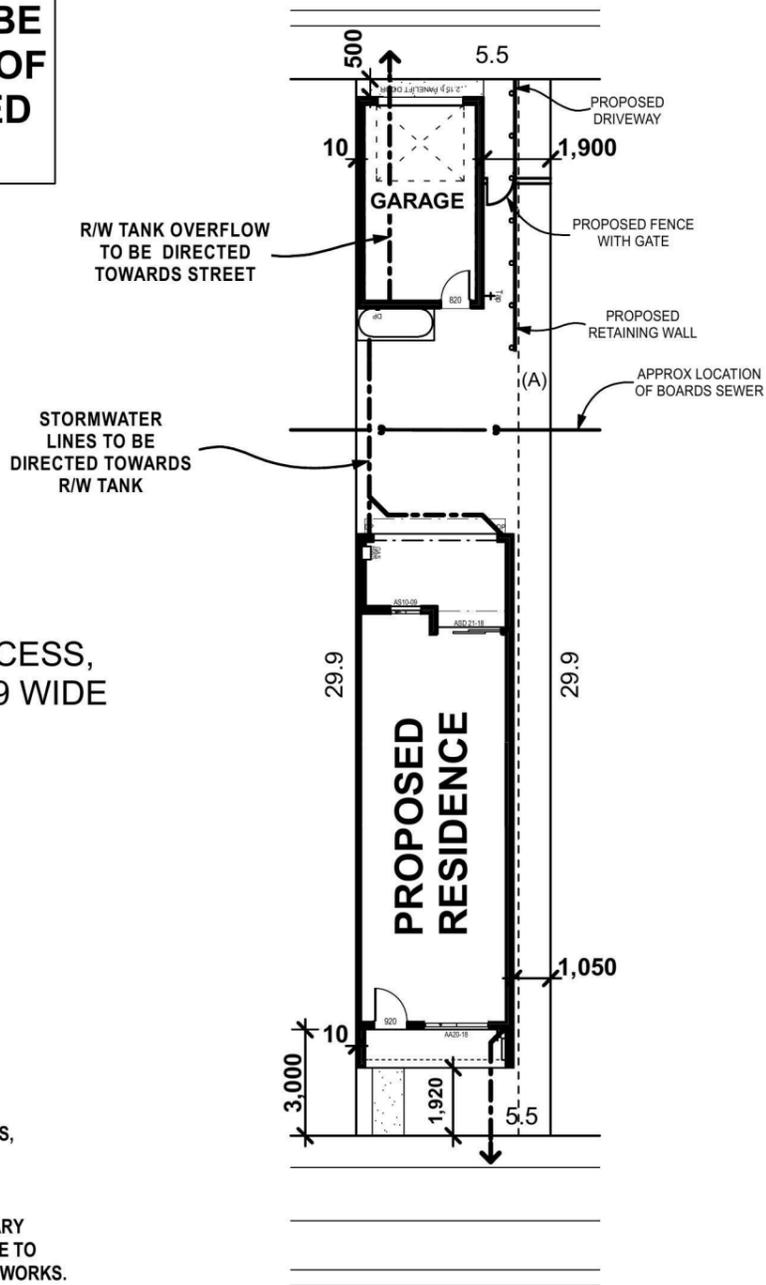
(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**NOTE:**  
 FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.  
  
 FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

**STODDART LANE**



**THORNTON DRIVE**

**Proposed Site Plan & Drainage Plan**

SCALE 1:200

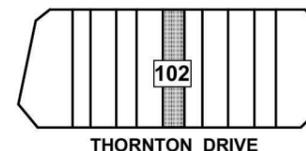
**Energy Rating** Certificate Number 14561082  
 single-dwelling rating      5.5 stars  
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 cooling 22 MJ/m<sup>2</sup>  
 Recessed downlights confirmation:  Rated with     Rated without  
 Assessor Name/Number Thomas Ruck VIC/BD4V/12/1456  
 Assessor Signature *T. Ruck*      Date 20/10/14  
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**LOT: 102**  
**164.5m<sup>2</sup>**

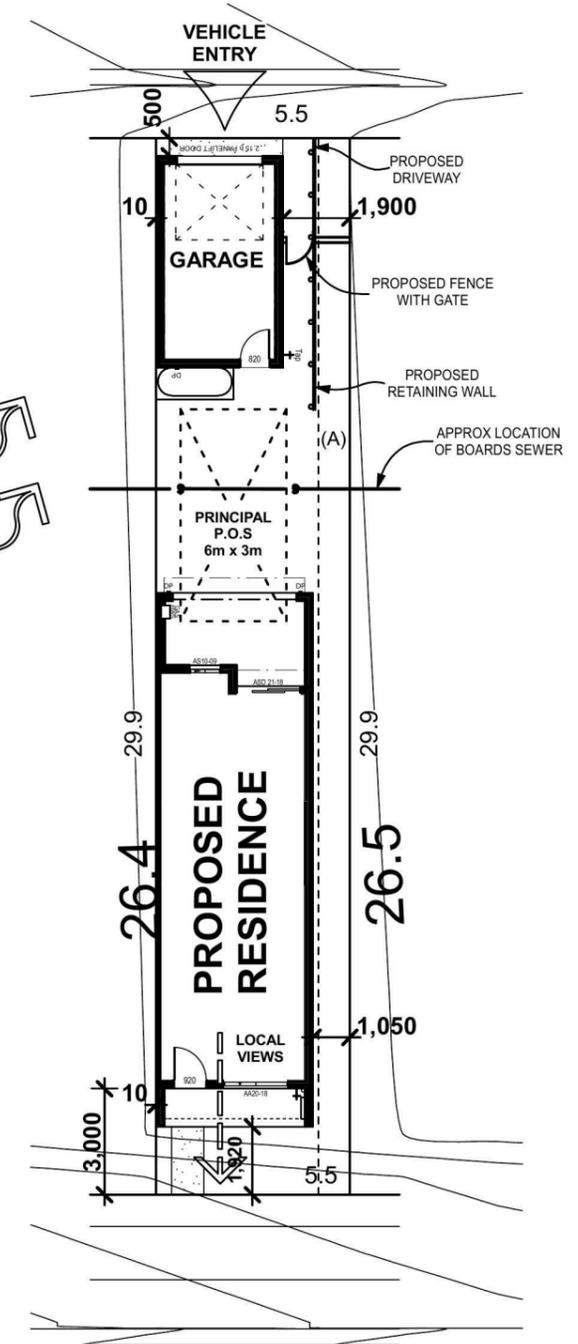
(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**NORTH PENRITH "THORNTON" REQUIREMENTS:**  
**SITE AREA:** 164.5m<sup>2</sup>  
**PRIVATE OPEN SPACE:**  
 (Min 2.0m Wide)  
 REQUIRED: 20% or 32.9m<sup>2</sup>  
 ACHIEVED: 25% or 41.03m<sup>2</sup>  
**LANDSCAPE AREA:**  
 ACHIEVED: 25% or 41.06m<sup>2</sup>

**STODDART LANE**



**THORNTON DRIVE**

**Proposed Site Analysis Plan**

SCALE 1:200

Figured dimensions to be used in preference to scaling this drawing.  
 Do not assume - if in doubt ASK.



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Proposed Terrace at Lot: 102, Thornton Drive, Penrith (Thornton)

Plot Date  
 Mon 27 Oct 2014

Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job No. **3281N** Sheet 1 of 9

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
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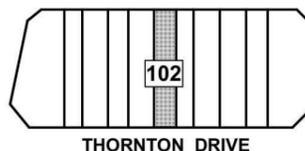
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**LOT: 102**  
**164.5m<sup>2</sup>**

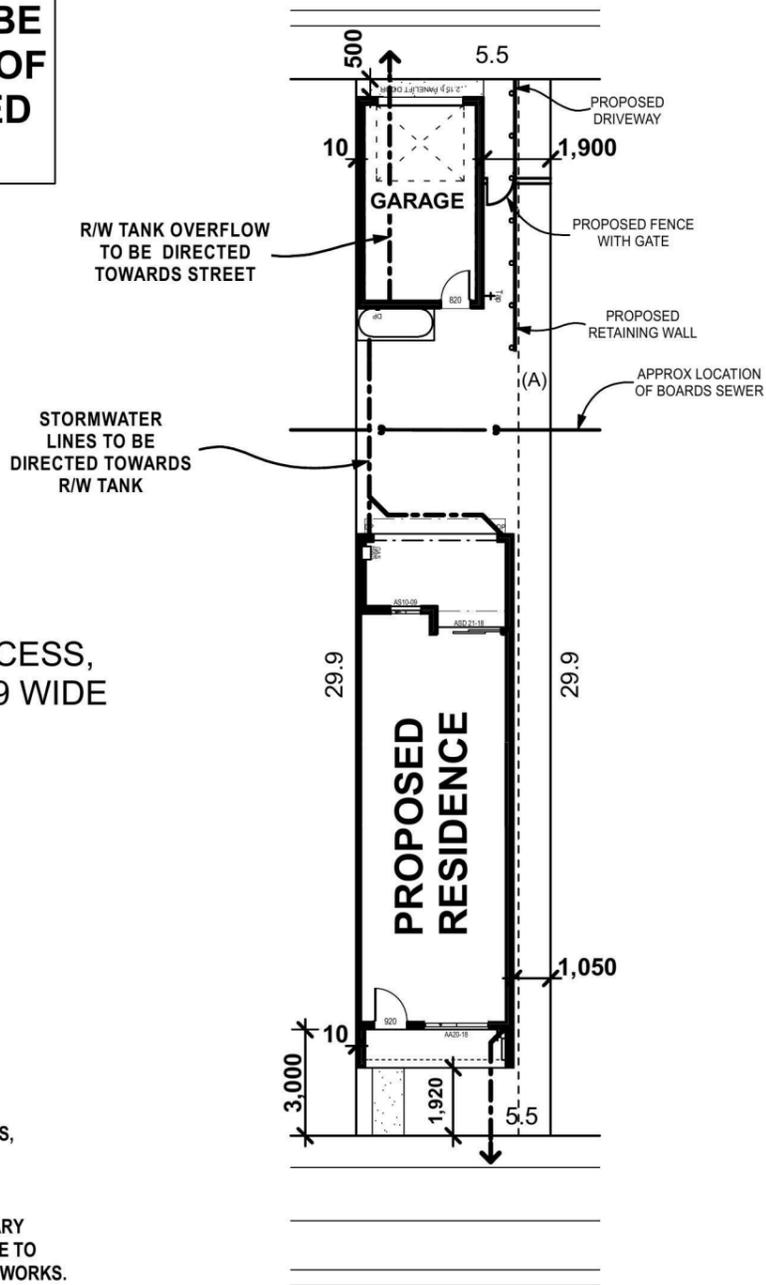
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**STODDART LANE**



**THORNTON DRIVE**

**Proposed Site Plan & Drainage Plan**

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Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job No. **3281N** Sheet 1 of 9

**Energy Rating** Certificate Number 14561082

single-dwelling rating 5.5 stars

heating 74 MJ/m<sup>2</sup>

cooling 22 MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDAV/12/1456

Assessor Signature *T. Ruck* Date 20/10/14

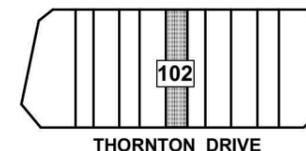
PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



**LOT: 102**  
**164.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**

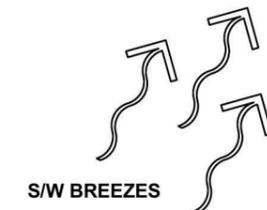


**NORTH PENRITH "THORNTON" REQUIREMENTS:**

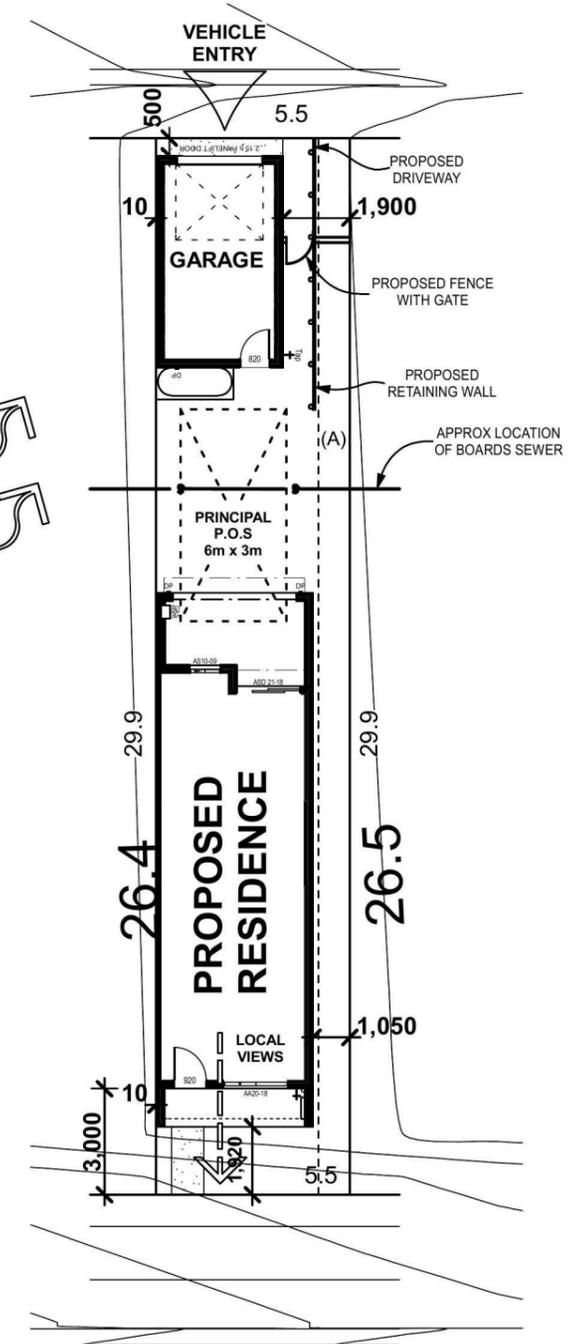
**SITE AREA:** 164.5m<sup>2</sup>

**PRIVATE OPEN SPACE:**  
 (Min 2.0m Wide)  
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 ACHIEVED: 25% or 41.03m<sup>2</sup>

**LANDSCAPE AREA:**  
 ACHIEVED: 25% or 41.06m<sup>2</sup>



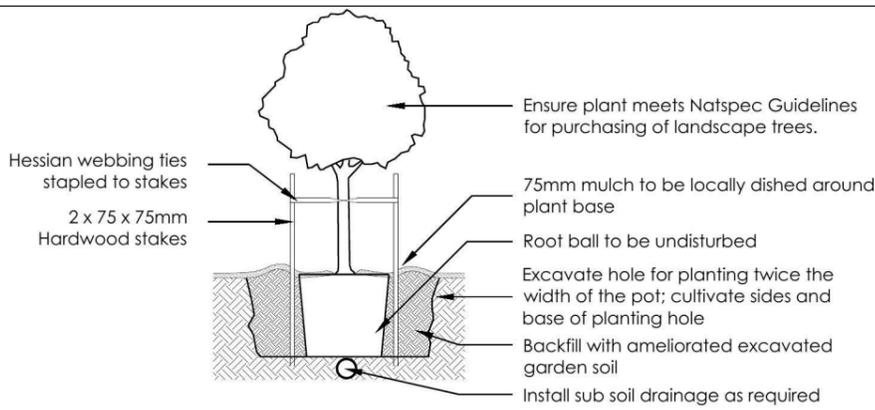
**STODDART LANE**



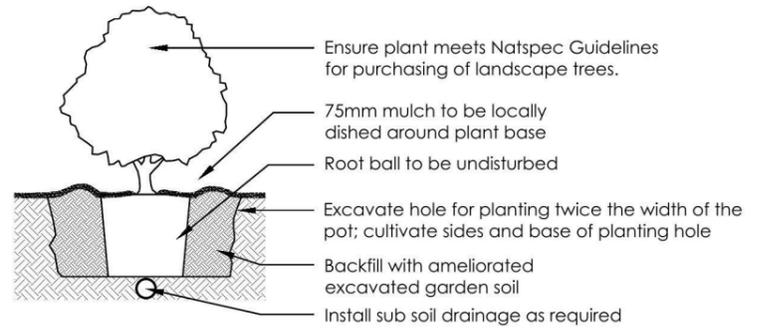
**THORNTON DRIVE**

**Proposed Site Analysis Plan**

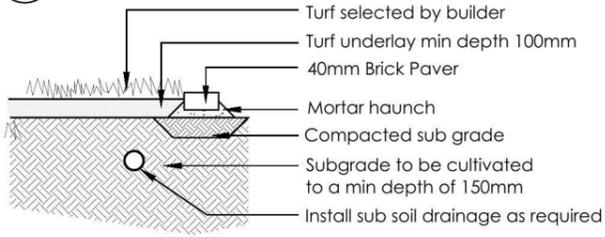
SCALE 1:200



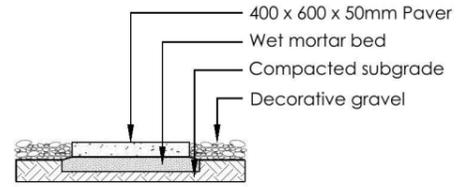
1 Tree Planting Detail  
NTS 25L - 100L Pot Size



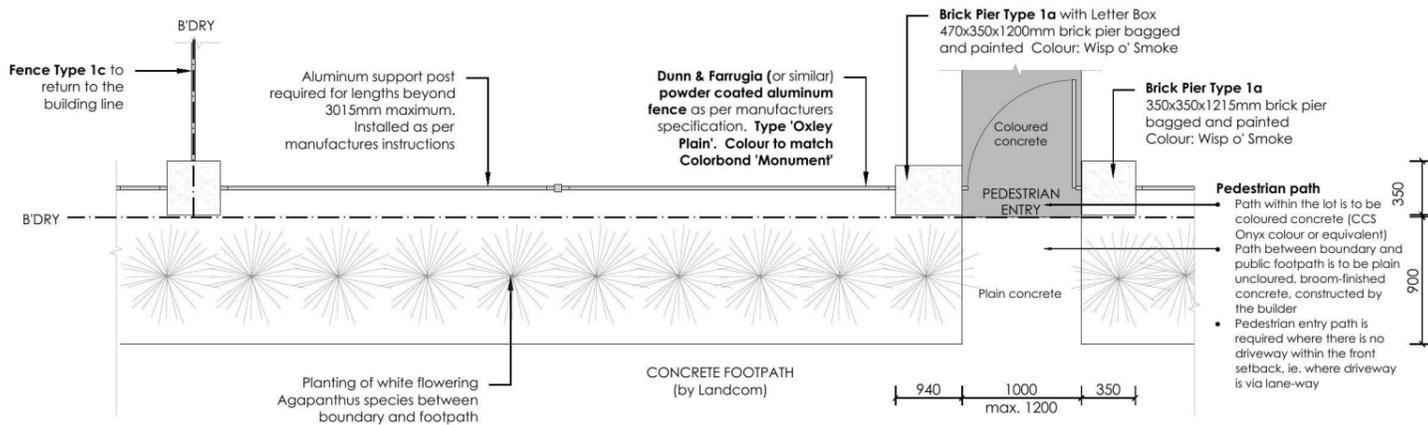
2 Planting Detail  
NTS 150mm, 200mm Pot Size



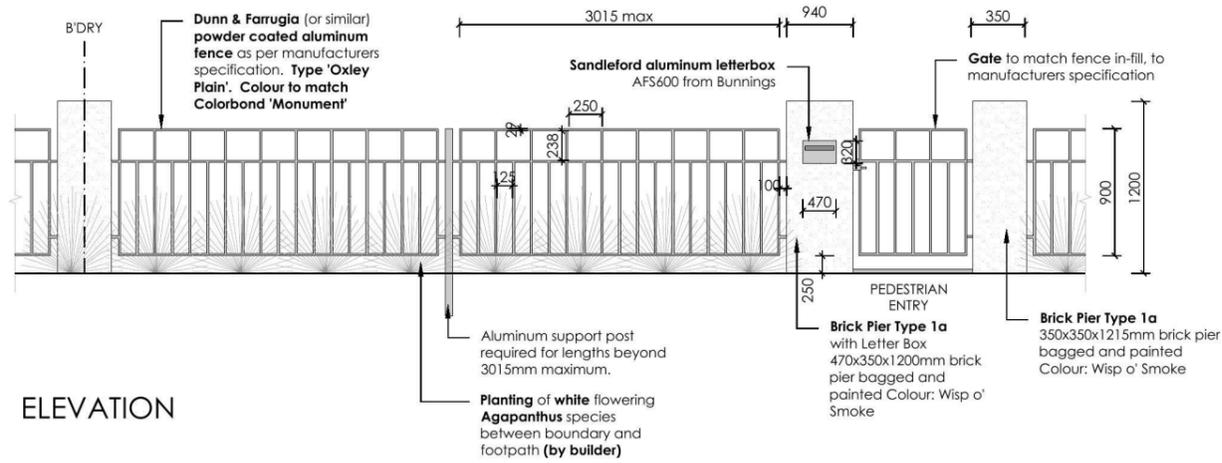
3 Turf Detail  
NTS Brick Paver Edge



4 Stepping stones in gravel  
NTS Low traffic zone

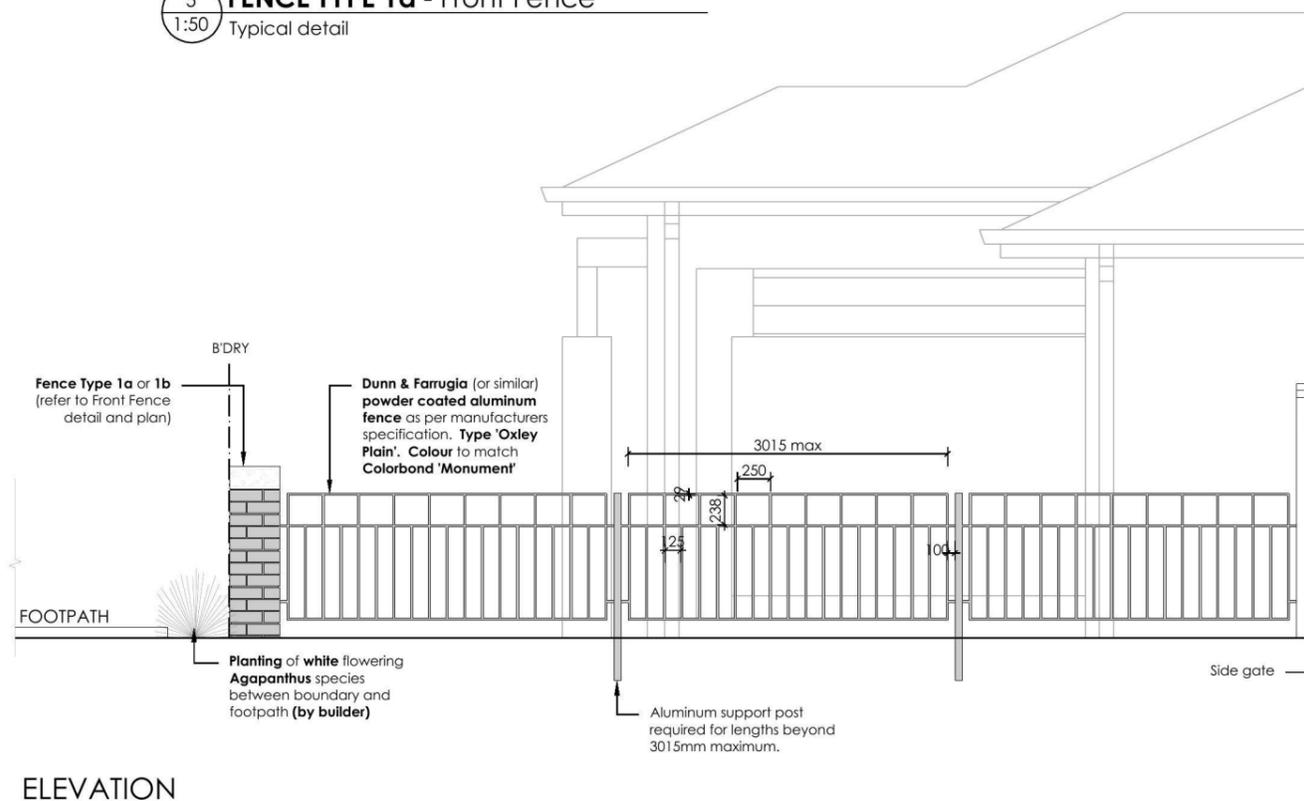


PLAN



ELEVATION

5 FENCE TYPE 1a - Front Fence  
1:50 Typical detail



ELEVATION

6 FENCE TYPE 1c - Side Boundary Front Setback  
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	GC	RS	25-09-14
B	AMENDED TO BUILDER FEEDBACK	GC	RS	29-09-14
C	AMENDED TO BUILDER FEEDBACK	GC	RS	30-09-14
D	AMENDED TO INCLUDE AREA CALCULATIONS	GC	RS	02-10-14

**ecodesign**  
outdoor living environments

PO Box 8136, Baulkham Hills BC, NSW 2153  
Ph: (02) 9480 7712 Fax: (02) 9480 7705  
Email: info@ecodesign.com.au  
Web: www.ecodesign.com.au  
Member of the Australian Institute of Landscape Designers and Managers

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7. All work to be performed by a suitably qualified tradesperson.  
8. For application purposes only - NOT FOR CONSTRUCTION

ADDRESS  
**LOTS 97-107 THORNTON DRIVE, PENRITH**

CLIENT  
**CHAMPION HOMES**

PROJECT  
**NEW RESIDENCE**

DRAWING  
**LANDSCAPE PLAN**

SCALE  
**1:100 @ A3**

ISSUE  
**DA**

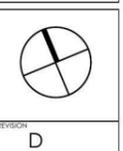
SHEET  
**02**

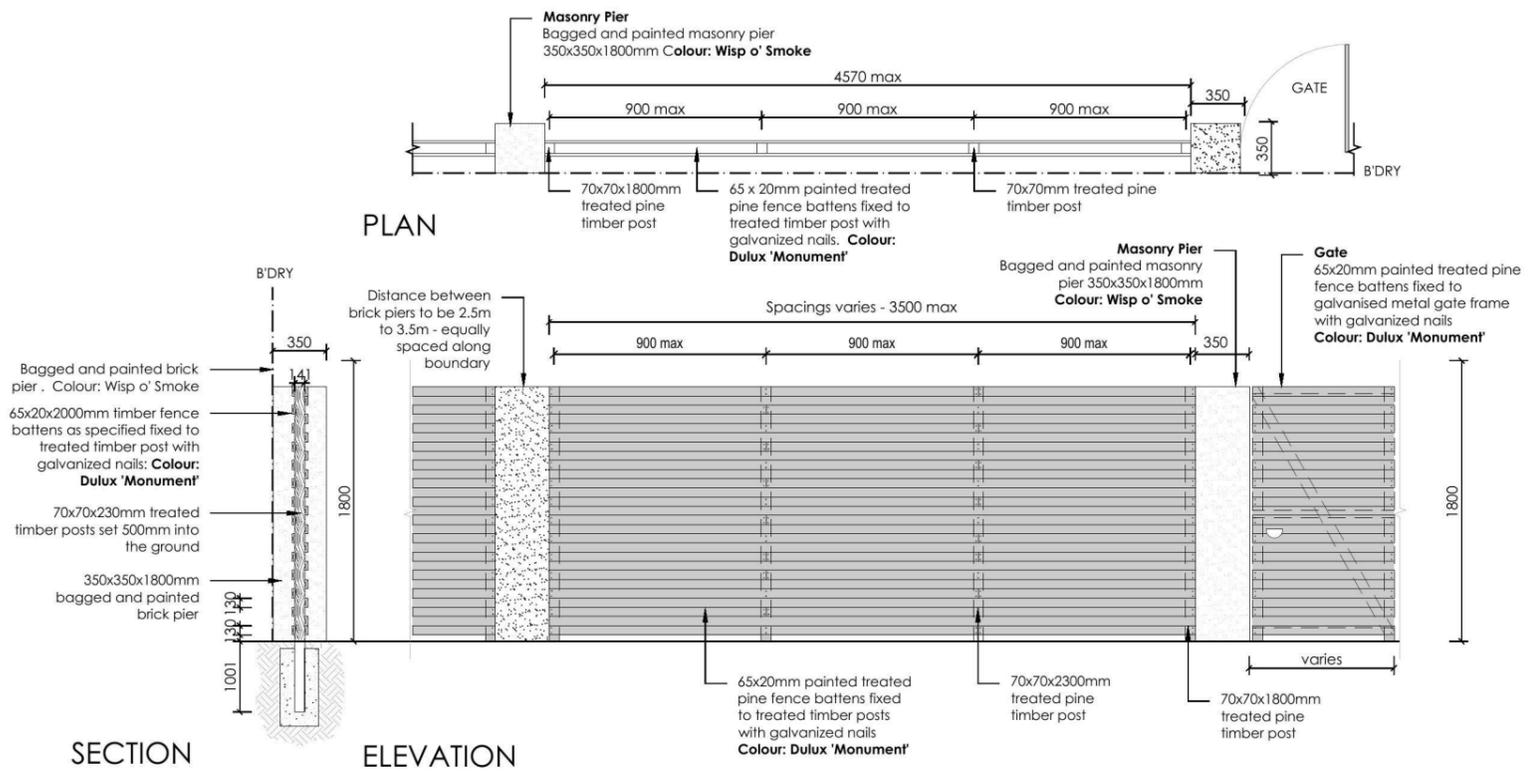
DRAWN  
**GC**

CHECK  
**RS**

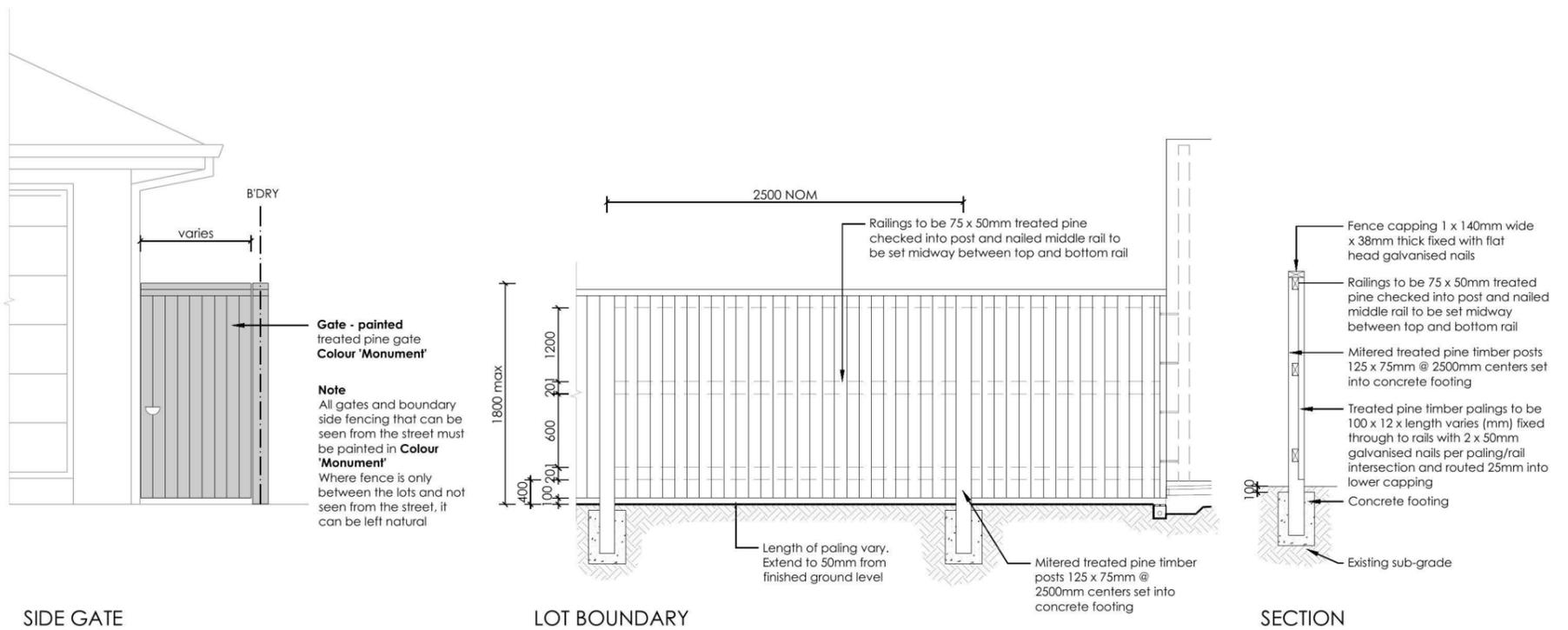
DATE  
**02-10-14**

REVISION  
**D**

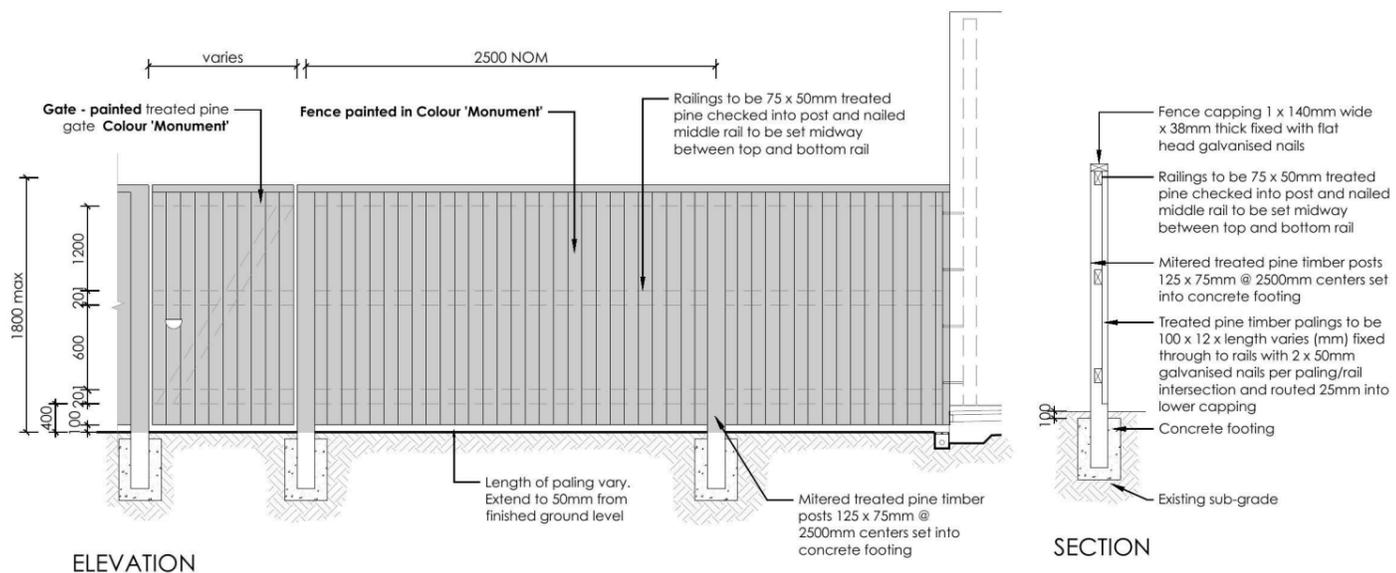




7 **FENCE TYPE 2a - Secondary Street Fencing**  
1:50 Typical detail



8 **FENCE TYPE 4a - Side Boundaries**  
1:50 Typical detail



9 **FENCE TYPE 4b - Rear Boundary**  
1:50 All Laneways (except Barlett Lane)  
Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	GC	RS	25-09-14
B	AMENDED TO BUILDER FEEDBACK	GC	RS	29-09-14
C	AMENDED TO BUILDER FEEDBACK	GC	RS	30-09-14
D	AMENDED TO INCLUDE AREA CALCULATIONS	GC	RS	02-10-14

**ecodesign**  
outdoor living environments

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Email: info@ecodesign.com.au  
Web: www.ecodesign.com.au  
Member of the Australian Institute of Landscape Designers and Managers

1. Do not scale from drawings.  
2. Verify all measurements on site.  
3. Notify ecodesign of any inconsistencies.  
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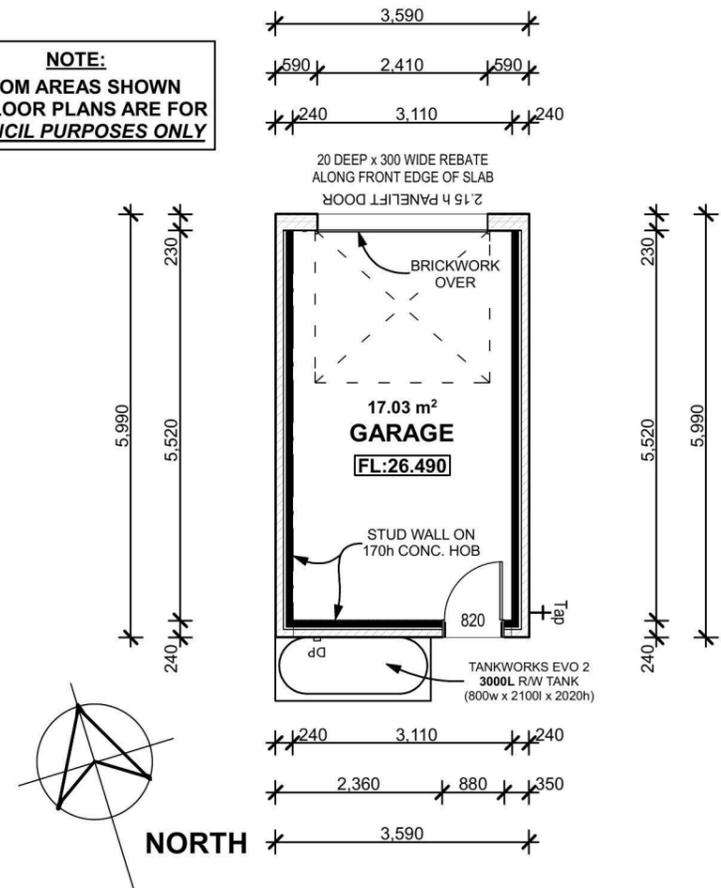
PROJECT  
**LOTS 97-107 THORNTON DRIVE, PENRITH**

DRAWING  
**LANDSCAPE PLAN**

CLIENT  
**CHAMPION HOMES**

PROJECT	SCALE	DATE	REVISION
NEW RESIDENCE	1:100 @ A3	02-10-14	D
DRAWING	ISSUE	DATE	REVISION
LANDSCAPE PLAN	DA	03	
DRAWN	CHECK	DATE	REVISION
GC	RS	02-10-14	D

**NOTE:**  
ROOM AREAS SHOWN  
ON FLOOR PLANS ARE FOR  
COUNCIL PURPOSES ONLY



## Garage Floor Plan

SCALE 1:100

**Energy Rating** Certificate Number 14561082

single-dwelling rating

5.5 stars

heating 74 MJ/m<sup>2</sup>

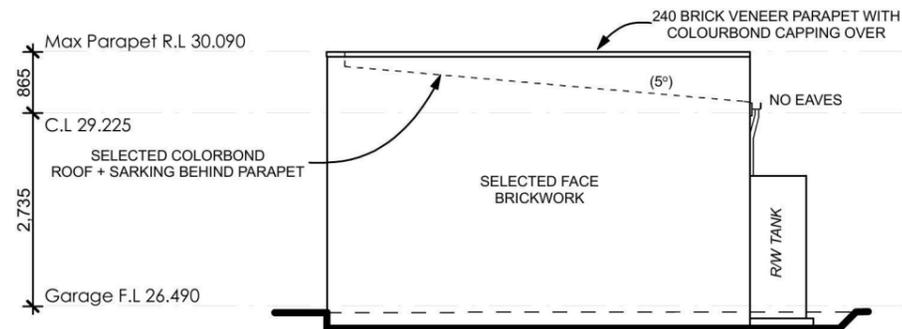
cooling 22 MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDAV/12/1456

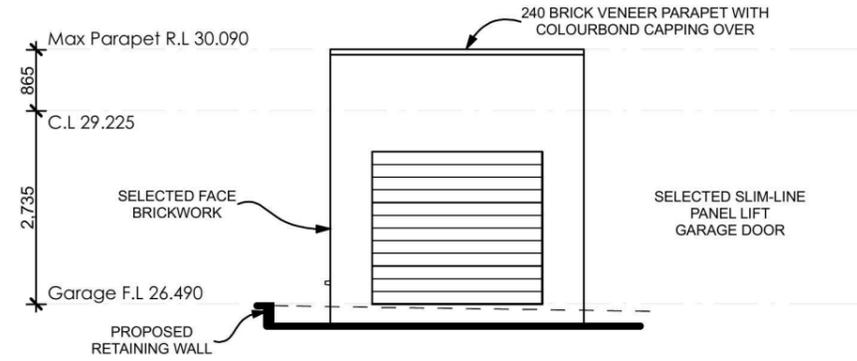
Assessor Signature *T. Ruck* Date 20/10/14

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



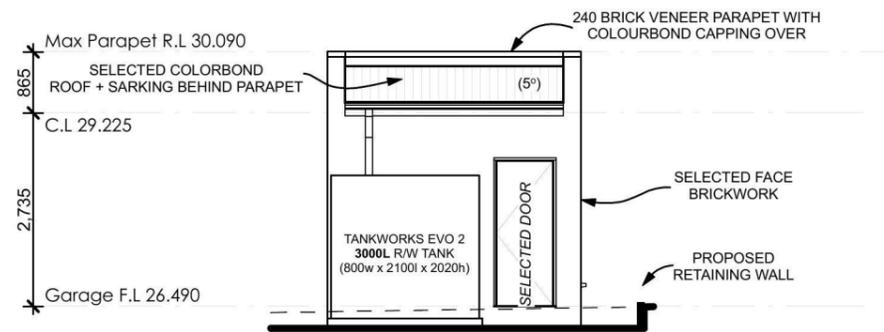
## Western Elevation

SCALE 1:100



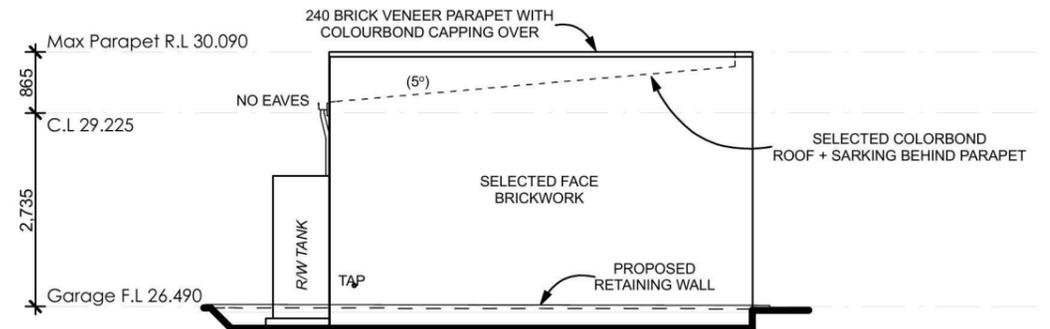
## Northern Elevation

SCALE 1:100



## Southern Elevation

SCALE 1:100



## Eastern Elevation

SCALE 1:100

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

SITE & SLAB  
CLASSIFICATION  
**IS TO BE CONFIRMED**

Wind Speed category is  
**TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	220 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	110 mm FROM F.F.L.



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Builders Licence No. 92732C

Revision	Date	Amendment
B	27.10.14	DA PLANS - BT
A	27.08.14	CONTRACT DRAWINGS - MT

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Proposed Terrace  
at Lot: 102,  
Thornton Drive,  
Penrith (Thornton)

Plot Date  
Mon 27 Oct 2014

Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job  
No. **3281N** Sheet 7 of 9