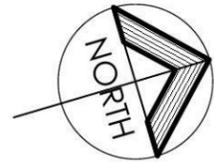
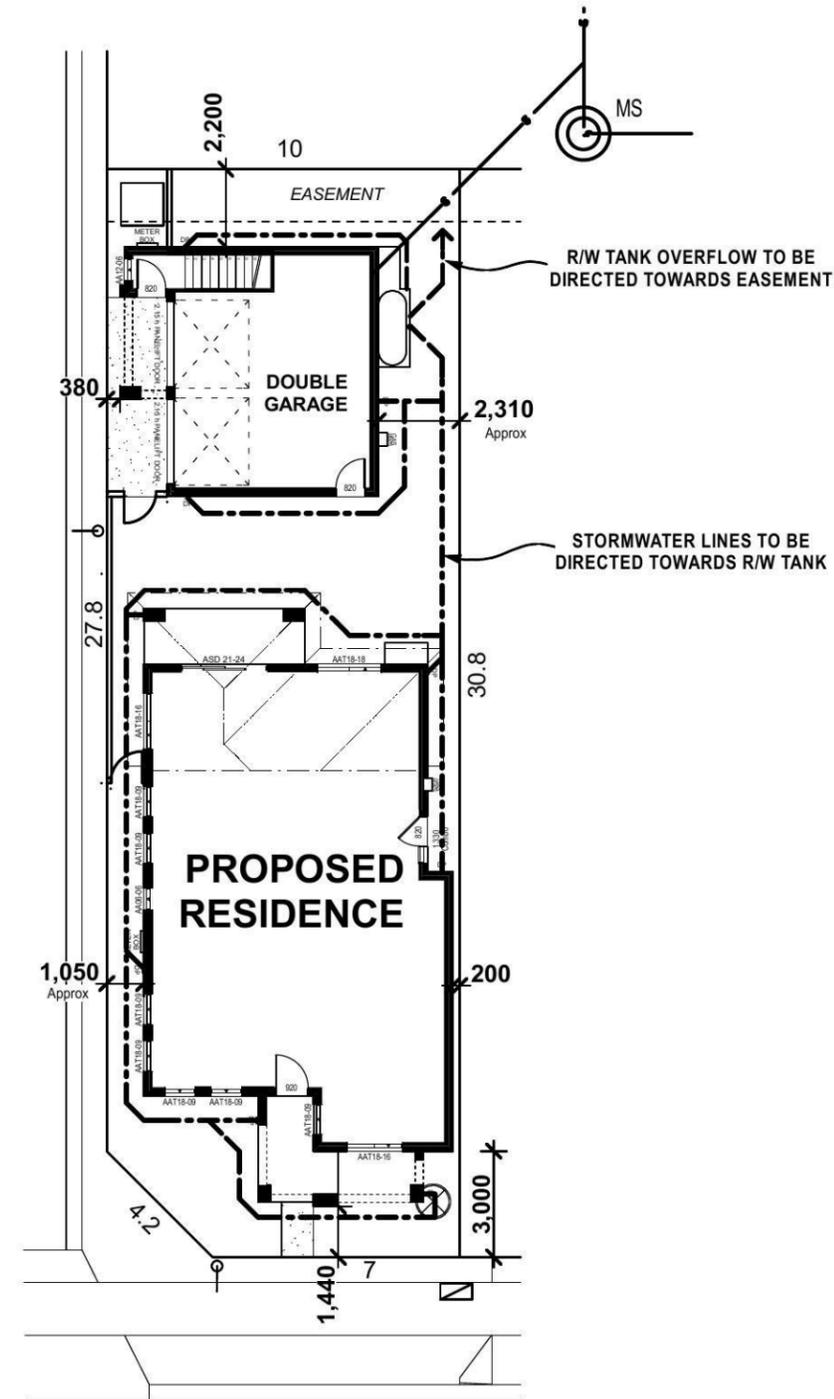


NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



NORTH
LOT 2212
303.5m²

STODDART LANE



WOODMAN STREET

SUPPLEMENTARY B.C.A ENERGY EFFICIENCY CLAUSES FOR NatHERS / BASIX ASSESSMENTS

3.12.1.1	Building fabric thermal insulation	Any Insulation installation required by plans must be fitted in alignment with this clause.
3.12.1.2 (e)		Recompense for any reduced ceiling insulation is required to comply with this clause (any downlights installed must be non - ventilated). Recompense for loss of any ceiling insulation is not necessary when suitable approved non - ventilated down light covers are supplied, as these provide continuous flow of insulation.
3.12.3.3	External Windows & Doors	The sealing of any windows or doors must be in conformity with this clause.
3.12.3.4	Exhaust Fans	Refer to Current B.C.A for Detailed specification
3.12.3.5	Construction of Roofs, Walls & Floors	The sealing of roofs , walls and / or floors must align with this clause.
3.12.5.0	Acceptable Construction Manuals	Installation of any hot water systems must abide by this clause.
3.12.5.1	Insulation of Services	Installation of any services must observe requirements of this clause.
3.12.5.3	Heating & Cooling Ductwork	Ductwork insulation to cooling & heating systems must abide by this clause.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.



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Builders Licence No. 92732C

Revision	Date	Amendment
B	11.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	10.04.14	CONTRACT DRAWINGS - BT

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Proposed Residence
at Lot : 2212
Woodman Street,
Penrith. (Thornton)

Client :
Champion Homes
Sheet Size: A3 Date: 10.04.14 Drawn:BT
Design :
Custom Design
Job No. **3165N** Sheet 1 of 13

Energy Rating Certificate Number **15430380**
15430381
MAIN = 4.5 stars
STUDIO = 3.5 stars
heating MAIN = 71.6 MJ/m²
cooling MAIN = 41.7 MJ/m²
Recessed downlights confirmation: Rated with Rated without
Assessor Name/Number Luis Contigiani BDAV/13/1543
Assessor Signature [Signature] Date **29-05-2014**

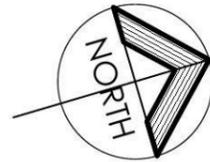
MAIN DWELLING =
ALL GLAZING TO BE NFRC VALUE OF U_w = 0.95 OR LESS AND SHGC_w = 0.70 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 3.5 INSULATION TO CEILING
STUDIO =
ALL GLAZING TO BE NFRC VALUE OF U_w = 0.70 OR LESS AND SHGC_w = 0.63 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 3.5 INSULATION TO CEILING
- R 2.0 TO INTERNAL GARAGE WALLS ONLY
- R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR

Plot Date
Wed 11 Jun 2014

Proposed Site Analysis Plan

SCALE 1:200

NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



NORTH
LOT 2212
303.5m²

NORTH PENRITH "THORTON" REQUIREMENTS:

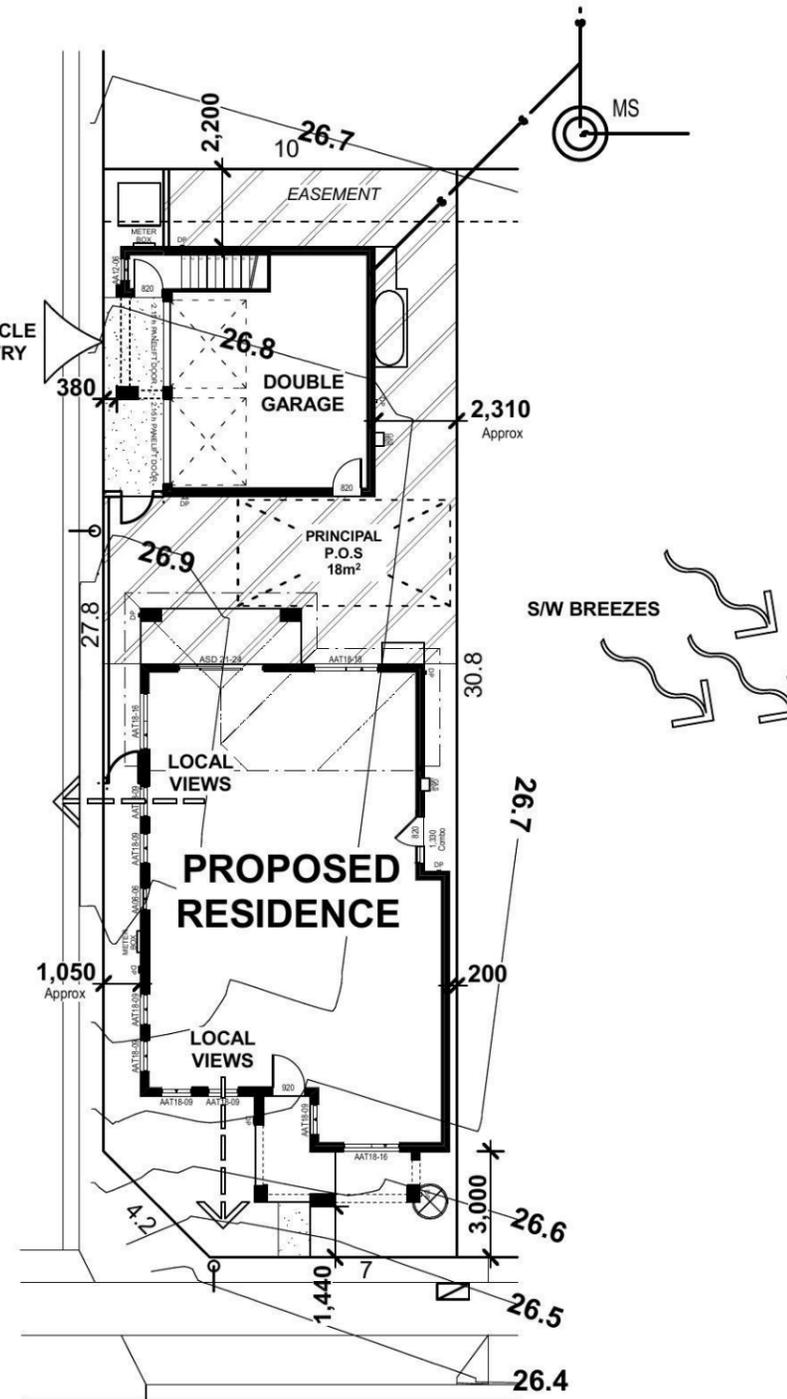
SITE AREA: 303.5m²

PRIVATE OPEN SPACE:
REQUIRED: 20% or 60.70m²
ACHIEVED: 27% or 81.99m²

LANDSCAPE AREA:
ACHIEVED: 31% or 94.28m²

CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES

STODDART LANE



WOODMAN STREET

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
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Client :
Champion Homes

Sheet Size: A3 Date: 10.04.14 Drawn: BT

Design :
Custom Design

Job No. **3165N** Sheet 2 of 13

Energy Rating Certificate Number **15430380**

MAIN = 4.5
STUDIO = 3.5 stars

heating **MAIN = 71.6** MJ/m²
cooling **MAIN = 41.7** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigliani** BDAV/13/1543
Assessor Signature *[Signature]* Date **29-05-2014**

MAIN DWELLING =
ALL GLAZING TO BE NFRC VALUE OF Uw = 6.96 OR LESS AND SHGCw = 0.70 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 3.5 INSULATION TO CEILING

STUDIO =
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- R 2.0 TO INTERNAL GARAGE WALLS ONLY
- R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR

Plot Date
Wed 11 Jun 2014

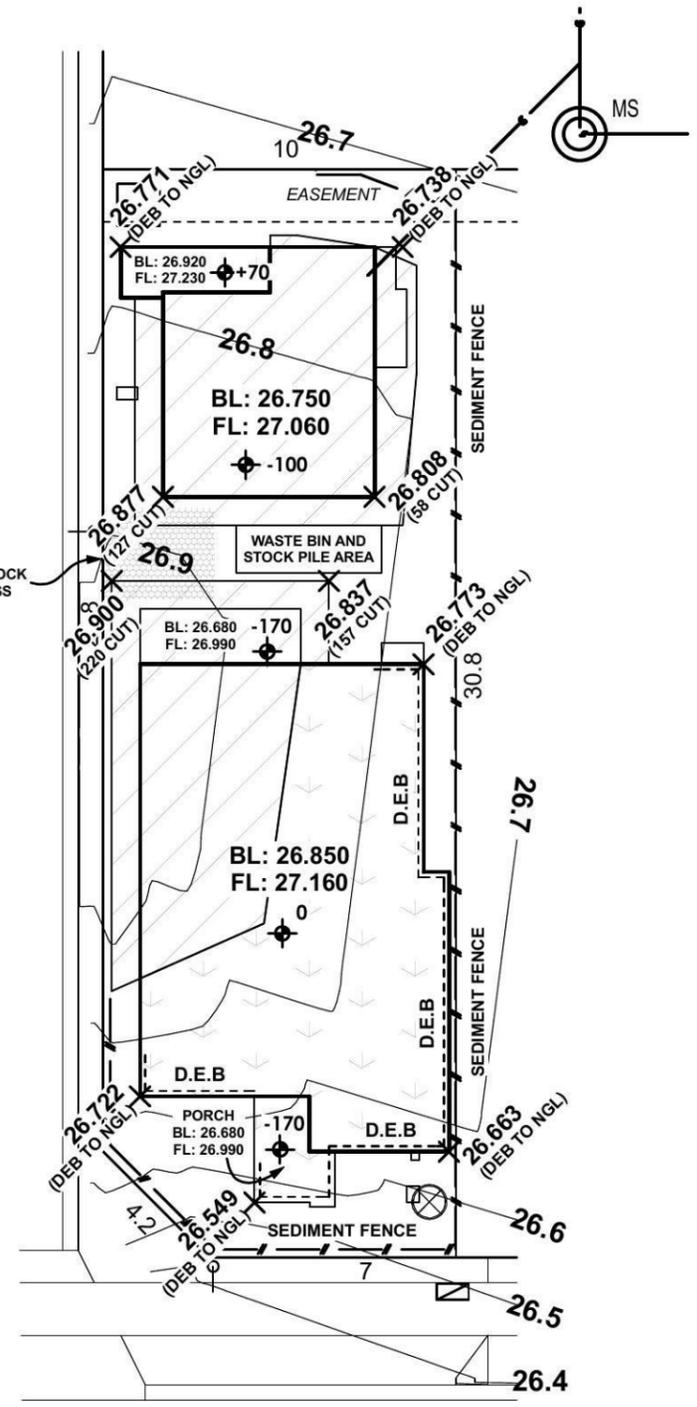
Erosion & Sediment Control Plan

SCALE 1:200

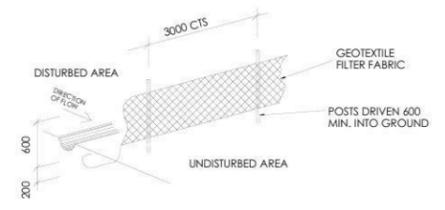
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NORTH
LOT 2212
303.5m²

STODDART LANE



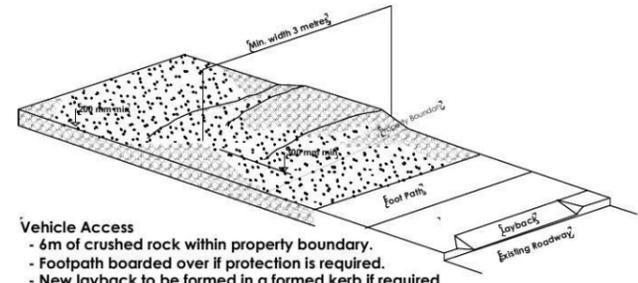
WOODMAN STREET



SEDIMENT CONTROL FENCE

SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



Vehicle Access
- 6m of crushed rock within property boundary.
- Footpath boarded over if protection is required.
- New layback to be formed in a formed kerb if required.

Energy Rating		Certificate Number	15430380
<input type="checkbox"/> single-dwelling rating <input checked="" type="checkbox"/> multi-unit development (attach listing of ratings) <small>If selected, data specified is the average across the entire development</small>		15430381	MAIN = 4.5 STUDIO = 3.5 stars heating MAIN = 71.6 MJ/m ² cooling MAIN = 41.7 MJ/m ²
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		Assessor Name/Number	Luis Contigiani BDAV/13/1543
Assessor Signature: <i>[Signature]</i>		Date	29-05-2014

MAIN DWELLING =
ALL GLAZING TO BE NFRC VALUE OF Uw = 6.96 OR LESS AND SHGCw = 0.70 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 3.5 INSULATION TO CEILING

STUDIO =
ALL GLAZING TO BE NFRC VALUE OF Uw = 4.70 OR LESS AND SHGCw = 0.63 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 3.5 INSULATION TO CEILING

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- R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR

Plot Date
Wed 11 Jun 2014

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED
Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.

Champion Homes
Simply the Best

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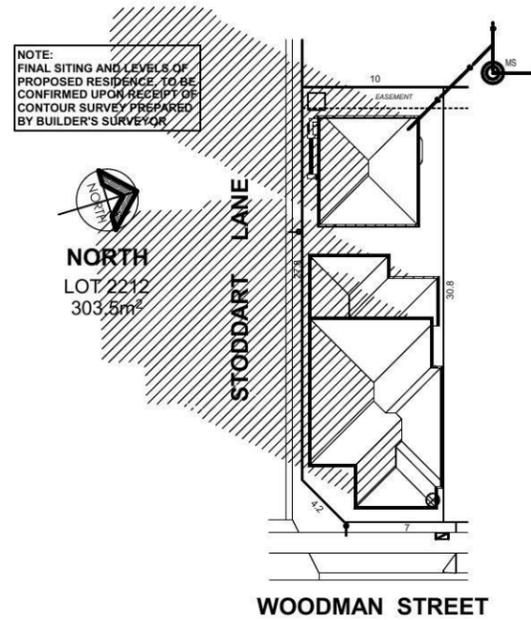
Client :
Champion Homes

Sheet Size: A3 Date: 10.04.14 Drawn: BT

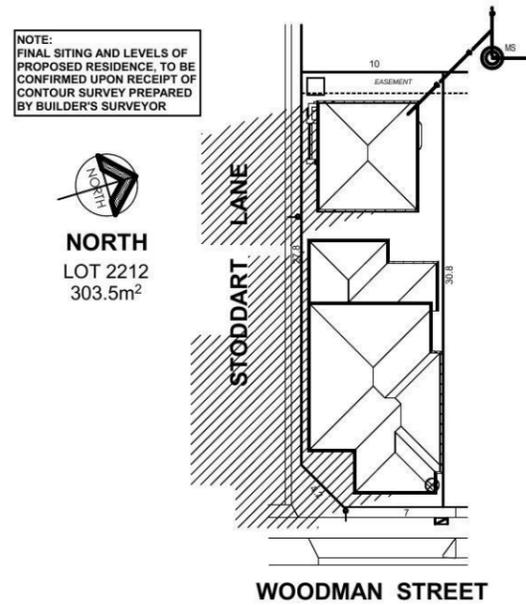
Design :
Custom Design

Job No. **3165N** Sheet 3 of 13

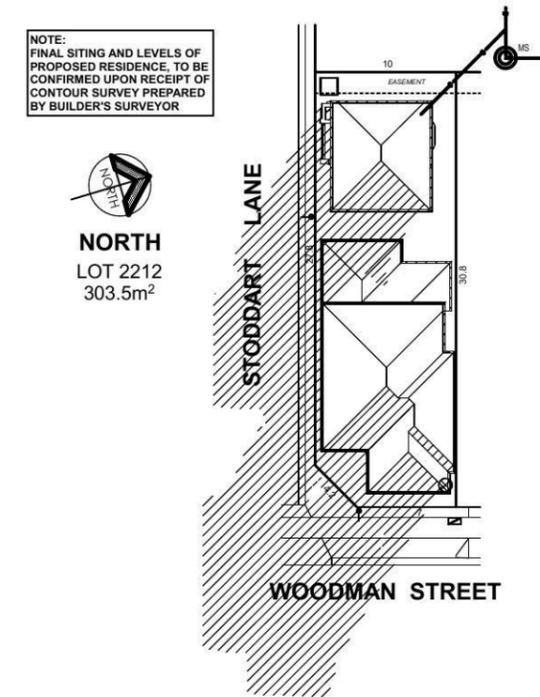
Shadow Diagrams



June 21st - 9am
SCALE 1:500



June 21st - 12noon
SCALE 1:500



June 21st - 3pm
SCALE 1:500

Energy Rating		Certificate Number 15430380
<input type="checkbox"/> single-dwelling rating	MAIN = 4.5	STUDIO = 3.5 stars
<input checked="" type="checkbox"/> multi-unit development (attach listing of ratings) <small>If selected, data specified is the average across the entire development</small>	heating MAIN = 71.6 MJ/m²	STUDIO = 70.3 MJ/m²
	cooling MAIN = 41.7 MJ/m²	
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number <u>Luis Contigliani</u> BDAV/13/1543		
Assessor Signature <i>[Signature]</i> Date 29-05-2014		

MAIN DWELLING =
ALL GLAZING TO BE NFRC VALUE OF U_w = 6.96 OR LESS AND SHGC_w = 0.70 +/- 10%
SARKING TO ALL ROOF
R 2.0 TO ALL EXTERNAL WALLS
R 3.5 INSULATION TO CEILING

STUDIO =
ALL GLAZING TO BE NFRC VALUE OF U_w = 4.70 OR LESS AND SHGC_w = 0.63 +/- 10%
SARKING TO ALL ROOF
R 2.0 TO ALL EXTERNAL WALLS
R 3.5 INSULATION TO CEILING

- R 2.0 TO INTERNAL GARAGE WALLS ONLY
- R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR

Plot Date
Wed 11 Jun 2014

Figured dimensions to be used in preference to scaling this drawing.
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SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.

Wind Speed : Class = N2



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Client :
Champion Homes

Sheet Size: A3 Date: 10.04.14 Drawn: BT

Design :
Custom Design

Job No. **3165N** Sheet 4 of 13

Description of project

BASIX TEMPLATE

The tables below describe the dwellings and common areas within the project

Single dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
HOUSE 4 or more bedrooms	4	155.0	15.0	130	0	STUDI	1	33.0	4.0	0	0

Dwelling no.	Fixtures				Appliances		Individual pool			Individual spa				
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 6 but <= 7.5 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	central water tank (no. 1)	See central systems	See central systems	yes	yes	yes	no	no
None	-	-	-	-	-	-	-	-

Dwelling no.	Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control	
HOUSE	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-	
STUDI	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	

Dwelling no.	Cooling		Heating		Artificial lighting					Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
HOUSE	1-phase airconditioning EER 2.5 - 3.0 (zoned)	0	0	no	no	no	no	2	yes			
STUDI	1-phase airconditioning EER 2.5 - 3.0 (zoned)	0	0	no	no	no	no	1	yes			

MAIN DWELLING =
ALL GLAZING TO BE NFRC VALUE OF UW = 6.66 OR LESS AND SHGCw = 0.70 + / - 10 %
SARKING TO ALL ROOF
R 2.0 TO ALL EXTERNAL WALLS
R 3.5 INSULATION TO CEILING

STUDIO =
ALL GLAZING TO BE NFRC VALUE OF UW = 4.70 OR LESS AND SHGCw = 0.63 + / - 10 %
SARKING TO ALL ROOF
R 2.0 TO ALL EXTERNAL WALLS
R 3.5 INSULATION TO CEILING
- R 2.0 TO INTERNAL GARAGE WALLS ONLY
- R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR

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SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED
 Wind Speed : Class = N2

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	no	-	-	-	no	yes

Thermal loads		
Dwelling no.	Area adjusted heating load (in MJ/m ² /yr)	Area adjusted cooling load (in MJ/m ² /yr)
HOUSE	71.6	41.7
All other dwellings	78.6	70.3

Dwelling no.	Construction of floors and walls				
	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
HOUSE	98	-	-	-	No
All other dwellings	-	-	-	37	No

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	1500	To collect run-off from at least: - 80 square metres of roof area of buildings in the development - 0 square metres of impervious area in the development - 0 square metres of garden/lawn area in the development - 0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 0 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site



Energy Rating

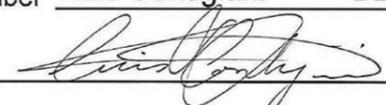
Certificate Number **15430380**
15430381

MAIN = 4.5
STUDIO = 3.5 stars
STUDIO = 78.6
heating **MAIN = 71.6** MJ/m²
STUDIO = 70.3
cooling **MAIN = 41.7** MJ/m²

single-dwelling rating
 multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number Luis Contigiani BDAV/13/1543

Assessor Signature  Date **29-05-2014**

Plot Date
Wed 11 Jun 2014

Client :
Champion Homes
 Sheet Size: A3 Date: 10.04.14 Drawn:BT
 Design :
Custom Design
 Job No. **3165N** Sheet 5 of 13

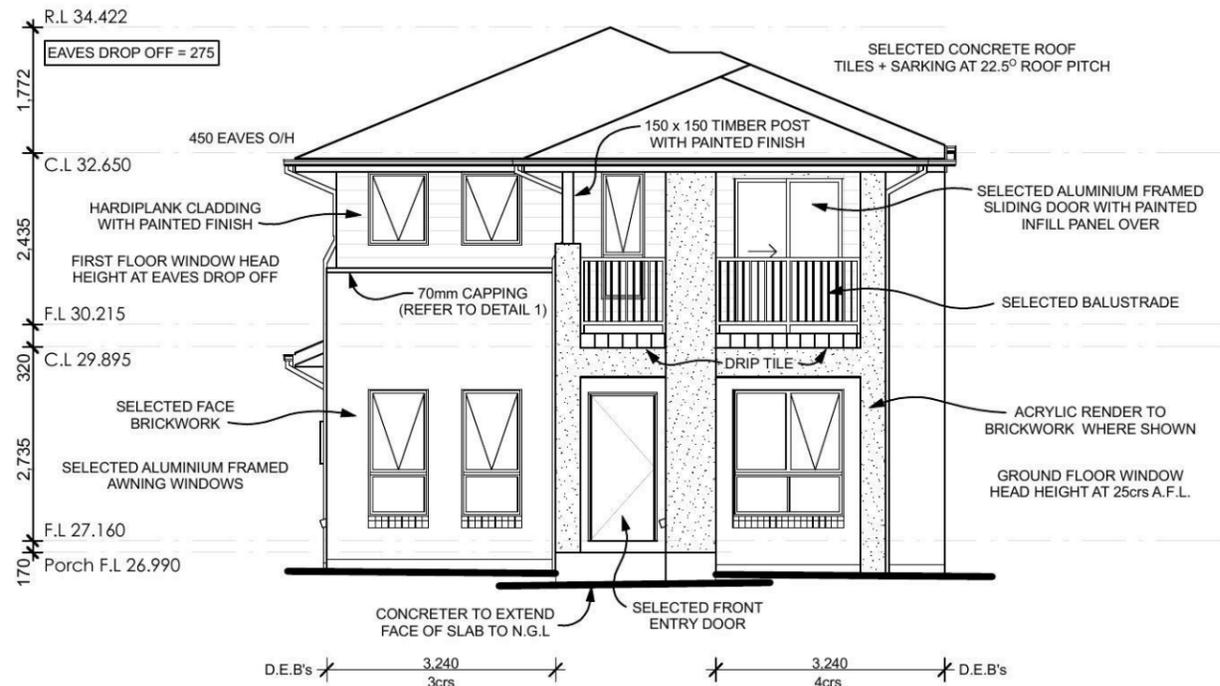
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Revision	Date	Amendment
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A	10.04.14	CONTRACT DRAWINGS - BT

PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

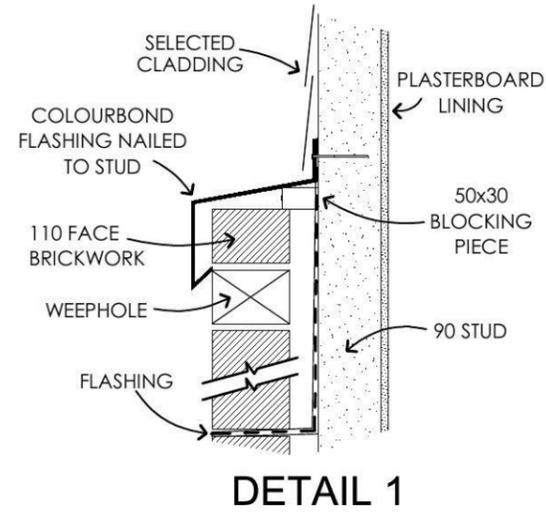
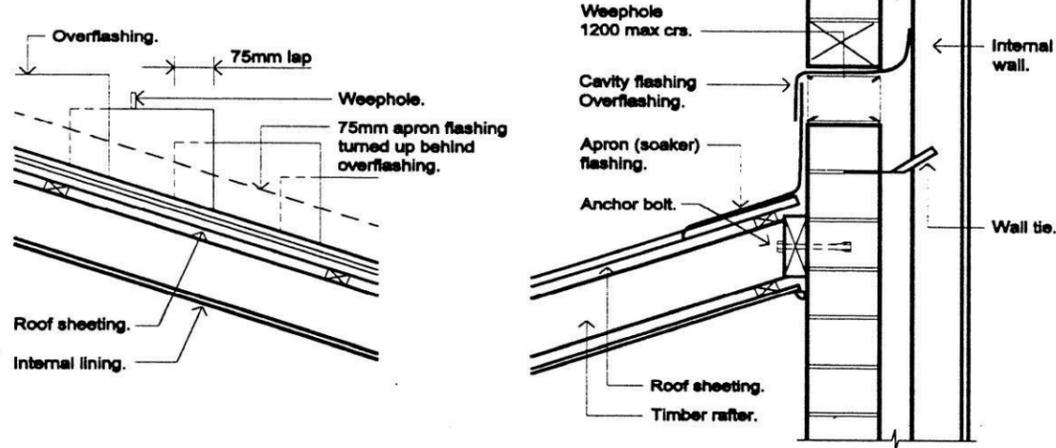
A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm



Eastern Elevation

SCALE 1:100

STEPPED CAVITY FLASHINGS



Energy Rating Certificate Number **15430380**

single-dwelling rating
 multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

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Assessor Name/Number **Luis Contigiani BDAV/13/1543**

Assessor Signature *[Signature]* Date **29-05-2014**

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STUDIO = ALL GLAZING TO BE NFRC VALUE OF U_w = 4.70 OR LESS AND SHGC_w = 0.63 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 3.5 INSULATION TO CEILING

MAIN = 4.5 stars
STUDIO = 3.5 stars
 heating MAIN = 78.6 MJ/m²
 heating STUDIO = 78.3 MJ/m²
 cooling MAIN = 41.7 MJ/m²
 cooling STUDIO = 41.7 MJ/m²

R 2.0 TO INTERNAL GARAGE WALLS ONLY
R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR



Western Elevation

SCALE 1:100

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
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Plot Date
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Champion Homes

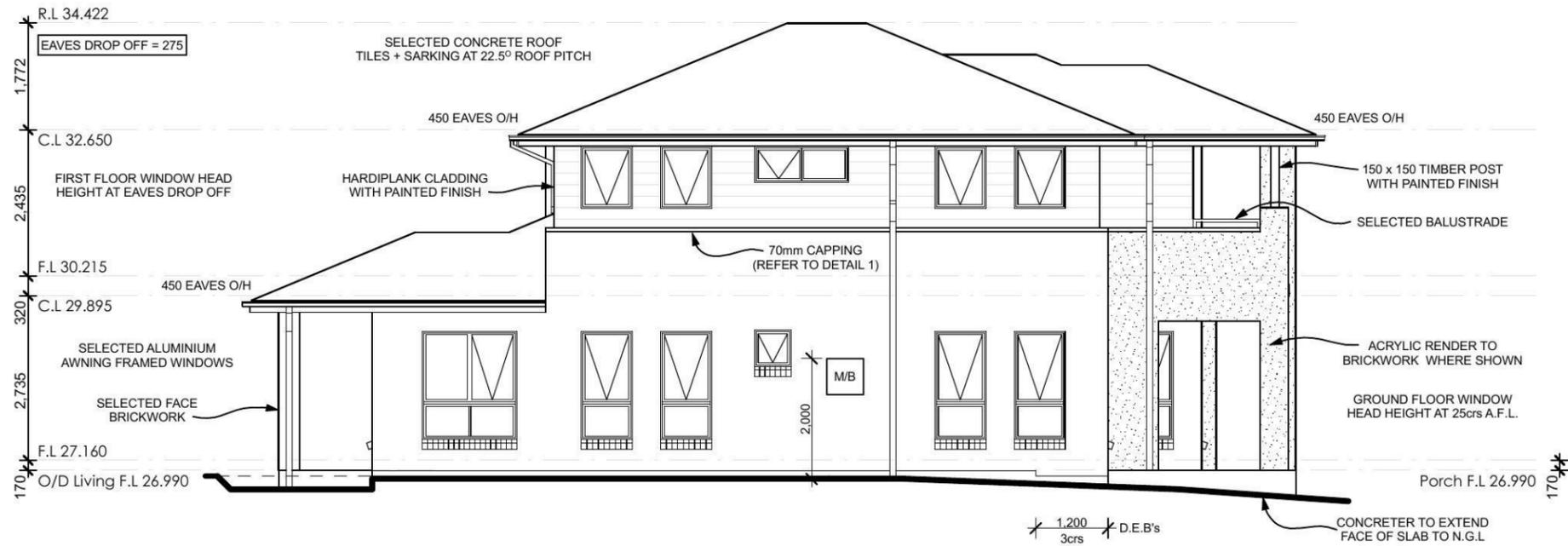
Sheet Size: A3 Date: 10.04.14 Drawn:BT

Design :
Custom Design

Job No. **3165N** Sheet 8 of 13

PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm



Energy Rating Certificate Number **15430380**
15430381
MAIN = 4.5
STUDIO = 3.5 stars
 heating **MAIN = 71.6** MJ/m²
 cooling **MAIN = 41.7** MJ/m²

single-dwelling rating
 multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani** BDAV/13/1543
 Assessor Signature *[Signature]* Date **29-05-2014**

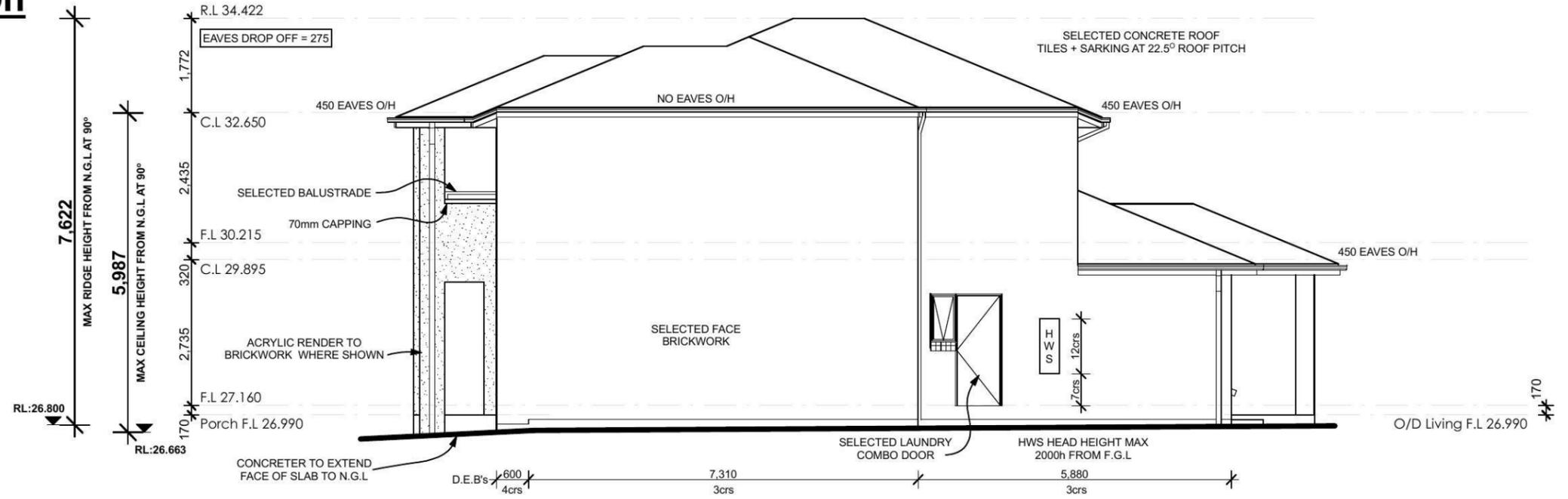
MAIN DWELLING = ALL GLAZING TO BE NFRC VALUE OF U_w = 0.56 OR LESS AND SHGC_w = 0.70 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 3.5 INSULATION TO CEILING

STUDIO = ALL GLAZING TO BE NFRC VALUE OF U_w = 4.70 OR LESS AND SHGC_w = 0.63 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 3.5 INSULATION TO CEILING

- R 2.0 TO INTERNAL GARAGE WALLS ONLY
 - R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR

Southern Elevation

SCALE 1:100



Northern Elevation

SCALE 1:100

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.

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 Telephone (02) 9825 8000
 Fax (02) 9825 8110

Builders Licence No. 92732C

Revision	Date	Amendment
B	11.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	10.04.14	CONTRACT DRAWINGS - BT

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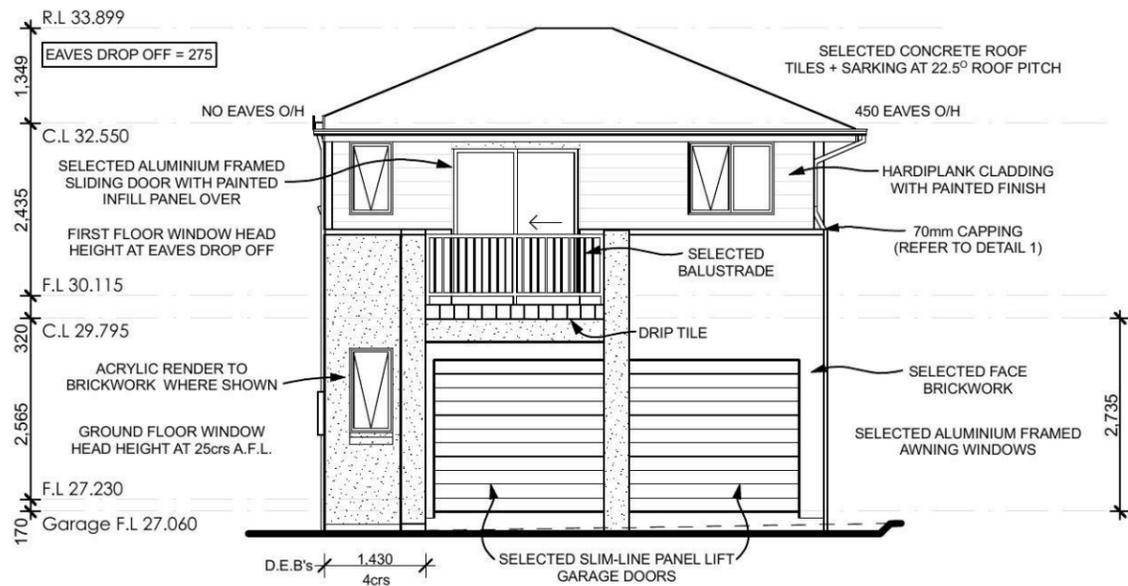
Plot Date
 Wed 11 Jun 2014

Client :
Champion Homes

Sheet Size: A3 Date: 10.04.14 Drawn:BT

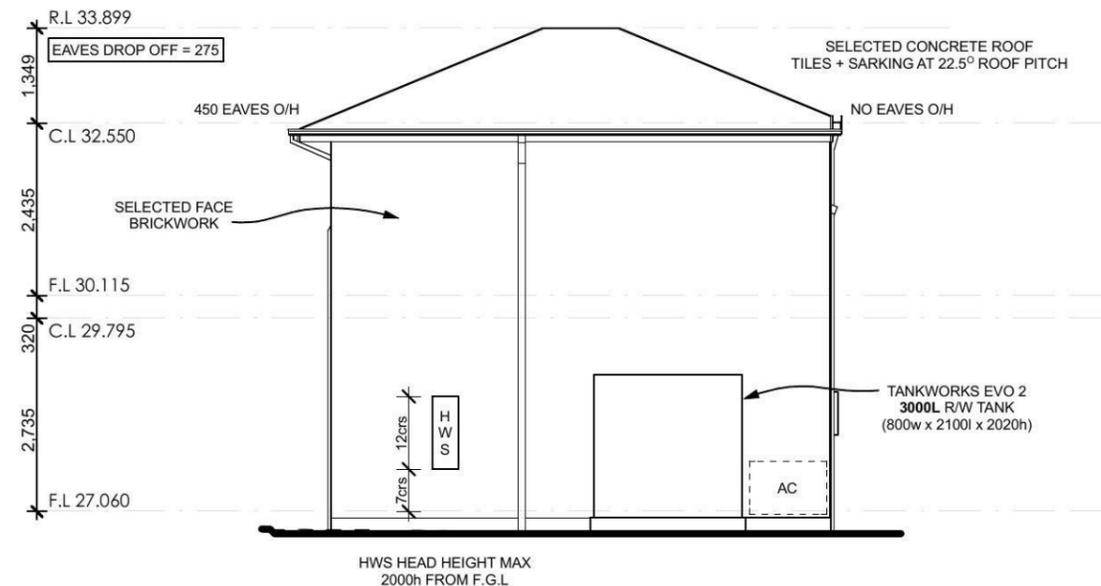
Design :
Custom Design

Job No. **3165N** Sheet 9 of 13



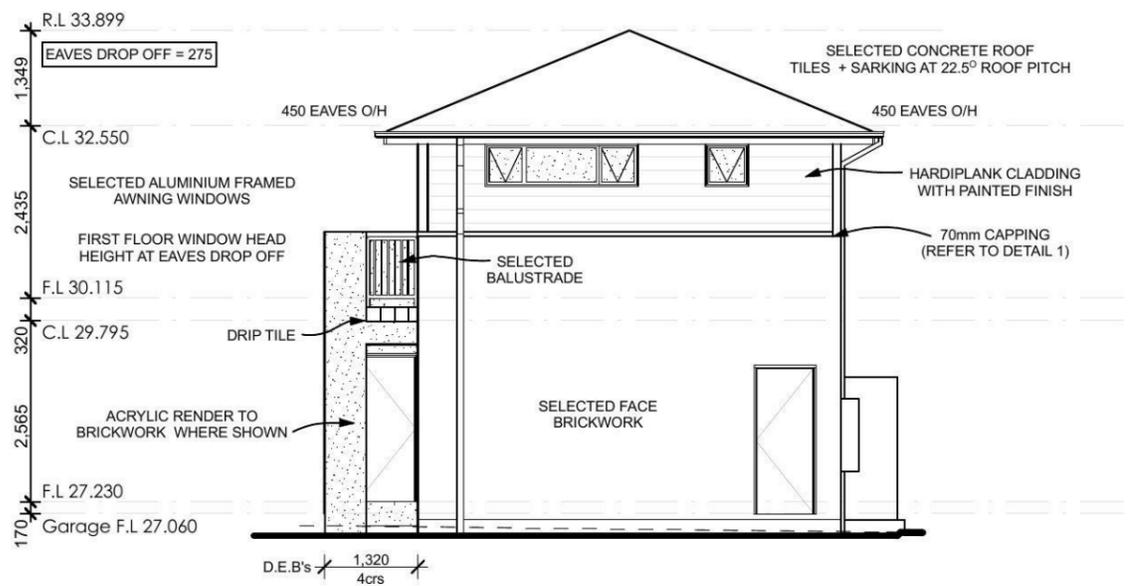
Southern Elevation

SCALE 1:100



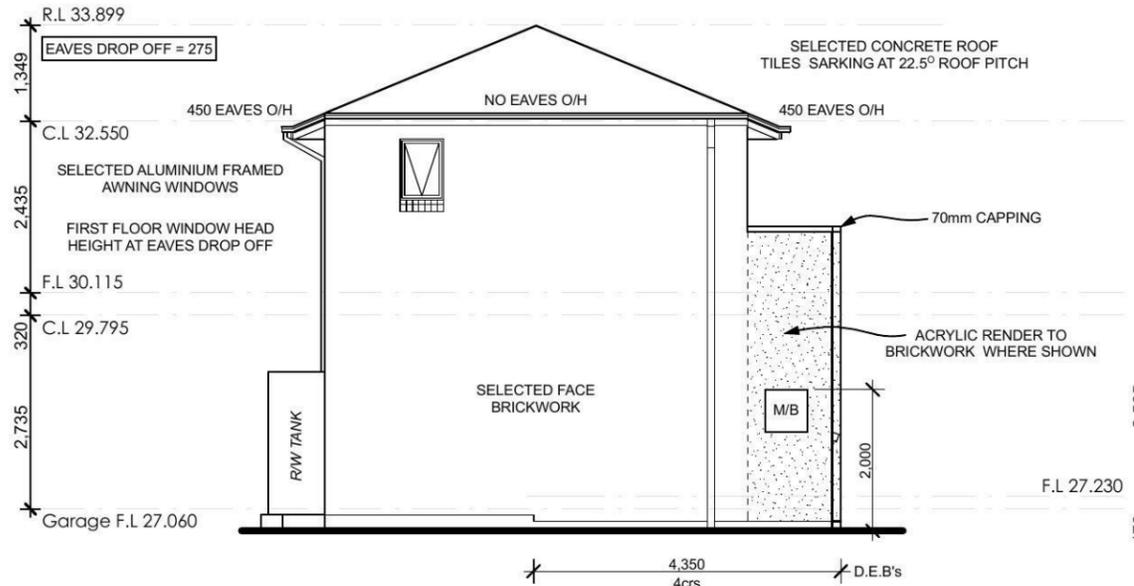
Northern Elevation

SCALE 1:100



Eastern Elevation

SCALE 1:100



Western Elevation

SCALE 1:100

Energy Rating Certificate Number **15430380**

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MAIN DWELLING =
 ALL GLAZING TO BE NFRC VALUE OF Uw = 6.66 OR LESS AND SHGCw = 0.70 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 3.5 INSULATION TO CEILING

STUDIO =
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MAIN = 4.5 stars
 heating MAIN = 71.6 MJ/m²
 STUDIO = 70.3 MJ/m²
 cooling MAIN = 41.7 MJ/m²

- R 2.0 TO INTERNAL GARAGE WALLS ONLY
- R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR

Figured dimensions to be used in preference to scaling this drawing.
 Do not assume - if in doubt ASK.

Plot Date
 Wed 11 Jun 2014

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
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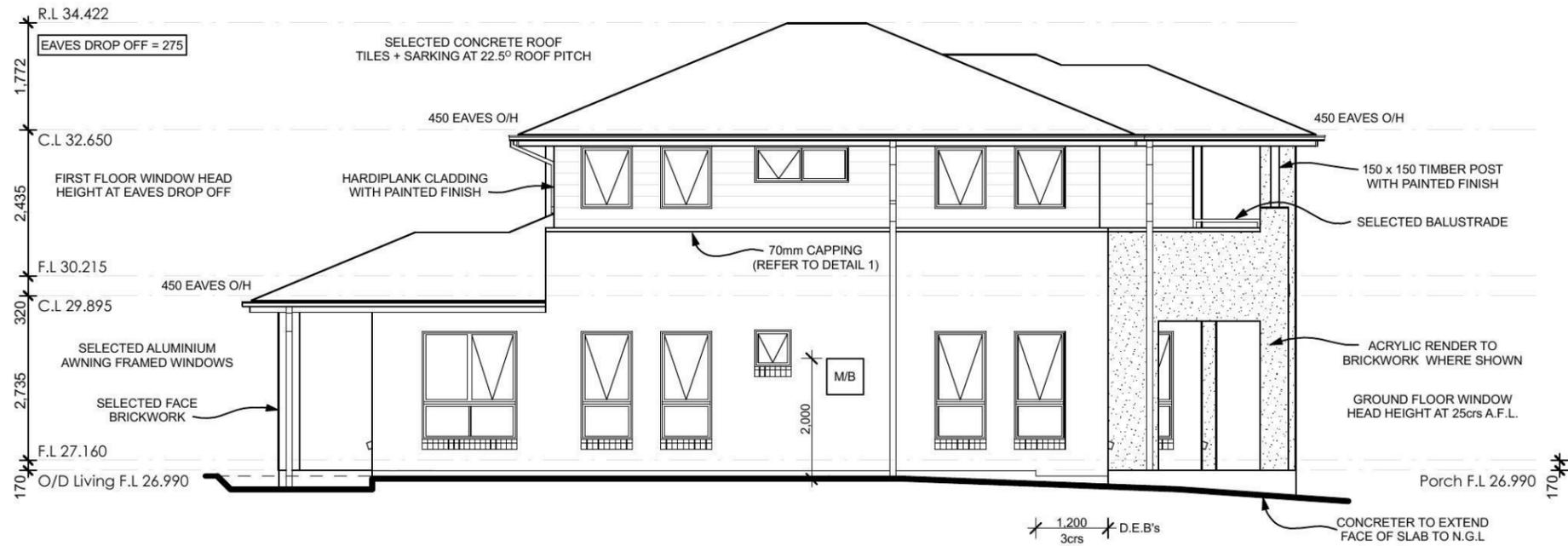
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Design :
Custom Design

Job No. **3165N** Sheet **11 of 13**

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single-dwelling rating
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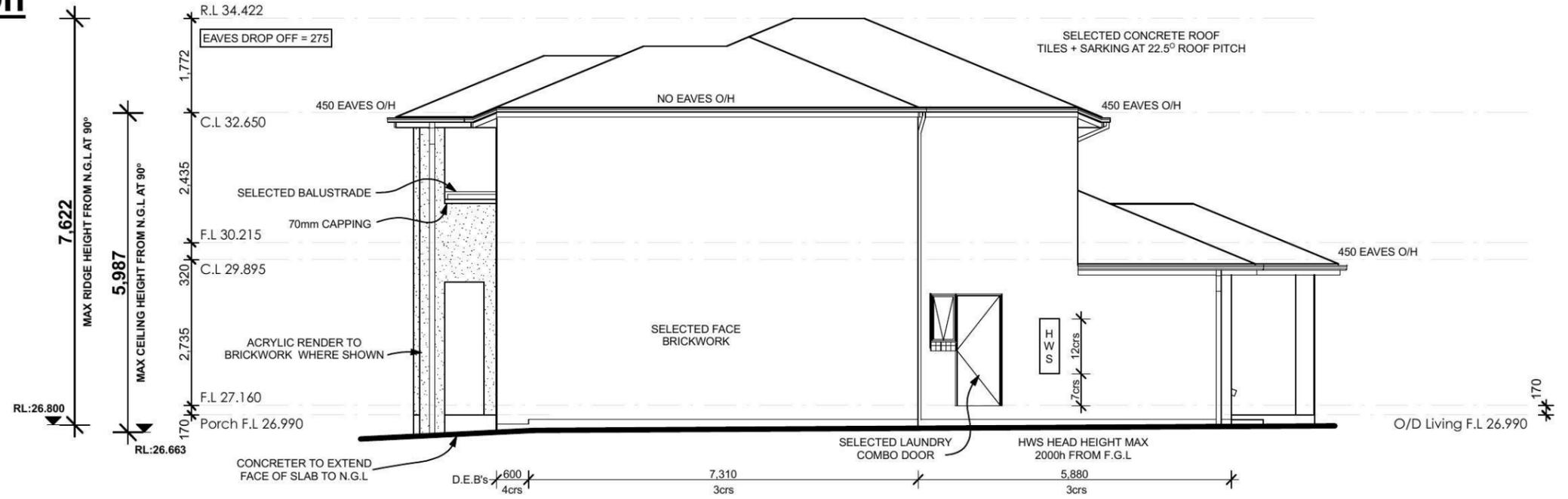
MAIN DWELLING = ALL GLAZING TO BE NFRC VALUE OF U_w = 0.56 OR LESS AND SHGC_w = 0.70 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 3.5 INSULATION TO CEILING

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- R 2.0 TO INTERNAL GARAGE WALLS ONLY
 - R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR

Southern Elevation

SCALE 1:100



Northern Elevation

SCALE 1:100

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED
 Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
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Plot Date
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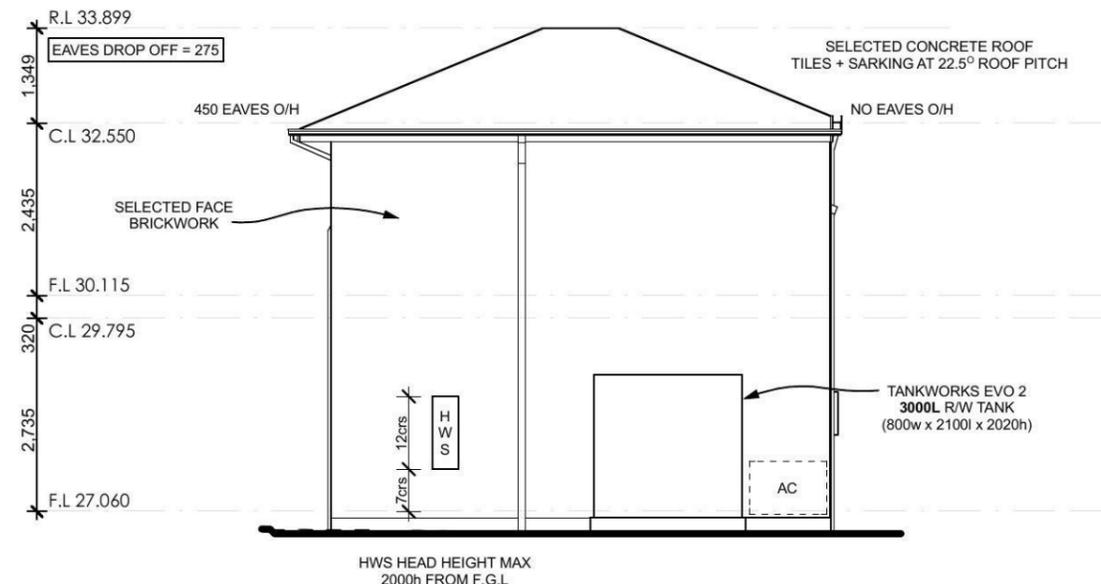
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 Design :
Custom Design

Job No. **3165N** Sheet 9 of 13



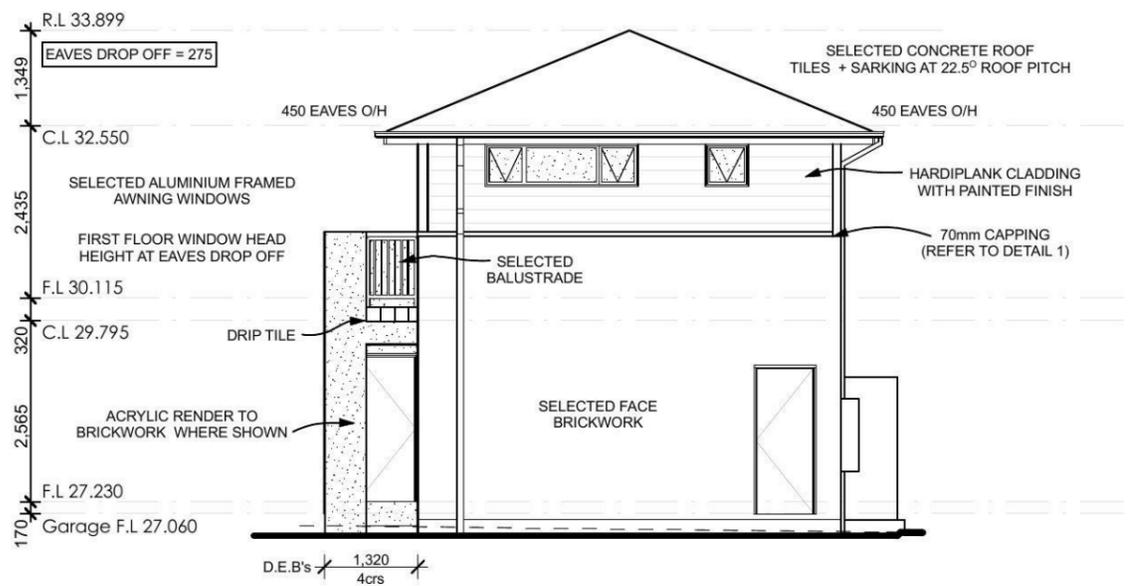
Southern Elevation

SCALE 1:100



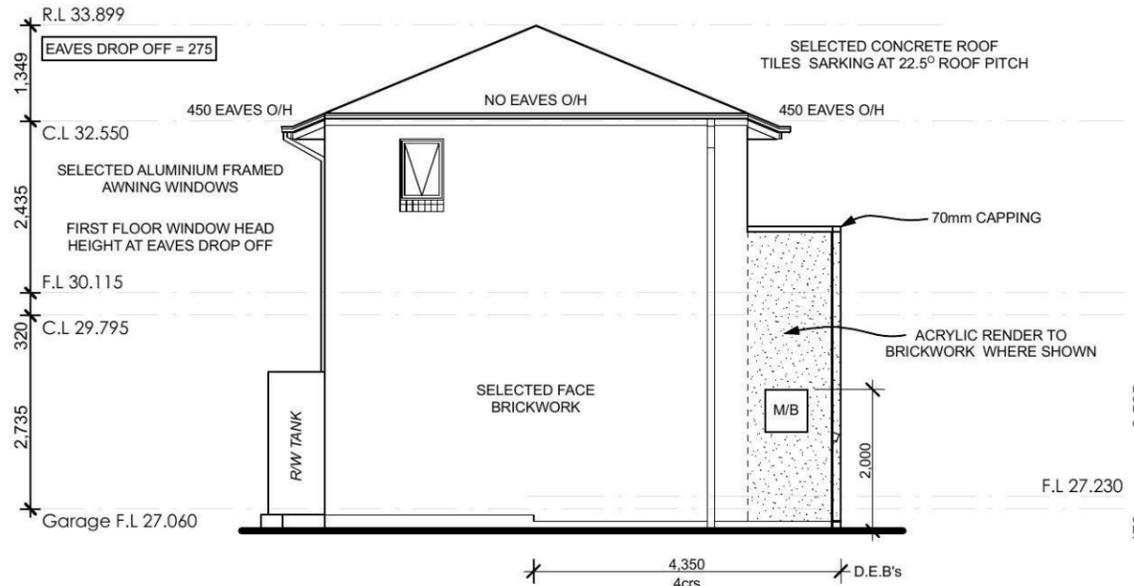
Northern Elevation

SCALE 1:100



Eastern Elevation

SCALE 1:100



Western Elevation

SCALE 1:100

Energy Rating Certificate Number **15430380**

single-dwelling rating
 multi-unit development (attach listing of ratings)
 Recessed downlights confirmation: Rated with Rated without
 Assessor Name/Number: **Luis Contigiani BDAV/13/1543**
 Assessor Signature: *[Signature]* Date: **29-05-2014**

MAIN DWELLING =
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Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

Plot Date
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SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.



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Client:
Champion Homes
Sheet Size: A3 Date: 10.04.14 Drawn: BT
Design:
Custom Design
Job No. **3165N** Sheet 11 of 13

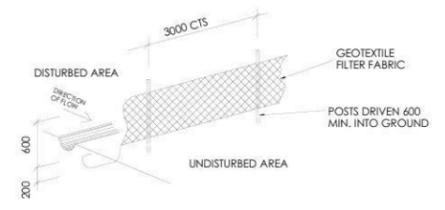
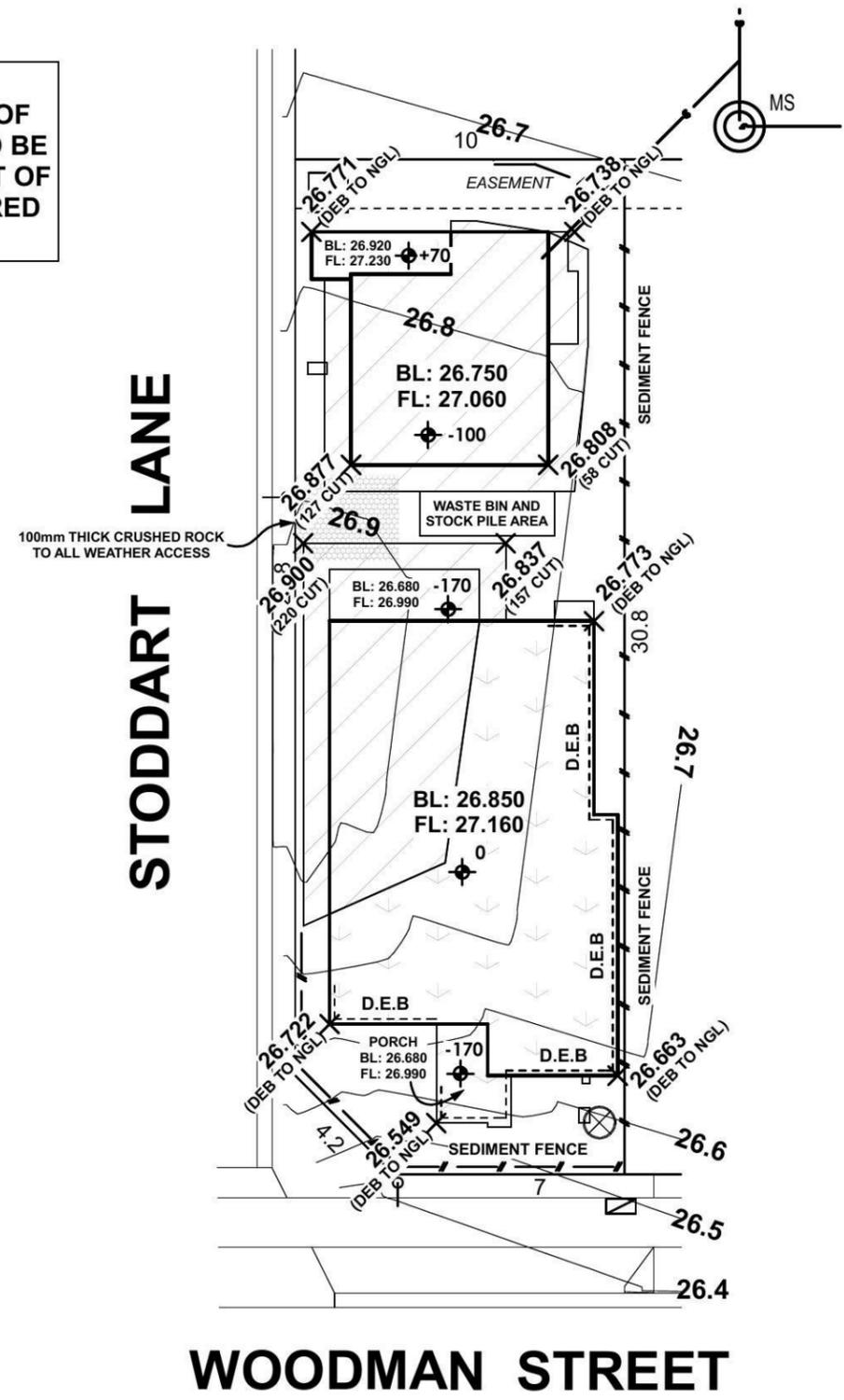
Erosion & Sediment Control Plan

SCALE 1:200

NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



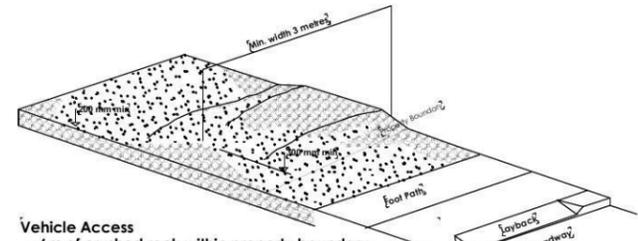
NORTH
LOT 2212
303.5m²



SEDIMENT CONTROL FENCE

SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



Vehicle Access
- 6m of crushed rock within property boundary.
- Footpath boarded over if protection is required.
- New layback to be formed in a formed kerb if required.

Energy Rating		Certificate Number 15430380
<input type="checkbox"/> single-dwelling rating	<input checked="" type="checkbox"/> multi-unit development (attach listing of ratings)	MAIN = 4.5 STUDIO = 3.5 stars
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		heating MAIN = 71.6 MJ/m ² cooling MAIN = 41.7 MJ/m ²
Assessor Name/Number <u>Luis Contigiani</u> BDAV/13/1543		Date 29-05-2014

MAIN DWELLING =
ALL GLAZING TO BE NFRC VALUE OF Uw = 0.95 OR LESS AND SHGCw = 0.70 +/- 10% SARKING TO ALL ROOF
R 2.0 TO ALL EXTERNAL WALLS
R 3.5 INSULATION TO CEILING

STUDIO =
ALL GLAZING TO BE NFRC VALUE OF Uw = 0.63 +/- 10% SHGCw = 0.63 +/- 10% SARKING TO ALL ROOF
R 2.0 TO ALL EXTERNAL WALLS
R 3.5 INSULATION TO CEILING

- R 2.0 TO INTERNAL GARAGE WALLS ONLY
- R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR

Plot Date
Fri 13 Jun 2014

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SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED
Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	100 mm FROM F.F.L.
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Client :
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Sheet Size: A3 Date: 10.04.14 Drawn: BT

Design :
Custom Design

Job No. **3165N** Sheet 3 of 13

Lot 2212 Woodman

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Apl	Acer palmatum 'Shishigashira'	Dwarf Japanese Maple	1	75L	3m
Aw	Agapanthus 'White'	White Agapanthus	50	200mm	0.5m
Dg	Dietes grandiflora	Wild Iris	10	200mm	1m
Lcj	Lomandra confertifolia 'Crackerjack'	Fine-leaved Lomandra	2	200mm	0.45m
Msb	Michelia 'Summer Bronze'	Evergreen Magnolia	17	300mm	2m
Oi	Ophiopogon 'Stripey White'	Stripey White Mondo Grass	20	200mm	0.3-0.4m

STODDART LANE - Supply + installation by BUILDER

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Lix	Lagerstroemia 'Sioux'	Crepe Myrtle	2	75L	4m
Lcj	Lomandra confertifolia 'Crackerjack'	Fine-leaved Lomandra	5	200mm	0.45m

STODDART LANE CROSS-OVER - Supply + construction by BUILDER

MATERIAL SCHEDULE

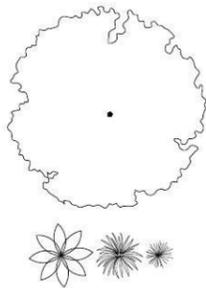
	Area m ² URBANGROWTH*	Area m ² BUILDER**
HEADER COURSE		
Concrete pavers 'Adbri Quartzstone', 300x300x50mm in 'Cradle' colour, laid in stackbond pattern	2.73	5.07
IN-FILL PAVEMENT		
Concrete pavers 'Adbri Havenbrick', 200x100x50mm in 'Brushwood' colour, laid in herringbone pattern	2.00	6.82
Total area	4.73	11.89

*Area's outside of the allotment boundary. **Area's inside of the allotment boundary

LOT PLANTING SUMMARY

Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
100	17	50	33	2

Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)



LEGEND

Proposed trees - refer to plant schedule

Proposed accents & grasses - refer to plant schedule



Proposed shrubs - refer to plant schedule



Proposed groundcovers and grasses - refer to plant schedule



Existing levels



Proposed levels



Proposed Top Of Wall levels



Boundary



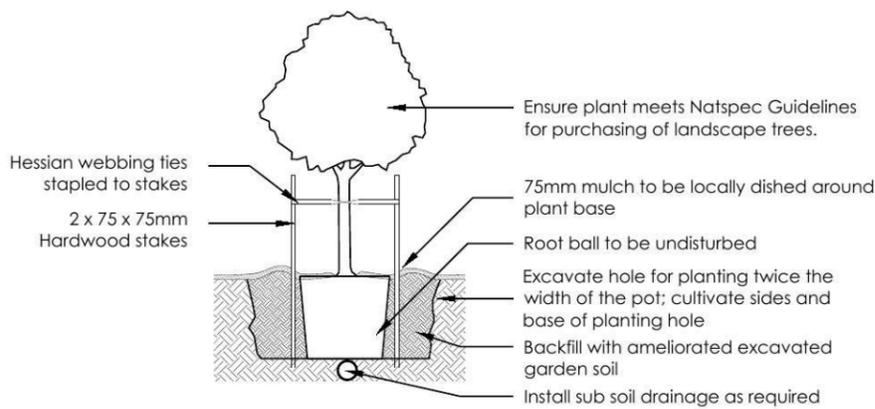
Garden edging



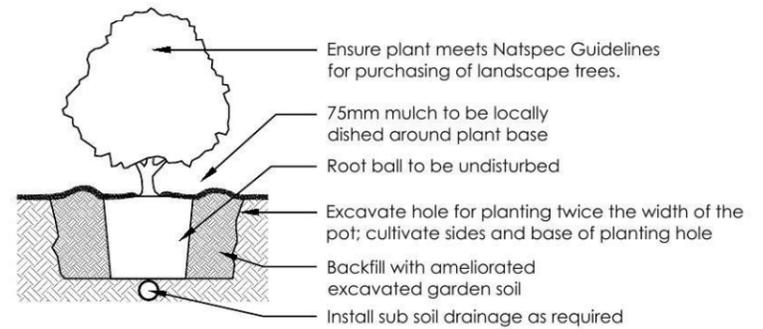
Masonry retaining walls



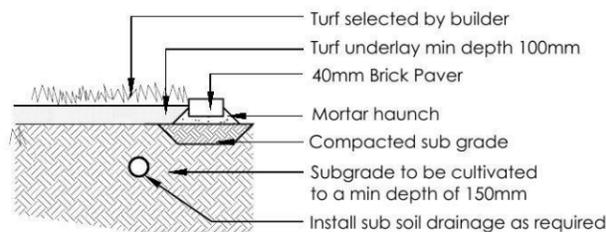
Existing contours



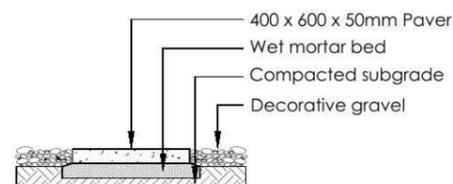
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLAN FOR CLIENT REVIEW	RS	BT	09-05-14
B	ISSUE DA PLAN FOR CLIENT REVIEW	RS	BT	14-05-14

ecodeign
outdoor living environments

PO Box 8136, Southham Hts BC, NSW 2153
Ph: (02) 9680 7112 Fax: (02) 9680 7705
Email: info@ecodeign.com.au
Web: www.ecodeign.com.au
Member of the Australian Institute of Landscape Designers and Managers

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6. All work to comply with relevant Australian Standards or Building Code of Australia.
7. All work to be performed by a suitably qualified tradesperson.
8. For application purposes only - NOT FOR CONSTRUCTION

ADDRESS: **LOT 2212 WOODMAN STREET, PENRITH**

CLIENT: **CHAMPION HOMES**

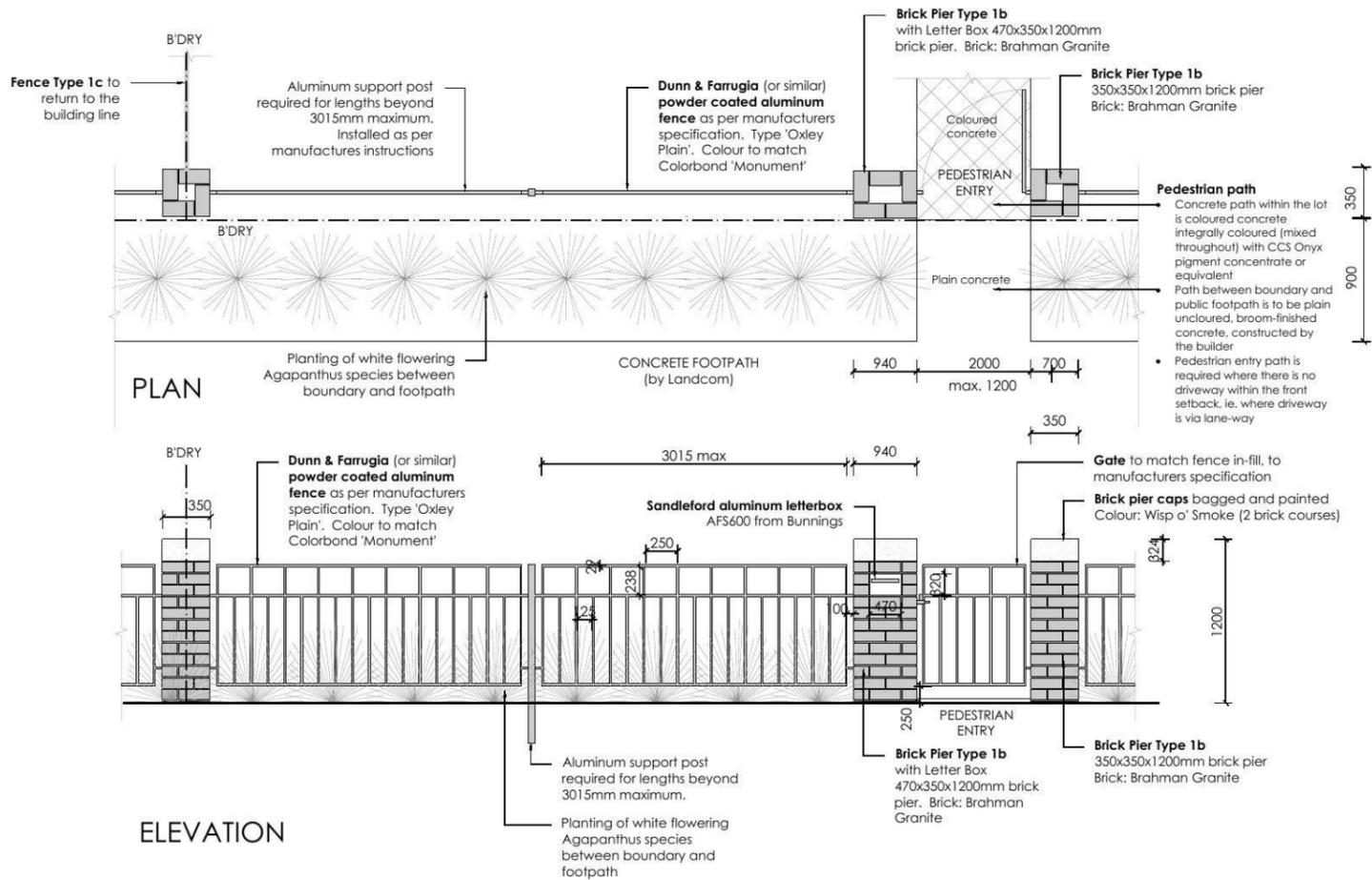
PROJECT: **NEW RESIDENCE**

DRAWING: **LANDSCAPE PLAN**

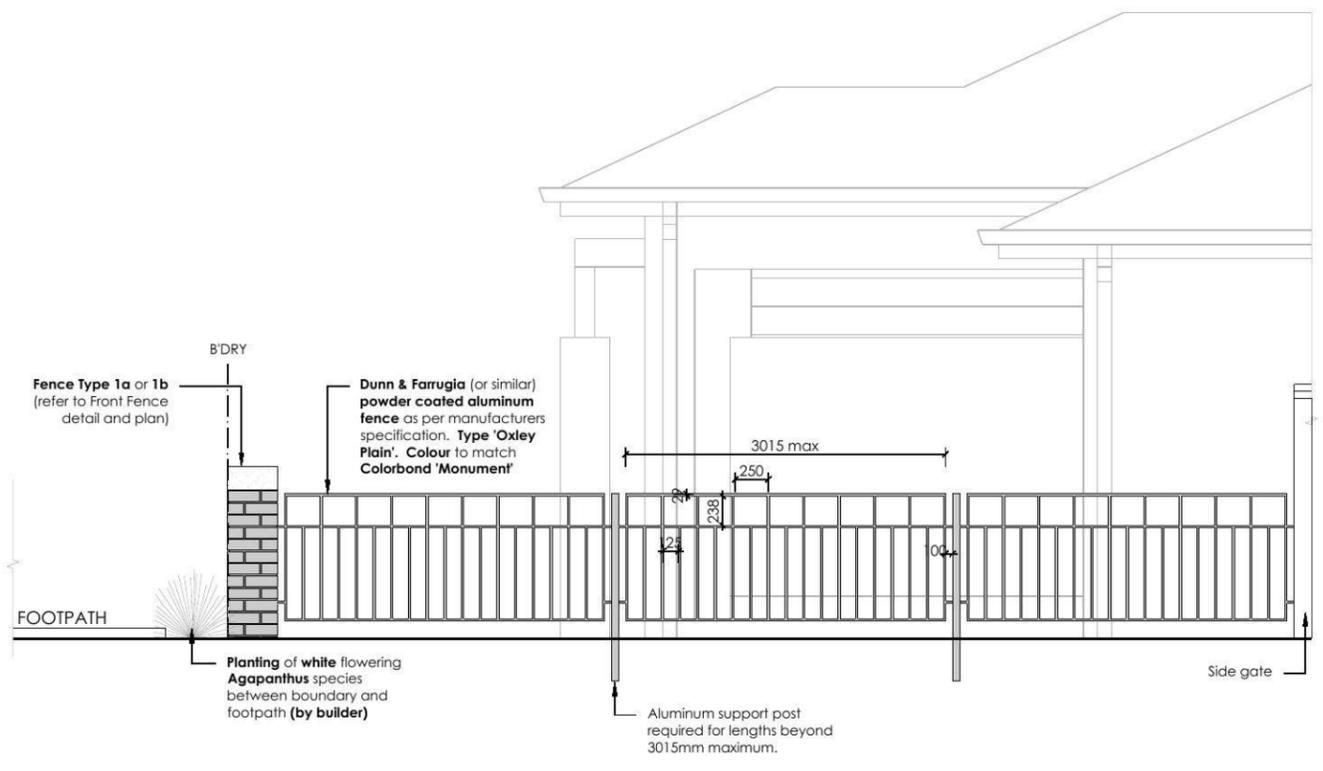
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DRAWN: **RS** CHECK: **BT** DATE: **14-05-14** REVISION: **B**



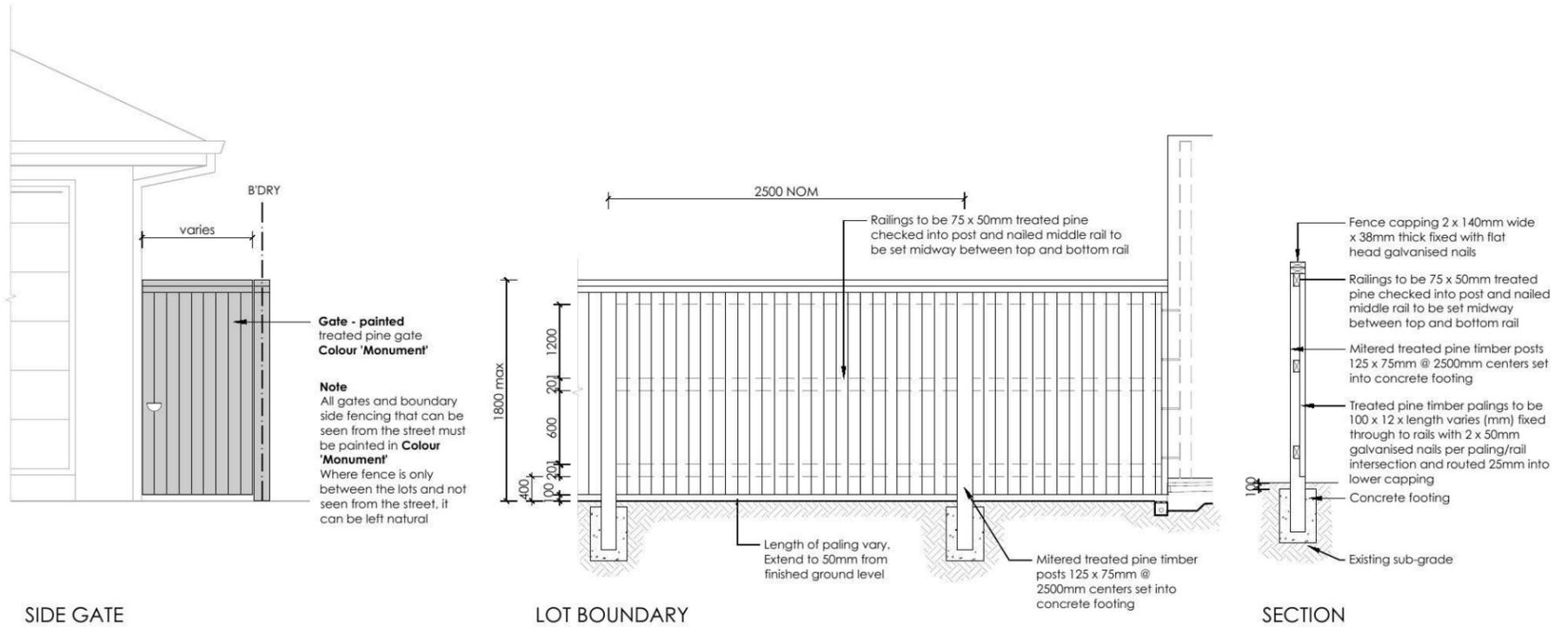


5 **FENCE TYPE 1b - Front Fence**
1:50 Typical detail

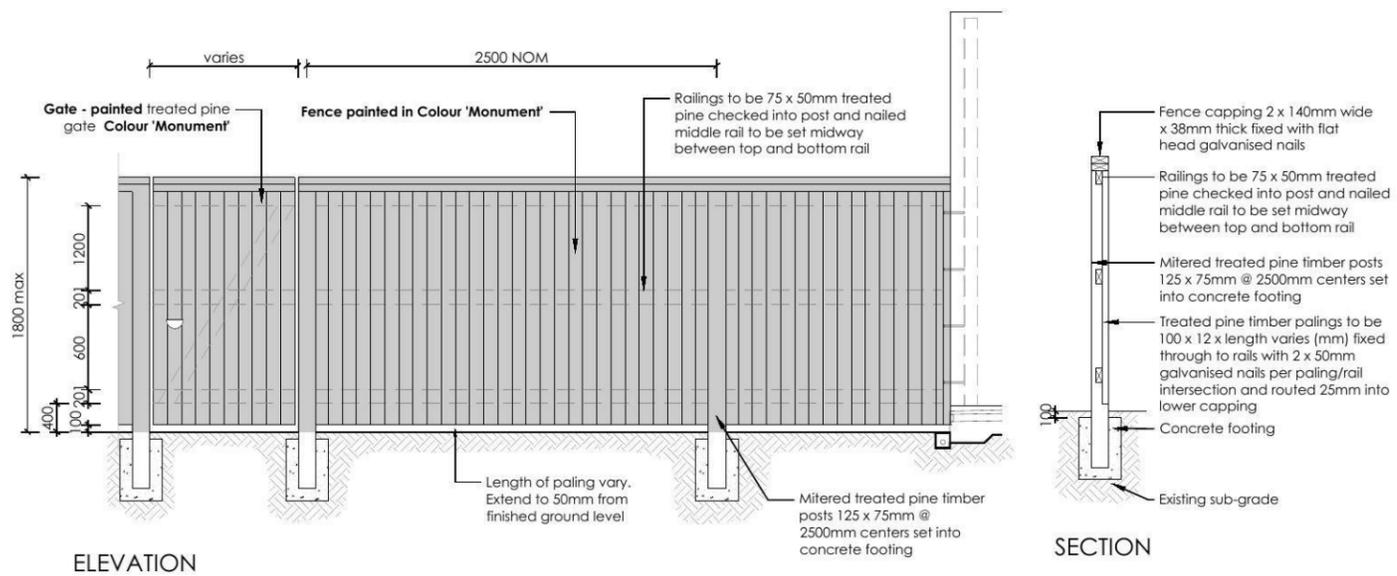


6 **FENCE TYPE 1c - Side Boundary Front Setback**
1:50 Typical detail

ecodesign outdoor living environments PO Box 8136, Baulkham Hills BC, NSW 2153 Ph: (02) 9480 7712 Fax: (02) 9480 7705 Email: info@ecodesign.com.au Web: www.ecodesign.com.au Member of the Australian Institute of Landscape Designers and Managers		LOT 2212 WOODMAN STREET, PENRITH		NEW RESIDENCE	
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CHAMPION HOMES		1:100 @ A3		DA 03	
REVISION A. ISSUE COLOUR PLAN FOR CLIENT REVIEW B. ISSUE DA PLAN FOR CLIENT REVIEW		DRAWN: RS CHECKED: BT DATE: 09-05-14 14-05-14		SCALE: 1:100 @ A3 ISSUE: DA SHEET: 03 DATE: 14-05-14 REVISION: B	



7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLAN FOR CLIENT REVIEW	RS	BT	09-05-14
B	ISSUE DA PLAN FOR CLIENT REVIEW	RS	BT	14-05-14

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6. All work to comply with relevant Australian Standards or Building Code of Australia.
7. All work to be performed by a suitably qualified tradesperson.
8. For application purposes only - NOT FOR CONSTRUCTION

ADDRESS
LOT 2212 WOODMAN STREET, PENRITH

CLIENT
CHAMPION HOMES

PROJECT
NEW RESIDENCE

DRAWING
LANDSCAPE PLAN

SCALE
1:100 @ A3

DATE
DA

SHEET
04

DRAWN
RS

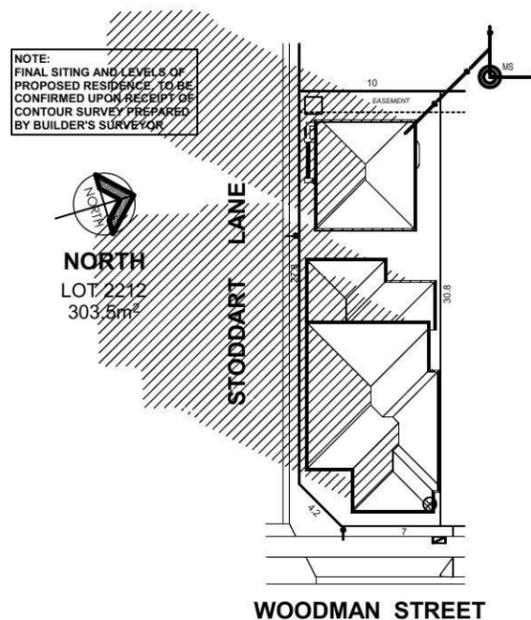
CHECK
BT

DATE
14-05-14

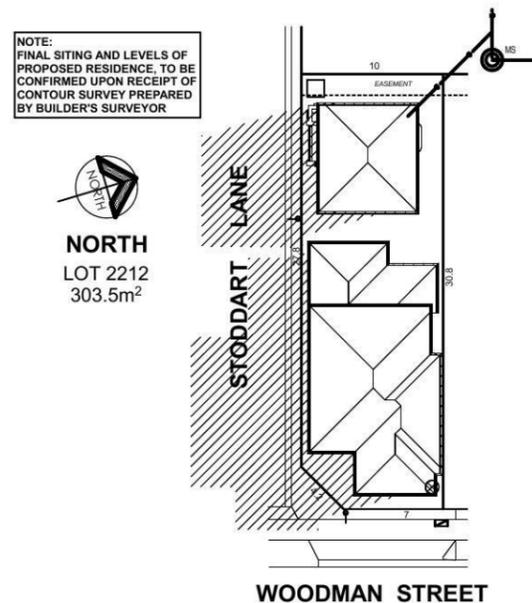
REVISION
B



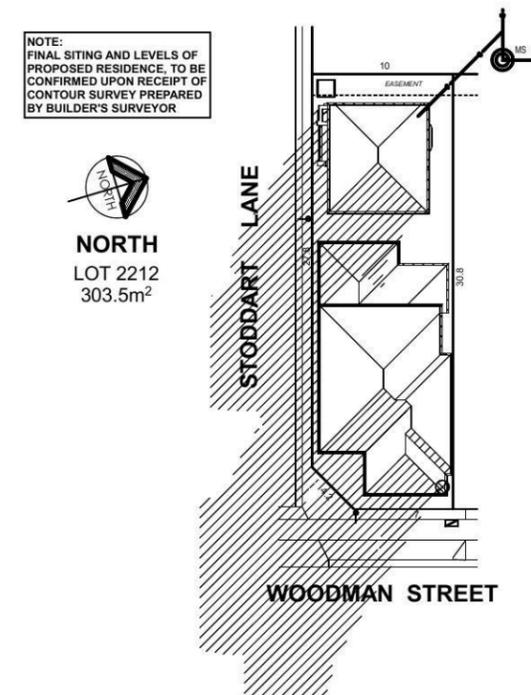
Shadow Diagrams



June 21st - 9am
SCALE 1:500



June 21st - 12noon
SCALE 1:500



June 21st - 3pm
SCALE 1:500

Energy Rating		Certificate Number 15430380
<input type="checkbox"/> single-dwelling rating <input checked="" type="checkbox"/> multi-unit development (attach listing of ratings) <small>If selected, data specified is the average across the entire development</small>		15430381 MAIN = 4.5 STUDIO = 3.5 stars heating MAIN = 71.6 MJ/m ² cooling MAIN = 41.7 MJ/m ²
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number <u>Luis Contigliani</u> BDAV/13/1543		
Assessor Signature <u>[Signature]</u> Date 29-05-2014		

MAIN DWELLING =
 ALL GLAZING TO BE NFRC VALUE OF U_w = 6.96 OR LESS AND SHGC_w = 0.70 +/- 10%
 SARKING TO ALL ROOF
 R 2.0 TO ALL EXTERNAL WALLS
 R 3.5 INSULATION TO CEILING

STUDIO =
 ALL GLAZING TO BE NFRC VALUE OF U_w = 4.70 OR LESS AND SHGC_w = 0.63 +/- 10%
 SARKING TO ALL ROOF
 R 2.0 TO ALL EXTERNAL WALLS
 R 3.5 INSULATION TO CEILING

- R 2.0 TO INTERNAL GARAGE WALLS ONLY
 - R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR

Plot Date
Fri 13 Jun 2014

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.

Wind Speed : Class = N2



Suite 1, Level 1,
600 Hoxton Park Rd,
Hoxton Park, N.S.W. 2171.
P.O. Box 95 Hoxton Park,
N.S.W. 2171.
Telephone (02) 9825 8000
Fax (02) 9825 8110
Builders Licence No. 92732C

Revision	Date	Amendment
B	11.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	10.04.14	CONTRACT DRAWINGS - BT

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Proposed Residence
at Lot : 2212
Woodman Street,
Penrith. (Thornton)

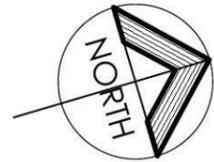
Client :
Champion Homes

Sheet Size: A3 Date: 10.04.14 Drawn:BT

Design :
Custom Design

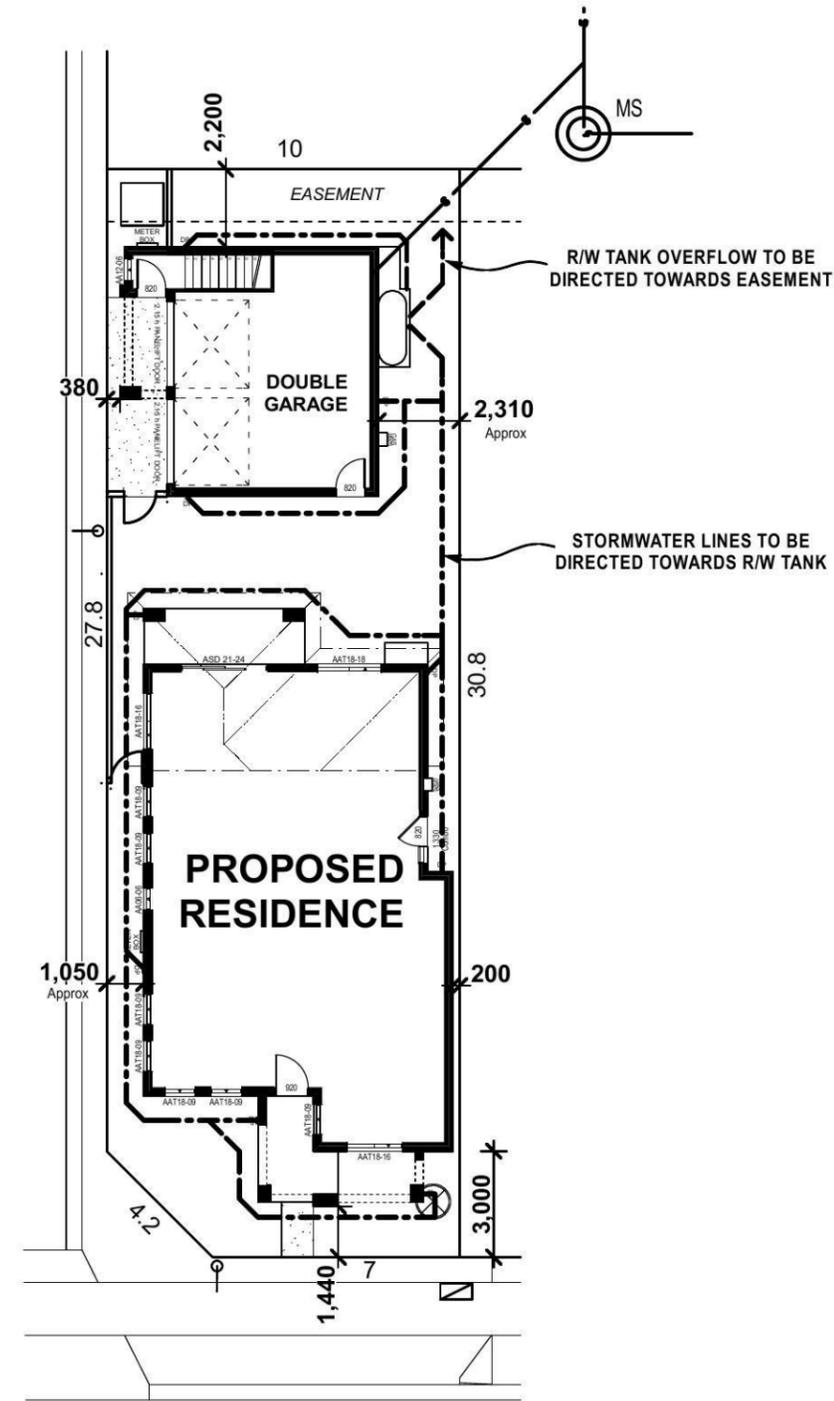
Job No. **3165N** Sheet 4 of 13

NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



NORTH
LOT 2212
303.5m²

STODDART LANE



WOODMAN STREET

SUPPLEMENTARY B.C.A ENERGY EFFICIENCY CLAUSES FOR NatHERS / BASIX ASSESSMENTS

3.12.1.1	Building fabric thermal insulation	Any Insulation installation required by plans must be fitted in alignment with this clause.
3.12.1.2 (e)		Recompense for any reduced ceiling insulation is required to comply with this clause (any downlights installed must be non - ventilated). Recompense for loss of any ceiling insulation is not necessary when suitable approved non - ventilated down light covers are supplied, as these provide continuous flow of insulation.
3.12.3.3	External Windows & Doors	The sealing of any windows or doors must be in conformity with this clause.
3.12.3.4	Exhaust Fans	Refer to Current B.C.A for Detailed specification
3.12.3.5	Construction of Roofs, Walls & Floors	The sealing of roofs , walls and / or floors must align with this clause.
3.12.5.0	Acceptable Construction Manuals	Installation of any hot water systems must abide by this clause.
3.12.5.1	Insulation of Services	Installation of any services must observe requirements of this clause.
3.12.5.3	Heating & Cooling Ductwork	Ductwork insulation to cooling & heating systems must abide by this clause.

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
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BALCONY	130 mm FROM F.F.L.

Wind Speed : Class = N2



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Revision	Date	Amendment
B	11.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
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Proposed Residence
at Lot : 2212
Woodman Street,
Penrith. (Thornton)

Client :
Champion Homes
Sheet Size: A3 Date: 10.04.14 Drawn:BT
Design :
Custom Design
Job No. **3165N** Sheet 1 of 13

Energy Rating Certificate Number **15430380**
15430381
MAIN = 4.5 stars
STUDIO = 3.5 stars
heating MAIN = 71.6 MJ/m²
cooling MAIN = 41.7 MJ/m²
Recessed downlights confirmation: Rated with Rated without
Assessor Name/Number Luis Contigiani BDAV/13/1543
Assessor Signature [Signature] Date **29-05-2014**

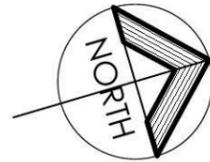
MAIN DWELLING =
ALL GLAZING TO BE NFRC VALUE OF U_w = 6.96 OR LESS AND SHGC_w = 0.70 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 3.5 INSULATION TO CEILING
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- R 2.0 TO INTERNAL GARAGE WALLS ONLY
- R 2.0 INSULATION BETWEEN GARAGE & FIRST FLOOR

Plot Date
Fri 13 Jun 2014

Proposed Site Analysis Plan

SCALE 1:200

NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



NORTH
LOT 2212
303.5m²

NORTH PENRITH "THORNTON" REQUIREMENTS:

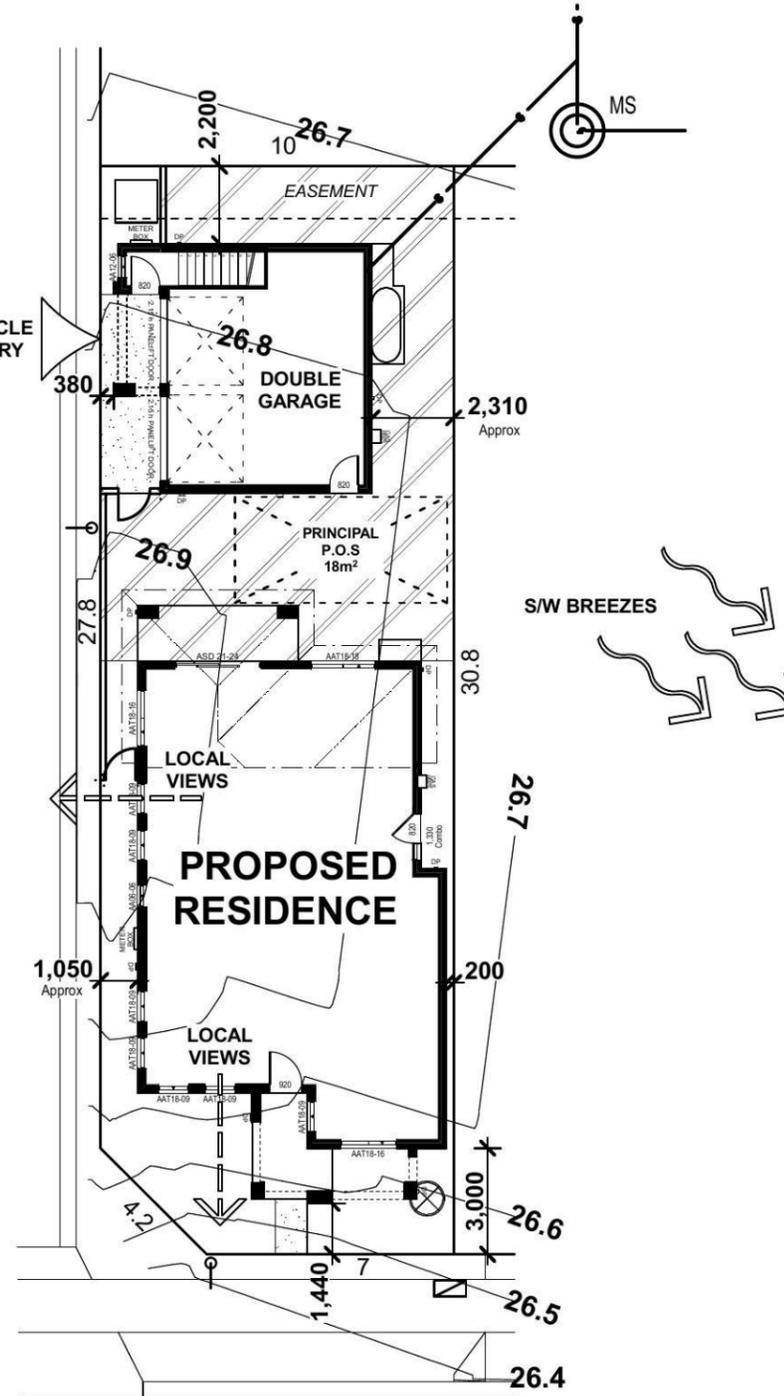
SITE AREA: 303.5m²

PRIVATE OPEN SPACE:
REQUIRED: 20% or 60.70m²
ACHIEVED: 27% or 81.99m²

LANDSCAPE AREA:
ACHIEVED: 31% or 94.28m²

CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES

STODDART LANE



WOODMAN STREET

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:	
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Proposed Residence
at Lot : 2212
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Penrith. (Thornton)

Client :
Champion Homes

Sheet Size: A3 Date: 10.04.14 Drawn: BT

Design :
Custom Design

Job No. **3165N** Sheet 2 of 13

Energy Rating Certificate Number **15430380**

MAIN = 4.5
STUDIO = 3.5 stars

heating **MAIN = 71.6** MJ/m²
cooling **MAIN = 41.7** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigliani** BDAV/13/1543
Assessor Signature *[Signature]* Date **29-05-2014**

MAIN DWELLING =
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