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LANDCOM Thorton Design Review Panel  
 Reviewed *AScott* Date *21/3/14*



**NORTH WEST ELEVATION 1:100**



**SOUTH WEST ELEVATION 1:100**



**NORTH EAST ELEVATION 1:100**



**SOUTH EAST ELEVATION 1:100**

Home Option Gallery

Client Signature \_\_\_\_\_  
 Consultant Signature *A Cornwell*  
 Initials \_\_\_\_\_ Date *13.3.2014*

- Bristol Cobblestone P197-N5 Moroka.
- Taubmans colourmatch colorbond Surfsmist - Posts Front entry door



LEVEL 3, 22 BROOKHOLLOW AVENUE,  
 NORTHWEST BUSINESS PARK,  
 BULLKHAM HILLS NSW 2153  
 P 8860 9222  
 F 8860 9233

FOR EDEN BRAE HOMES		
AT LOT 2330 LAMBER PL THORNTON		
TYPE MANCHESTER 18 (MODIFIED)	JOB NO. 0017963	
FACADE RIVERA (SMART LIVING SERIES)	HAND R1	
MASTER A17607	DWG NO. A21318	PAGE NO. 3 OF 7

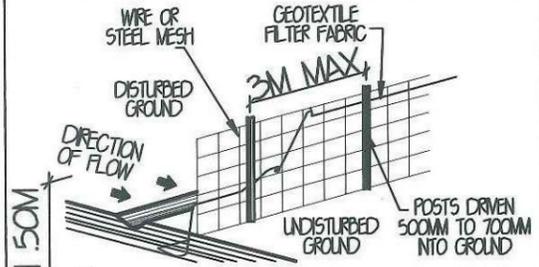
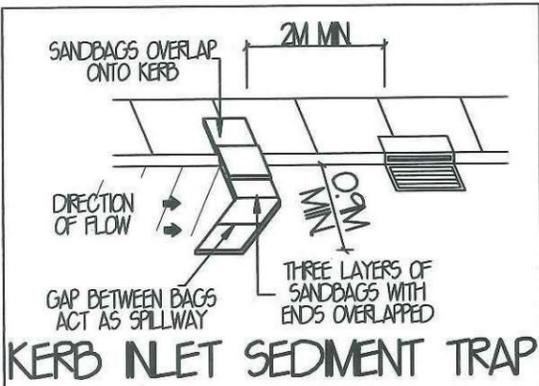


UNIT 39/5 NGLEWOOD PLACE,  
 NORTHWEST BUSINESS PARK,  
 BULLKHAM HILLS NSW 2153  
 P.O. BOX 6410 BULLKHAM HILLS  
 BUSINESS CENTRE NSW 2153  
 PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
 EMAIL: INFO@ANDDESIGNSYDNEY.COM.AU

ISS	DATE	REVISION	DRAWN
A	7-3-14	CC PLANS	DR

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LANDCOM  
 Thornton Design Review Panel  
 Ascott  
 Date 21/02/14



**KERB INLET SEDIMENT TRAP**

**SILT FENCE DETAIL**

SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

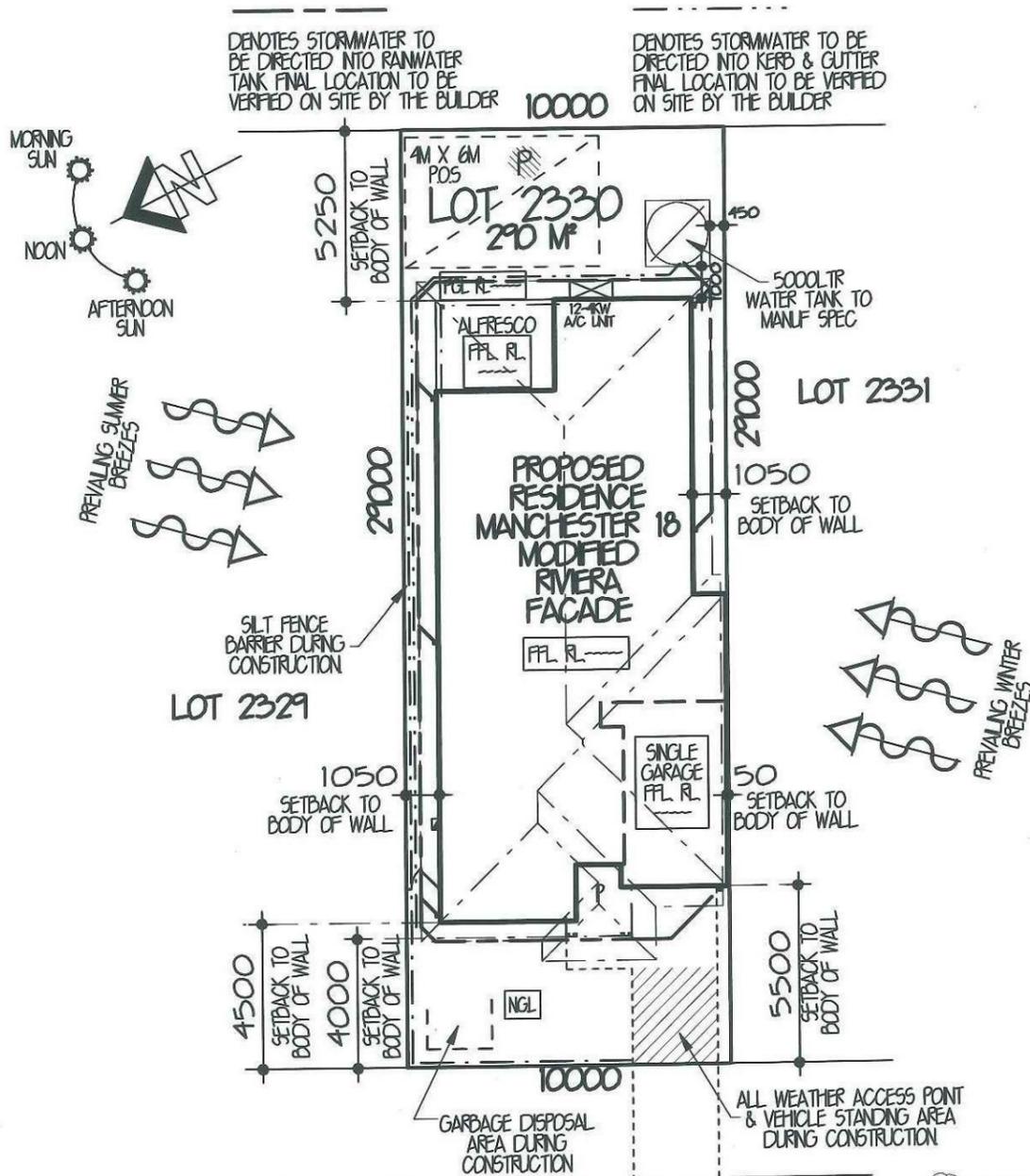
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ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

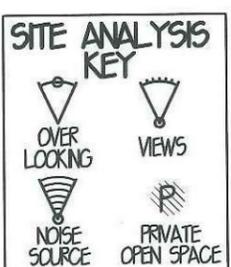
SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRES). FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.



**GENERAL NOTES**

- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
- SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO ASN DESIGN BEFORE PROCEEDING.
- SITE CLASSIFICATION M
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO FLOOD0 GARAGE TO FLOOD0
- HOUSE FLOOR LEVEL FLOOD0, 385MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. FLOOD0, 291MM ABOVE PLATFORM LEVEL.
- TOTAL ROOF AREA = 193.1 M<sup>2</sup>



**LAMBEER PLACE**

**SITE ANALYSIS & SITE PLAN 1:200**

**PRELIMINARY SITING ONLY (DRAINAGE PLAN)**

- DENOTES EXISTING TREES TO REMAIN
- DENOTES EXISTING TREES TO BE REMOVED
- DENOTES RETAINING WALL BY OWNER
- - - DENOTES SILT FENCE BARRIER
- - - DENOTES DROPPED EDGE BEAM
- ||||| DENOTES LINE OF BATTER TO CUT OR FILL

PACKAGE PROVIDED IS BASED ON EBH PRELIMINARY/PREFERRED SITING AND PRELIMINARY DEVELOPER LAND INFORMATION CURRENTLY AVAILABLE. VARIATIONS TO LAND SIZE, LOCATION OF SERVICES - INCLUDING BUT NOT LIMITED TO SEWER/STORMWATER LOCATIONS, DRAINAGE GRATES, TELSTRA PITS, TREES, BUTTERFLY DRAINS, DRIVEWAY CROSSOVER, PRAM RAMP, ELECTRICAL/OTHER EASEMENTS OR SECTION 88B INSTRUMENT, MAY NECESSITATE FLOOR PLAN OR SITING AMENDMENTS.

**SITE DATA**

SITE AREA= 290 M<sup>2</sup>

PRIVATE OPEN SPACE= REQUIRED= 20% OR 58 M<sup>2</sup> PROVIDED= 22% OR 65.8 M<sup>2</sup>

PRINCIPLE PRIVATE OPEN SPACE= REQUIRED= 18 M<sup>2</sup> PROVIDED= 65.8 M<sup>2</sup>

**FLOOR AREAS**

GROUND FLOOR AREA= 127-M<sup>2</sup> (NOT INCLUDING GARAGE)

GARAGE FLOOR AREA= 18.9 M<sup>2</sup>

PORCH FLOOR AREA= 3.7 M<sup>2</sup>

ALFRESCO FLOOR AREA= 10.3 M<sup>2</sup>

TOTAL FLOOR AREA= 160 M<sup>2</sup> OR 17-2 505

**Eden brae homes**  
 It's where you want to live

LEVEL 3, 22 BROOKHOLLOW AVENUE,  
 NORTHWEST BUSINESS PARK,  
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 P 8860 9222  
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FOR **EDEN BRAE HOMES**

AT **LOT 2330 LAMBEER PL THORNTON**

TYPE **MANCHESTER 18 (MODIFIED)** JOB NO. **0017963**

FACADE **RIVERA (SMART LIVING SERIES)** HAND **RH**

MASTER **A17607** DWG NO. **A21318** PAGE NO. **1 OF 7**

**AGN SYDNEY**

UNIT 3/15 INGLEWOOD PLACE,  
 NORTHWEST BUSINESS PARK,  
 BALLKHAM HILLS NSW 2153  
 P.O. BOX 6410 BALLKHAM HILLS  
 BUSINESS CENTRE NSW 2153  
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A	7-3-14	CC PLANS	DR

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Thornton Design Review Panel  
ANDCOM  
A. Scott  
Date 2/5/14



**NORTH WEST ELEVATION 1:100**



**SOUTH WEST ELEVATION 1:100**



**NORTH EAST ELEVATION 1:100**



**SOUTH EAST ELEVATION 1:100**



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FOR	EDEN BRAE HOMES	
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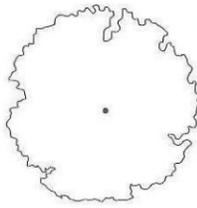
**PLANT SCHEDULE** Prepared by **ecodesign Pty Ltd**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
<b>Dr</b>	Dichondra repens	Kidney Weed	20	150mm	0.2m
<b>Lit</b>	Lagerstroemia 'Tuscarora'	Crepe Myrtle	1	25L	4m
<b>Oi</b>	Ophiopogon 'Stripey White'	Stripey White Mondo Grass	24	150mm	0.3-0.4m
<b>Msb</b>	Michelia 'Summer Bronze'	Ev ergreen Magnolia	7	200mm	2m

**LOT PLANTING SUMMARY**

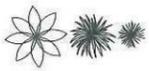
Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ ground-covers	Total Trees
52	7	0	45	1

Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)

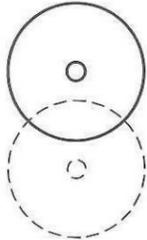


**LEGEND**

Proposed trees - refer to plant schedule

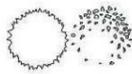


Proposed accents & grasses - refer to plant schedule



Existing tree to be retained

Existing tree to be removed



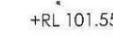
Proposed shrubs - refer to plant schedule



Proposed groundcovers and grasses - refer to plant schedule



Existing levels



Proposed levels



Proposed Top Of Wall levels



Boundary



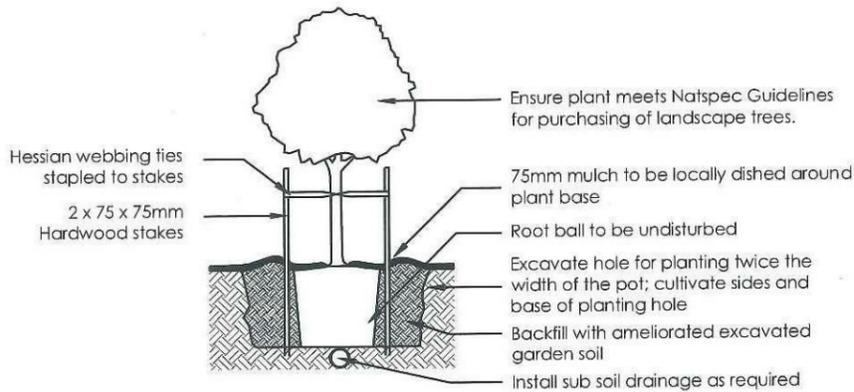
Garden edging



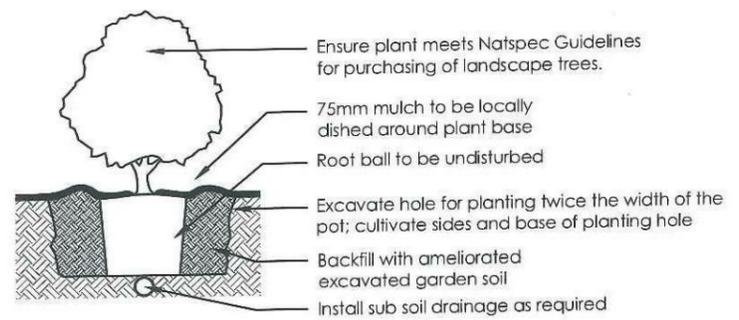
Masonry retaining walls



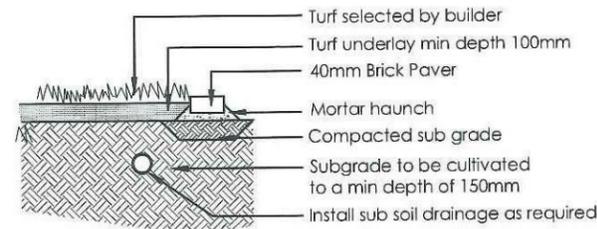
Existing contours



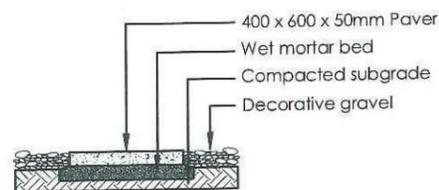
**1** Tree Planting Detail  
 NTS 25L - 100L Pot Size



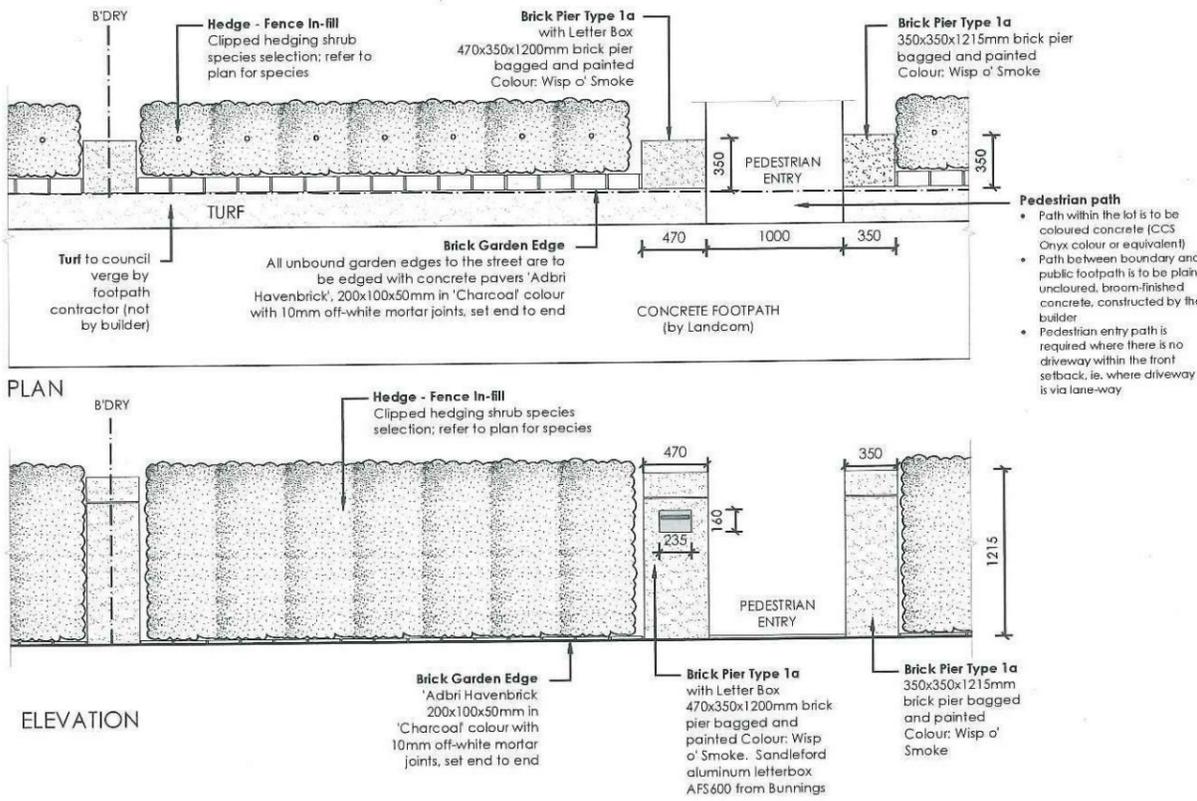
**2** Planting Detail  
 NTS 150mm, 200mm Pot Size



**3** Turf Detail  
 NTS Brick Paver Edge



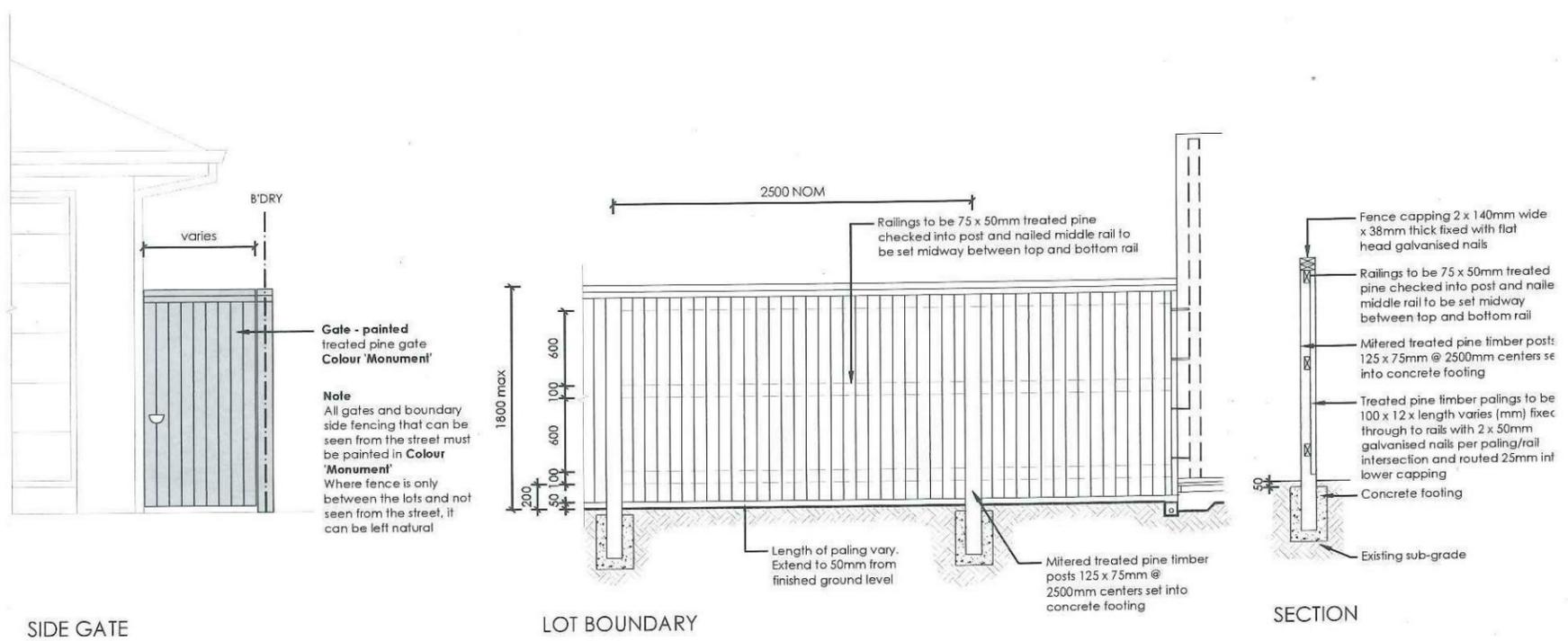
**4** Stepping stones in gravel  
 NTS Low traffic zone



**Pedestrian path**

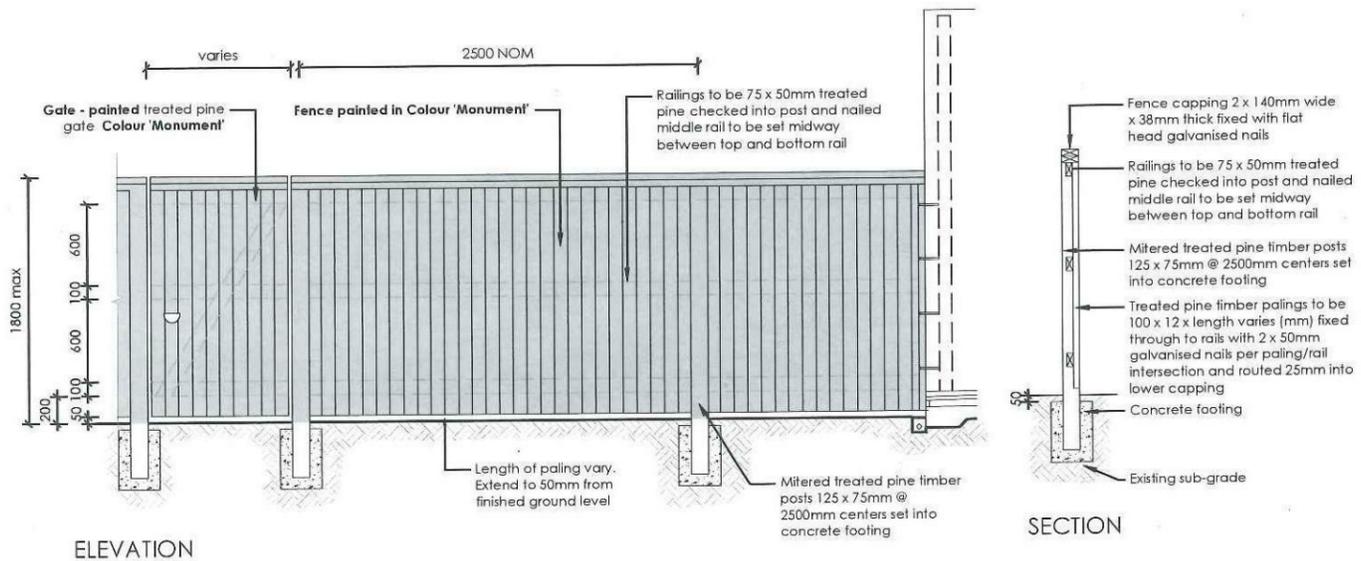
- Path within the lot is to be coloured concrete (CCS Onyx colour or equivalent)
- Path between boundary and public footpath is to be plain uncoloured, broom-finished concrete, constructed by the builder
- Pedestrian entry path is required where there is no driveway within the front setback, i.e. where driveway is via lane-way

**5 FENCE TYPE 5 - Front Fence**  
 1:50 Typical detail



**6 FENCE TYPE 4a - Side Boundaries**  
 1:50 Typical detail

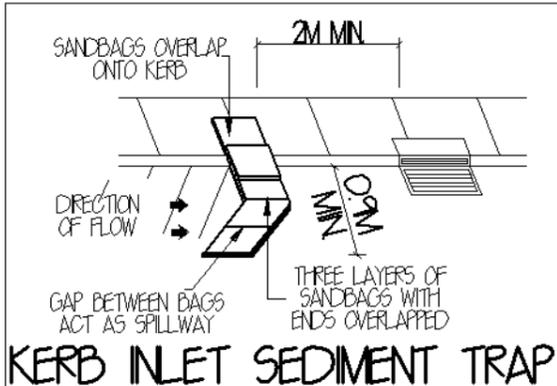
<table border="1"> <tr> <th>REVISION</th> <th>DESCRIPTION</th> <th>DRAWN</th> <th>CHECK</th> <th>DATE</th> </tr> <tr> <td>A</td> <td>ISSUE FOR CLIENT REVIEW</td> <td>BT</td> <td>RS</td> <td>26-02-14</td> </tr> </table>	REVISION	DESCRIPTION	DRAWN	CHECK	DATE	A	ISSUE FOR CLIENT REVIEW	BT	RS	26-02-14	<p><b>ecodesign</b>          outdoor living environments</p> <p>PO Box 3136, Carlingford, NSW 2118          Ph: (02) 9871 7701 Fax: (02) 9873 2583          Email: info@ecodesign.com.au          Web: www.ecodesign.com.au          Member of the Australian Institute of Landscape Design and Managers</p>	<p>PROJECT  <b>LOT 2330 LAMBEER PLACE, PENRITH</b></p> <p>CLIENT  <b>EDEN BRAE HOMES</b></p>	<p>PROJECT  <b>NEW RESIDENCE</b></p> <p>DRAWING  <b>LANDSCAPE PLAN</b></p> <p>SCALE  <b>1:100 @ A3</b></p> <p>DATE  <b>26-02-14</b></p> <p>REVISION  <b>A</b></p>	
REVISION	DESCRIPTION	DRAWN	CHECK	DATE										
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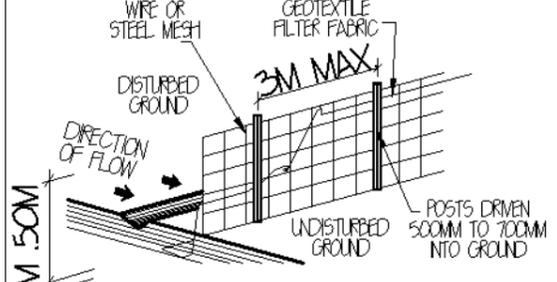
**7**  
**FENCE TYPE 4b - Rear Boundary**  
 All Laneways (except Barlett Lane)  
 Typical detail

REVISION A ISSUE FOR CLIENT REVIEW	DRAWN BT	CHECK RS	DATE 26-02-14	 outdoor living environments	PO Box 3136, Carlingford, NSW 2118 Ph: (02) 9871 7701 Fax: (02) 9873 2583 Email: info@ecodesign.com.au Web: www.ecodesign.com.au Member of the Australian Institute of Landscape Designers and Planners	PROJECT <b>LOT 2330 LAMBEER PLACE, PENRITH</b>	PROJECT <b>NEW RESIDENCE</b> <b>LANDSCAPE PLAN</b>	
1. Do not scale from drawings 2. Verify all measurements on site 3. Notify ecodesign of any discrepancies 4. Copyright © ecodesign. All rights reserved 5. Drawing remains the property of ecodesign	6. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson 8. For application purposes only - NOT FOR CONSTRUCTION	CLIENT <b>EDEN BRAE HOMES</b>	SCALE 1:100 @ A3	DRAWN BT	CHECK RS	DATE 26-02-14	SHEET L-04	OF SHEET A

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**KERB INLET SEDIMENT TRAP**



**SILT FENCE DETAIL**

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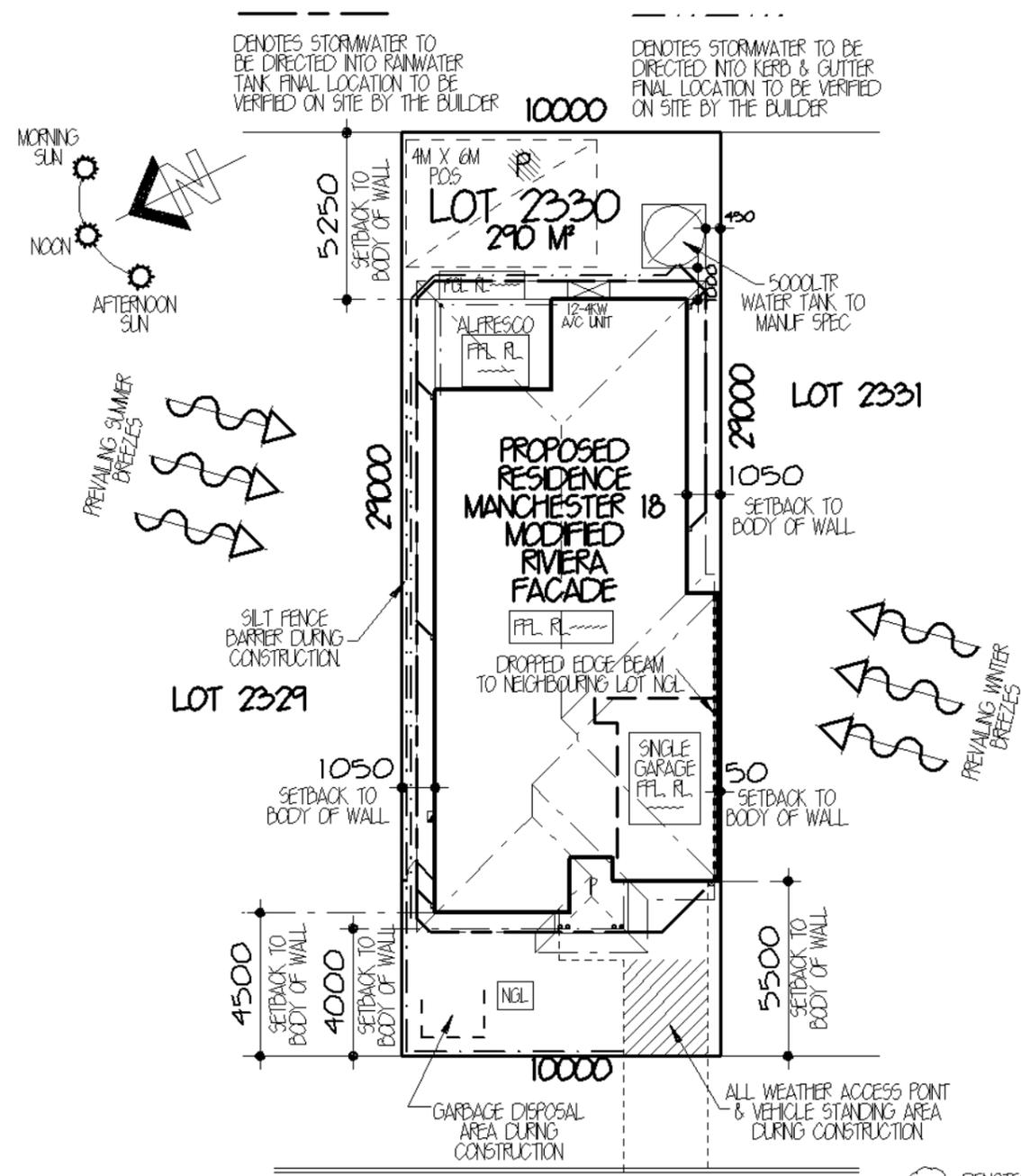
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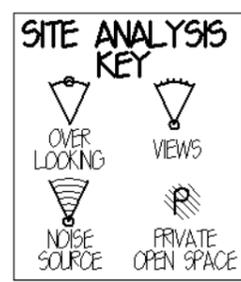
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- TOTAL ROOF AREA = 193-1 M²



**LAMBEER PLACE**  
**SITE ANALYSIS & SITE PLAN 1:200**  
**PRELIMINARY SITING ONLY (DRAINAGE PLAN)**

- DENOTES EXISTING TREE'S TO REMAIN
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PRINCIPLE PRIVATE OPEN SPACE= REQUIRED= 18 M² PROVIDED= 65-8 M²

**FLOOR AREAS**  
GROUND FLOOR AREA= 127-1M² (NOT INCLUDING GARAGE)  
GARAGE FLOOR AREA= 18-9 M²  
PORCH FLOOR AREA= 3-7 M²  
ALFRESCO FLOOR AREA= 10-3 M²

TOTAL FLOOR AREA= 160 M² OR 17-2 SQS

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It's where you want to live

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F: 8860 9233

FOR **MR. KARAN JINDAL**

AT **LOT 2330 LAMBEER PL PENRITH**

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FACADE **RIVERA (SMART LIVING SERIES)** HAND **RH**

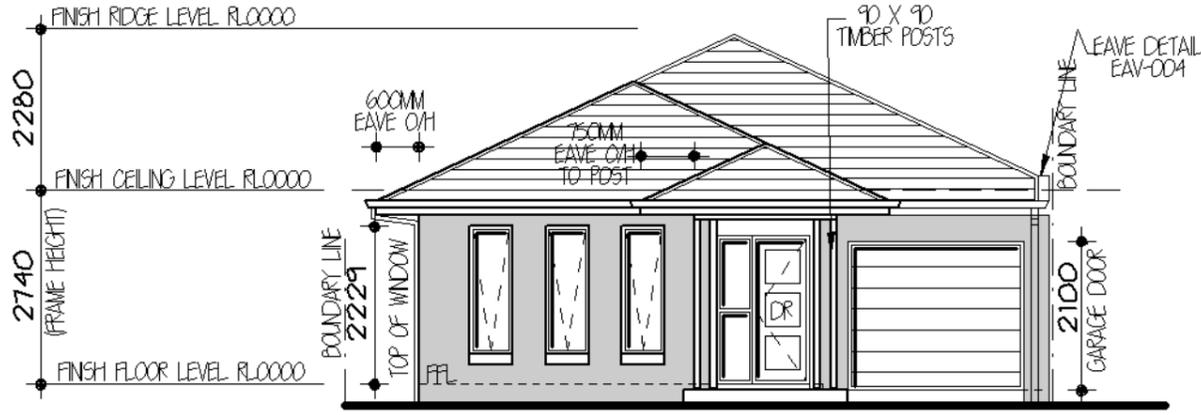
MASTER **A17607** DWG NO. **A21318** PAGE NO. **1 OF 7**

**A&N DESIGN SYDNEY**

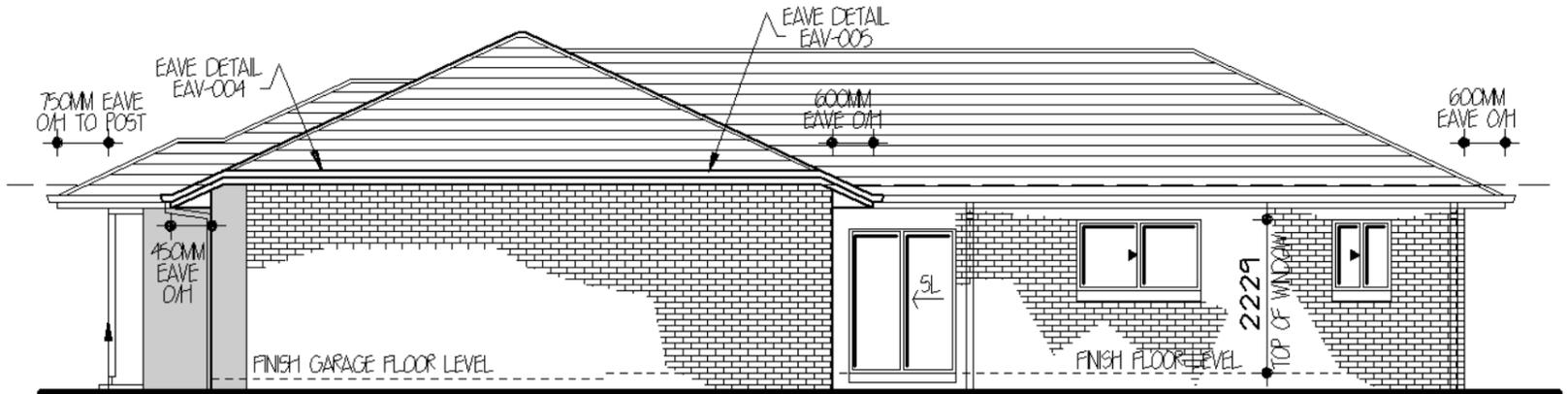
LEVEL 2 SUITE 216 MACARTHUR POINT  
NO. 25-27 SOLENT CIRCUIT  
BALLKHAM HILLS  
PO BOX 6410 BALLKHAM HILLS  
BUSINESS CENTRE NSW, 2153  
PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
WWW.AANDDESIGN.COM.AU

REV	DATE	REVISION	DRAWN
A	7-3-14	CC PLANS	CR
B	27-3-14	BASIC PLAN	RF
C	10-4-14	AMENDMENT	RR
D	10-4-14	AMENDMENT	JA

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**NORTH WEST ELEVATION 1:100**



**SOUTH WEST ELEVATION 1:100**



**NORTH EAST ELEVATION 1:100**



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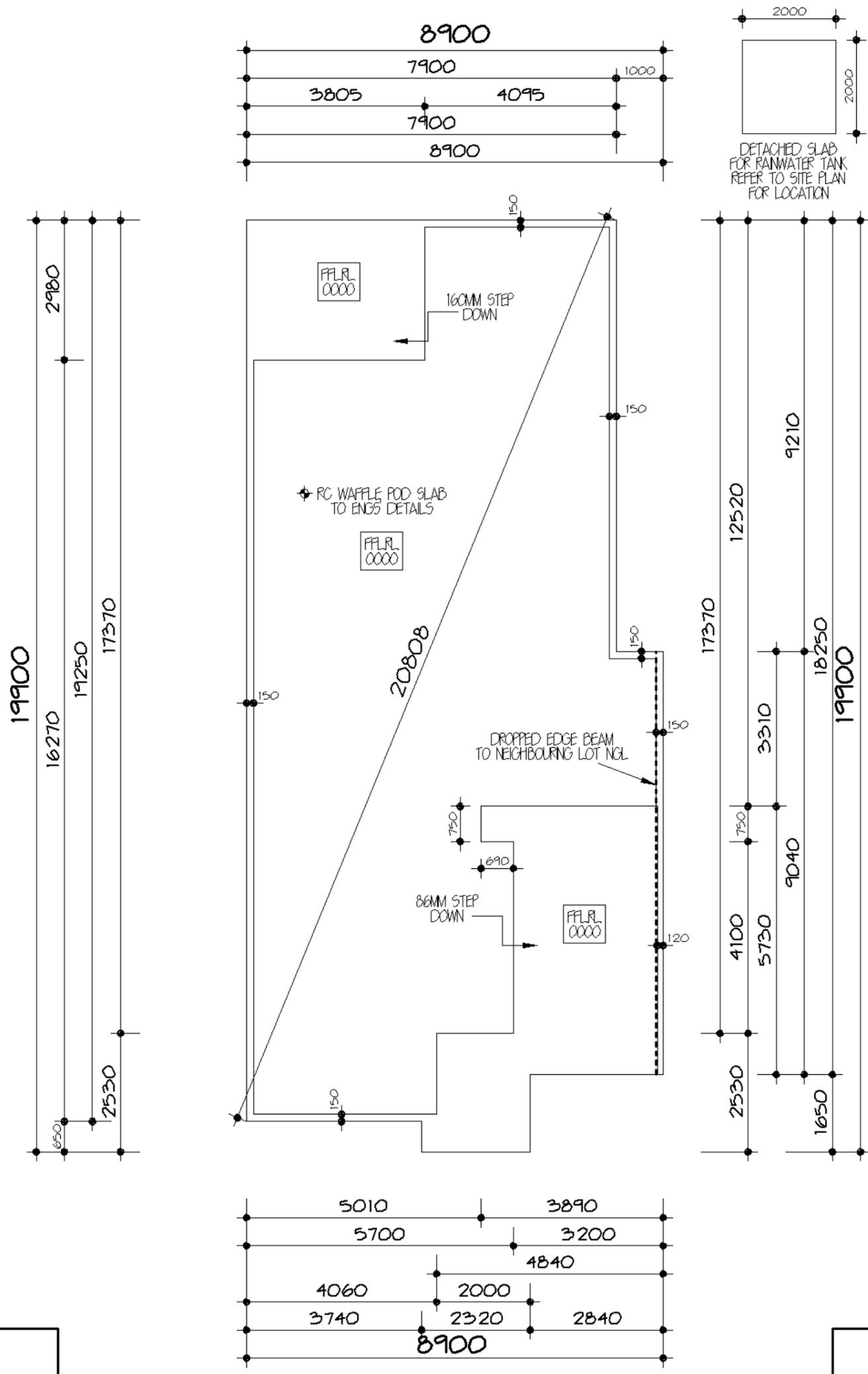
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AT	<b>LOT 2330 LAMBEER PL PENRITH</b>		
TYPE	<b>MANCHESTER 18</b> (MODIFIED)	JOB NO.	<b>0017963</b>
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		PAGE NO.	<b>3 OF 7</b>



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# SLAB FLOOR PLAN 1:100

SLAB PLAN TO BE CROSS REFERENCED WITH FLOOR PLANS. ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING

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*"It's where you want to live"*  
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FOR **MR. KARAN JINDAL**

AT **LOT 2330 LAMBER PL PENRITH**

TYPE **MANCHESTER 18 (MODIFIED)** JOB NO. **0017963**

FACADE **RIVERA (SMART LIVING SERIES)** HAND **RH**

MASTER **A17607** DWG NO. **A21318** PAGE NO. **5 OF 7**

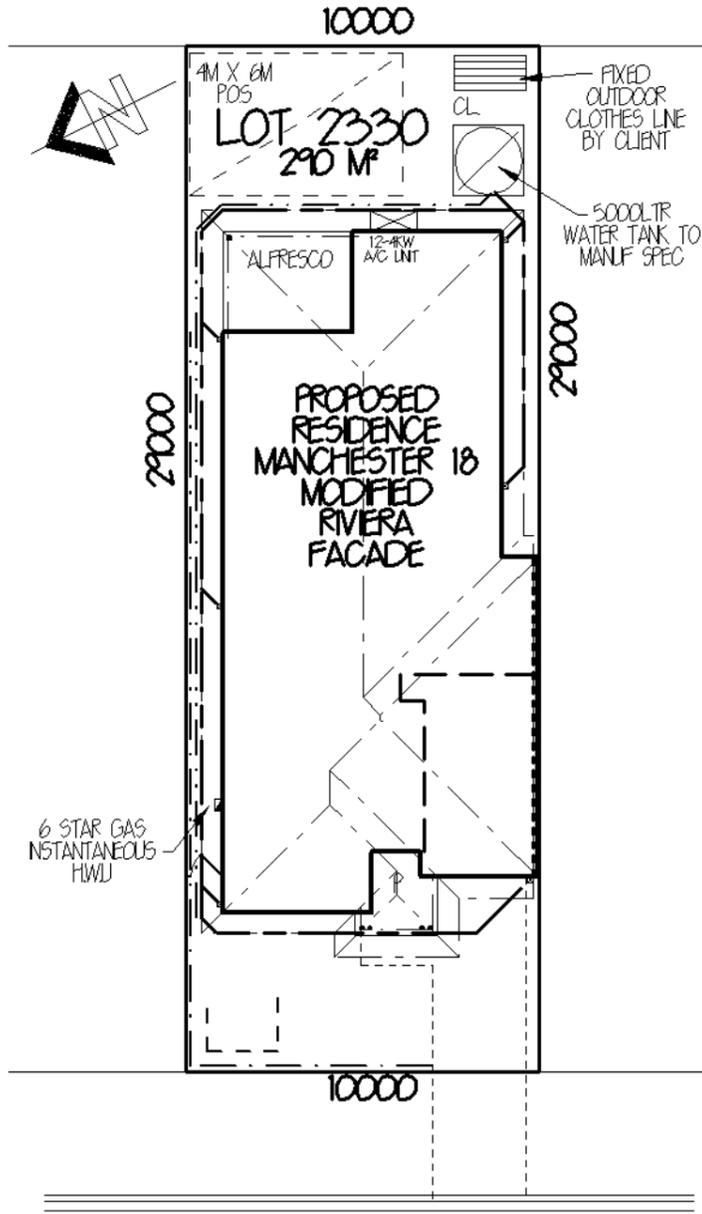
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**THERMAL COMFORT**

THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE CERTIFICATE N° 5374895 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE CERTIFICATE N° 5374895



**LAMBEER PLACE  
BASIX PLAN 1:200**

**INSULATION**

R1-5 WALL INSULATION (INCLUDING INTERNAL GARAGE WALLS)  
R3-0 CEILING INSULATION (EXCLUDING GARAGE & ALFRESCO)  
ROOF SARKING

**BASIX SCORE**

WATER - 47% (TARGET 40%)  
THERMAL COMFORT - PASS (TARGET PASS)  
ENERGY - 40% (TARGET 40%)

DENOTES 193-1M² OF ROOF TO BE COLLECTED

**REFER TO BASIX CERTIFICATE FOR FULL THERMAL COMFORT COMMITMENTS**

**(BASIX CERTIFICATE NUMBER: 5374895)**

**STORMWATER / WATER**

COLLECTION OF RAINWATER & STORMWATER: THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

**RAINWATER TANK:** THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 193-1 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 5000 LITRES.

**SHOWERHEADS:**

THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (75 LPM @ 9.1MPA) IN ALL SHOWERS IN THE DEVELOPMENT

**TOILETS:**

THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 4 STAR IN EACH TOILET IN THE DEVELOPMENT.

**TAP FITTINGS:**

THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 4 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 4 STAR IN EACH BATHROOM IN THE DEVELOPMENT

**ENERGY**

**HOT WATER:**

THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT: GAS INSTANTANEOUS - 6 STARS (OR ONE WITH A HIGHER STAR RATING)

**ACTIVE COOLING:**

THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING ENERGY RATING: EER 30 - 35, 1 BEDROOM: 3 PHASE AIRCONDITIONING ENERGY RATING: EER 30 - 35

**ACTIVE HEATING:**

THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING ENERGY RATING: EER 30 - 35, 1 BEDROOM: 3 PHASE AIRCONDITIONING ENERGY RATING: EER 30 - 35

**VENTILATION:**

THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT: AT LEAST 1 BATHROOM: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF OPERATION CONTROL:

MANUAL SWITCH ON/OFF

KITCHEN: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF OPERATION CONTROL:

MANUAL SWITCH ON/OFF

LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY: OPERATION CONTROL: N/A

**NATURAL LIGHTING:**

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 1 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING

**ARTIFICIAL LIGHTING:**

THE APPLICANT MUST ENSURE THAT THE "PRIMARY TYPE OF ARTIFICIAL LIGHTING" IS FLUORESCENT OR LED LIGHTING IN THE FOLLOWING ROOMS:

- THE KITCHEN

AS WELL AS THESE ROOMS THE APPLICANT MUST ALSO ENSURE THAT THE PRINCIPLES APPLY TO ANYWHERE THE WORD 'DEDICATED' APPEARS.

FITTINGS FOR THESE LIGHTS MUST ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LED LAMPS

**COOKING:**

THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

**OTHER:**

THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT



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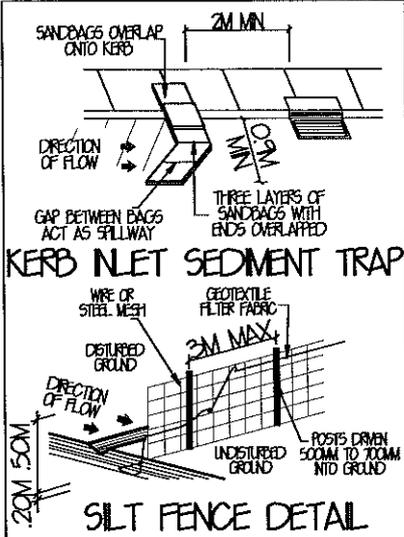
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MASTER	A17607	DWG NO.	A21318
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**SEDIMENT CONTROL NOTES**

ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

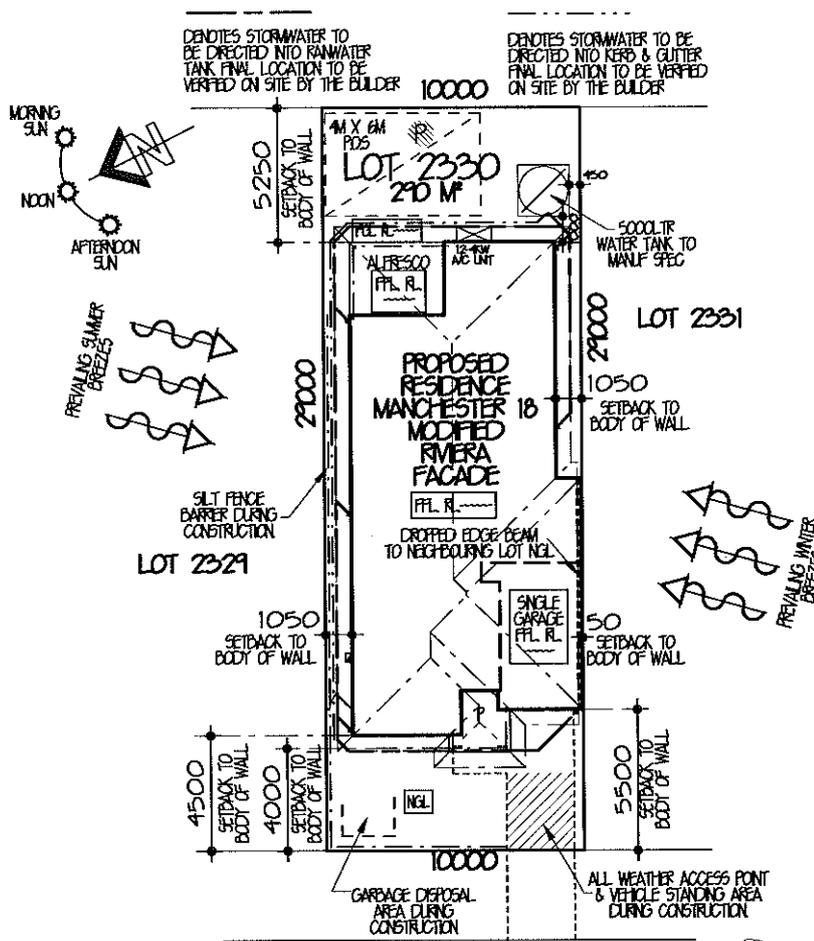
SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL NLET FITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS INCLUDING THE MAINTENANCE PERIOD.

ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

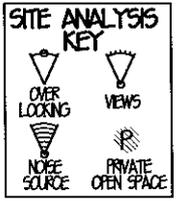
SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC PROPEL OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRE-SI FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.



**GENERAL NOTES**

- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
- SEWER TO LOCAL AUTHORITIES REQUIREMENTS
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING, ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO ASN DESIGN BEFORE PROCEEDING
- SITE CLASSIFICATION M
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO FLOOD00 GARAGE TO FLOOD00
- HOUSE FLOOR LEVEL FLOOD00, 389MM ABOVE PLATFORM LEVEL, GARAGE FLOOR LEVEL APPROX FLOOD00, 271MM ABOVE PLATFORM LEVEL
- TOTAL ROOF AREA = PD-1 M²



**LAMBEER PLACE**

**SITE ANALYSIS & SITE PLAN 1:200**

**PRELIMINARY SITING ONLY DRAINAGE PLAN**

- DENOTES EXISTING TREES TO REMAIN
- ⊗ DENOTES EXISTING TREES TO BE REMOVED
- DENOTES RETAINING WALL BY OWNER
- - - DENOTES SILT FENCE BARRIER
- · - · - DENOTES DROPPED EDGE BEAM
- ||||| DENOTES LINE OF BATTERY TO CUT OR FILL

PACKAGE PROVIDED IS BASED ON EBH PRELIMINARY/PREFERRED SITING AND PRELIMINARY DEVELOPER LAND INFORMATION CURRENTLY AVAILABLE. VARIATIONS TO LAND SIZE LOCATION OF SERVICES - INCLUDING BUT NOT LIMITED TO SEWERS/STORMWATER LOCATIONS, DRAINAGE GRATES, TELSTRA PITS, TREES, BUTTERFLY DRAINS DRIVEWAY CROSSOVER FRAME RAMPS ELECTRICAL/OTHER EASEMENTS OR SECTION 88B INSTRUMENT, MAY NECESSITATE FLOOR PLAN OR SITING AMENDMENTS.

**SITE DATA**

SITE AREA= 290 M²

PRIVATE OPEN SPACE- REQUIRED= 20X OR 58 M² PROVIDED= 22X OR 65-8 M²

PRINCIPLE PRIVATE OPEN SPACE- REQUIRED= 18 M² PROVIDED= 65-8 M²

**FLOOR AREAS**

GROUND FLOOR AREA= 127 M² (NOT INCLUDING GARAGE)

GARAGE FLOOR AREA= 18-9 M²

PORCH FLOOR AREA= 3-7 M²

ALFRESCO FLOOR AREA= 10-3 M²

TOTAL FLOOR AREA= 160 M² OR 17-2 505

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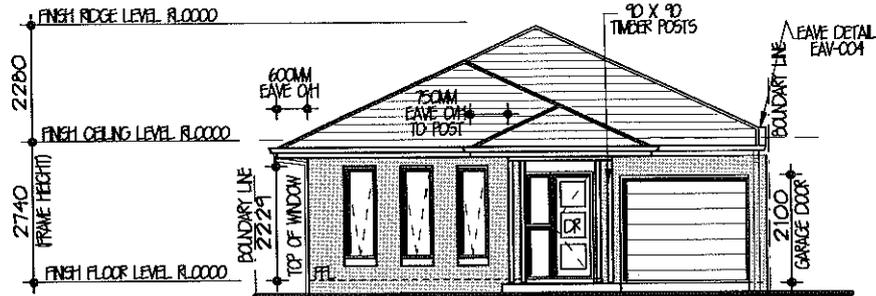
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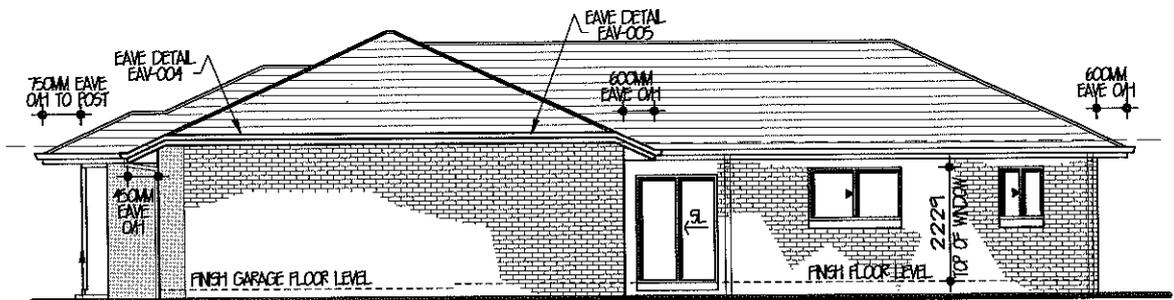
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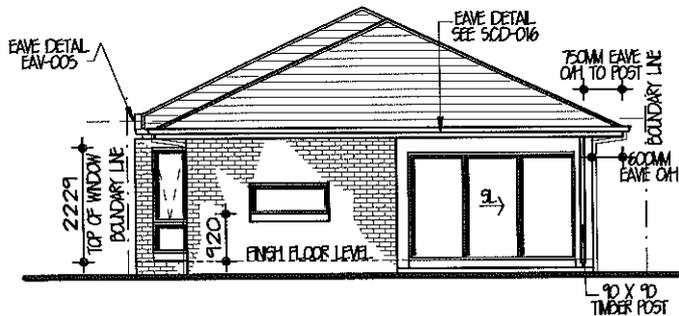
**NORTH WEST ELEVATION 1:100**



**SOUTH WEST ELEVATION 1:100**



**NORTH EAST ELEVATION 1:100**



**SOUTH EAST ELEVATION 1:100**

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TYPE **MANCHESTER 18** JOB NO. **0017963**  
 (MODIFIED)

FACADE **RIVERA** HAND **R1**  
 (SMART LIVING SERIES)

MASTER DWG NO. **A17607** PAGE NO. **A21318**  
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**ADN**  
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