



Proposed Shed

At:

44 Mayfair Road,
Mulgoa 2745

For:

Sienna Waters Pty. Ltd.



Drawn By:

 **Wayne Ryan**
Draftsman
wssrhino@gmail.com

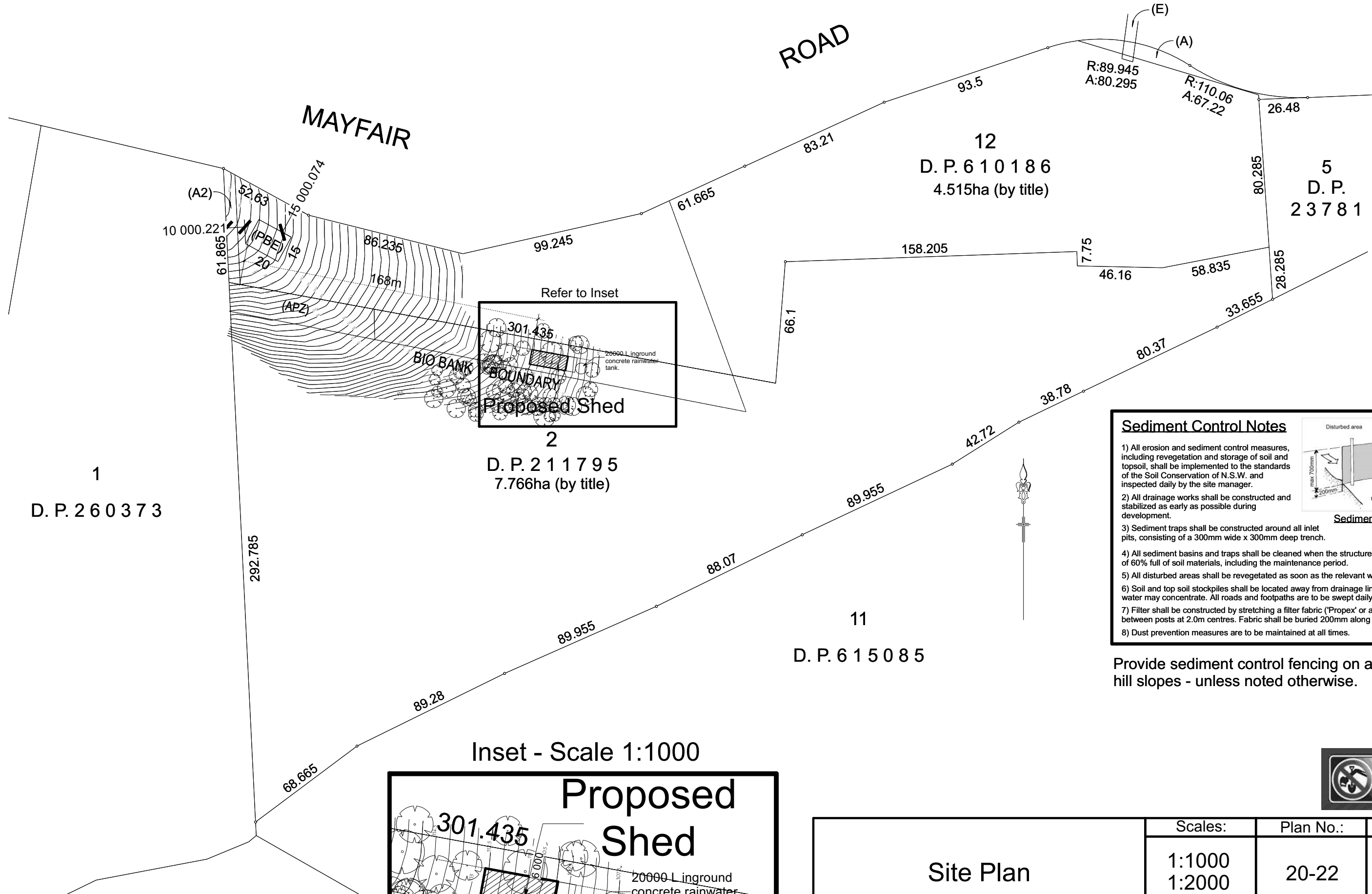
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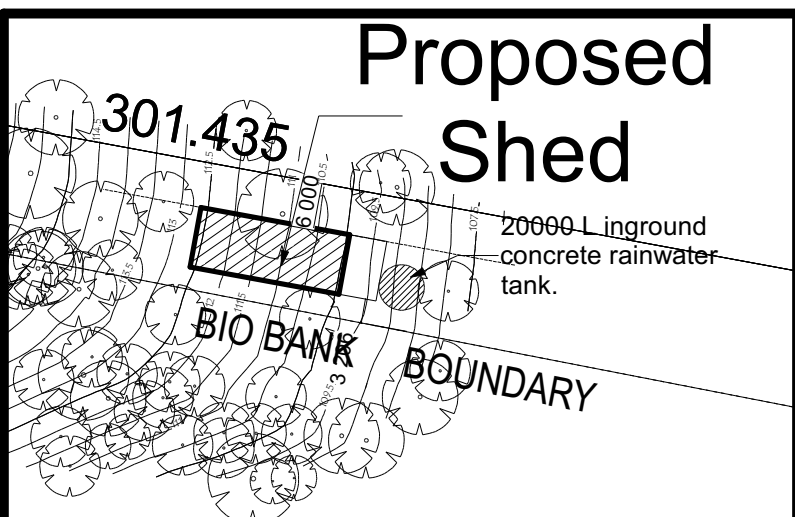
Version Date: 18.12.20

Drawing No.: **20-22**

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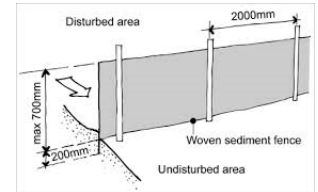


Inset - Scale 1:1000



Sediment Control Notes

- 1) All erosion and sediment control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of the Soil Conservation of N.S.W. and inspected daily by the site manager.
- 2) All drainage works shall be constructed and stabilized as early as possible during development.
- 3) Sediment traps shall be constructed around all inlet pits, consisting of a 300mm wide x 300mm deep trench.
- 4) All sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of soil materials, including the maintenance period.
- 5) All disturbed areas shall be revegetated as soon as the relevant works are completed.
- 6) Soil and top soil stockpiles shall be located away from drainage lines and area where water may concentrate. All roads and footpaths are to be swept daily.
- 7) Filter shall be constructed by stretching a filter fabric ('Propex' or approved equivalent), between posts at 2.0m centres. Fabric shall be buried 200mm along it's lower edge.
- 8) Dust prevention measures are to be maintained at all times.

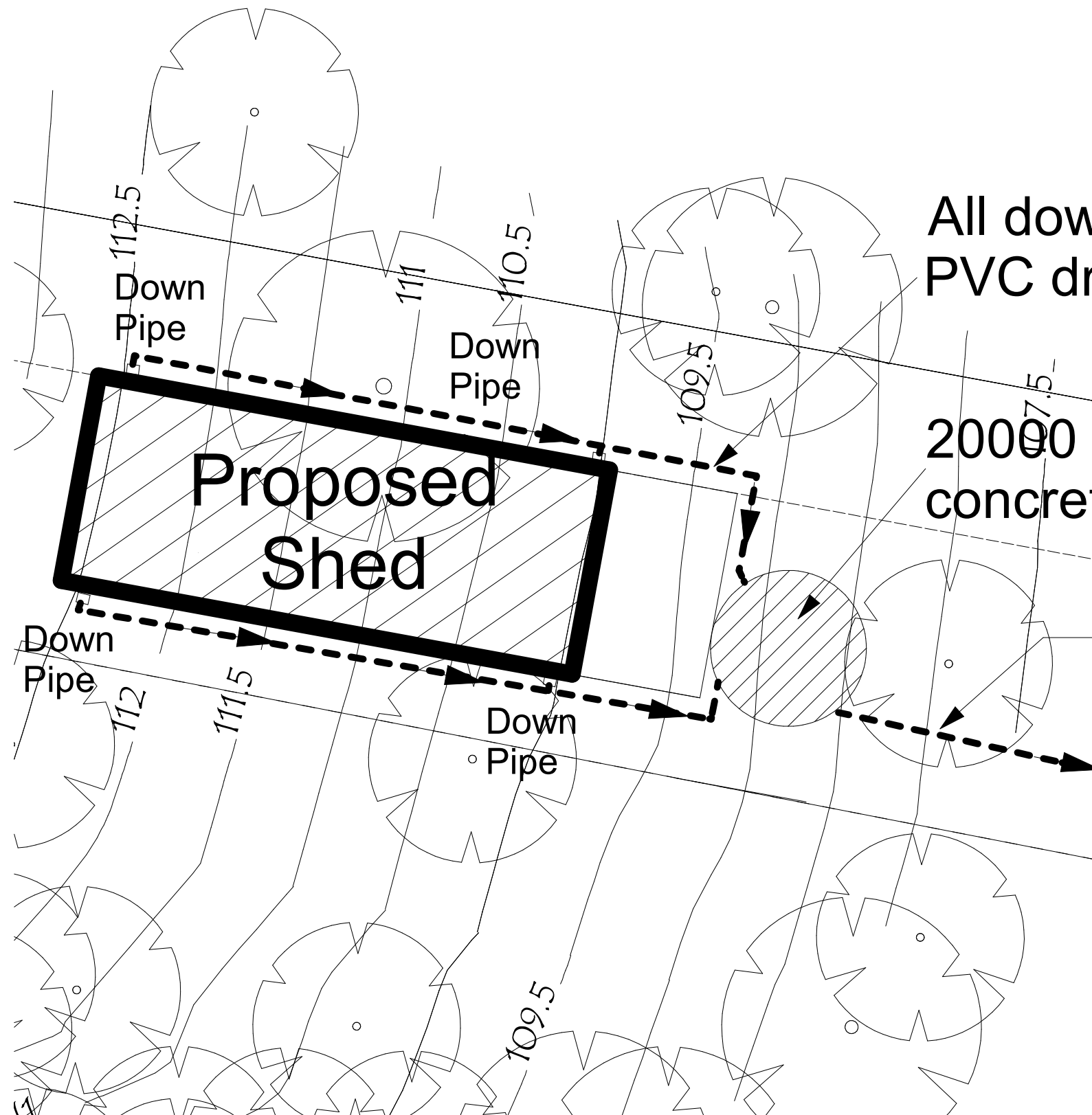


Sediment Control Fence
Not to Scale

Provide sediment control fencing on all down hill slopes - unless noted otherwise.



Site Plan	Scales:	Plan No.:	Date:
	1:1000 1:2000	20-22	18.12.20
		Sheet 1	
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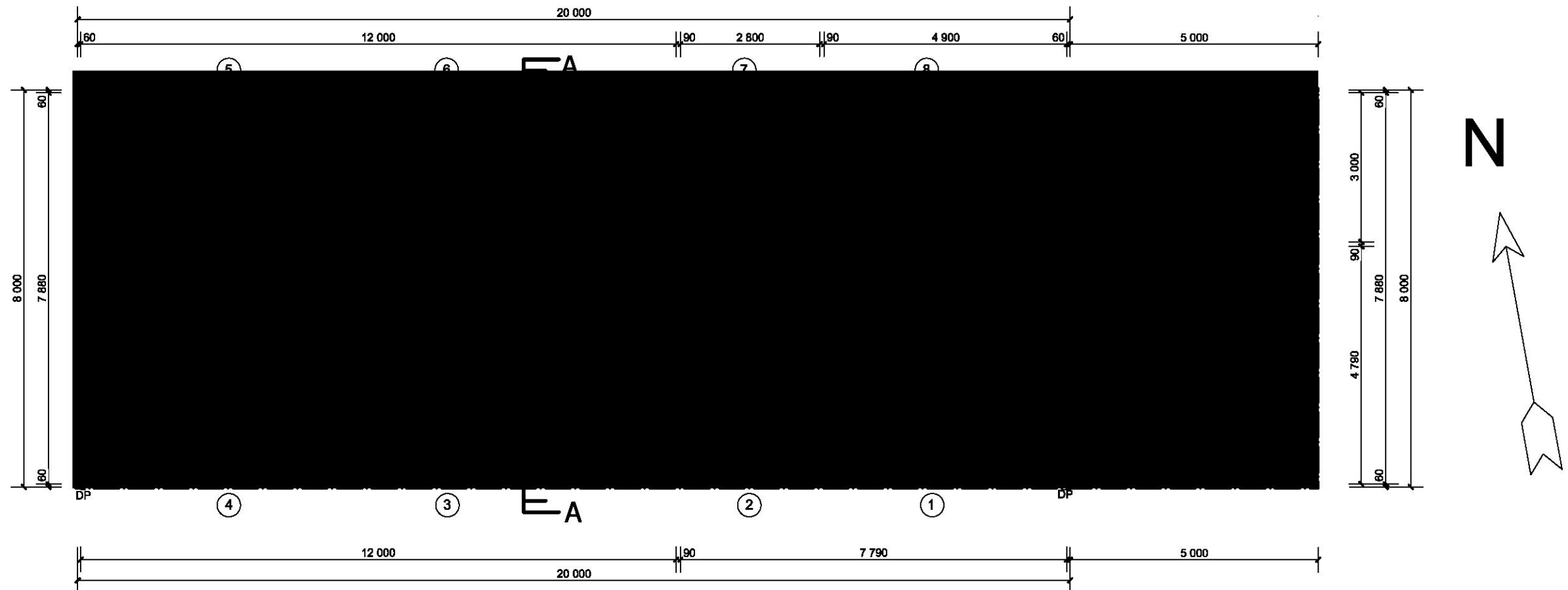
All down pipes connected to 100mm diam. PVC drainage pipes to rainwater tank.

20000 L inground concrete rainwater tank.

100mm diam. PVC overflow pipe to ground.



Drainage Concept Plan	Scales:	Plan No.:	Date:
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Window Schedule

Window	Type	Size
W1	Aluminium Sliding	1200h x 2100w
W2	Aluminium Sliding	1200h x 2100w
W3	Aluminium Sliding	1200h x 2100w
W4	Aluminium Sliding	1200h x 2100w
W5	Aluminium Sliding	1200h x 2100w
W6	Aluminium Sliding	1200h x 2100w
W7	Aluminium Sliding (Obscured)	900h x 1200w
W8	Aluminium Sliding	1200h x 2100w

PLEP 2010 & PDCP 2014 - Compliance Table

Lot Size - 7.766ha

Zoning - E2 - Environmental Conservation - E3 - Environmental Management	Allowed or required	Provided	Comply
Distance from dwelling on same allotment (min.)	10m	N/A	N/A
Distance from dwelling on adjacent allotment (min.)	20m	210m	Yes
Side setback (min.)	5m	6m	Yes
Cut & Fill (max.)	1m	0.5m	No
Footprint (max.)	400m²	200m²	Yes
Max. Height	8m	4.69m	Yes

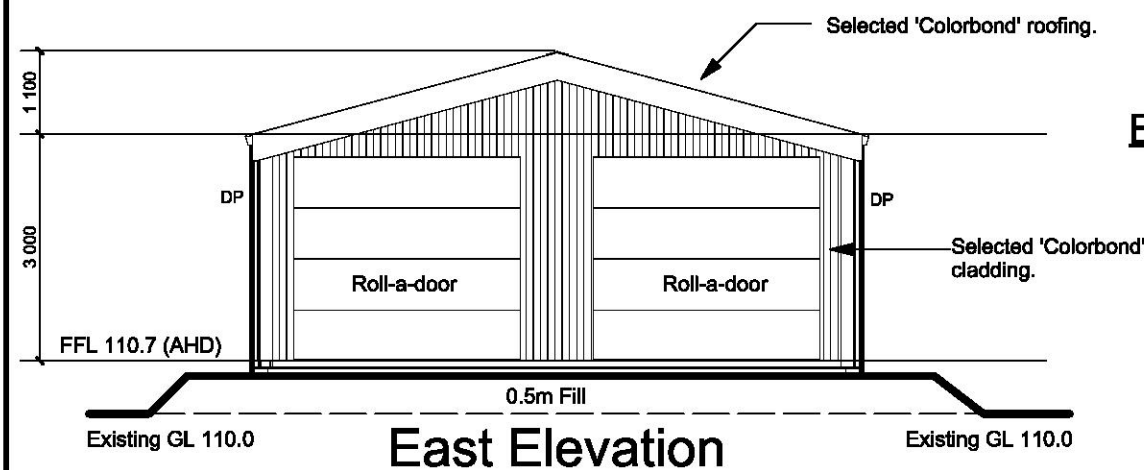
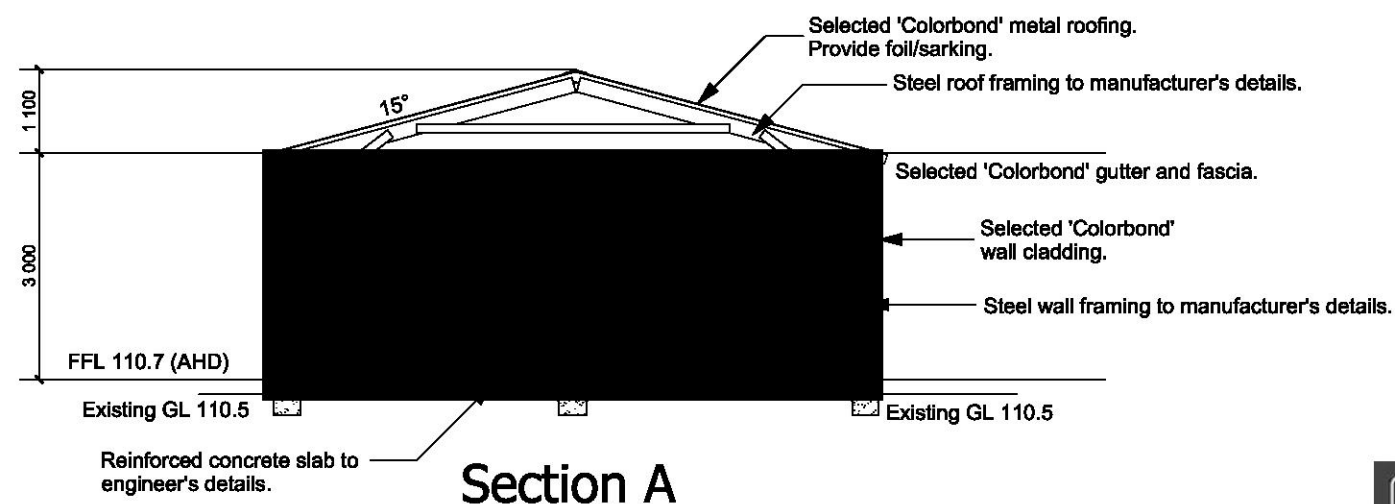
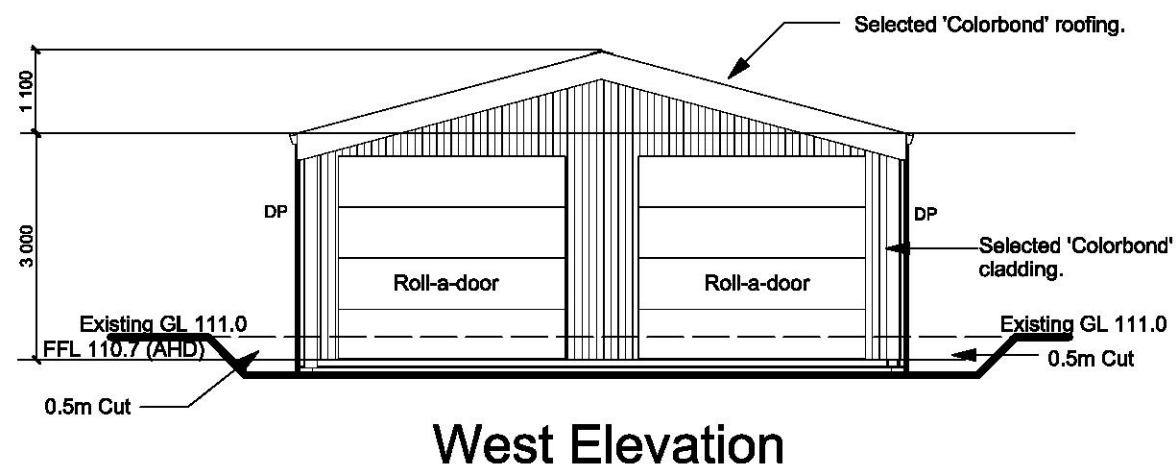
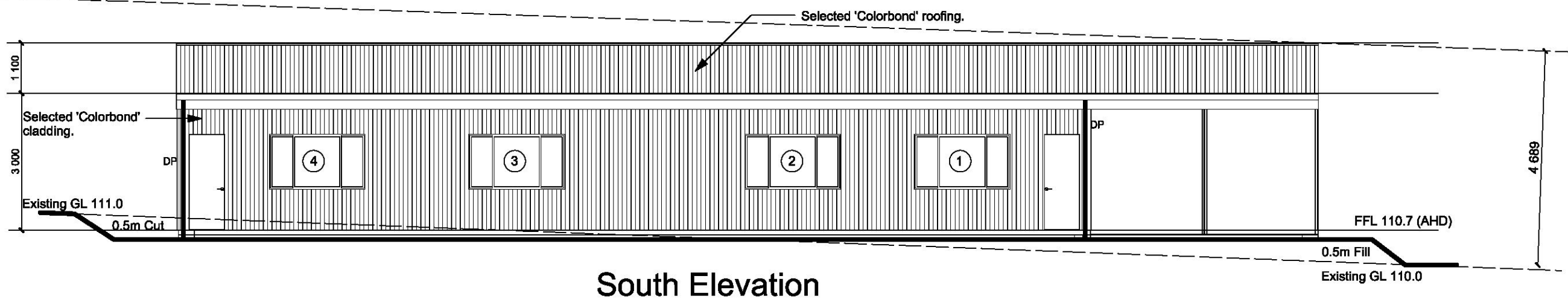
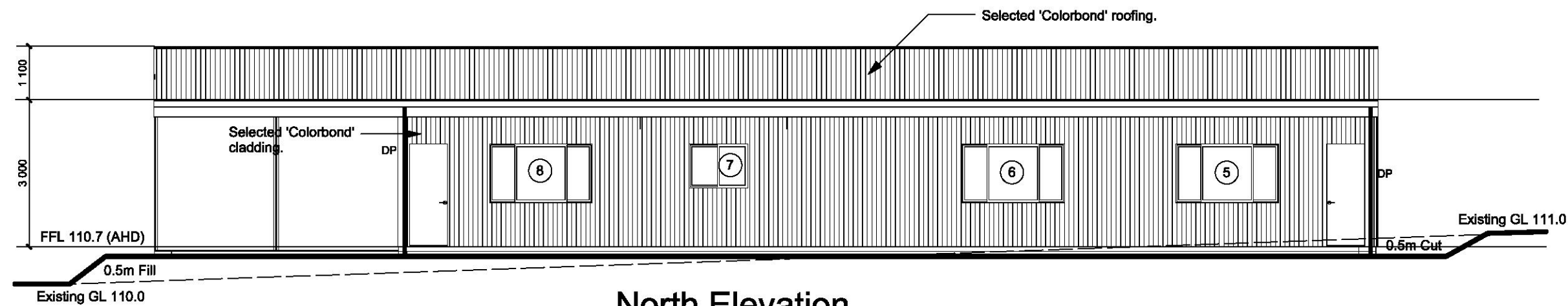
Legend

- Proposed roof line.
- Proposed ti steel framed wall.
- Proposed timber framed wall.
- FW O Install floor waste.



Floor Plan	Scales:	Plan No.:	Date:
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External Materials and Colours

Material	Colours
Colorbond metal walls	Woodland grey
Metal framed windows	Woodland grey
Colorbond metal roof	Woodland grey
Metal gutter & fascia	Woodland grey
Metal down pipe	Woodland grey

Elevations and Section

For:

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General Specification:

General

- Drawings prepared from information supplied by the owner and/or builder.
- Dimensions are in millimeters unless noted otherwise.
- All dimensions shall be verified on site.
- Actual Surveyed Levels to take precedence.
- Do not scale off drawings.
- It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- NCC refers to the National Construction Code – Volume 2, Building Code of Australia - Class 1 and Class 10 Buildings.

Statutory Requirements

- All work to be carried out in accordance with the NCC, conditions imposed by the local authority and the commitments outlined in the relevant Basix certificate.
- The builder is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works and the provisions of the Home Building Act.
- Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. Where the local authority requires the temporary toilet to be on completion the builder shall remove the convenience.


NCC Requirements

- All earthworks shall be in accordance with the engineer's details and Part 3.1.1 of NCC.
- All excavations and under floor fill shall be in accordance with the engineer's details and Part 3.1.1 of NCC
- All earth retaining structures shall be in accordance with the engineer's details and Part 3.1.2 of NCC
- Storm water drainage shall be carried out in accordance with Part 3.1.3 of NCC.
- Primary building elements are to be protected from subterranean termites in accordance with Par 3.1.4 of NCC
- All footings and slabs shall comply with Part 3.2 of NCC.
- Clay brickwork shall comply with Part 3.3 of NCC, & AS4773 or AS3700
- Masonry accessories shall be constructed and installed in accordance with AS4773 or AS3700. Appropriate ties shall be provided to articulated masonry joints.
- Lintels used to support brickwork over wall openings shall comply with AS4773 or AS3700 and be protected from corrosion.
- Weatherproofing of external masonry walls shall be carried out in accordance with AS4773 or AS3700.
- Engaged piers in single leaf masonry walls shall be constructed in accordance with AS4773 or AS3700.
- Provide adequate cross ventilation to space under suspended ground floors in accordance with Part 3.4.1 of NCC. Sub floor access to be provided as indicated on the plan.
- All timber framework shall comply with Part 3.4.3 of NCC or AS1684.
- Roof trusses shall be designed in accordance AS1720, and erected, fixed and braced in accordance with manufacturer's recommendations.
- Roof cladding, gutters and downpipes and wall cladding shall be in accordance with Part 3.5 of NCC.
- Sarking shall comply with AS/NZS4200.1&2.
- All glazing shall comply with Part 3.6 of NCC.
- Fire properties for materials and construction, must comply with part 3.7.1 of NCC.
- Fire separation, where required, must comply with part 3.7.2 of NCC.
- Fire protection of separating walls and floors, must comply with part 3.7.3 of NCC.
- Fire separation of garage top dwellings, must comply with part 3.7.4 of NCC.
- Provide and install hard wired interconnected smoke alarms in accordance with AS3786 and part 3.7.5 of NCC.
- Internal wet areas and balconies over habitable rooms to be waterproofed in accordance with Part 3.8.1 of NCC. Wet area wall lining is to be fixed in accordance with manufacturer's recommendations.
- All timber doors and door sets shall be manufactured and installed in accordance with AS2047.
- All plumbing shall comply with the requirements of the relevant supply authority and AS3000, and be carried out by a licensed plumber.
- All electrical work shall comply with the requirements of the relevant supply authority and AS3000, and be carried out by a licensed electrician.
- All gas installations shall comply with the requirements of the relevant supply authority and be carried out by a licensed gas fitter.
- Installation of wall and floor tiles shall be in accordance with AS3958.1.
- Mechanical ventilation is to be installed in accordance with part 3.8.5 of NCC.
- Building fabric must comply with Part 3.12.1 of NCC.
- Insulation, where required, must comply with AS/NZS4859.1.
- Building is to be sealed to the requirements of Part 3.12.3 of NCC, including chimneys, flues, roof lights, external windows and doors, exhaust fans, roof, walls and floors.
- Services are to be installed to the requirements of NSW Part 3.12.5 of NCC, including hot water supply, insulation of services, central heating water piping and heating and cooling ductwork.

General Notes:

- All work to be carried out according to relevant Australian standards / codes and good building practice
- Builder to verify all measurements and materials before the commencement of any work
- Builder to verify and maintain any internal load bearing walls where applicable
- Builder to verify and match existing roof pitch where applicable
- All fixings, fasteners and connections shall comply with manufacturers/ engineers specifications
- All steel columns, support beams and / or structure shall comply with engineers specifications
- All framing and bracings shall comply with AS 1684-2010 or relevant Australian standards.
- All r.c. concrete slabs and footings to be to engineers specifications
- All masonry tie down and bonding beams to be to engineers specifications
- All masonry construction shall comply with current NCC
- All wet areas and waterproofing shall comply with current NCC
- Sub-floor ventilation as per current NCC
- Wind rating to be nominated by engineer / council u.n.o.
- Bushfire zoning and specifications to be nominated by council / RFS u.n.o.
- Mining Subsidence zoning and specifications to be nominated by council u.n.o.
- Waste / stormwater catchment and sewage disposal to be connected to existing systems or local council requirements
- Smoke Detection units shall be installed as per current NCC
- Termite protection to local council requirements
- Refer to additional building specifications for further details where applicable
- Refer to Basix spec for additional requirements where applicable
- RL levels nominal design only. Actual Surveyed levels to take precedence
- Suggested layout only
- Do not scale



General Specification and Notes	Scales:	Plan No.:	Date:
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