

# MULLANE PLANNING CONSULTANTS

PTY LIMITED ACN 089 318 561

*Innovation in Urban Planning & Development*

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## **ADDENDUM (PART TWO) TO SECTION 96**

APPLICATION TO VARY CONDITIONS

OF CONSENT (DA 14/0765 – STAGE 2)

GLENMORE PARK TOWN CENTRE

LOT 2 DP 865459 (N<sup>os</sup> 1-11)

TOWN TERRACE, GLENMORE PARK

## **1.0 INTRODUCTION**

This Addendum (Part 2) has been prepared in response to several, minor amendments to the final plans for Stage 2 of the Town Centre.

These amendments are as follows:

- 1) The re-allocation of floorspace so as to provide a Centre Management Office, an increased footplate for the adjoining Gym and the re-location of the Storage Space for the Kiosks (refer Undercroft 1 Plan at Appendix 1). Reference also needs to be made to the approved plan at Appendix 2 which provided for the original Gym.
- 2) The inclusion of a Car Wash facility and a Storage Facility in Undercroft 2 (refer Undercroft 2 Plan at Appendix 2). This plan also reduces the footplate of the Speciality Shops facing Luttrell Street.

The alterations referred to above represent changes to previous approved plans and the table at Appendix 4 explains those changes from the original approval (31.05.2017) to the current Sec 96 application.

The important aspect to this table is the fact that, after adjustments to floorspace, car parking provision per 100sq m is virtually the same (4.5/100sq m – 4.34/100sq m).

## **2.0 DETAILS**

The alterations outlined on the plan at Appendix 1 consist of an increase in the footplate of the Gym and the inclusion of a Centre Management Office. This plan needs to be read in conjunction with the plan at Appendix 2 which had provided for a Gym of lesser size.

The Gym is proposed to operate on a 24/7 basis where clients are provided with swipe card access.

In order to reduce noise disturbance from motor vehicles entering and leaving the Gym between 11.00pm and 5.00am, a boom gate will be placed at the entry/exist from Glenmore Parkway preventing vehicles from using that access. Vehicles visiting the Gym between the hours 11.00pm – 5.00am will be required to use the Luttrell Street entry/exist.

The Gym operator anticipates that 24 hour usage will result in no more than 300 people visiting the Gym during that time.

Daily Usage patterns will be as follows:

5.00am – 9.00am (60 persons)

9.00am – 12.00am (60 persons)

12.00 midday – 3.00pm (60 persons)



3.00pm – 7.00pm (105 persons)  
7.00pm – 11.00pm (36 persons)  
11.00pm – 5.00am (21 persons)

The storage areas for the Kiosks which previously were to occupy space now required for the expanded Gym. Will now be relocated immediately adjacent to the Gym (refer plan at Appendix I).

The proposed Car Wash will displace two car spaces with an Office and Waiting Area. It is considered that the Car Wash will be an enhancement for Stage 2 and will not disrupt the operation of the Centre. Details of the Car Wash are contained at Appendix 5.

The proposed Storage Area indicated on the plan at Appendix 3 (60m<sup>2</sup>) is required for a proposed Fruit and Vegetable Shop as outlined on the plan at Appendix 6.

### **3.0 CONCLUSION**

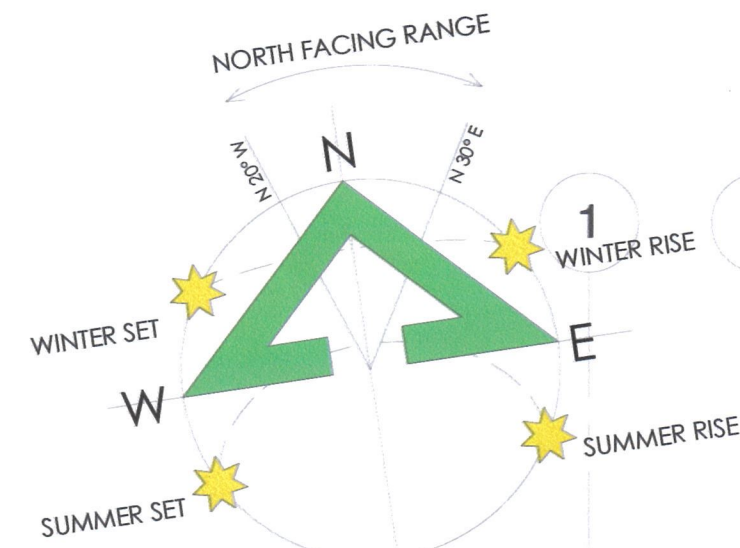
The proposed alterations are considered to be of substantial benefit to the performance of both Stages 1 & 2 of the Glenmore Park Town Centre and thereby, benefiting the Community which relies upon the Town Centre for a wide range of services.

I commend the above changes to Council.

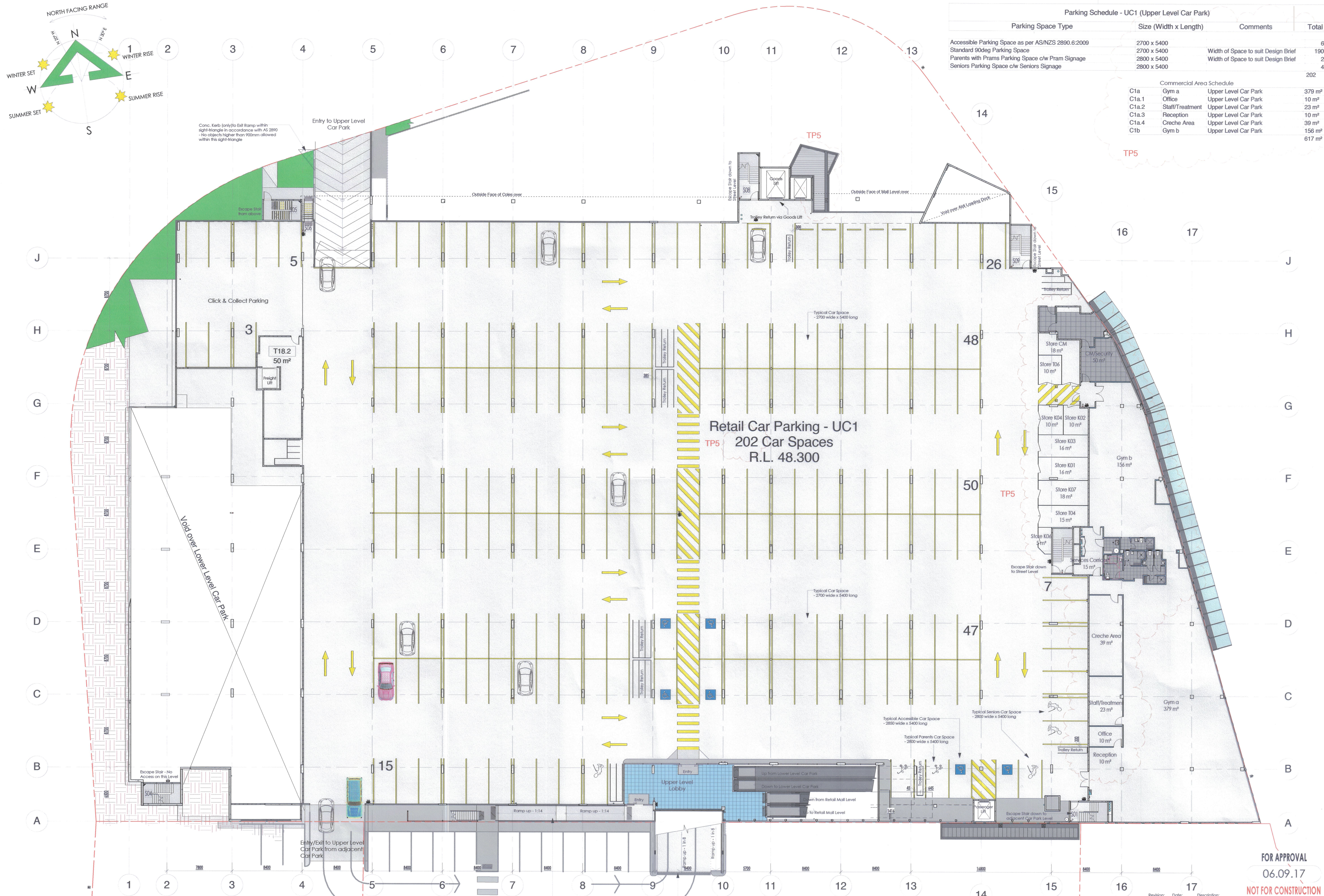
John Mullane

## **APPENDIX I)**





Parking Schedule - UC1 (Upper Level Car Park)			
Parking Space Type	Size (Width x Length)	Comments	Total
Accessible Parking Space as per AS/NZS 2890.6:2009	2700 x 5400		6
Standard 90deg Parking Space	2700 x 5400	Width of Space to suit Design Brief	190
Parents with Prams Parking Space c/w Pram Signage	2800 x 5400	Width of Space to suit Design Brief	2
Seniors Parking Space c/w Seniors Signage	2800 x 5400		4
			202
Commercial Area Schedule			
C1a	Gym a	Upper Level Car Park	379 m²
C1a.1	Office	Upper Level Car Park	10 m²
C1a.2	Staff/Treatment	Upper Level Car Park	23 m²
C1a.3	Reception	Upper Level Car Park	10 m²
C1a.4	Creche Area	Upper Level Car Park	39 m²
C1b	Gym b	Upper Level Car Park	156 m²
			617 m²



1 Undercroft Car Parking Level UC1 (Upper Level Car Park)  
1 : 200

BENIER FRANCIS Pty Ltd  
17 Prince Patrick Street, Richmond, VIC, 3121  
Ph: 0407 829 719

Village Fair Glenmore Pty. Ltd.  
Proposed Glenmore Park Shopping Centre,  
Penrith, NSW

FOR APPROVAL  
06.09.17  
NOT FOR CONSTRUCTION

Revision: 21.03.16  
TP3: 28.06.16  
TP4: 03.08.16  
TP5: 28.08.17

Date: 22/01/14  
OCT 2015  
PB

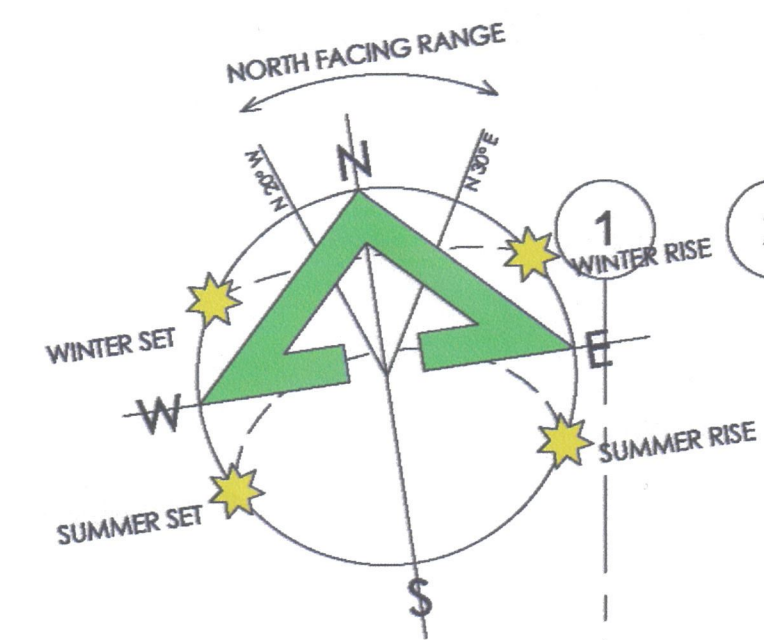
Checked by: JB Scale: 1 : 200

Undercroft Car Parking Level UC1 Floor Plan  
DA201  
TP5



## **APPENDIX 2)**



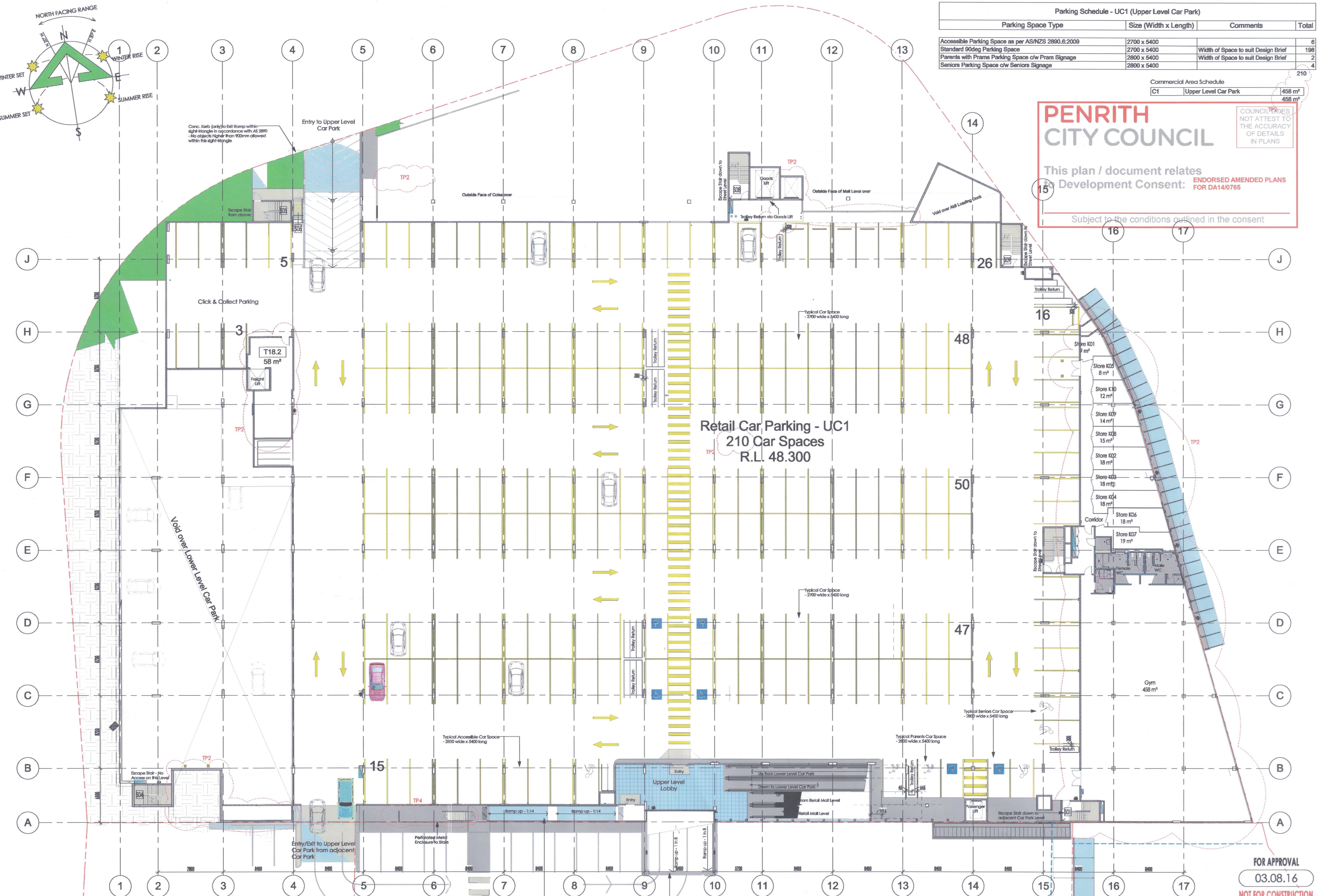


Parking Schedule - UC1 (Upper Level Car Park)			
Parking Space Type	Size (Width x Length)	Comments	Total
Accessible Parking Space as per AS/NZS 2890.6:2009	2700 x 5400		6
Standard 90deg Parking Space	2700 x 5400	Width of Space to suit Design Brief	198
Parents with Prams Parking Space c/w Pram Signage	2800 x 5400	Width of Space to suit Design Brief	2
Seniors Parking Space c/w Seniors Signage	2800 x 5400		4
			210

Commercial Area Schedule		
C1	Upper Level Car Park	458 m <sup>2</sup>
		458 m <sup>2</sup>

**PENRITH CITY COUNCIL**  
**This plan / document relates**  
**Development Consent:** **ENDORSED AMENDED PLANS**  
**FOR DA14/0765**  
**Subject to the conditions outlined in the consent**

COUNCIL DOES NOT ATTEST TO THE ACCURACY OF DETAILS IN PLANS



1 Undercroft Car Parking Level UC1 (Upper Level Car Park)  
1 : 200

**BENIER FRANCIS Pty Ltd**  
17 Prince Patrick Street, Richmond, VIC, 3121  
Ph: 0407 829 719

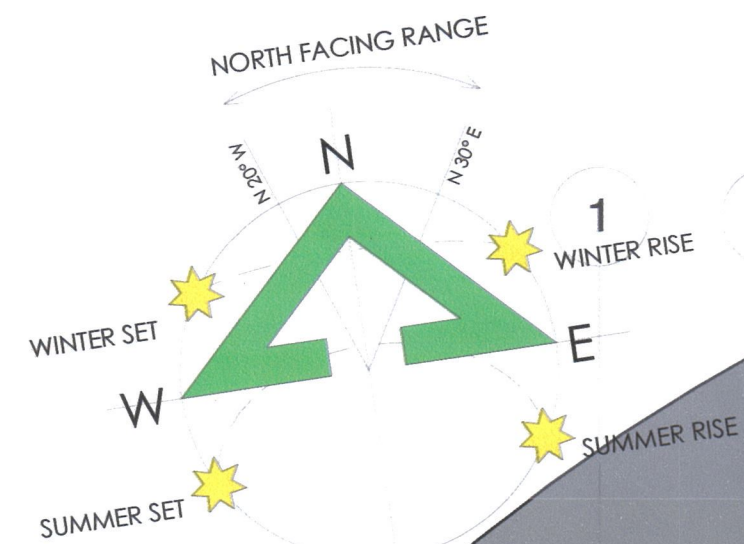
Village Fair Glenmore Pty. Ltd.  
Proposed Glenmore Park Shopping Centre,  
Penrith, NSW

Revision:	Date:	Description:
TP2	21.03.14	March 2014 Amendments Issue
TP3	28.06.14	June 2014 Amendments Issue
TP4	03.08.14	August 2014 Amendments Issue
<b>FOR APPROVAL</b> <b>03.08.16</b> <b>NOT FOR CONSTRUCTION</b>		
Undercroft Car Parking Level UC1 Floor Plan		
Project number	220/14	
Date	OCT 2015	
Drawn by	PB	
Checked by	JB	
Scale		1 : 200

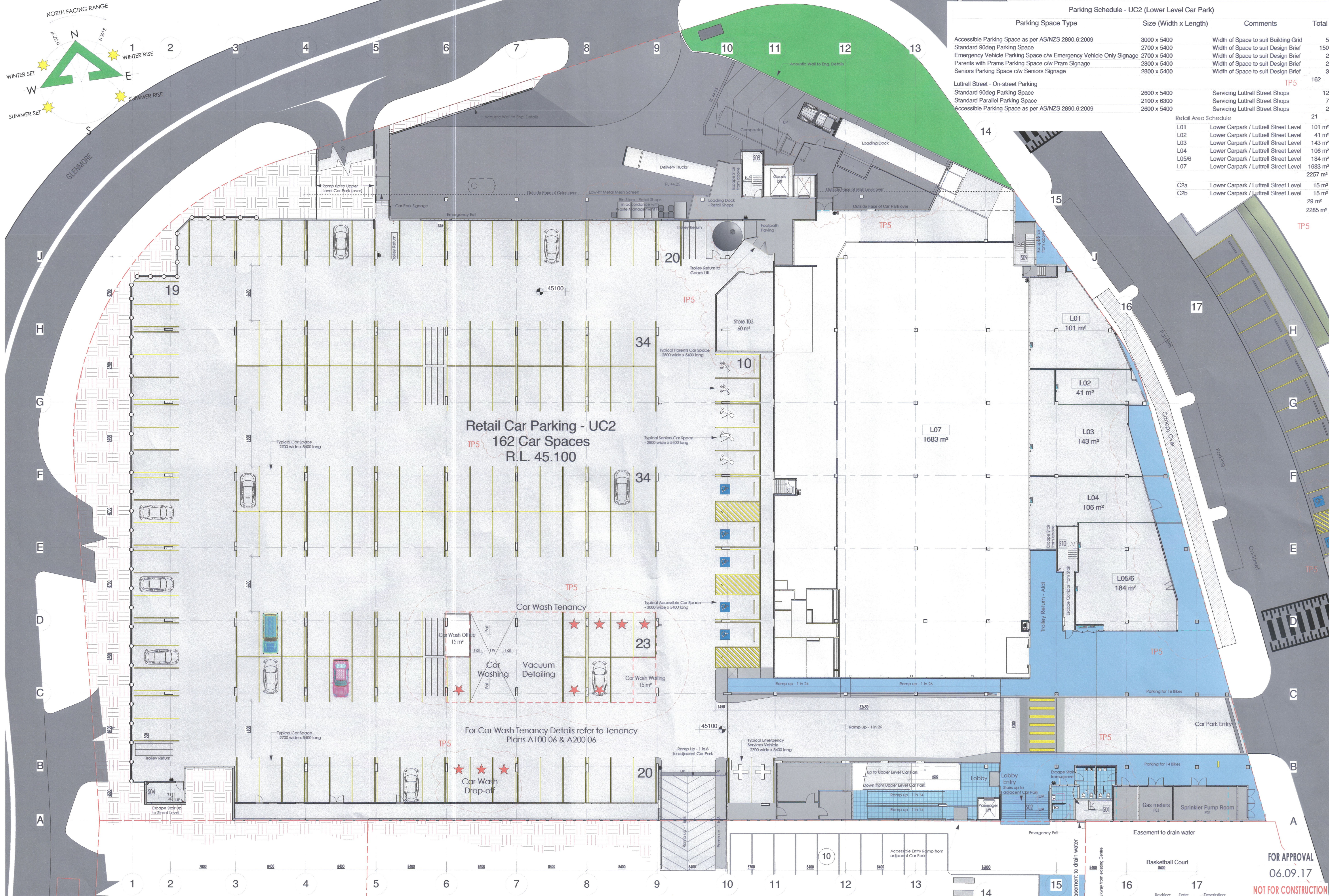


## **APPENDIX 3)**





Parking Schedule - UC2 (Lower Level Car Park)			
Parking Space Type	Size (Width x Length)	Comments	Total
Accessible Parking Space as per AS/NZS 2890.6:2009	3000 x 5400	Width of Space to suit Building Grid	5
Standard 90deg Parking Space	2700 x 5400	Width of Space to suit Design Brief	150
Emergency Vehicle Parking Space c/w Emergency Vehicle Only Signage	2700 x 5400	Width of Space to suit Design Brief	2
Parents with Prams Parking Space c/w Pram Signage	2800 x 5400	Width of Space to suit Design Brief	2
Seniors Parking Space c/w Seniors Signage	2800 x 5400	Width of Space to suit Design Brief	3
			TP5 162
Luttrell Street - On-street Parking			
Standard 90deg Parking Space	2600 x 5400	Servicing Luttrell Street Shops	12
Standard Parallel Parking Space	2100 x 6300	Servicing Luttrell Street Shops	7
Accessible Parking Space as per AS/NZS 2890.6:2009	2600 x 5400	Servicing Luttrell Street Shops	2
Retail Area Schedule			21
L01	Lower Carpark / Luttrell Street Level	101 m²	
L02	Lower Carpark / Luttrell Street Level	41 m²	
L03	Lower Carpark / Luttrell Street Level	143 m²	
L04	Lower Carpark / Luttrell Street Level	106 m²	
L05/6	Lower Carpark / Luttrell Street Level	184 m²	
L07	Lower Carpark / Luttrell Street Level	1683 m²	
			2257 m²
C2a	Lower Carpark / Luttrell Street Level	15 m²	
C2b	Lower Carpark / Luttrell Street Level	29 m²	
			2285 m²



1 Undercroft Carparking Level UC2 (Lower Level Car Park)  
1:200

BENIER FRANCIS Pty Ltd  
17 Prince Patrick Street, Richmond, VIC, 3121

Ph: 0407 829 719

Village Fair Glenmore Pty. Ltd.  
Proposed Glenmore Park Shopping Centre,  
Penrith, NSW

Undercroft Car Parking Level UC2 Floor Plan			
Revision:	Date:	Description:	22014
TP2	21.03.16	March 2016 Amendments Issue	
TP3	28.06.16	June 2016 Amendments Issue	
TP4	03.08.16	August 2016 Amendments Issue	
TP5	28.08.17	August 2017 Amendments Issue	
Project number	22014		
Date	OCT 2015		
Drawn by	PB		
Checked by	JB		

FOR APPROVAL  
06.09.17  
NOT FOR CONSTRUCTION

TP5

1:200



## **APPENDIX 4)**



TP4 = ENDORSED DA (DEVELOPMENT APPROVAL) = 31<sup>ST</sup> MAY 2017  
 TP5 = NEW SUBMISSION = 4<sup>TH</sup> SEPTEMBER 2017

COMPARISON:

UC2:

	TP4 (SQM)	TP5 (SQM)	(+/-)
CAR SPACES	199	192	-7
RETAIL AREA.	2216	2285	+69 SQM

UC1:

	TP4	TP5	(+/-)
CAR SPACES	210	202	-8
COMMERCIAL	458	584	+126 SQM

MAU:

	TP4	TP5	(+/-)
RETAIL SHOPS	5981	5980	
KIOSKS	270	246	-24 SQM

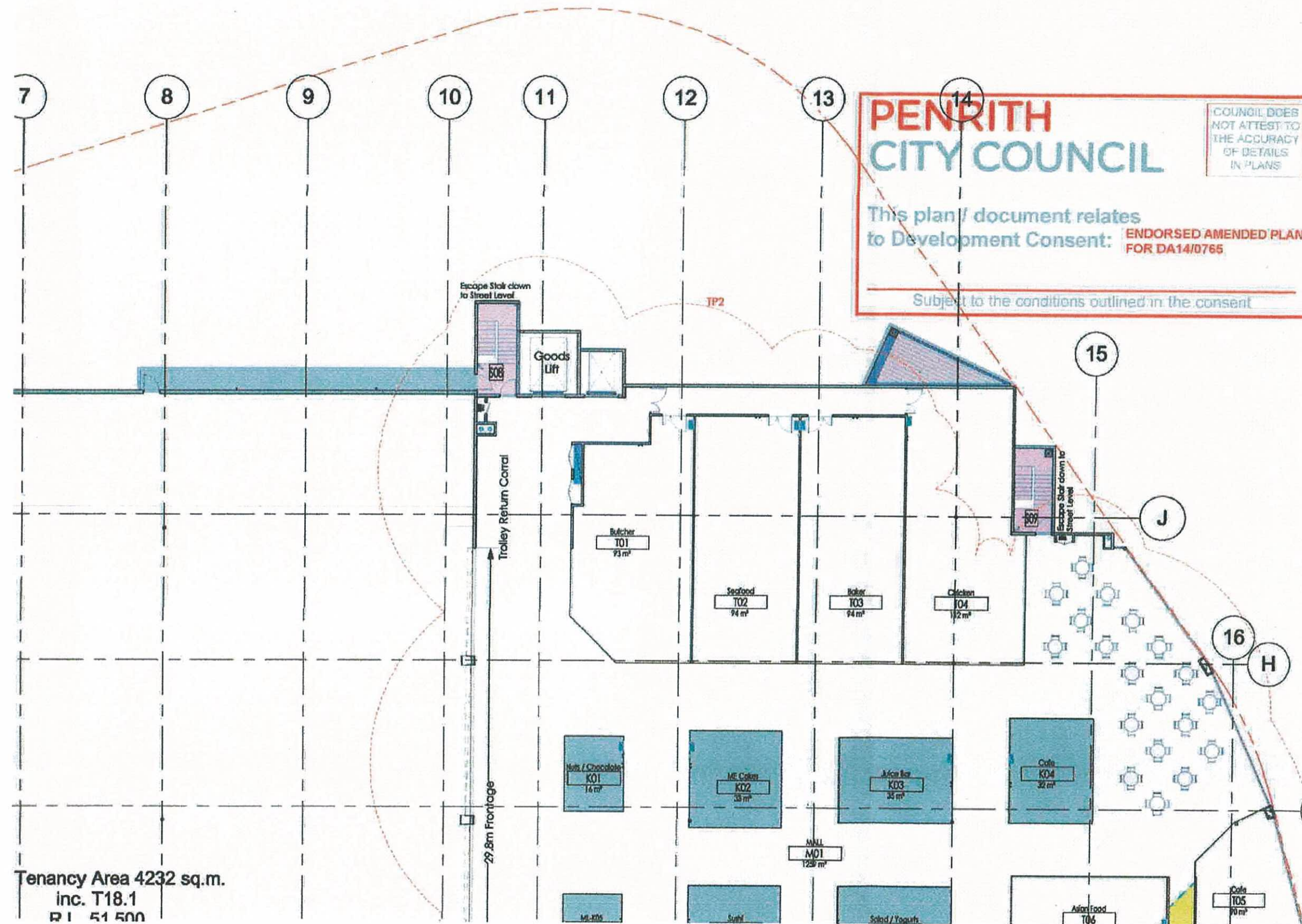
DA1 (ORIG DA)

TOTAL RETAIL	9070
TOTAL CAR SPACES	413
CAR SPACES/100 SQM	4.5/100 SQM

DA5 (FINAL DA)

TOTAL RETAIL	9102
TOTAL CAR SPACES	395
CAR SPACES/100 SQM	4.34/100 SQM

3/05/2017 TP4



Retail Areas Schedule - Mall Level

Shop No.	Level / Location	Area
T01	Mall Level	93 m²
T02	Mall Level	94 m²
T03	Mall Level	94 m²
T04	Mall Level	112 m²
T05	Mall Level	80 m²
T06	Mall Level	49 m²
T07	Mall Level	49 m²
T08	Mall Level	39 m²
T09	Mall Level	88 m²
T10	Mall Level	188 m²
T11	Mall Level	329 m²
T12	Mall Level	194 m²
T13	Mall Level	80 m²
T14	Mall Level	80 m²
T15	Mall Level	80 m²
T16	Mall Level	45 m²
T17	Mall Level	30 m²
T18	Mall Level	4032 m²
T18.1	Mall Level	200 m²
T18.2	Upper Level Car Park	58 m²
T18.3	Upper Level Car Park	5981 m²

K01	Mall Level	16 m²
K02	Mall Level	33 m²
K03	Mall Level	35 m²
K04	Mall Level	32 m²
K05	Mall Level	16 m²
K06	Mall Level	33 m²
K07	Mall Level	36 m²
K08	Mall Level	17 m²
K09	Mall Level	30 m²
K10	Mall Level	21 m²
K11	Mall Level	270 m²

L01	Lower Carpark / Luttrell Street Level	101 m²
L02	Lower Carpark / Luttrell Street Level	86 m²
L03	Lower Carpark / Luttrell Street Level	97 m²
L04	Lower Carpark / Luttrell Street Level	105 m²
L05	Lower Carpark / Luttrell Street Level	76 m²
L06	Lower Carpark / Luttrell Street Level	104 m²
L07	Lower Carpark / Luttrell Street Level	1646 m²
L08	Lower Carpark / Luttrell Street Level	2218 m²

C1	Upper Level Car Park	458 m²
C2	Upper Level Car Park	458 m²

Total Retail Areas 8925 m²  
Total Car Spaces 409  
Car Spaces / 100m² 4.5

Previous DA1 Issue  
Total Retail Areas 9070 m²  
Total Car Spaces 413  
Car Spaces / 100m² 4.5

Tenancy Area 4232 sq.m.  
inc. T18.1  
RI 51 500



4th SEPT 2017

TP 5

# Areas Schedule

Shop No.	Level / Location	Area
T01	Mall Level	93 m <sup>2</sup>
T02	Mall Level	80 m <sup>2</sup>
T03	Mall Level	143 m <sup>2</sup>
T04	Mall Level	112 m <sup>2</sup>
T05	Mall Level	90 m <sup>2</sup>
T06	Mall Level	48 m <sup>2</sup>
T07	Mall Level	37 m <sup>2</sup>
T08	Mall Level	39 m <sup>2</sup>
T09	Mall Level	49 m <sup>2</sup>
T10	Mall Level	185 m <sup>2</sup>
T11	Mall Level	328 m <sup>2</sup>
T12	Mall Level	193 m <sup>2</sup>
T12b	Mall Level	80 m <sup>2</sup>
T14	Mall Level	80 m <sup>2</sup>
T15	Mall Level	80 m <sup>2</sup>
T16	Mall Level	44 m <sup>2</sup>
T17	Mall Level	30 m <sup>2</sup>
T18	Mall Level	4039 m <sup>2</sup>
T18.1	Mall Level	200 m <sup>2</sup>
T18.2	Upper Level Car Park	50 m <sup>2</sup>
		5980 m <sup>2</sup>

K02	Mall Level	34 m <sup>2</sup>
K03	Mall Level	60 m <sup>2</sup>
K04	Mall Level	32 m <sup>2</sup>
K06	Mall Level	33 m <sup>2</sup>
K07	Mall Level	37 m <sup>2</sup>
K08	Mall Level	17 m <sup>2</sup>
K09	Mall Level	12 m <sup>2</sup>
K10	Mall Level	21 m <sup>2</sup>
		246 m <sup>2</sup>

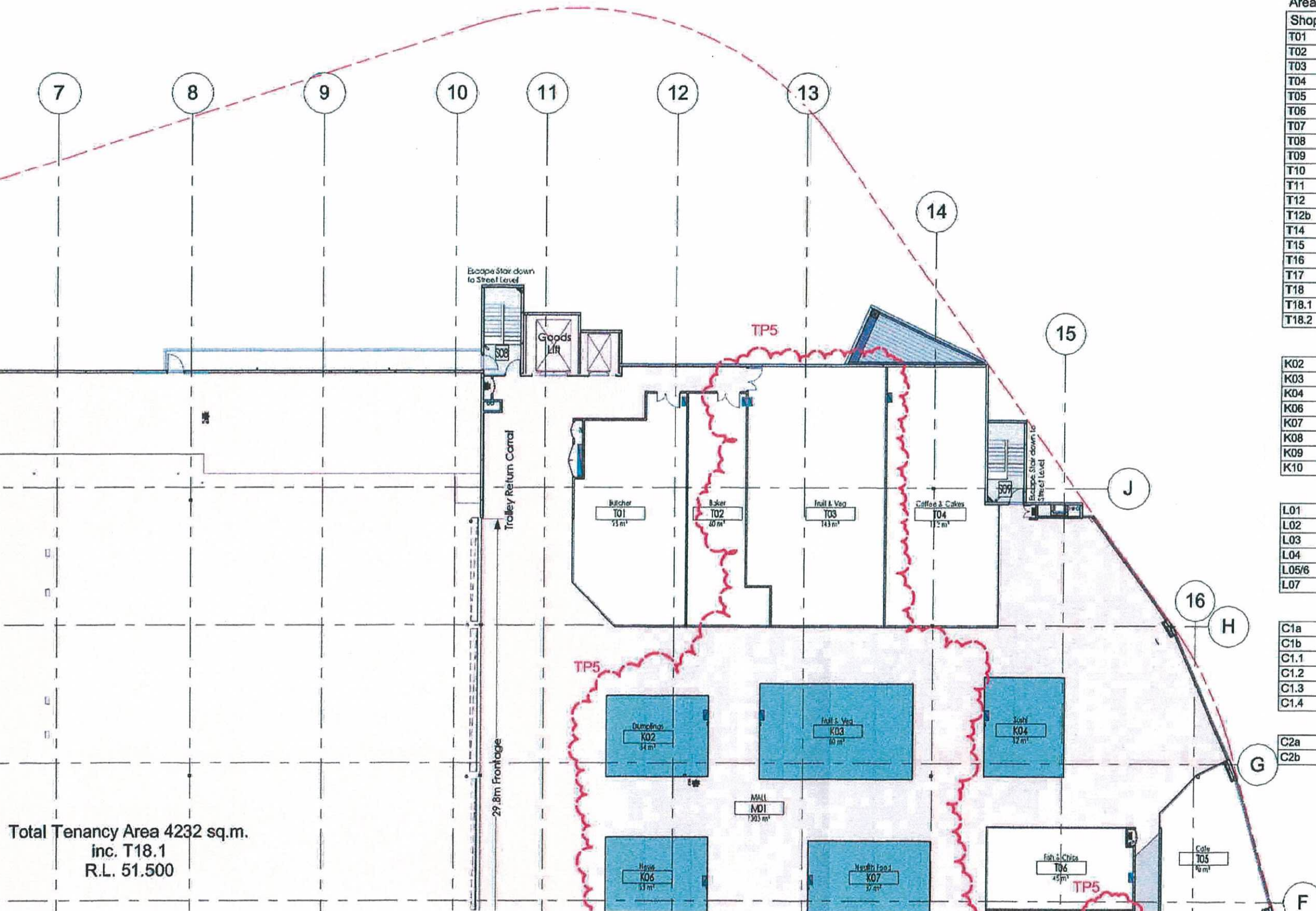
L01	Lower Carpark / Luttrell Street Level	101 m <sup>2</sup>
L02	Lower Carpark / Luttrell Street Level	41 m <sup>2</sup>
L03	Lower Carpark / Luttrell Street Level	143 m <sup>2</sup>
L04	Lower Carpark / Luttrell Street Level	106 m <sup>2</sup>
L05/6	Lower Carpark / Luttrell Street Level	182 m <sup>2</sup>
L07	Lower Carpark / Luttrell Street Level	1884 m <sup>2</sup>
		2256 m <sup>2</sup>

C1a	Upper Level Car Park	398 m <sup>2</sup>
C1b	Upper Level Car Park	122 m <sup>2</sup>
C1.1	Upper Level Car Park	10 m <sup>2</sup>
C1.2	Upper Level Car Park	29 m <sup>2</sup>
C1.3	Upper Level Car Park	10 m <sup>2</sup>
C1.4	Upper Level Car Park	16 m <sup>2</sup>
		584 m <sup>2</sup>

C2a	Lower Carpark / Luttrell Street Level	15 m <sup>2</sup>
C2b	Lower Carpark / Luttrell Street Level	15 m <sup>2</sup>
		29 m <sup>2</sup>

Total Retail Areas 9102 m<sup>2</sup>  
Total Car Spaces 395  
Car Spaces / 100m<sup>2</sup> 4.34

Previous TP4 Issue 8925 m<sup>2</sup>  
Total Retail Areas 409  
Total Car Spaces 409  
Car Spaces / 100m<sup>2</sup> 4.5



Total Tenancy Area 4232 sq.m.  
inc. T18.1  
R.L. 51.500



31/05/2017 TP4

Parking Schedule - UC1 (Upper Level Car Park)			
Parking Space Type	Size (Width x Length)	Comments	Total
Accessible Parking Space as per AS/NZS 2890.6:2009	2700 x 5400		6
Standard 90deg Parking Space	2700 x 5400	Width of Space to suit Design Brief	198
Parents with Prams Parking Space c/w Pram Signage	2800 x 5400	Width of Space to suit Design Brief	2
Seniors Parking Space c/w Seniors Signage	2800 x 5400		4
			210

Commercial Area Schedule

C1	Upper Level Car Park	458 m <sup>2</sup>
		458 m <sup>2</sup>

**PENRITH**  
CITY COUNCIL

COUNCIL DOES  
NOT ATTEST TO  
THE ACCURACY  
OF DETAILS  
IN PLANS

This plan / document relates  
to Development Consent:

**ENDORSED AMENDED PLANS  
FOR DA14/0765**

Subject to the conditions outlined in the consent

Void over Aldi Loading Dock

Stair down to  
Level

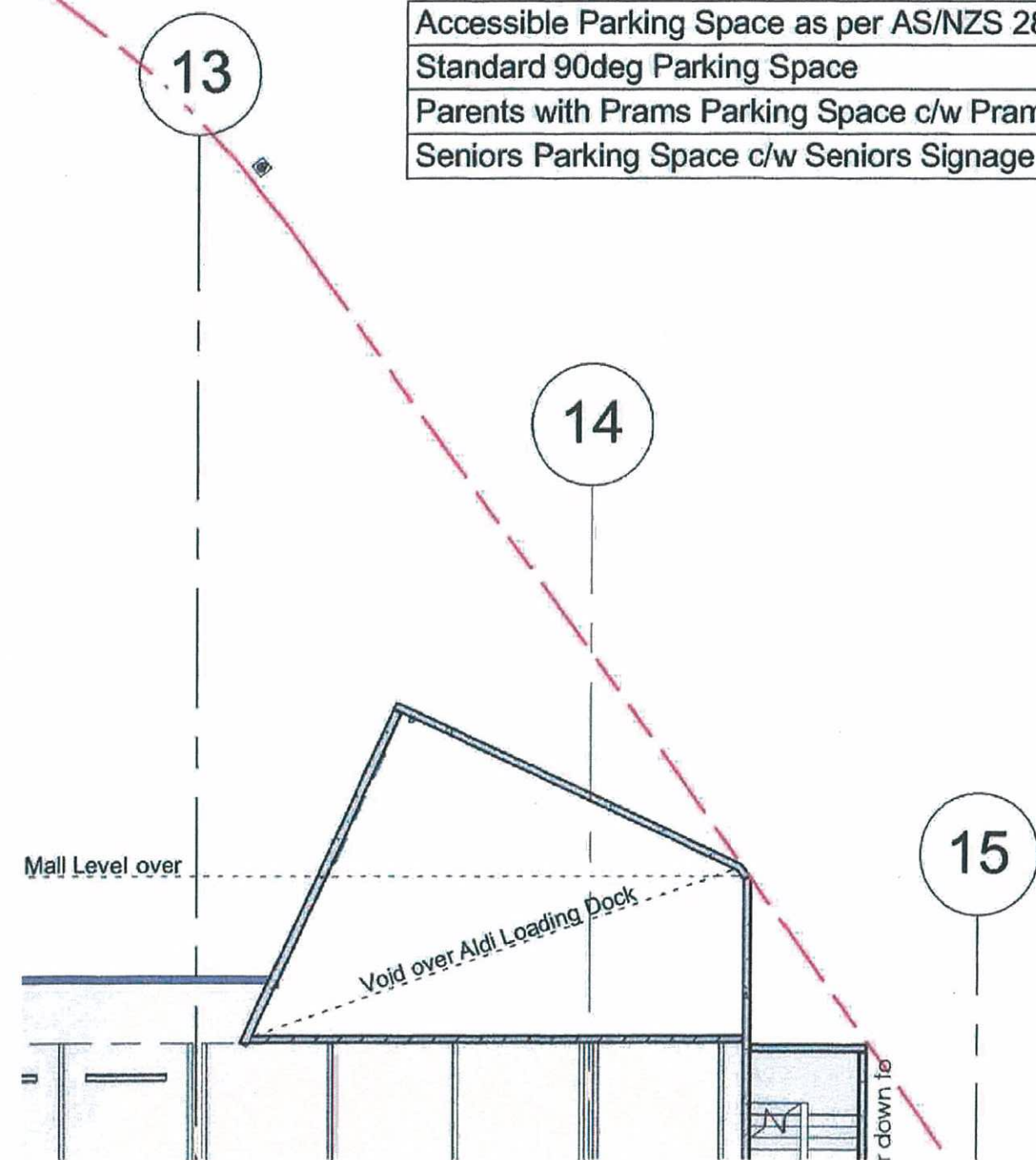


4<sup>th</sup> SEPT 2017 TP 5

Parking Schedule - UC1 (Upper Level Car Park)			
Parking Space Type	Size (Width x Length)	Comments	Total
Accessible Parking Space as per AS/NZS 2890.6:2009	2700 x 5400		6
Standard 90deg Parking Space	2700 x 5400	Width of Space to suit Design Brief	190
Parents with Prams Parking Space c/w Pram Signage	2800 x 5400	Width of Space to suit Design Brief	2
Seniors Parking Space c/w Seniors Signage	2800 x 5400		4
			202

Commercial Area Schedule			
C1a	Gym a	Upper Level Car Park	398 m <sup>2</sup>
C1b	Gym b	Upper Level Car Park	122 m <sup>2</sup>
C1.1	Office	Upper Level Car Park	10 m <sup>2</sup>
C1.2	Office	Upper Level Car Park	29 m <sup>2</sup>
C1.3	Reception	Upper Level Car Park	10 m <sup>2</sup>
C1.4	Staff	Upper Level Car Park	16 m <sup>2</sup>
			584 m <sup>2</sup>

TP5





31/05/2017 TP4

### Parking Schedule - UC2 (Lower Level Car Park)

Parking Space Type	Size (Width x Length)	Comments	Total
Accessible Parking Space as per AS/NZS 2890.6:2009	3000 x 5400	Width of Space to suit Building Grid	5
Standard 90deg Parking Space	2700 x 5400	Width of Space to suit Design Brief	164
Emergency Vehicle Parking Space c/w Emergency Vehicle Only Signage	2700 x 5400	Width of Space to suit Design Brief	2
Parents with Prams Parking Space c/w Pram Signage	2800 x 5400	Width of Space to suit Design Brief	3
Seniors Parking Space c/w Seniors Signage	2800 x 5400	Width of Space to suit Design Brief	3

177

### Luttrell Street - On-street Parking

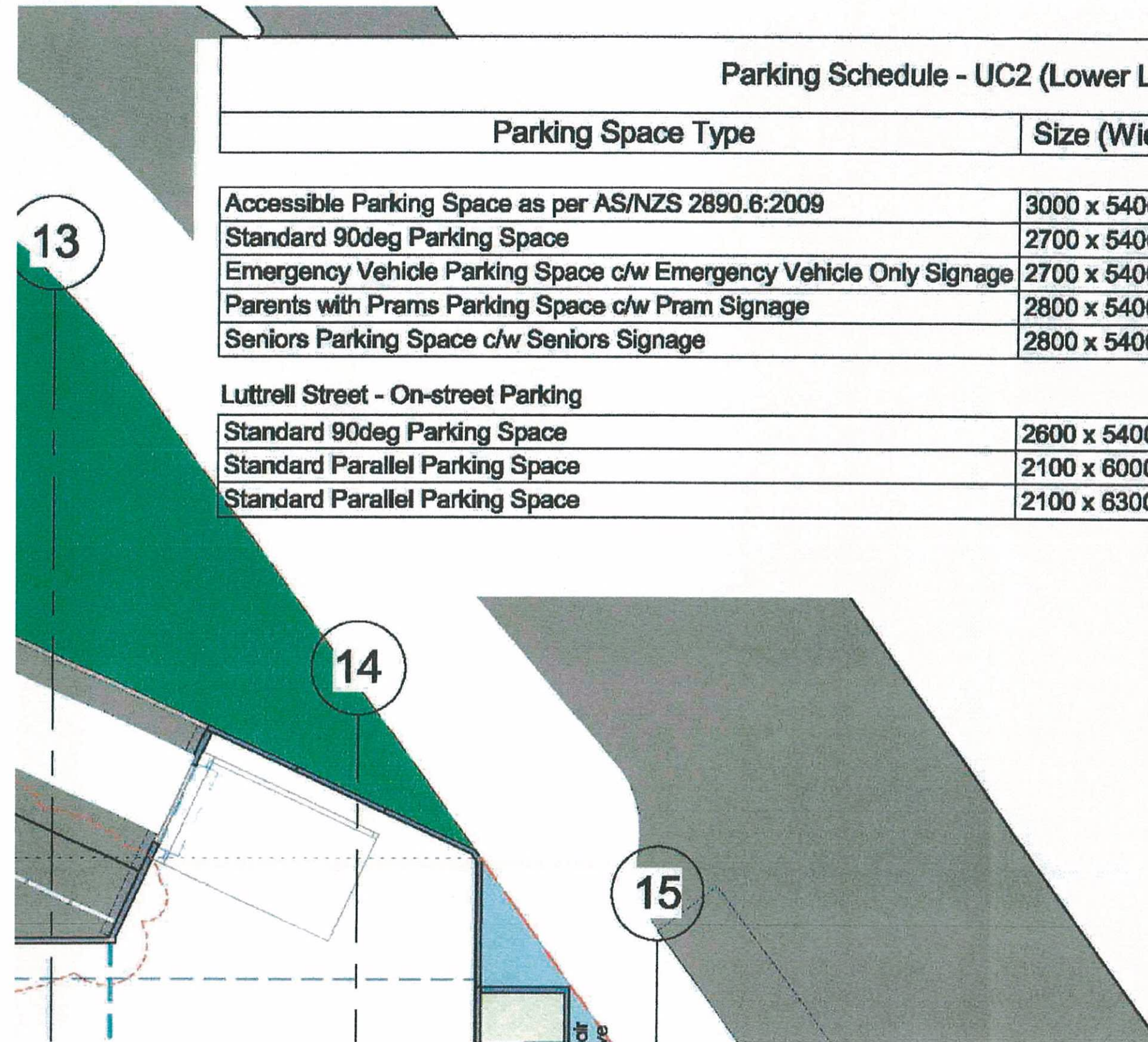
Standard 90deg Parking Space	2600 x 5400	Servicing Luttrell Street Shops	15
Standard Parallel Parking Space	2100 x 6000	Servicing Luttrell Street Shops	4
Standard Parallel Parking Space	2100 x 6300	Servicing Luttrell Street Shops	3

22

### Retail Area Schedule

L01	Lower Carpark / Luttrell Street Level	101 m <sup>2</sup>
L02	Lower Carpark / Luttrell Street Level	86 m <sup>2</sup>
L03	Lower Carpark / Luttrell Street Level	97 m <sup>2</sup>
L04	Lower Carpark / Luttrell Street Level	105 m <sup>2</sup>
L05	Lower Carpark / Luttrell Street Level	76 m <sup>2</sup>
L06	Lower Carpark / Luttrell Street Level	104 m <sup>2</sup>
L07	Lower Carpark / Luttrell Street Level	1646 m <sup>2</sup>

2216 m<sup>2</sup>





4<sup>th</sup> SEPT 2017 TP5

# Parking Schedule - UC2 (Lower Level Car Park)

Parking Space Type	Size (Width x Length)	Comments	Total
Accessible Parking Space as per AS/NZS 2890.6:2009	3000 x 5400	Width of Space to suit Building Grid	5
Standard 90deg Parking Space	2700 x 5400	Width of Space to suit Design Brief	159
Emergency Vehicle Parking Space c/w Emergency Vehicle Only Signage	2700 x 5400	Width of Space to suit Design Brief	2
Parents with Prams Parking Space c/w Pram Signage	2800 x 5400	Width of Space to suit Design Brief	2
Seniors Parking Space c/w Seniors Signage	2800 x 5400	Width of Space to suit Design Brief	3

TP5 171

## Luttrell Street - On-street Parking

Standard 90deg Parking Space	2600 x 5400	Servicing Luttrell Street Shops	12
Standard Parallel Parking Space	2100 x 6300	Servicing Luttrell Street Shops	7
Accessible Parking Space as per AS/NZS 2890.6:2009	2600 x 5400	Servicing Luttrell Street Shops	2

## Retail Area Schedule

L01	Lower Carpark / Luttrell Street Level	101 m <sup>2</sup>
L02	Lower Carpark / Luttrell Street Level	41 m <sup>2</sup>
L03	Lower Carpark / Luttrell Street Level	143 m <sup>2</sup>
L04	Lower Carpark / Luttrell Street Level	106 m <sup>2</sup>
L05/6	Lower Carpark / Luttrell Street Level	182 m <sup>2</sup>
L07	Lower Carpark / Luttrell Street Level	1684 m <sup>2</sup>

2256 m<sup>2</sup>

C2a	Lower Carpark / Luttrell Street Level	15 m <sup>2</sup>
C2b	Lower Carpark / Luttrell Street Level	15 m <sup>2</sup>

29 m<sup>2</sup>

2285 m<sup>2</sup>

TP5

CAR WASH OFFICE  
CAR WASH WAITING

13

14

15

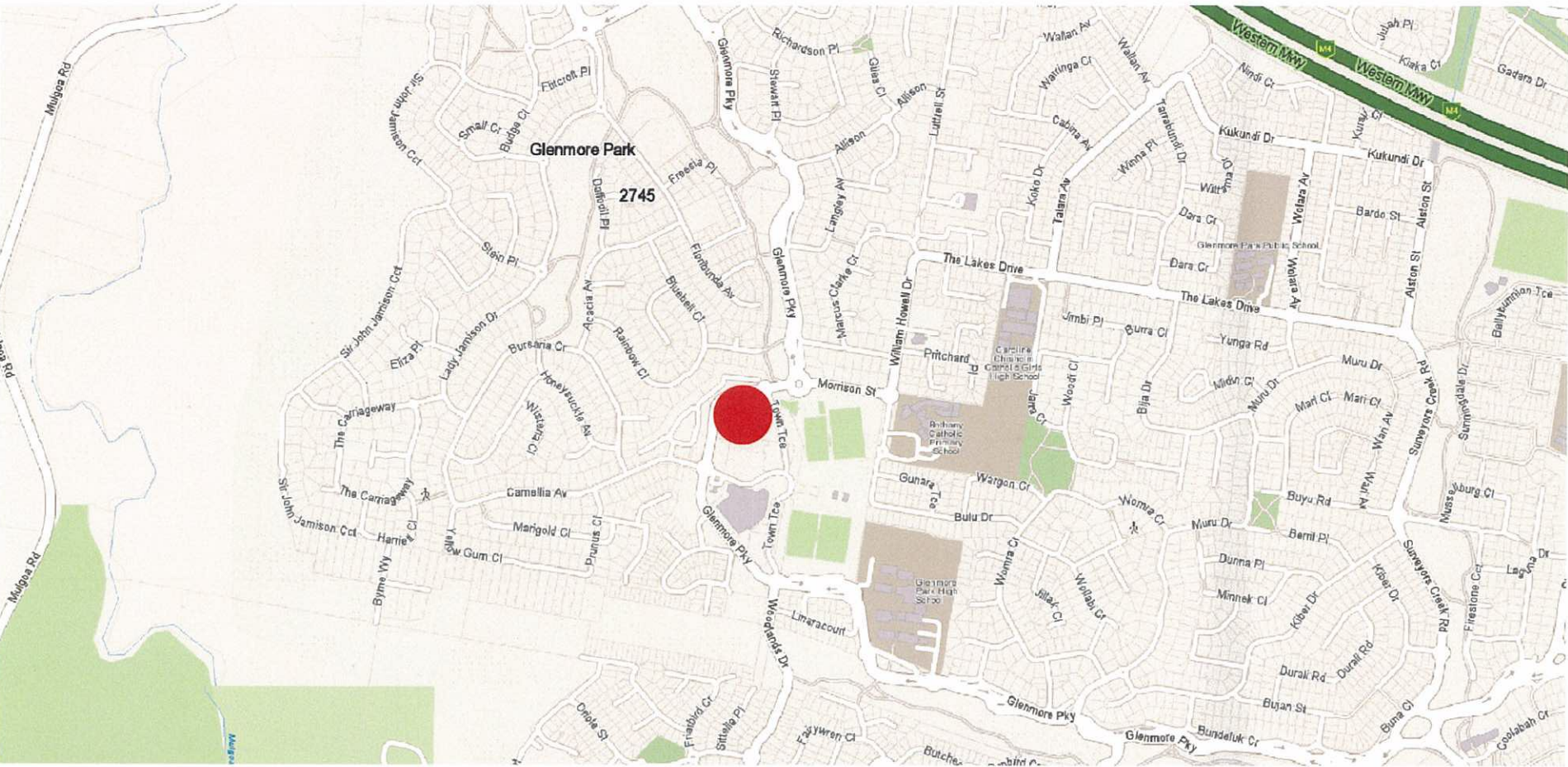
Stair  
above



## **APPENDIX 5)**



LOCATION MAP



GENERAL NOTES

- THESE NOTES ARE APPLICABLE TO ALL DOCUMENTS IN THIS CONTRACT UNLESS NOTED OTHERWISE.
- THESE DRAWINGS HAVE BEEN PREPARED USING SURVEY & SITE INFORMATION PROVIDED BY CLIENT.
- ALL EXISTING SITE FACILITIES ARE TO REMAIN UNCHANGED.
- ROOF WATER & SUB-SOIL STORMWATER DRAINAGE FOR PROPOSED WORKS IS TO BE CONNECTED TO EXISTING LINES, UNLESS DIRECTED OTHERWISE BY LOCAL COUNCIL.
- DO NOT SCALE FROM THESE DRAWINGS. ALL DIMENSIONS TO BE CHECKED & CONFIRMED ON SITE DURING THE SETTING OUT OF THE WORKS, PRIOR TO CONSTRUCTION. FIGURED DIMENSIONS ONLY TO BE USED.
- ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES & EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
- THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PURPOSE OTHER THAN ISSUED, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, LOCAL BUILDING REGULATIONS AND OTHER STATUTORY BODIES REQUIREMENTS.
- PROVIDE PROTECTION / TEMPORARY STORAGE FOR ALL EXISTING ITEMS, FINISHES & FEATURES TO BE RETAINED. REPAIR & MAKE GOOD ANY SUCH FINISHES & FEATURES DAMAGED BY THE PROPOSED WORKS.
- ALL GLASS THICKNESSES ARE TO BE SIZED, DESIGNED AND INSTALLED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
- REFER TO ENGINEER'S DOCUMENTATION FOR ALL SERVICES WORKS. ALL STRUCTURAL DESIGN AND DEMOLITION WORKS ARE TO BE VERIFIED BY STRUCTURAL ENGINEER.
- ANY ITEMS NOT SHOWN IN EITHER DRAWINGS OR SPECIFICATIONS BUT IS NECESSARY FOR PROPER BUILDING CONSTRUCTION AND/OR FINISH SHALL BE REGARDED AS PART OF THIS CONTRACT AND CARRIED OUT BY RELEVANT CONTRACTORS.

DRAWING LIST

- A000 COVER PAGE + SCHEDULES
- A001 SPECIFICATION
- A100 LOCATION PLAN
- A200 CARWASH FLOOR PLAN
- A210 P.O.S. & WAITING DETAILS 1
- A211 P.O.S. & WAITING DETAILS 2
- A220 LAUNDRY & STORE DETAILS
- A270 CARWASH SERVICES PLAN
- A300 CARWASH RCP
- A500 ELEVATIONS
- A900 TYPICAL & SIGNAGE DETAILS

# GLENMORE PARK, NSW

FINISHES SCHEDULE

NOTE: CONTRACTOR TO PROVIDE SAMPLES FOR APPROVAL PRIOR TO CONSTRUCTION.

CODE	ITEM	FINISH	CONTACT	
PT1	PAINT FINISH WALLS	DULUX WEATHERSHIELD COLOUR: DRIVE TIME FINISH: LOW SHEEN CODE: PG1A6	DULUX www.dulux.com.au	
PT2	COLUMN FINISH	COLUMNS PAINTED IN "PT1" FINISH WITH STENCIL PAINTED "STAR CASH WASH" LOGO / BRANDING TO AISLE SIDE, AS INDICATED ON DRAWINGS.	DULUX www.dulux.com.au	
PT3	PAINT FINISH INTERNAL - WAITING & CASHIER	DULUX WASH & WEAR PLUS COLOUR: ANTIQUE WHITE USA FINISH: LOW SHEEN CODE: PN1D1	DULUX www.dulux.com.au	
PT4	PAINT FINISH TRIM	DULUX WEATHERSHIELD COLOUR: BLACK CAVIAR FINISH: LOW SHEEN CODE: PN2A8	DULUX www.dulux.com.au	
PT5	PAINT FINISH TRIM / SIGNAGE	DULUX WEATHERSHIELD COLOUR: "HOT LIPS" FINISH: MATT CODE: P05H9	DULUX www.dulux.com.au	
PT6	PAINT FINISH WALLS FEATURE STRIPE	DULUX WEATHERSHIELD COLOUR: "HOT LIPS" FINISH: GLOSS CODE: P05H9	DULUX www.dulux.com.au	
PCR	POWDERCOAT FINISH	POWDERCOAT ALUMINIUM FINISH TO MATCH "DULUX - HOT LIPS" (P05H9)	-	

CODE	ITEM	FINISH	CONTACT	
SK1	SKIRTING (TO "MCC" CLADDING)	SIMILAR OR EQUAL TO: "DIBOND" COLOUR: "JET BLACK", HIGH GLOSS NOTE: PROVIDE HMR BOARD BACKING.	ALUCOBOND ARCHITECTURAL PH: (02) 9508 4600	
MCC	WALL CLADDING	SIMILAR OR EQUAL TO: "ALUCOBOND PLUS" COLOUR: METALLIC SUNRISE SILVER - 600 NOTE: 10mm SHADOW LINE TO PANEL JOINTS	ALUCOBOND ARCHITECTURAL PH: (02) 9508 4600	
SS	STAINLESS STEEL	304 GRADE STAINLESS STEEL	-	
FF1	CARPET FLOOR TILES (WAITING & CASHIER)	SIMILAR OR EQUAL TO: TRETTFORD CARPET TILES COLOUR: CHARCOAL 620	GIBBON GROUP Ph: 07 3881 1777 www.gibbongroup.com.au	
SK2	INTERNAL SKIRTING (WAITING & CASHIER)	ALUMINIUM SKIRTING SIMILAR OR EQUAL TO: "ALU SKIRTING" - CONCEALED SKIRTING WITH SCREW CONCEALED COVER STRIP & CORNERING COVERS. SIZE: 100mm (CODE: 11 PCA 100)	ALU SKIRTING CONTACT: THEO POTERI Ph: 0413 319 408 www.aluskirting.com.au	
S1	WAITING CHAIR	CUSTOMER WAITING AREA CHAIR SIMILAR OR EQUAL TO SAMPLE IMAGE. SPECIFICATION TO BE CONFIRMED. COLOUR: RED	TBC	

APPROVAL ISSUE

06	BRANDING AMENDED	04.07.16
05	ISSUE FOR APPROVAL	29.05.17
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02	CONCEPT DESIGN APPROVAL	10.04.17
01	PRELIMINARY	03.03.17
REVISION	DESCRIPTION	DATE

COVER PAGE+ SCHEDULES

PROJECT:  
STAR CAR WASH  
GLENMORE PARK SHOPPING CENTRE  
LEVEL UC2  
1-11 TOWN TERRACE, GLENMORE PARK NSW

CLIENT:  
 STAR CAR WASH  
P.O. BOX 6212  
ALEXANDRIA NSW 2015

AURORA DESIGN

A.B.N. 74 194 321 852 ©2015  
SUITE 1105, 50 CLARENCE STREET, SYDNEY NSW 2000  
T: 9025 9905 F: 9587 6179 W: WWW.AURORADESIGN.NET.AU

SCALE:	NTS	DRAWING No	REVISION:
PROJECT No.	17-005	A000	06
DATE:	MAR.2017		

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SPECIFICATION

GENERALLY

THESE NOTES AND DETAIL DRAWINGS APPLY TO THE NOMINATED BUILDER AND ANY SUBCONTRACTORS EMPLOYED BY THE SAME, AND THE CONTRACTORS SPECIFICALLY NOMINATED BY THE CLIENT.

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALE. ALL DIMENSIONS ARE TO BE VERIFIED BY THE BUILDER AND ANY ERRORS OR DISCREPANCIES ARE TO BE CLARIFIED BY THE BUILDER TOGETHER WITH THE CLIENT AND/OR DESIGNER BEFORE WORK COMMENCES, MANUFACTURE OR INSTALLATION.

APPROVED DRAWINGS

ALL WORKS MUST BE CARRIED OUT IN STRICT ACCORDANCE WITH THE LESSOR'S APPROVED DESIGNS, AURORA DESIGN PTY. LTD. PLANS AND ANY RELEVANT PROVIDED CONSULTING ENGINEER'S PLANS, DETAILS & SPECIFICATION, THE LESSOR'S AND COUNCIL REQUIREMENTS.

A COMPLETE SET OF LESSOR'S APPROVED DRAWINGS SHALL BE KEPT ON SITE AT ALL TIMES.

REGULATORY REQUIREMENTS

THE BUILDER SHALL CONFORM WITH ALL THE REQUIREMENTS OF THE CURRENT BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND THE LOCAL COUNCIL REQUIREMENTS. THESE STANDARDS SUPERSEDE ALL DETAILS AND NOTES ON THE DRAWINGS WHERE APPLICABLE

INSTALL GLAZING IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS AS1288 & AS2047

TENDERING

THE TENDERERS SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED FOR THE NEW WORK, REQUIRED TEMPORARY STRUCTURES, NEW SUPPORTING ELEMENTS ETC. AS REQUIRED BY THE SPECIFIED WORKS.

ALL TENDERERS MUST VISIT THE SITE AND ASCERTAIN FOR THEMSELVES THE NATURE AND EXTENT OF THE WORK AND FACILITIES FOR THE CARRYING OUT THE SAME. THEY SHALL SATISFY THEMSELVES AS TO THE CONDITIONS, ALLOWED WORKING HOURS, DIMENSIONS, POSITION OF SERVICES AND THE LIKE. THEY SHALL FAMILIARISE THEMSELVES WITH THE SPECIFIC REQUIREMENTS OF THE LESSOR, INCLUDING BUT NOT LIMITED TO INSURANCES, ACCESS, MATERIAL DELIVERY AND STORAGE, RUBBISH REMOVAL AND THE LIKE. TENDERERS WILL NOT BE ABLE TO CLAIM EXTRAS UNFORESEEN THROUGH LACK OF HAVING TAKEN THESE PRECAUTIONS.

HOARDING AND PROTECTION OF THE SITE

THE BUILDER SHALL PROVIDE A HOARDING TO THE SITE WHEN DIRECTED BY THE CLIENT AND / OR LESSOR. THE HOARDING SHALL BE TO THE SPECIFICATION OF THE LESSOR.

THE BUILDER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL AREAS NOT INVOLVED IN THE CONSTRUCTION WORK AND ALL CARE SHALL BE TAKEN TO MINIMISE DUST AND DIRT TO THE SITE AND ADJOINING SITE, MALL AREAS AND THE LIKE. THE BUILDER IS RESPONSIBLE TO RECTIFY IMMEDIATELY ANY DAMAGES THAT OCCUR TO THE PROPERTY AND SURROUNDING AREA.

WORKMANSHIP GENERALLY

THE BUILDER SHALL LIAISE WITH THE LESSOR AS TO WHEN AND WHERE BUILDING DELIVERIES CAN TAKE PLACE AND WHERE THEY CAN BE POSITIONED IN RELATION TO THE SITE. ALL WORK IS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE PLANS. ANY CHANGES TO THE APPROVED PLANS ARE TO BE VERIFIED BY THE DESIGNER IN WRITING PRIOR TO MANUFACTURE, CONSTRUCTION AND/OR INSTALLATION.

IF THERE IS ANY DISCREPANCY BETWEEN THE PLANS AND SITE CONDITIONS THE BUILDER SHALL CONFIRM ANY REQUIRED CHANGES TO THE DESIGN WITH THE DESIGNER PRIOR TO MANUFACTURE, CONSTRUCTION AND/OR INSTALLATION.

ALL WORK IS TO BE CARRIED OUT BY LICENSED TRADES PEOPLE.

ANY PORTION OF THE WORK NOT SHOWN ON DRAWINGS BUT WHICH IS NECESSARY FOR THE COMPLETION OF THE ENTIRE CONTRACTUALLY AGREED WORK, SHALL BE UNDERSTOOD AS INCLUDED.

ALL MATERIALS ARE TO BE OF NEW AND BEST QUALITY AND TO THE SPECIFICATION SHOWN ON THE PLANS UNLESS AGREED UPON BY THE CLIENT/DESIGNER IN WRITING.

ALL WORK SHALL BE UNDERTAKEN AND CARRIED OUT IN A WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH GOOD BUILDING PRACTICES.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR/S TO ENSURE THAT ALL SPECIFIED EQUIPMENT, FITTINGS ETC. (WHETHER SUPPLIED BY THE CONTRACTOR OR THE CLIENT) WILL FIT THE REQUIRED SPACE AND TO REFER ANY DISCREPANCIES TO THE DESIGNER / CLIENT PRIOR TO MANUFACTURE, CONSTRUCTION AND / OR INSTALLATION.

WORKMANSHIP SPECIFICALLY

JOINERY GENERALLY

JOINERY SHALL BE OF THE HIGHEST QUALITY AND FINISH. CORNERS SHALL BE MITERED TO VISIBLE BULKHEADS, SHOP FRONT PORTALS ETC.

THE FITTINGS AND FIXTURES SHALL BE INSTALLED AS SPECIFIED ON THE PLANS.

BUILD ALL COMPONENTS SQUARE AND INSTALL PLUMB. USE MATERIALS IN SINGLE LENGTHS WHERE POSSIBLE. IF JOINTS ARE NECESSARY, MAKE THEM OVER SUPPORTS.

WHERE 2 PAC FINISHES ARE SPECIFIED TO LARGE PANEL SIZES THE JOINTS ARE TO BE EXPRESSED IN THE FORM OF A 'V' GROOVE JOINT OR OTHER AS SPECIFIED ON THE DRAWINGS. ALL JOINTS ARE TO BE EQUALLY SPACED UNLESS NOTED OTHERWISE.

USE FASTENERS TO TRANSMIT THE LOADS IMPOSED AND TO ENSURE THE RIGIDITY OF THE ASSEMBLY WITHOUT SPLITTING OR OTHERWISE DAMAGING THE SHEETS.

DO NOT USE VISIBLE FIXINGS, EXCEPT INSIDE NON GLAZED CUPBOARDS AND DRAWER UNITS (IN WHICH CASE USE PROPRIETARY CAPS TO CONCEAL FIXINGS), UNLESS NOTED OTHERWISE.

USE ADHESIVES TO TRANSMIT THE LOADS IMPOSED AND TO ENSURE THE RIGIDITY OF THE ASSEMBLY, WITHOUT CAUSING DISCOLORATION OF THE FINISHED SURFACES.

SCRIBE BENCH TOPS, SPLASH BACKS, ENDS OF CUPBOARDS, KICKBOARDS AND RETURNS TO FOLLOW THE LINE OF THE STRUCTURE & MALL.

FINISH ALL EXPOSED EDGES OF SHEETS AS CONFIRMED BY DESIGNER.

CUPBOARD SHELF AND DRAWER UNITS ARE TO BE CONSTRUCTED OUT OF THE SPECIFIED MELAMINE COLOUR BOARD. SCRIBE TO FLOOR AND SECURE TO WALL TO PROVIDE A LEVEL FINISH.

SUPPORT ADJUSTABLE SHELVES ON PROPRIETARY PINS IN HOLES BORED AT 32mm CENTRES VERTICALLY.

PROVIDE ADJUSTABLE CONCEALED METAL HINGES AND METAL RUNNERS AS SPECIFIED.

STRUCTURAL DESIGN AND CERTIFICATION

THE BUILDER SHALL ENSURE THAT ALL ITEMS DETAILED, SPECIFIED AND INSTALLED ARE SUITABLE FOR THE PURPOSE THEY ARE INTENDED FOR AND STRUCTURALLY ADEQUATE TO SUPPORT THE USAGE & LOADS.

ALL STRUCTURAL ELEMENTS, BULKHEADS, GLAZING SUPPORTS AND THE LIKE SHALL BE DESIGNED TO SUPPORT THEIR OWN WEIGHT AND THE LOADS IMPOSED. ON COMPLETION THE BUILDER SHALL PROVIDE A STRUCTURAL ENGINEERING CERTIFICATE FOR THESE ELEMENTS.

RUBBISH REMOVAL

THE BUILDER SHALL PERIODICALLY CLEAN UP THE PROPERTY AND REMOVE DEBRIS FROM THE SITE. ALL RUBBISH SKIPS AND THE LIKE ARE TO BE POSITIONED IN ACCORDANCE WITH THE LESSOR AND/OR COUNCIL'S REQUIREMENTS. RUBBISH SHALL NOT INTERFERE WITH THE AMENITY OF ADJOINING PROPERTIES.

COMPLETION

ON COMPLETION OF THE WORK, THE BUILDER SHALL CARRY OUT A FINAL CLEAN UP TO THE SATISFACTION OF THE CLIENT. ALL DEBRIS SHALL BE STORED ON THE SITE AND DISPOSED OF AS SOON AS POSSIBLE. THE BUILDER IS TO CHECK ALL NEWLY INSTALLED DOORS FOR SAFE AND EASY HANDLING. THE GLASS IS TO BE CLEANED AND THE SEALS CHECKED. AT THE COMPLETION OF THE WORK THE WHOLE SITE, INCLUDING AREAS NOT INVOLVED IN THE WORK ARE TO BE COMPLETELY CLEANED, DAMAGED PAINT WORK TO BE RE-DONE OR TOUCHED UP USING PAINT FROM THE SAME BATCH AS THE ORIGINAL WORK.

ALL RELEVANT CERTIFICATES FOR STRUCTURAL ELEMENTS, BULKHEADS, WATERPROOFING, PLUMBING, ESSENTIAL AND EMERGENCY SERVICES ETC. SHALL BE SUPPLIED TO THE CLIENT AT HANDOVER OF THE COMPLETED SHOP.

THE BUILDER SHALL ENSURE THAT THE RELEVANT CERTIFYING AUTHORITY IS NOTIFIED OF THE COMPLETION AND ARRANGE FOR THE FINAL INSPECTION AT LEAST TWO DAYS PRIOR TO PRACTICAL COMPLETION. THE BUILDER SHALL RECTIFY IMMEDIATELY ANY DEFECTS NOTED BY THE INSPECTOR WHICH PREVENT THE ISSUE OF AN OCCUPATIONAL CERTIFICATE.

THE BUILDER SHALL INFORM THE DESIGNER OF THE PRACTICAL COMPLETION OF THE PROJECT AT LEAST TWO DAYS PRIOR. ON COMPLETION A DEFECTS INSPECTION WILL BE UNDERTAKEN BY THE CLIENT AND/OR THE CLIENT'S REPRESENTATIVE AND ALL DEFECTS SHALL BE RECTIFIED PRIOR TO THE FINAL PAYMENT BEING RELEASED.

THE BUILDER SHALL PROVIDE COPIES OF CERTIFICATES, WARRANTIES, GUARANTEES, MANUALS ETC. FOR ITEMS INSTALLED ON THE SITE.

THE BUILDER SHALL PROVIDE TO THE CLIENT KEYS OF ALL LOCKABLE DOORS, CUPBOARDS AND THE LIKE.

NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GENERAL NOTES ON DRAWING No. A000. REFER TO DRAWING A000 FOR SCHEDULES.

APPROVAL ISSUE

06	BRANDING AMENDED	04.07.16
05	ISSUE FOR APPROVAL	29.05.17
04	ISSUE FOR APPROVAL	20.04.17
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02	CONCEPT DESIGN APPROVAL	10.04.17
01	PRELIMINARY	03.03.17
REVISION	DESCRIPTION	DATE

SPECIFICATION

PROJECT:  
STAR CAR WASH  
GLENMORE PARK SHOPPING CENTRE  
LEVEL UC2  
1-11 TOWN TERRACE, GLENMORE PARK NSW

CLIENT:  
 STAR CAR WASH  
P.O. BOX 6212  
ALEXANDRIA NSW 2015

AURORA DESIGN

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SCALE:	N/A	DRAWING No.:	REVISION:
PROJECT No.:	17-005	A001 06	
DATE:	MAR.2017		

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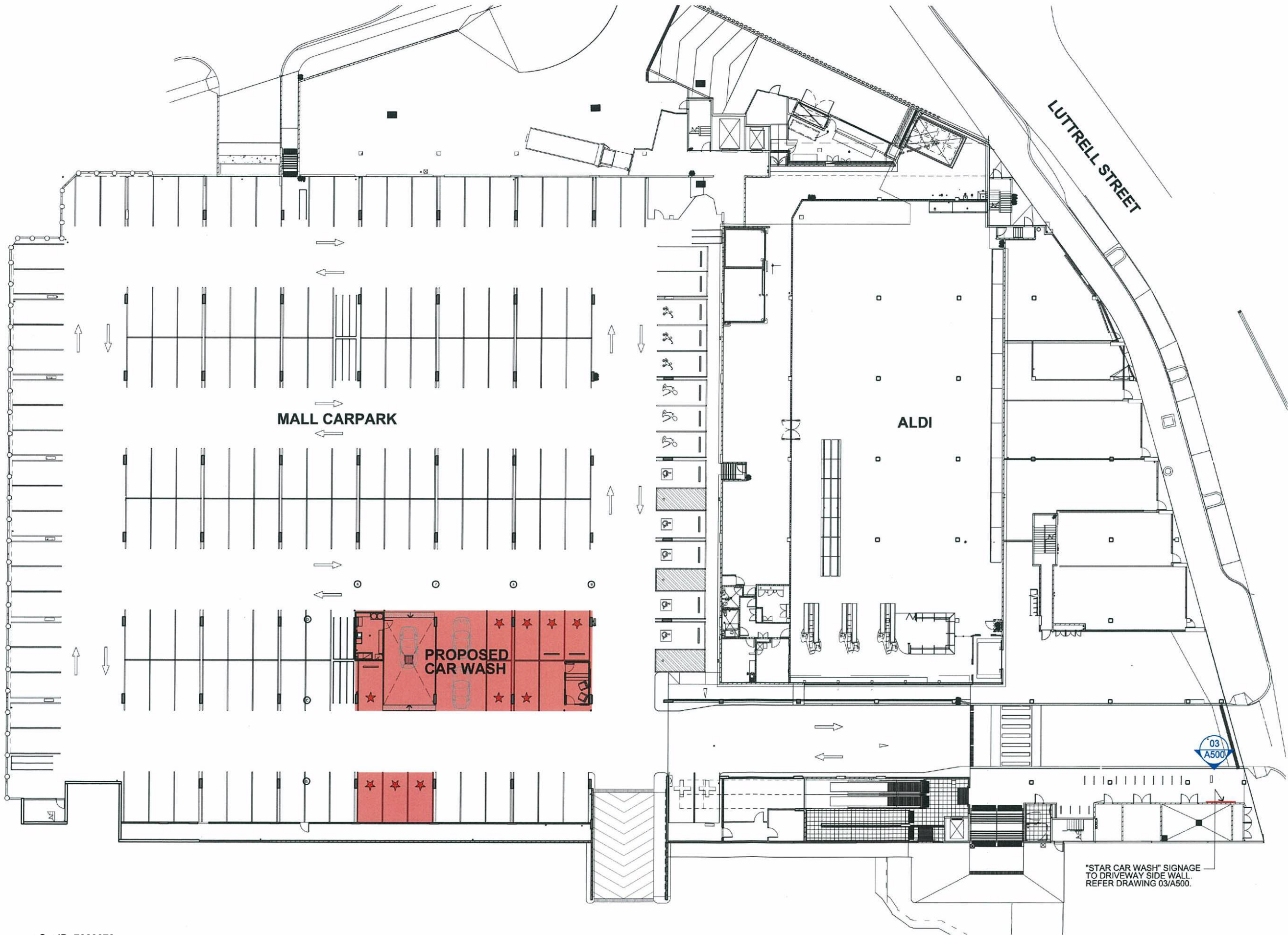


NOTES

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REFER TO GRAPHIC DESIGNER'S FINAL SIGNAGE PACK FOR DESIGN AND PROPOSED LOCATIONS OF DIRECTIONAL SIGNAGE & BRANDING, OUTSIDE IMMEDIATE TENANCY AREA.

ALL ILLUMINATED SIGNAGE TO BE POWERED BACK TO THE SHOP. ALL CONDUITS TO MATCH SURROUNDING FINISHES AND BE CONCEALED AS BEST AT POSSIBLE.



APPROVAL ISSUE

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02	CONCEPT DESIGN APPROVAL	10.04.17
01	PRELIMINARY	03.03.17
REVISION	DESCRIPTION	DATE

LOCATION PLAN

PROJECT:  
STAR CAR WASH  
GLENMORE PARK SHOPPING CENTRE  
LEVEL UC2  
1-11 TOWN TERRACE, GLENMORE PARK NSW

CLIENT:  
 STAR CAR WASH  
P.O. BOX 6212  
ALEXANDRIA NSW 2015

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SCALE:	NTS	DRAWING No:	REVISION:
PROJECT No.:	17-005	<b>A100</b>	<b>06</b>
DATE:	MAR.2017		

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## NOTES

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## LEGEND

EDB	ELECTRICAL DISTRIBUTION BOARD
DY	DRYER
EQ	EQUAL
COS	CONFIRM ON SITE
CMP	WASH HOSE COMPRESSOR
FW	FLOOR WASTE
HWU	HOT WATER UNIT (OVER)
OIL	OIL SEPARATOR UNIT BY OTHERS
WM	WASHING MACHINE
S1	WAITING AREA CUSTOMER CHAIR
TUB	LAUNDRY TUB
TYP.	TYPICAL
XXX	FINISH REFERENCE TAG
---	ITEMS TO BE DEMOLISHED / REMOVED

## APPROVAL ISSUE

REVISION	DESCRIPTION	DATE
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01	PRELIMINARY	03.03.17

## CARWASH FLOOR PLAN

PROJECT:  
STAR CAR WASH  
GLENMORE PARK SHOPPING CENTRE  
LEVEL UC2  
1-11 TOWN TERRACE, GLENMORE PARK NSW

CLIENT:  
 **STAR CAR WASH**  
P.O. BOX 6212  
ALEXANDRIA NSW 2015

**AURORA DESIGN**

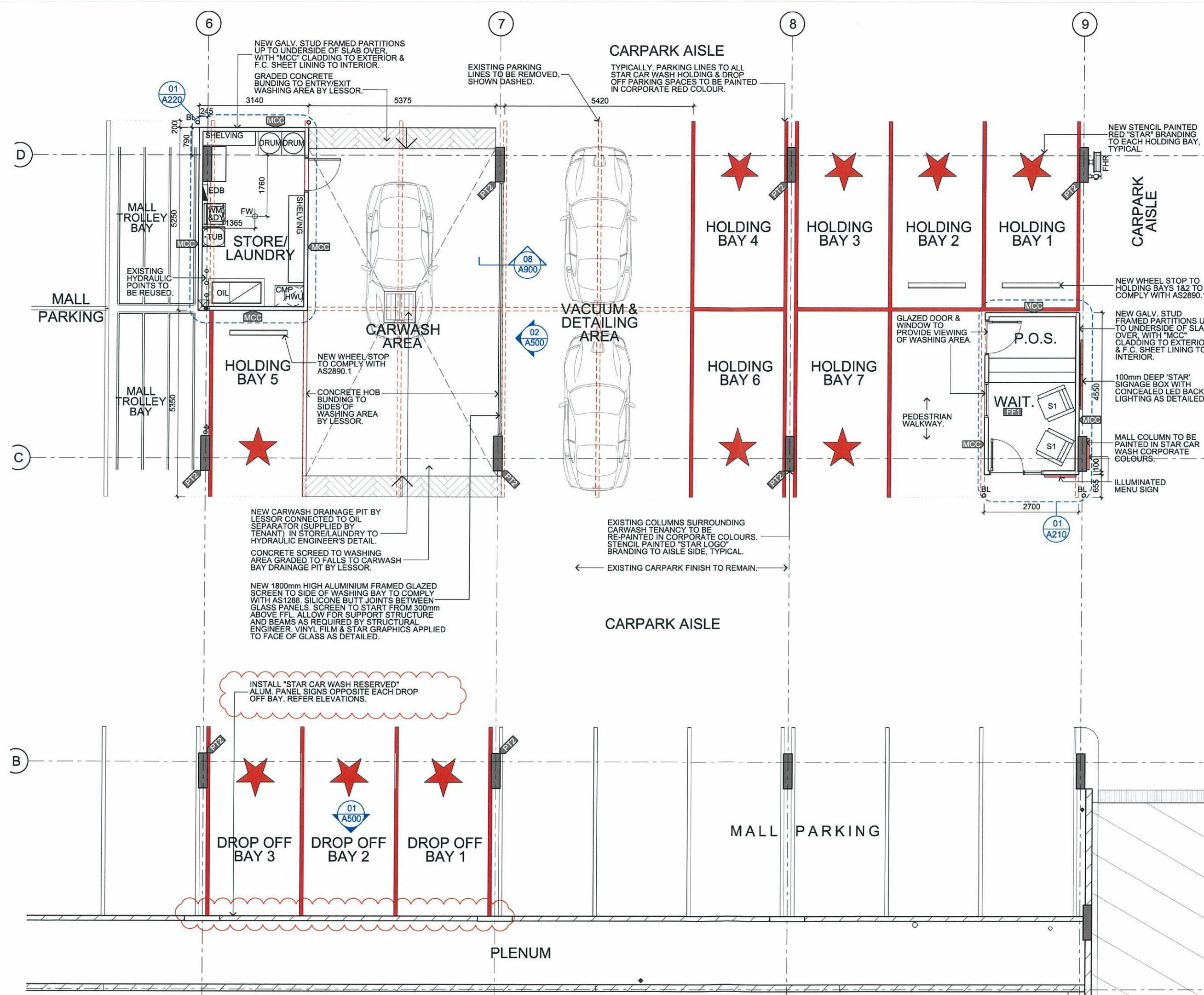
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SCALE: 1:100 @ A3 DRAWING No. REVISION:

PROJECT No.: 17-005 **A200 06**

DATE: MAR.2017

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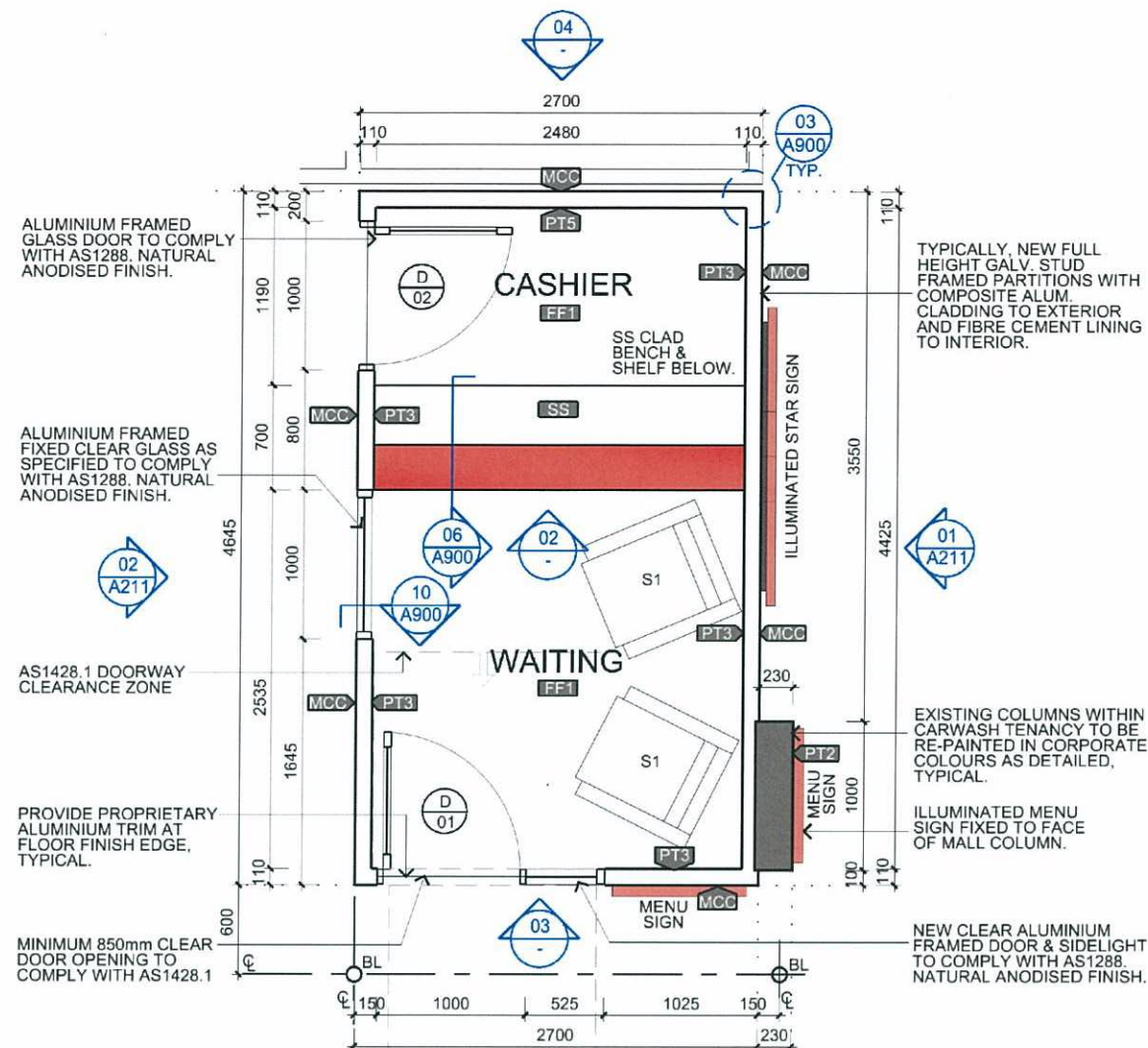


## NOTES

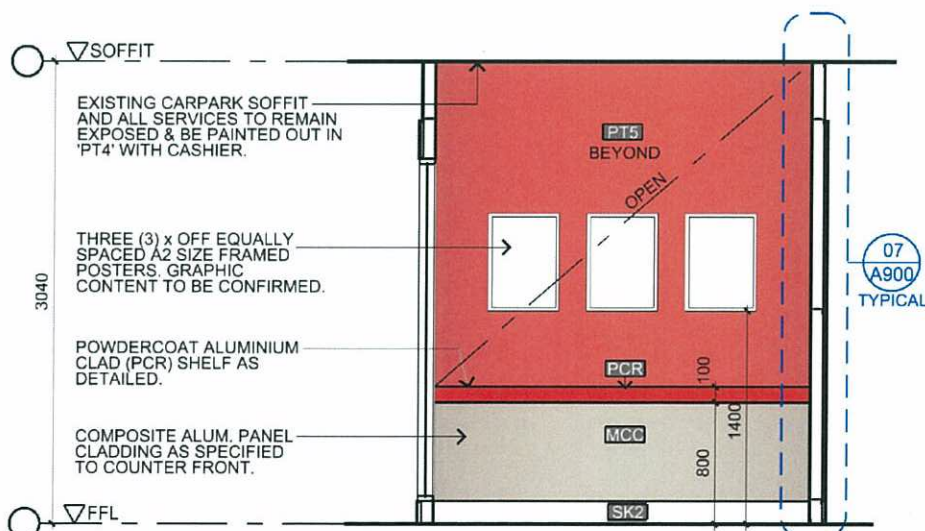
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH "GENERAL NOTES" ON DRAWING No. A000. REFER TO DRAWING A000 FOR SCHEDULES. REFER TO DRAWING A001 FOR SPECIFICATIONS.

## LEGEND

EQ	ELECTRICAL DISTRIBUTION BOARD
DY	DRYER
EDB	ELECTRICAL DISTRIBUTION BOARD
EQ	EQUAL
COS	CONFIRM ON SITE
CMP	WASH HOSE COMPRESSOR
FW	FLOOR WASTE
HWU	HOT WATER UNIT (OVER)
OIL	OIL SEPARATOR UNIT BY OTHERS
WM	WASHING MACHINE
S1	WAITING AREA CUSTOMER CHAIR.
TUB	LAUNDRY TUB
TYP.	TYPICAL
XXX	FINISH REFERENCE TAG
---	ITEMS TO BE DEMOLISHED / REMOVED



01 P.O.S./WAITING DETAIL PLAN  
SCALE 1:50



02 P.O.S./WAITING TYP. SECTION  
SCALE 1:50

## DOOR D/01 HARDWARE

NATURAL ANODISED ALUMINIUM FRAMED CLEAR GLASS DOOR & SIDELIGHTS TO COMPLY WITH AS1288. HARDWARE SPECIFICATION TO BE CONFIRMED BY CLIENT.

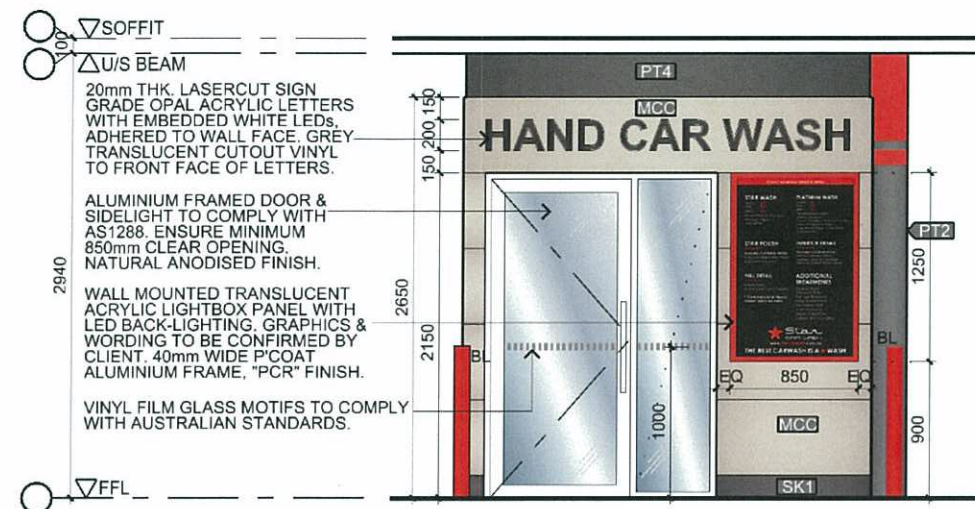
## DOOR D/02 HARDWARE

NATURAL ANODISED ALUMINIUM FRAMED CLEAR GLASS DOOR TO COMPLY WITH AS1288. HARDWARE SIMILAR OR EQUAL TO: GAINSBOROUGH ARCHITECTURAL RANGE: 7000W SERIES CRESCENT LEVER WITH EXTERIOR PLATE CYLINDER HOLE & LEVER. CODE:7145W SC

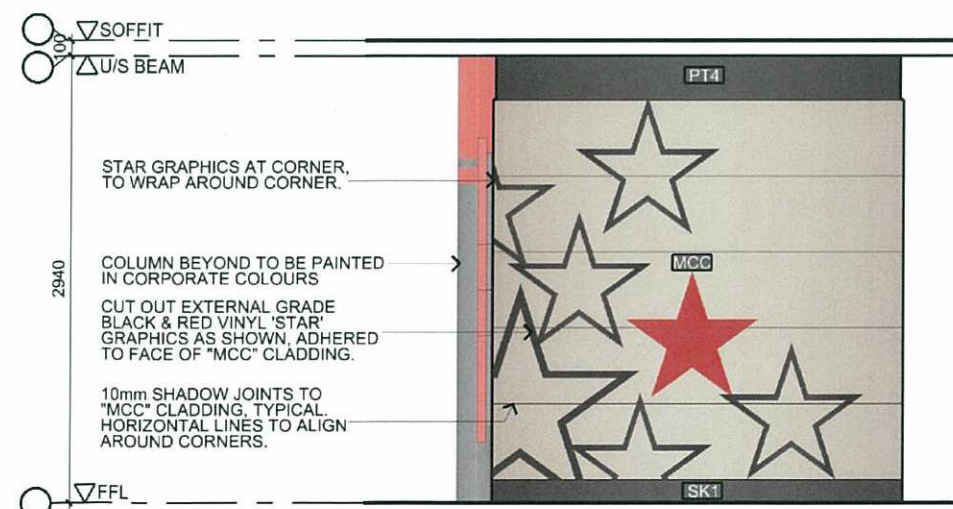
## GLAZING FRAME SPECIFICATION

ALUMINIUM PERIMETER FRAMED FIXED CLEAR GLASS TO COMPLY WITH AS1288, WITH SILICONE BUTT JOINTS BETWEEN GLASS PANELS (WHERE APPLICABLE). EQUAL OR APPROVED EQUIVALENT TO:

MANUFACTURER: CAPRAL  
RANGE: NARROWLINE 400  
SIZE: 101.6 x 28mm  
FINISH: AS INDICATED ON DRAWINGS.



03 P.O.S./WAITING ELEVATION 01  
SCALE 1:50



04 P.O.S./WAITING ELEVATION 02  
SCALE 1:50

**APPROVAL ISSUE**

06	BRANDING AMENDED	04.07.16
05	ISSUE FOR APPROVAL	29.05.17
04	ISSUE FOR APPROVAL	20.04.17
03	DROP OFF BAYS MOVED	11.04.17
02	CONCEPT DESIGN APPROVAL	10.04.17
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## P.O.S. & WAITING DETAILS 1

PROJECT:  
STAR CAR WASH  
GLENMORE PARK SHOPPING CENTRE  
LEVEL UC2  
1-11 TOWN TERRACE, GLENMORE PARK NSW

CLIENT:  
**STAR CAR WASH**  
P.O. BOX 6212  
ALEXANDRIA NSW 2015

**AURORA DESIGN**

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SCALE	1:50 @ A3	DRAWING No.	REVISION:
PROJECT No.	17-005	<b>A210 06</b>	
DATE:	MAR.2017		

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## NOTES

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## LEGEND

EDB	ELECTRICAL DISTRIBUTION BOARD
DY	DRYER
EDB	ELECTRICAL DISTRIBUTION BOARD
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WM	WASHING MACHINE
S1	WAITING AREA CUSTOMER CHAIR.
TUB	LAUNDRY TUB
TYP.	TYPICAL
XXX	FINISH REFERENCE TAG
---	ITEMS TO BE DEMOLISHED / REMOVED

## DOOR D/03 HARDWARE

EXTERNAL GRADE SOLID CORE DOOR. HARDWARE SIMILAR OR EQUAL TO: GAINSBOROUGH ARCHITECTURAL RANGE: 7000W SERIES CRESCENT LEVER WITH EXTERIOR PLATE CYLINDER HOLE & LEVER. CODE:7145W SC

**APPROVAL ISSUE**

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## LAUNDRY & STORE DETAILS

PROJECT:  
**STAR CAR WASH**  
GLENMORE PARK SHOPPING CENTRE  
LEVEL UC2  
1-11 TOWN TERRACE, GLENMORE PARK NSW

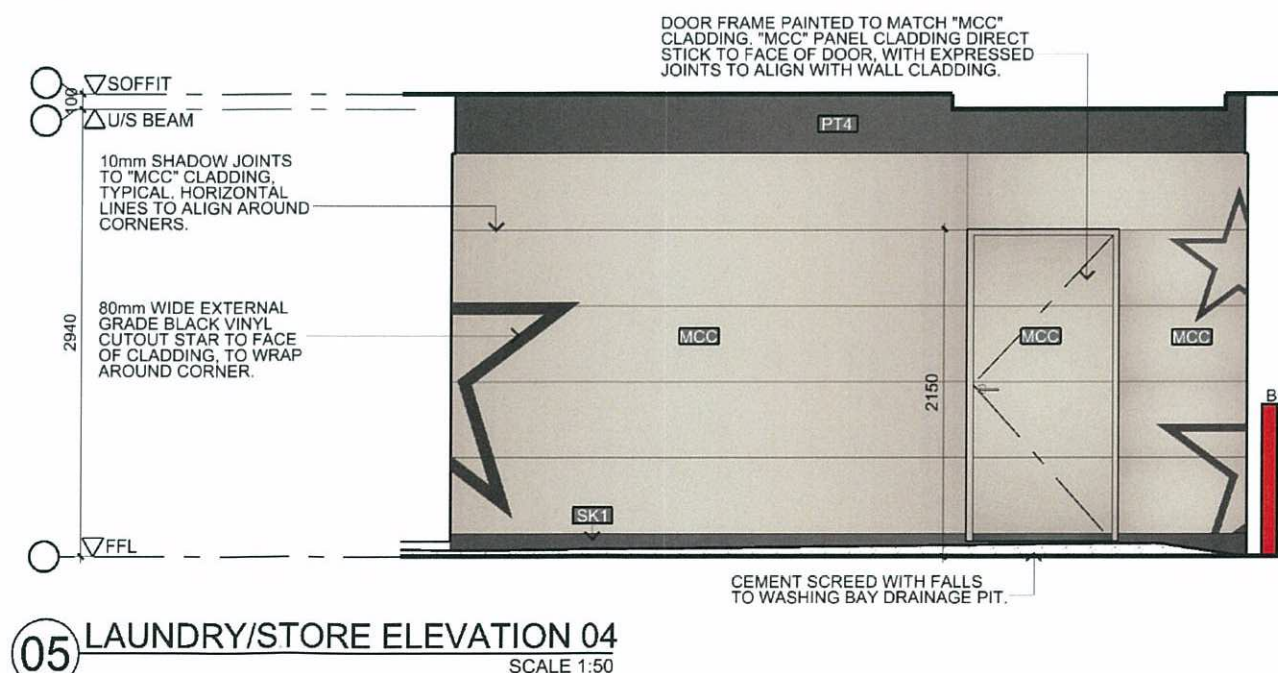
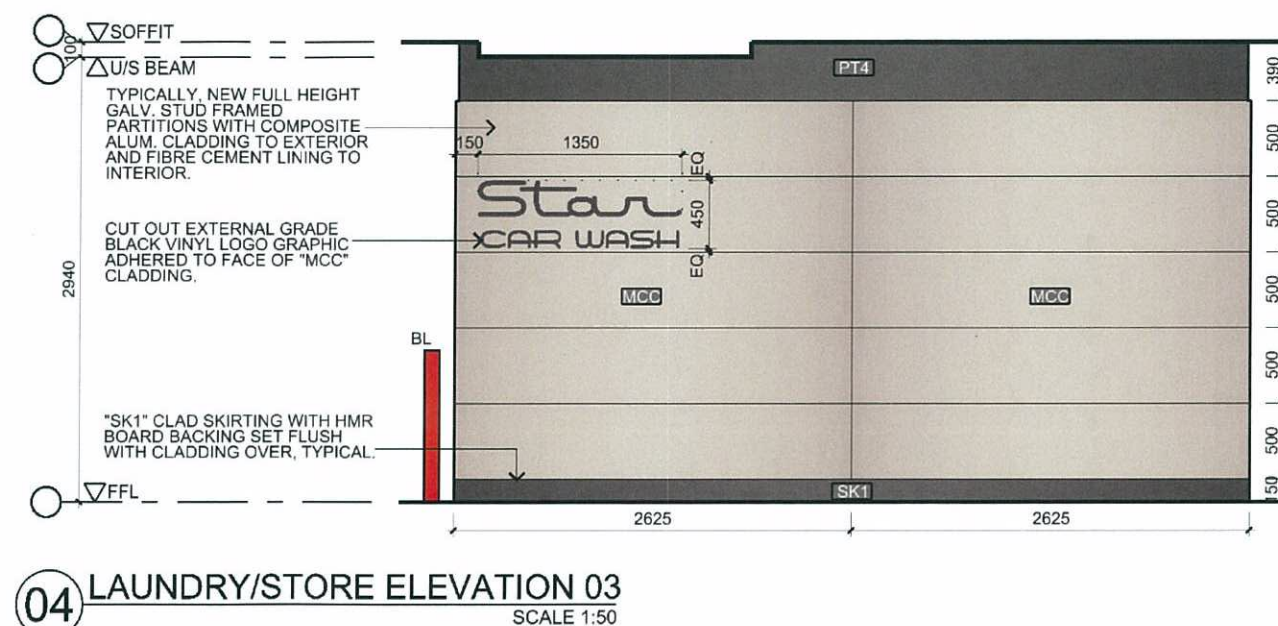
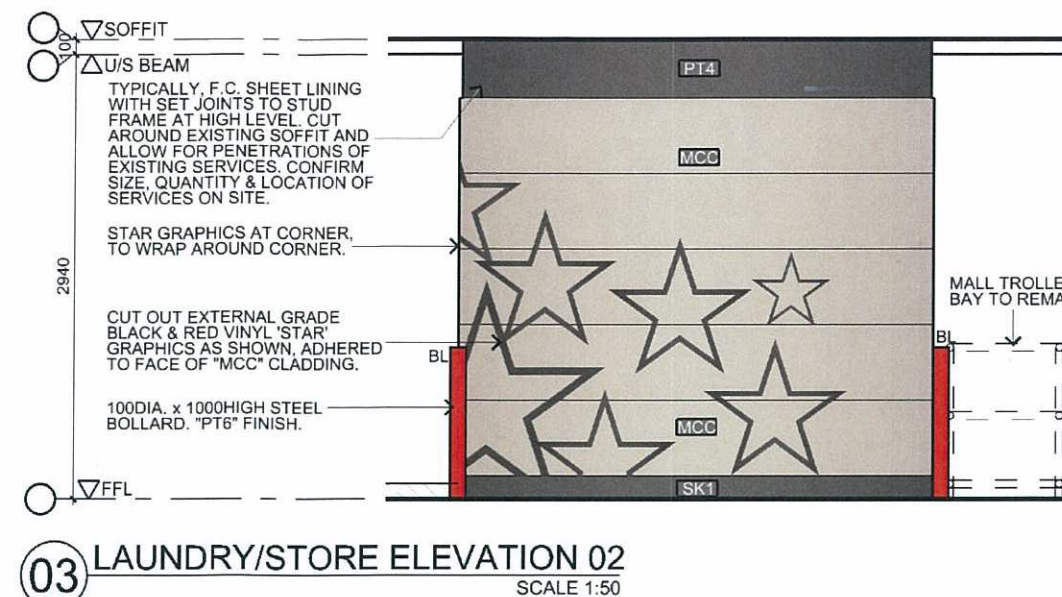
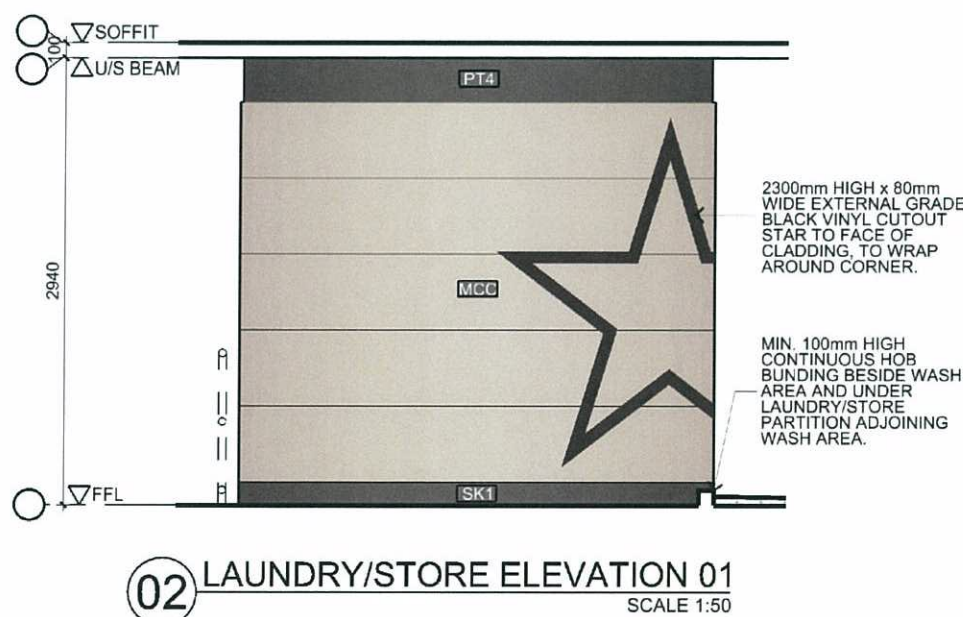
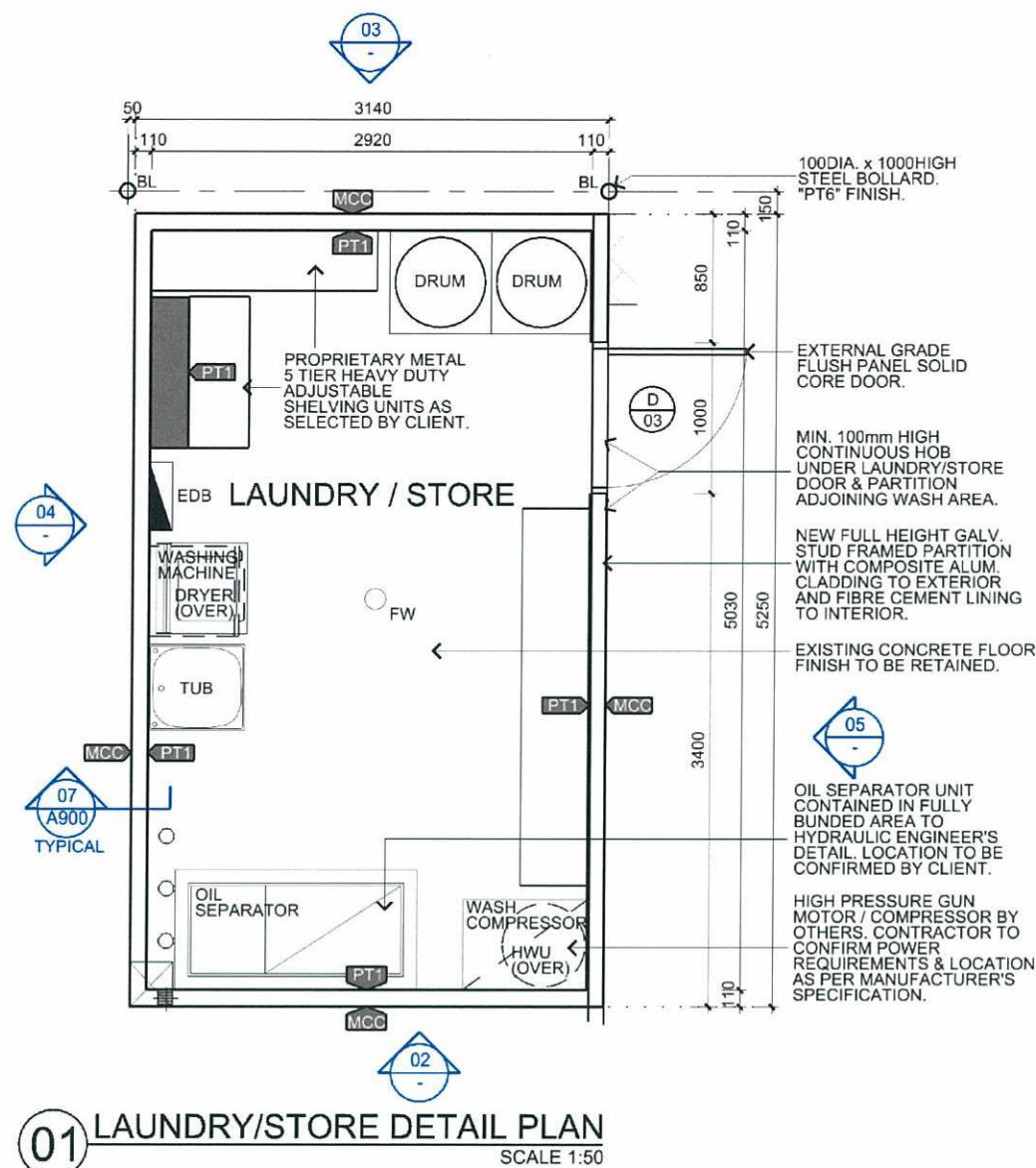
CLIENT:  
**STAR CAR WASH**  
P.O. BOX 6212  
ALEXANDRIA NSW 2015

**AURORA DESIGN**

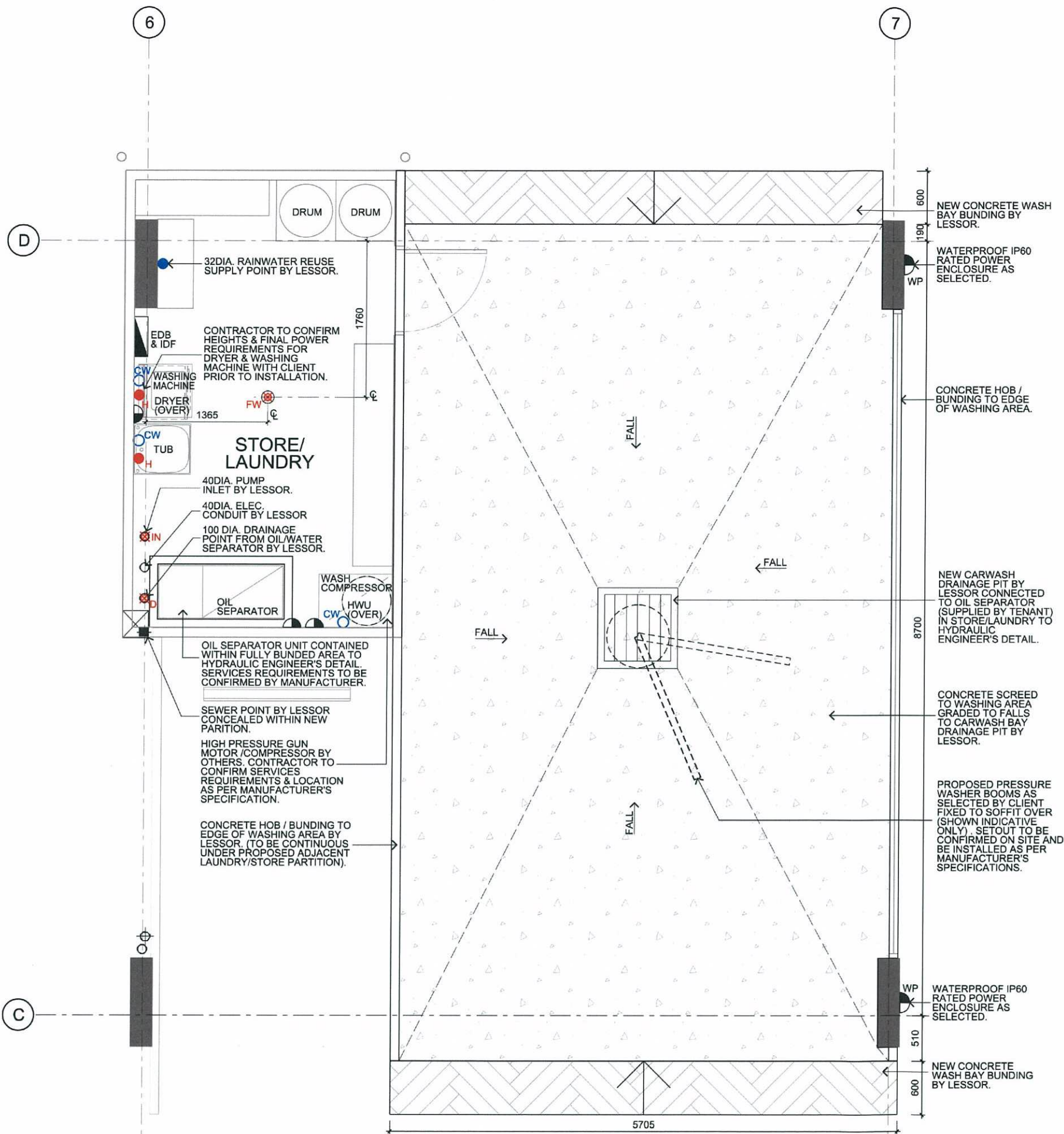
A.B.N. 74 194 321 852 © 2015  
SUITE 1105, 50 CLARENCE STREET, SYDNEY NSW 2000  
T: 9025 9905 F: 9587 6179 W: WWW.AURORADESIGN.NET.AU

SCALE	1:50 @ A3	DRAWING No.	REVISION:
PROJECT No.	17-005	<b>A220 06</b>	
DATE:	MAR.2017		

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**01** LAUNDRY & CAR WASH SERVICES PLAN  
SCALE 1:50

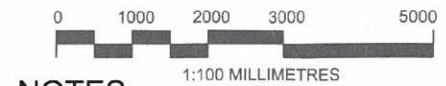
## ELECTRICAL LEGEND

ALL GPO, DATA & POWER OUTLET COVER TO BE STAINLESS STEEL FINISH.

- 10 AMP DOUBLE GPO (1100 AFFL)
- 10 AMP DOUBLE GPO (COUNTER HEIGHT)
- 10 AMP DOUBLE GPO (BELOW COUNTER)
- WEATHERPROOF DOUBLE GPO (1000 AFFL)
- ELECTRICAL DISTRIBUTION BOARD (BY LESSOR)
- TELEPHONE/FAX POINT (BELOW COUNTER)
- DATA POINT
- EFTPOS POINT

## HYDRAULIC LEGEND

- CW COLD WATER POINT
- H HOT WATER POINT
- HWU HOT WATER UNIT
- FW FLOOR WASTE DRAIN / SEWAGE POINT
- D DRAINAGE / SEWAGE POINT



## NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH "GENERAL NOTES" ON DRAWING No. A000. REFER TO DRAWING A000 FOR SCHEDULES. REFER TO DRAWING A001 FOR SPECIFICATIONS.

## LEGEND

- ELECTRICAL DISTRIBUTION BOARD
- DRYER
- ELECTRICAL DISTRIBUTION BOARD
- EQUAL
- CONFIRM ON SITE
- WASH HOSE COMPRESSOR
- FLOOR WASTE
- HOT WATER UNIT (OVER)
- OIL SEPARATOR UNIT BY OTHERS
- WASHING MACHINE
- WAITING AREA CUSTOMER CHAIR.
- LAUNDRY TUB
- TYPICAL
- FINISH REFERENCE TAG
- ITEMS TO BE DEMOLISHED / REMOVED

**GENERALLY, ALL EXISTING SERVICES AND LIGHTING THROUGHOUT CARWASH TENANCY TO BE RETAINED (UNLESS NOTED OTHERWISE).**

**APPROVAL ISSUE**

06	BRANDING AMENDED	04.07.16
05	ISSUE FOR APPROVAL	29.05.17
04	ISSUE FOR APPROVAL	20.04.17
03	DROP OFF BAYS MOVED	11.04.17
02	CONCEPT DESIGN APPROVAL	10.04.17
01	PRELIMINARY	03.03.17
REVISION	DESCRIPTION	DATE

## CARWASH SERVICES PLAN

PROJECT:  
**STAR CAR WASH**  
GLENMORE PARK SHOPPING CENTRE  
LEVEL UC2  
1-11 TOWN TERRACE, GLENMORE PARK NSW

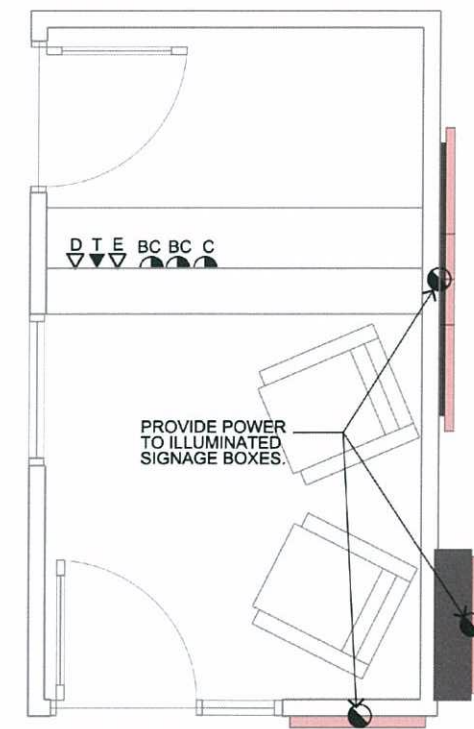
CLIENT:  
**STAR CAR WASH**  
P.O. BOX 6212  
ALEXANDRIA NSW 2015

**AURORA DESIGN**

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SCALE: 1:150 @ A3	DRAWING No.	REVISION:
PROJECT No.: 17-005	<b>A270</b>	<b>06</b>
DATE: MAR.2017		

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**02** P.O.S./WAITING SERVICES PLAN  
SCALE 1:50







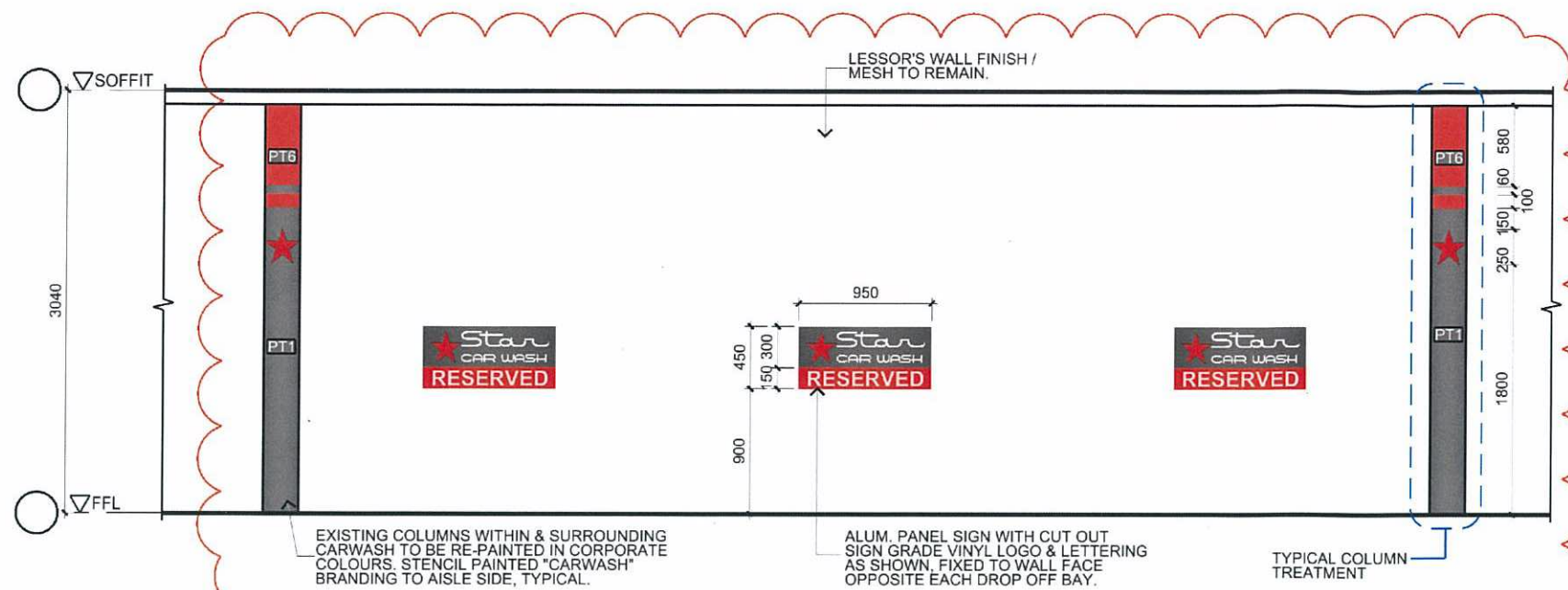


## NOTES

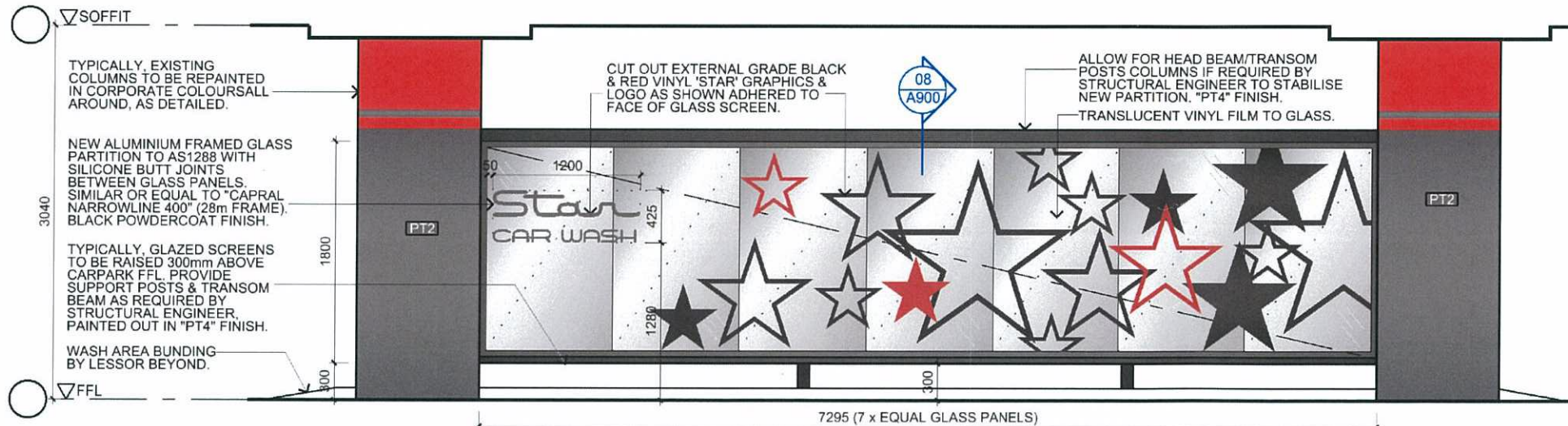
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH "GENERAL NOTES" ON DRAWING No. A000. REFER TO DRAWING A000 FOR SCHEDULES. REFER TO DRAWING A001 FOR SPECIFICATIONS.

## LEGEND

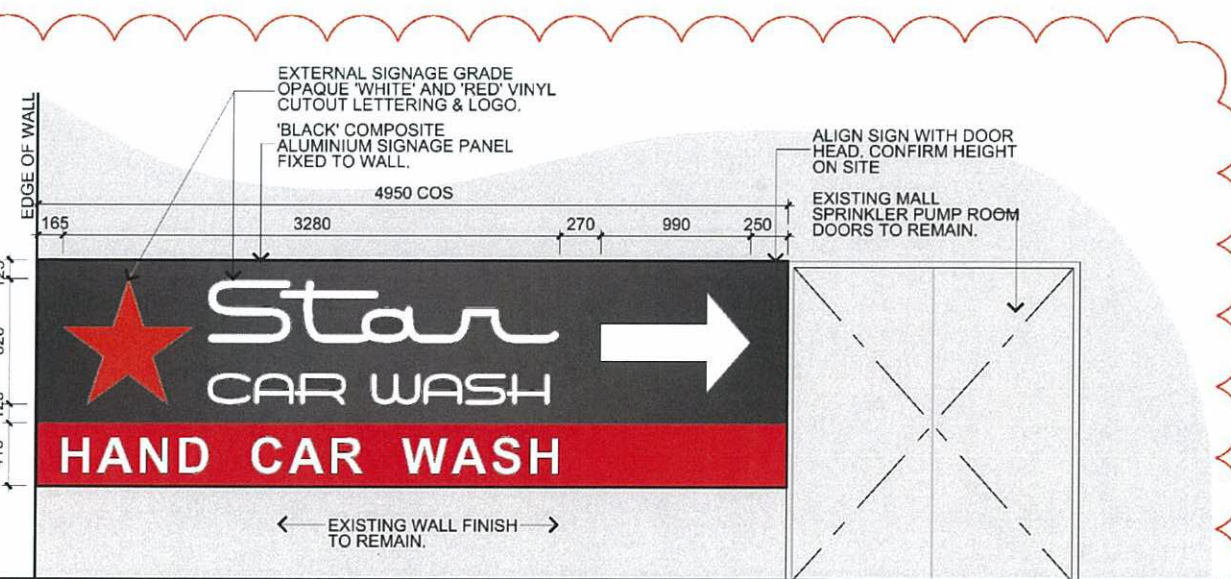
EQ	ELECTRICAL DISTRIBUTION BOARD
DY	DRYER
EDB	ELECTRICAL DISTRIBUTION BOARD
EQ	EQUAL
COS	CONFIRM ON SITE
CMP	WASH HOSE COMPRESSOR
FW	FLOOR WASTE
HWU	HOT WATER UNIT (OVER)
OIL	OIL SEPARATOR UNIT BY OTHERS
WM	WASHING MACHINE
S1	WAITING AREA CUSTOMER CHAIR.
TUB	LAUNDRY TUB
TYP	TYPICAL
XXX	FINISH REFERENCE TAG
---	ITEMS TO BE DEMOLISHED / REMOVED



01 DROP OFF BAY ELEVATION  
SCALE 1:50



02 WASH AREA SCREEN ELEVATION  
SCALE 1:50



03 DRIVEWAY SIGNAGE ELEVATION  
SCALE 1:50

## APPROVAL ISSUE

06	BRANDING AMENDED	04.07.16
05	ISSUE FOR APPROVAL	29.05.17
04	ISSUE FOR APPROVAL	20.04.17
03	DROP OFF BAYS MOVED	11.04.17
02	CONCEPT DESIGN APPROVAL	10.04.17
01	PRELIMINARY	03.03.17
REVISION	DESCRIPTION	DATE

## ELEVATIONS

PROJECT:  
**STAR CAR WASH**  
GLENMORE PARK SHOPPING CENTRE  
LEVEL UC2  
1-11 TOWN TERRACE, GLENMORE PARK NSW

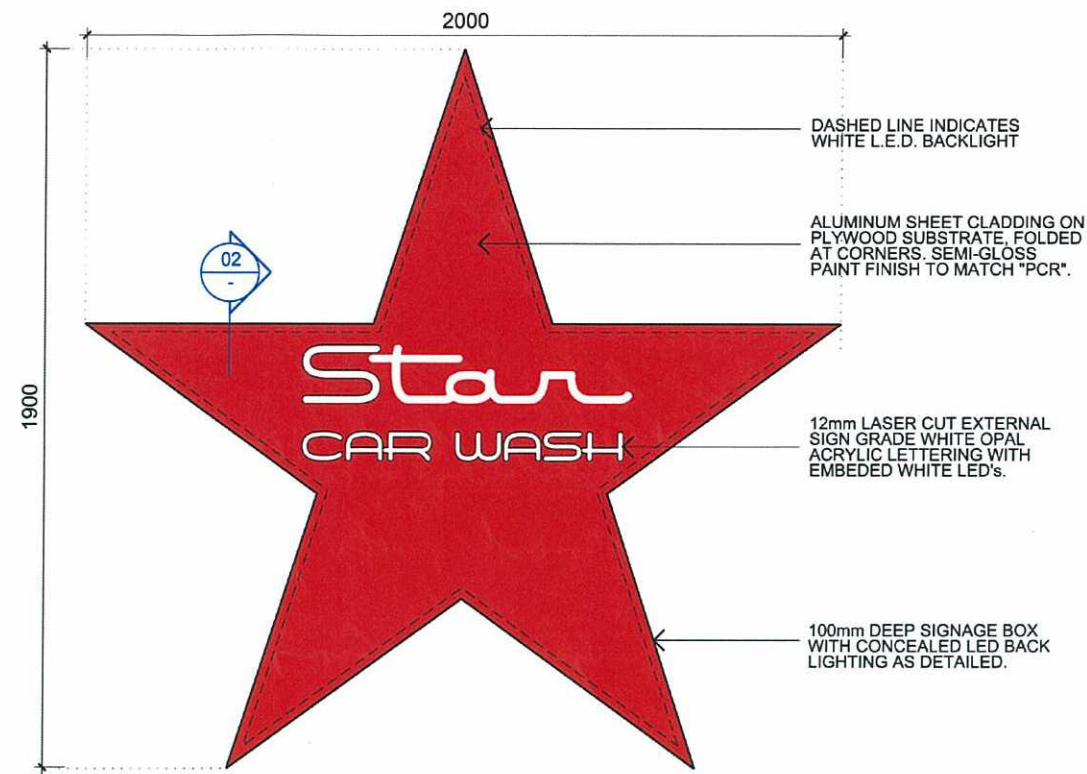
CLIENT:  
**STAR CAR WASH**  
P.O. BOX 6212  
ALEXANDRIA NSW 2015

**AURORA DESIGN**  
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SUITE 1105, 50 CLARENCE STREET, SYDNEY NSW 2000  
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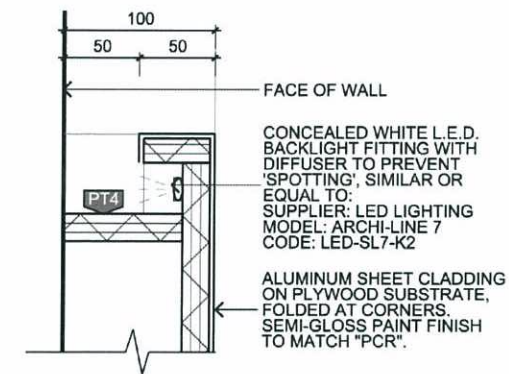
SCALE	1:50 @ A3	DRAWING No.	REVISION:
PROJECT No.	17-005	<b>A500 06</b>	
DATE:	MAR.2017		

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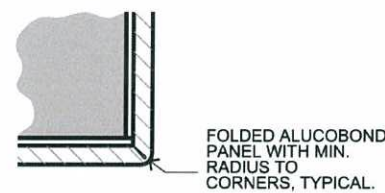




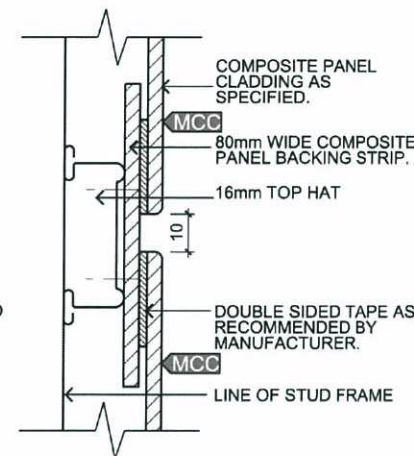
01 STAR LIGHTBOX DETAIL ELEVATION  
SCALE 1:20



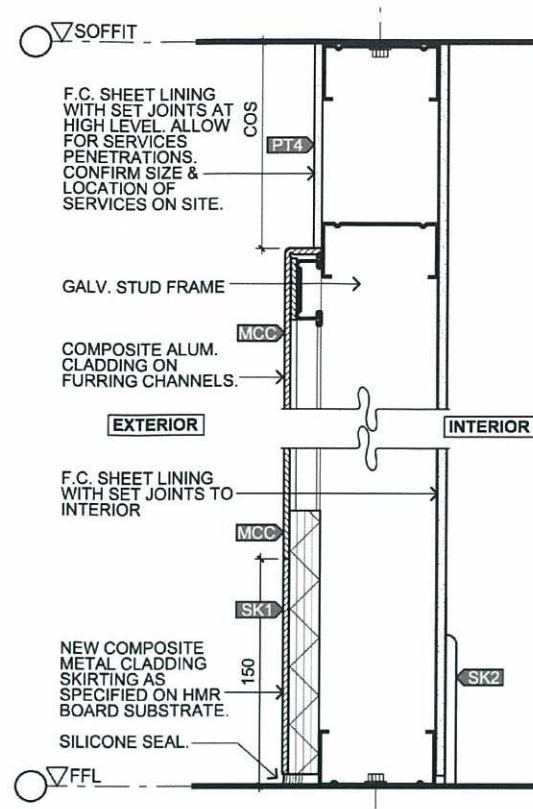
02 STAR LIGHTBOX  
EDGE DETAIL  
SECTION DETAIL SCALE 1:5



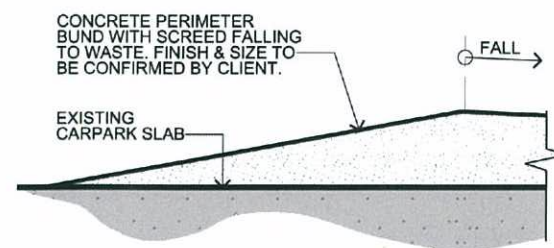
03 TYPICAL "MCC"  
CLADDING  
CORNER DETAIL  
SCALE 1:2



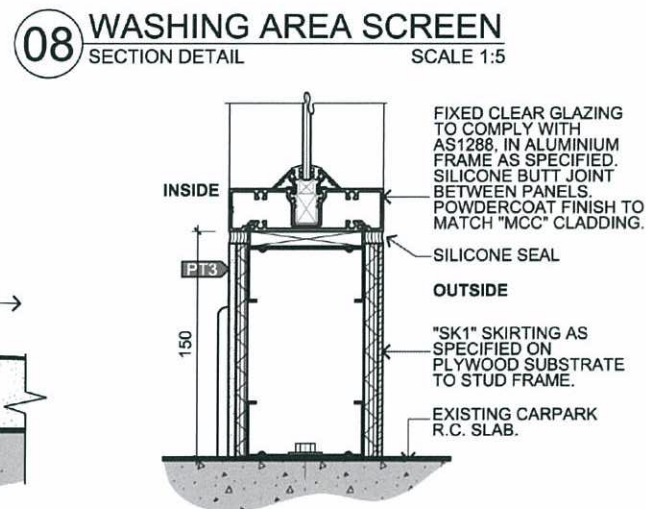
04 TYPICAL "MCC"  
EXPRESSED  
JOINT DETAIL  
SCALE 1:2



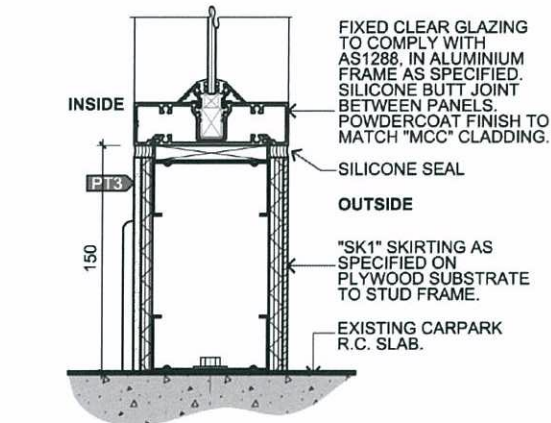
07 TYP. PARTITION DETAIL  
SECTION DETAIL SCALE 1:5



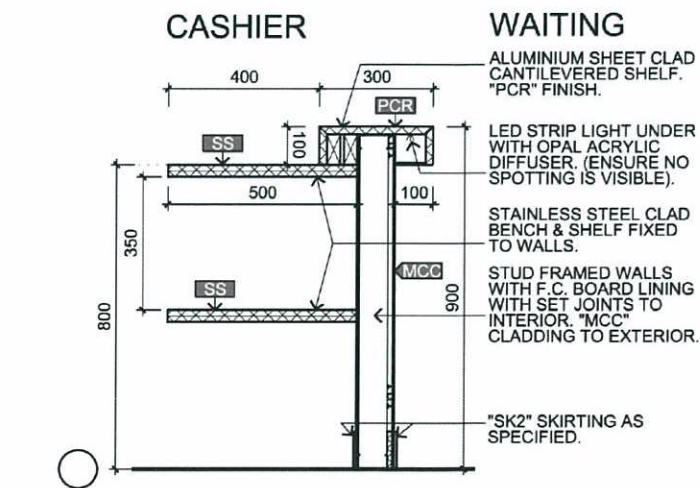
09 WASH BAY BUNDING  
SECTION DETAIL SCALE 1:10



08 WASHING AREA SCREEN  
SECTION DETAIL SCALE 1:5



10 WINDOW SILL/SKIRTING  
SECTION DETAIL SCALE 1:5



06 P.O.S. CASHIER COUNTER SECTION  
SCALE 1:20



## NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH "GENERAL NOTES" ON DRAWING No. A000. REFER TO DRAWING A001 FOR SPECIFICATIONS.

ALL CEILING / SOFFIT SUSPENDED SIGNAGE TO BE CERTIFIED BY A STRUCTURAL ENGINEER.

## LEGEND

EQ	ELECTRICAL DISTRIBUTION BOARD
DY	DRYER
EDB	ELECTRICAL DISTRIBUTION BOARD
EQ	EQUAL
COS	CONFIRM ON SITE
CMP	WASH HOSE COMPRESSOR
FW	FLOOR WASTE
HWU	HOT WATER UNIT (OVER)
OIL	OIL SEPARATOR UNIT BY OTHERS
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S1	WAITING AREA CUSTOMER CHAIR.
TUB	LAUNDRY TUB
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## APPROVAL ISSUE

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05	ISSUE FOR APPROVAL	29.05.17
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02	CONCEPT DESIGN APPROVAL	10.04.17
01	PRELIMINARY	03.03.17
REVISION	DESCRIPTION	DATE

## SIGNAGE + TYPICAL DETAILS

PROJECT:  
STAR CAR WASH  
GLENMORE PARK SHOPPING CENTRE  
LEVEL UC2  
1-11 TOWN TERRACE, GLENMORE PARK NSW

CLIENT:  
**STAR CAR WASH**  
P.O. BOX 6212  
ALEXANDRIA NSW 2015

**AURORA DESIGN**

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SUITE 1105, 50 CLARENCE STREET, SYDNEY NSW 2000  
T: 9025 9905 F: 9587 6179 W: WWW.AURORADESIGN.NET.AU

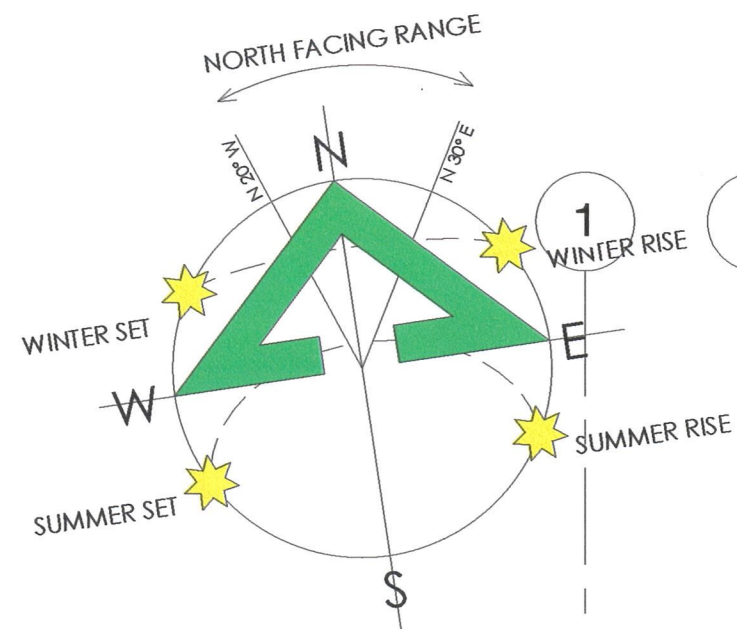
SCALE: AS NOTED @ A3 DRAWING No. REVISION:

PROJECT No.: 17-005 **A900 06**  
DATE: MAR.2017

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## **APPENDIX 6)**





Areas Schedule		
Shop No.	Level / Location	Area
T01	Mall Level	93 m²
T02	Mall Level	60 m²
T03	Mall Level	143 m²
T04	Mall Level	112 m²
T05	Mall Level	90 m²
T06	Mall Level	48 m²
T07	Mall Level	37 m²
T08	Mall Level	39 m²
T09	Mall Level	49 m²
T10	Mall Level	185 m²
T11	Mall Level	328 m²
T12	Mall Level	193 m²
T12b	Mall Level	80 m²
T14	Mall Level	80 m²
T15	Mall Level	80 m²
T16	Mall Level	44 m²
T17	Mall Level	30 m²
T18	Mall Level	4039 m²
T18.1	Mall Level	200 m²
T18.2	Upper Level Car Park	50 m²
		5980 m²

K02	Mall Level	34 m²
K03	Mall Level	60 m²
K04	Mall Level	32 m²
K06	Mall Level	33 m²
K07	Mall Level	37 m²
K08	Mall Level	17 m²
K09	Mall Level	12 m²
K10	Mall Level	21 m²

L01	Lower Carpark / Luttrell Street Level	101 m²
L02	Lower Carpark / Luttrell Street Level	41 m²
L03	Lower Carpark / Luttrell Street Level	143 m²
L04	Lower Carpark / Luttrell Street Level	106 m²
L05/6	Lower Carpark / Luttrell Street Level	182 m²
L07	Lower Carpark / Luttrell Street Level	1884 m²

C1a	Upper Level Car Park	398 m²
C1b	Upper Level Car Park	122 m²
C1.1	Upper Level Car Park	10 m²
C1.2	Upper Level Car Park	29 m²
C1.3	Upper Level Car Park	10 m²
C1.4	Upper Level Car Park	16 m²

C2a	Lower Carpark / Luttrell Street Level	15 m²
C2b	Lower Carpark / Luttrell Street Level	15 m²

Total Retail Areas  
Total Car Spaces  
Car Spaces / 100m²

Previous TP4 Issue  
Total Retail Areas  
Total Car Spaces  
Car Spaces / 100m²

FOR APPROVAL  
30.08.17  
NOT FOR CONSTRUCTION

Revisions	Date	Description
TP2	21.03.16	March 2016 Amendments Issue
TP3	26.06.16	June 2016 Amendments Issue
TP4	03.08.16	August 2016 Amendments Issue
TP5	28.08.17	August 2017 Amendments Issue

Coles and Specialty Shops Level Floor Plan

Project number	220/14	DA202	TP5
Date	OCT 2015		
Drawn by	PB		
Checked by	JB	Scale	1 : 200

Village Fair Glenmore Pty. Ltd.  
Proposed Glenmore Park Shopping Centre,  
Penrith, NSW

Total Tenancy Area 4232 sq.m.  
inc. T18.1  
R.L. 51.500

Coles Supermarket

Liquorland

TP5

TP5

TP5

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