

PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK , FOR PENRITH CITY COUNCIL, GRANT APPROVAL

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4	GROUND FLOOR GENERAL LAYOUT
5	DEMOLITION PLAN
6	FLOOR FINISHES PLAN
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18	ELEVATIONS



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20/09/2019
20/05/2019

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issue j:
issue i:
issue h:
issue g:
issue f:
issue e:
issue d:
issue c:
issue b: Client Sketch
issue a: Grant Approval

drawing: **COVER SHEET**

project: **PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK ,**

client: **PENRITH CITY COUNCIL**

drawn: A.M. scale: as shown sheet size: A3 Council

checked: J.E. date: SEPT19 ref: 2019-135 PCC

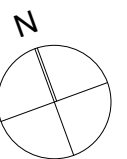
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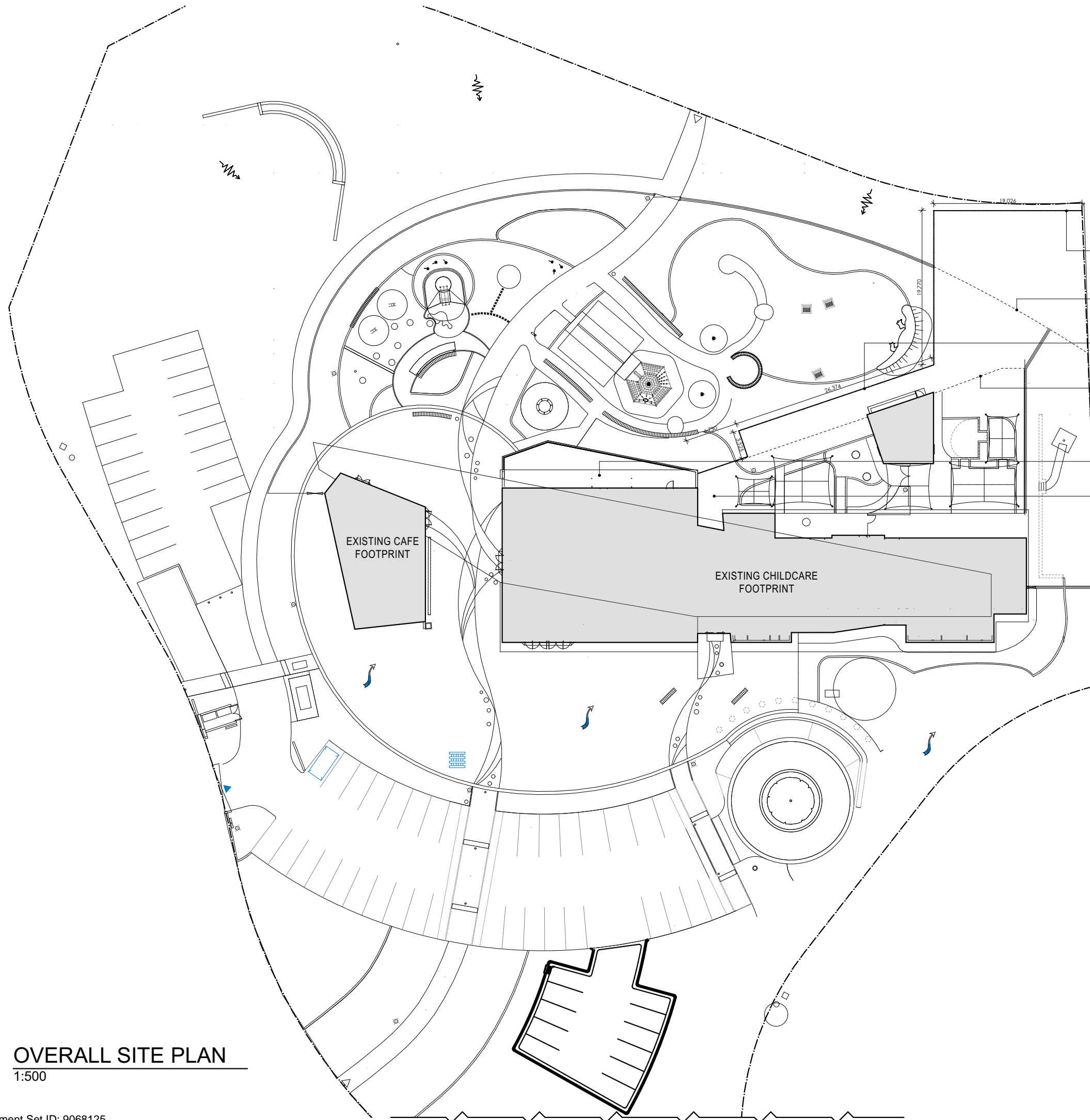


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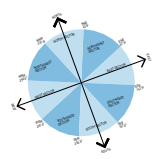
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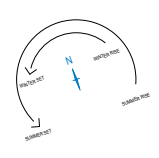
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- Any fencing required in addition to the fencing to be reused is to match existing
- Existing fence to be relocated as shown
- Additional fenced play area. Refer to floorplans for details
- Existing fence to be relocated as shown
- Additional fenced play area. Refer to floorplans for details
- Rectification of play area not included in this scope



	PROPOSED SITE BOUNDARY
	EXISTING STRUCTURES TO BE DEMOLISHED
	SILT FENCING
	TEMPORARY CONSTRUCTION FENCE
	POTENTIAL NOISE SOURCE
	TREES TO BE REMOVED
	TREES TO BE RETAINED
	STREET ACCESS
	VEHICLE ACCESS
	PREVAILING WINDS
	POTENTIAL OVERLOOKING
	PROPOSED BUILDING
	NEIGHBOURING PROPERTIES
	PRIVATE OPEN SPACE
	NEIGHBOURING PRIVATE OPEN SPACE



OVERALL SITE PLAN
1:500

drawing: **SITE PLAN**

project: **PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK ,**

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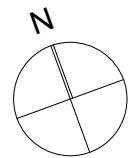
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drawing: **GROUND FLOOR OVERALL**
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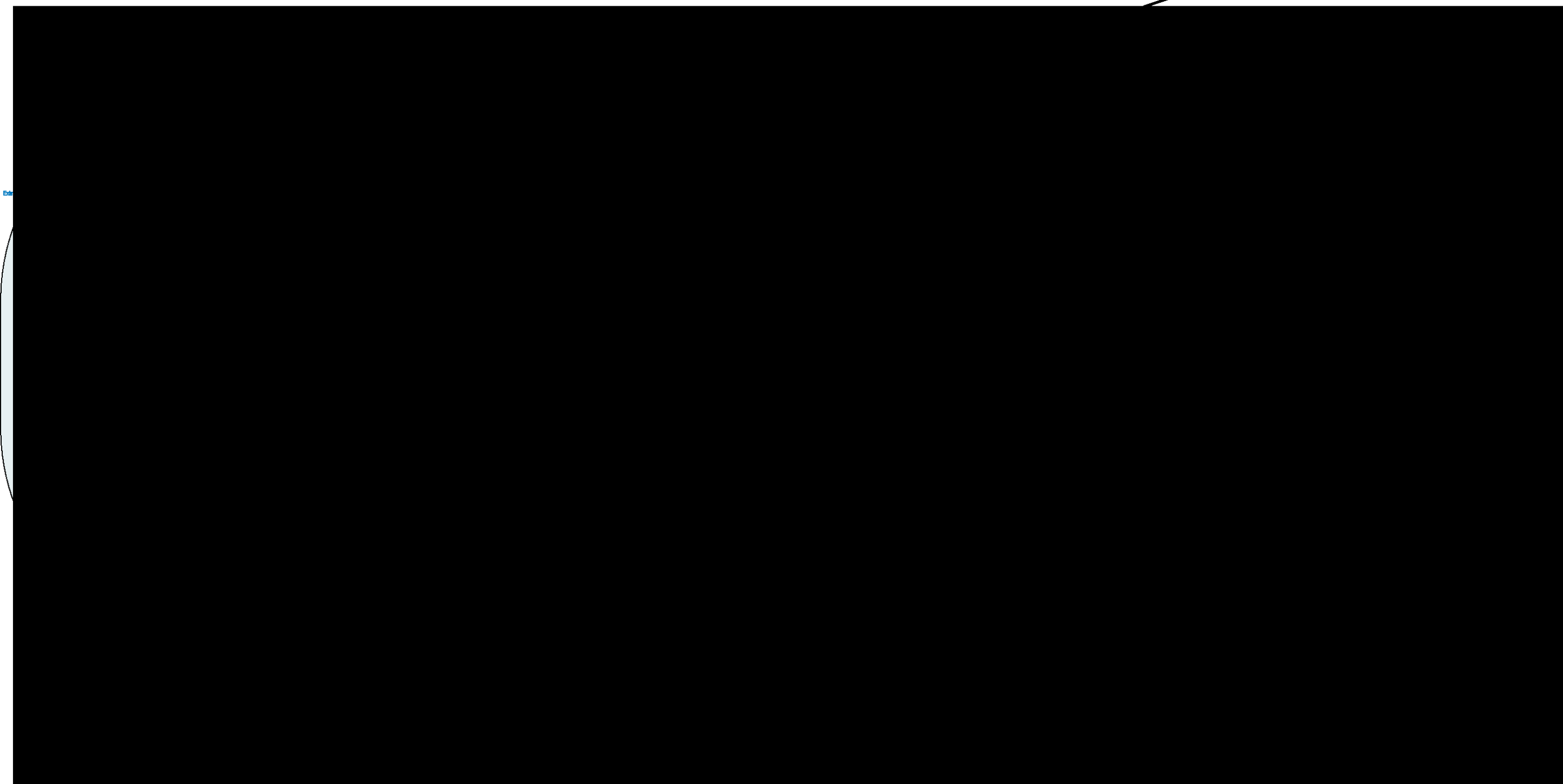
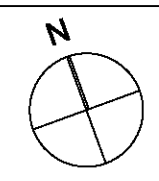
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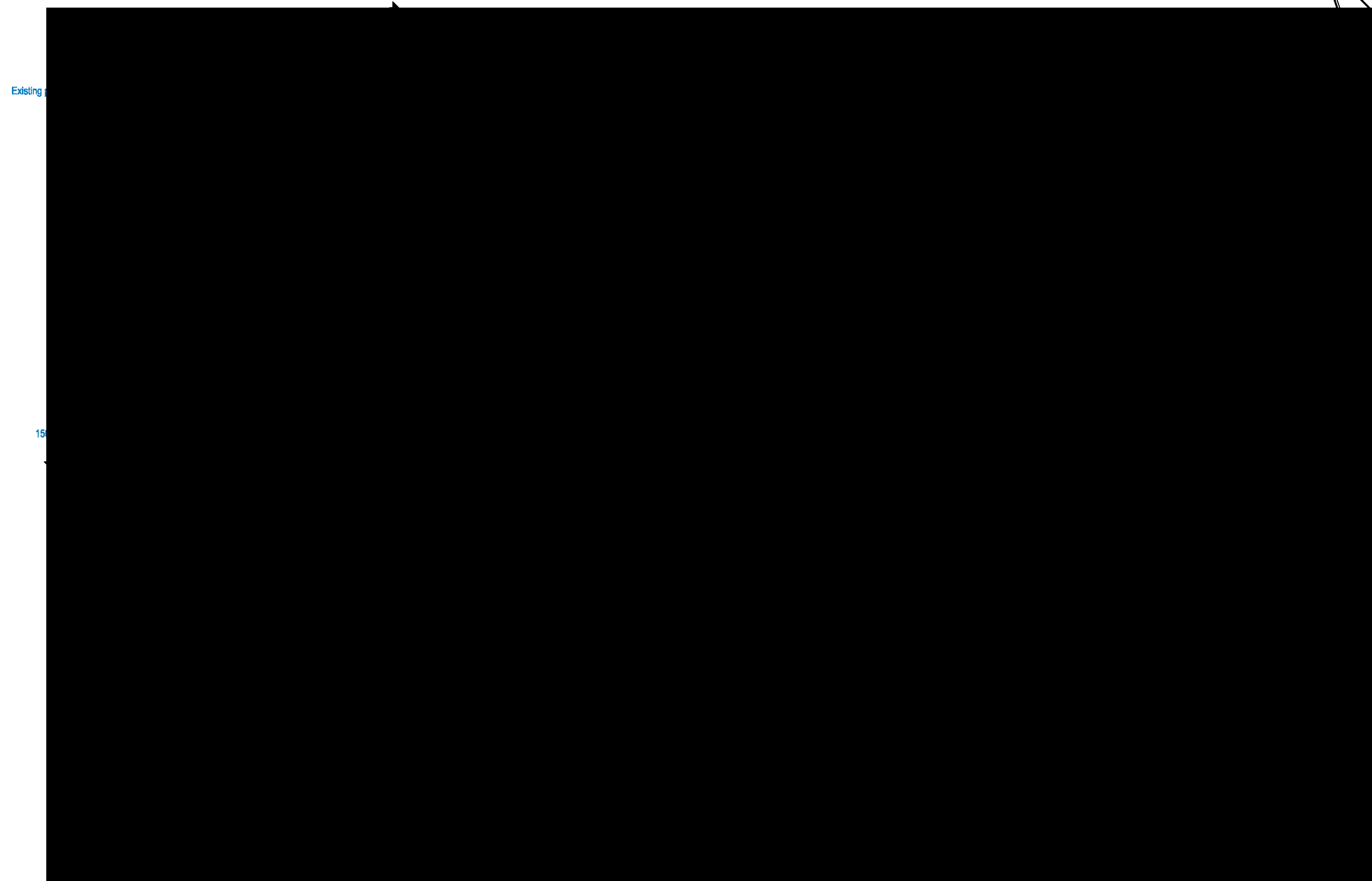
GROUND FLOOR GENERAL LAYOUT
1:200

KEY	
	Existing walls
	Proposed walls



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Existing

15

drawing: **GROUND FLOOR GENERAL LAYOUT**
 project: **PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK**,
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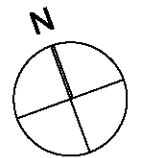
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GROUND FLOOR GENERAL LAYOUT
 1:100



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KEY	
	Walls to be retained
	Walls/elements to be demolished

Proposed base and overhead
cupboards to be removed. Sinks
to be removed and plumbing capped

Carpet and underlay to be removed

Necessary investigations
to be sought to remove asbestos

2 x double doors to be removed

Double door to be removed

Wall to be removed

Light to be removed which
restricts placement of furniture

drawing: DEMOLITION PLAN	
project: PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK	
client: PENRITH CITY COUNCIL	
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DEMOLITION PLAN

1:100



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drawing: **FLOOR FINISHES PLAN**
 project: **PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK**,
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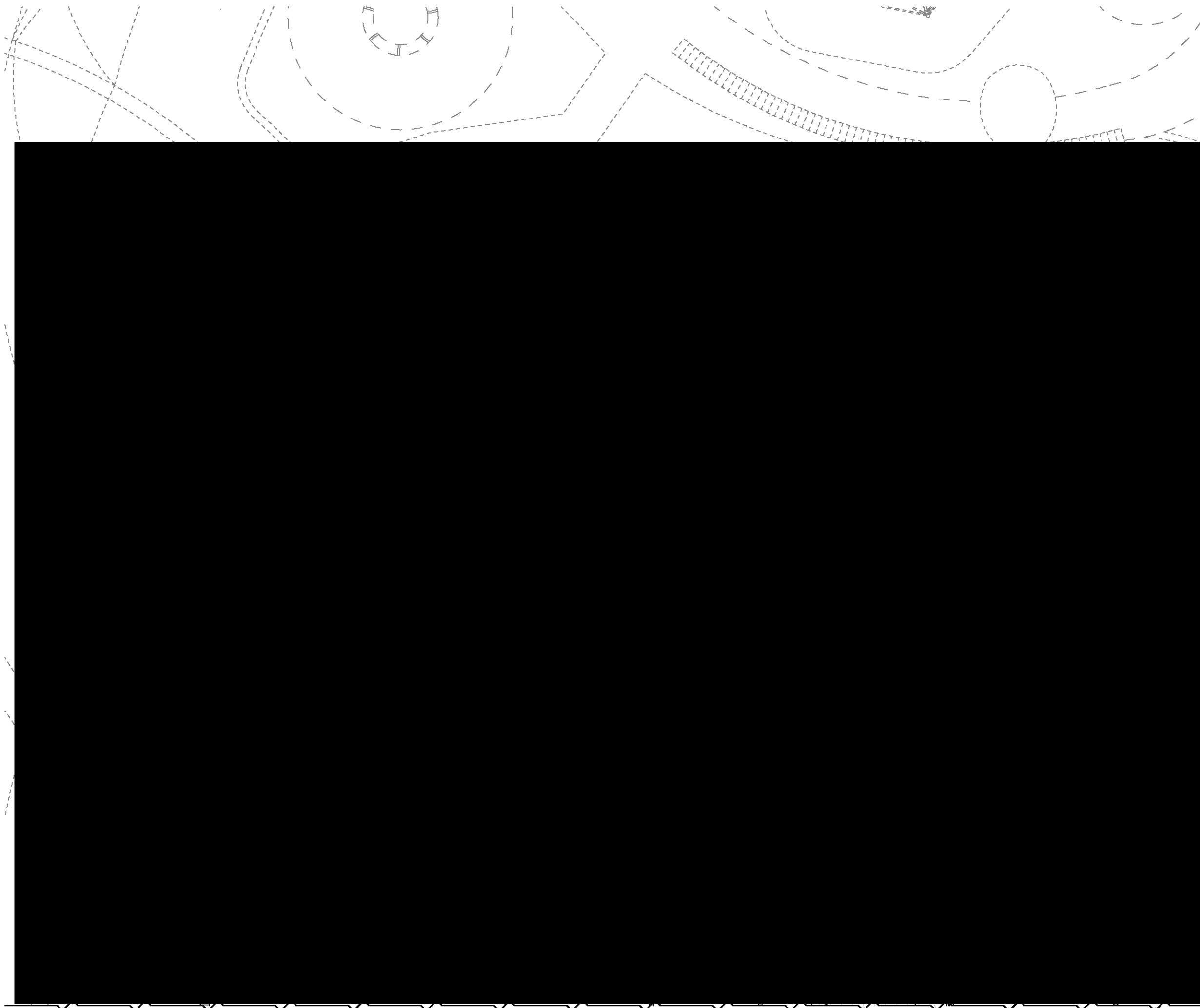
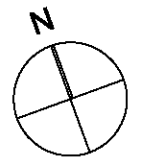
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KEY	
	Existing walls
	Proposed walls
	L1 Linoleum
	L2 Linoleum
	V1 Vinyl





FLOOR FINISHES PLAN

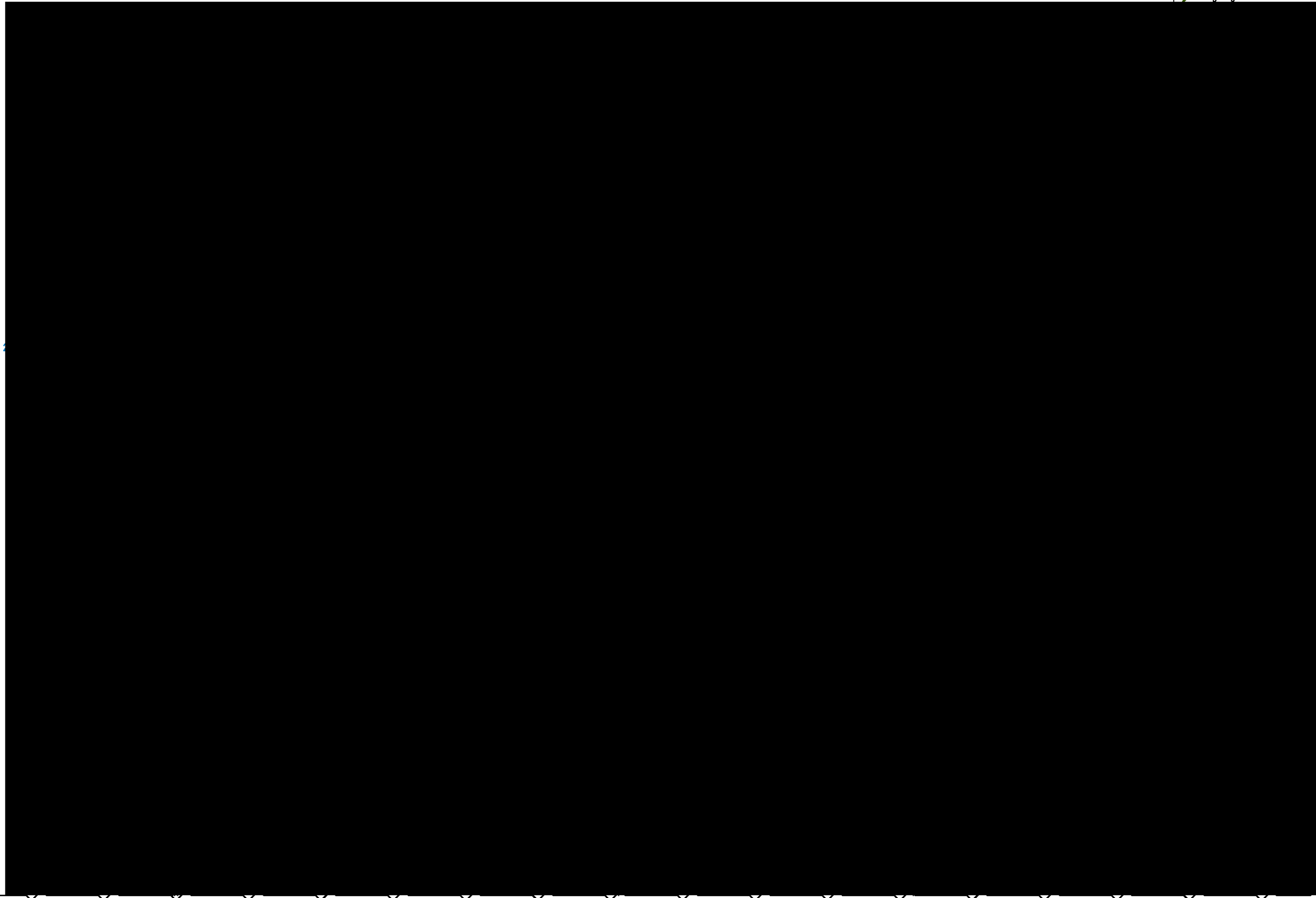
1:100



Member
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Institute of
Architects

KEY

-  Existing walls
-  Proposed walls
-  Walls/elements to be demolished
-  Lighting



issue k:	
issue j:	
issue i:	
issue h:	
issue g:	
issue f:	
issue e:	
issue d:	
issue c:	
issue b:	Client Sketch
issue a:	Grant Approval

drawing: **REFLECTED CEILING PLAN**

project: **PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK ,**

client: **PENRITH CITY COUNCIL**

drawn: A.M. scale: as shown sheet size: A3 Council

checked: J.E. date: SEPT19 ref: 2019-135 PCC

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nominated architect - Joe el-sabbagh 8707

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REFLECTED CEILING PLAN

1:100



Member
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KEY	
f.w. ⊕	Floor waste
	Indicative sewer line
	Indicative supply live
	Existing walls
	Proposed walls

issue k:	
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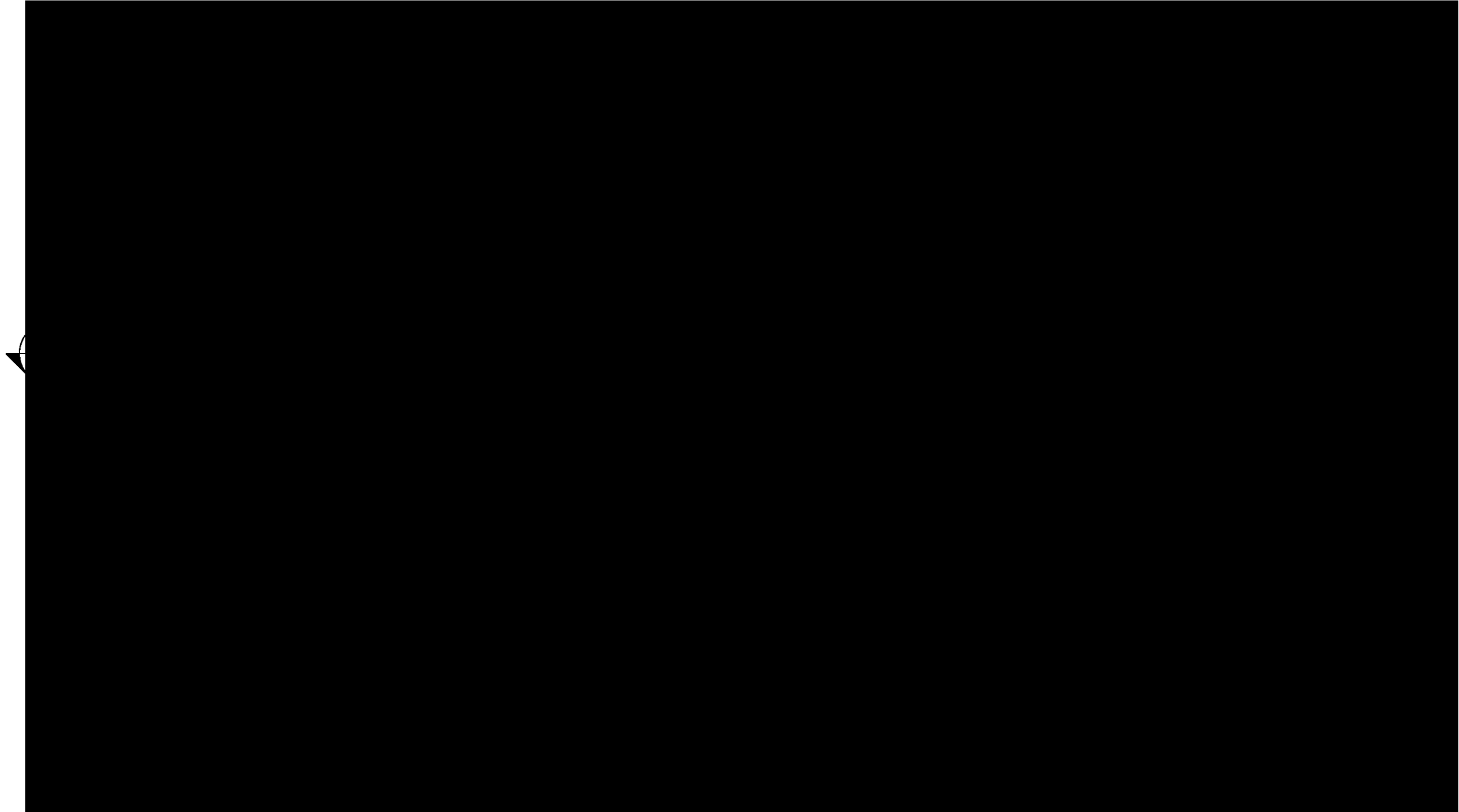
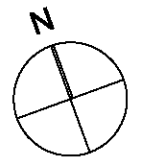
drawing: **INDICATIVE PLUMBING PLAN**
 project: **PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK**,
 client: **PENRITH CITY COUNCIL**
 drawn: A.M. scale: as shown sheet size: A3 Council
 checked: J.E. date: SEPT19 ref: 2019-135 PCC

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INDICATIVE PLUMBING PLAN

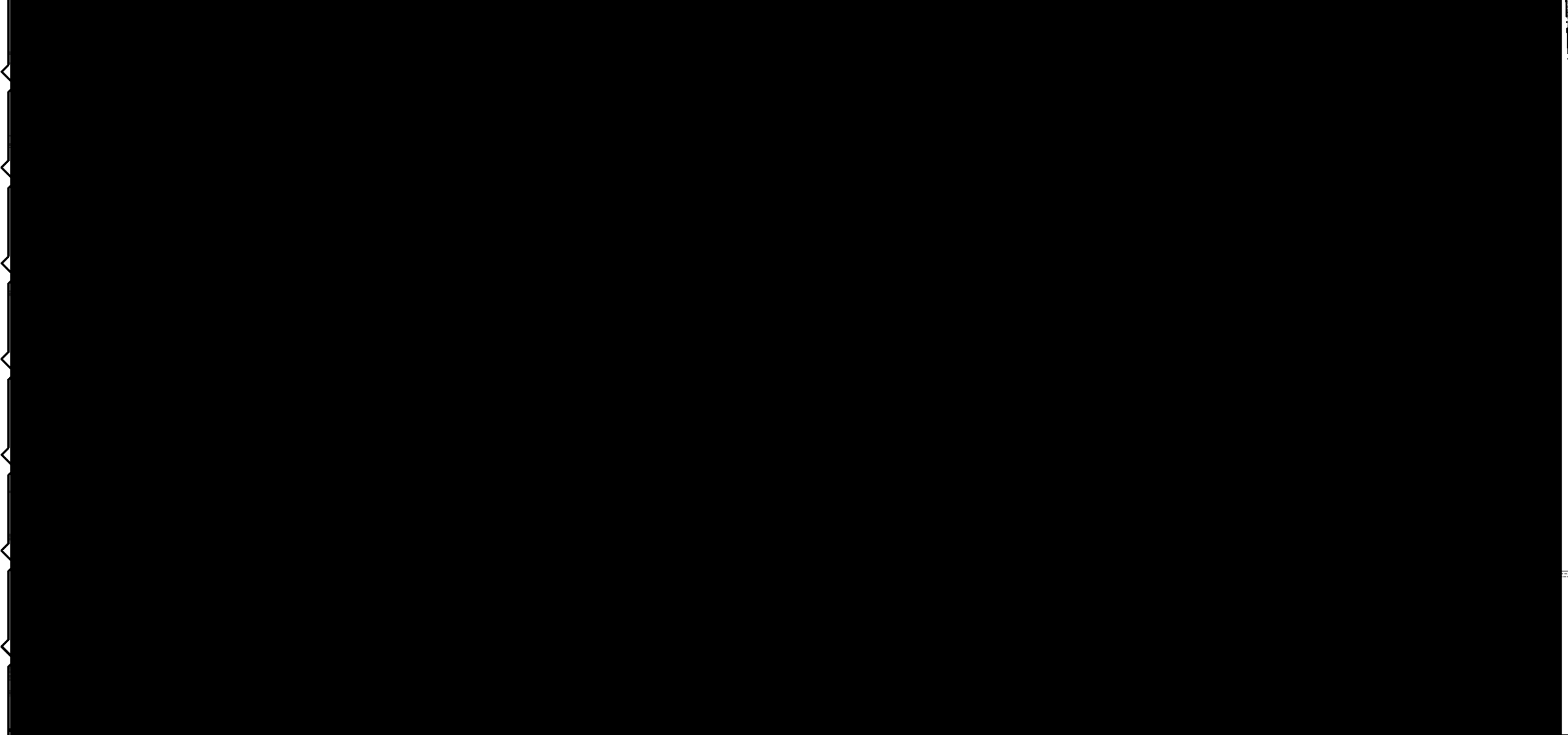
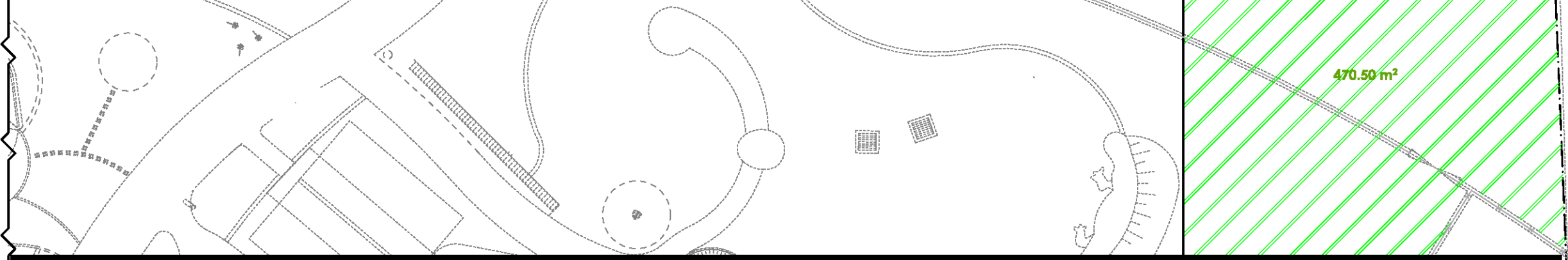
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KEY	
	Existing outdoor unencumbered area
	Existing outdoor covered area
	Proposed outdoor unencumbered area
	Proposed outdoor covered area

AREA CALCULATION			
	EXISTING	PROPOSED	TOTAL
UNECUMBERED INDOOR AREA	201.93 m ²	97.74 m ²	299.67 m ²
UNECUMBERED OUTDOOR AREA	560.68 m ²	501.78 m ²	1062.46 m ²
OUTDOOR COVERED AREA	98.78 m ²	55.45 m ²	154.23 m ²

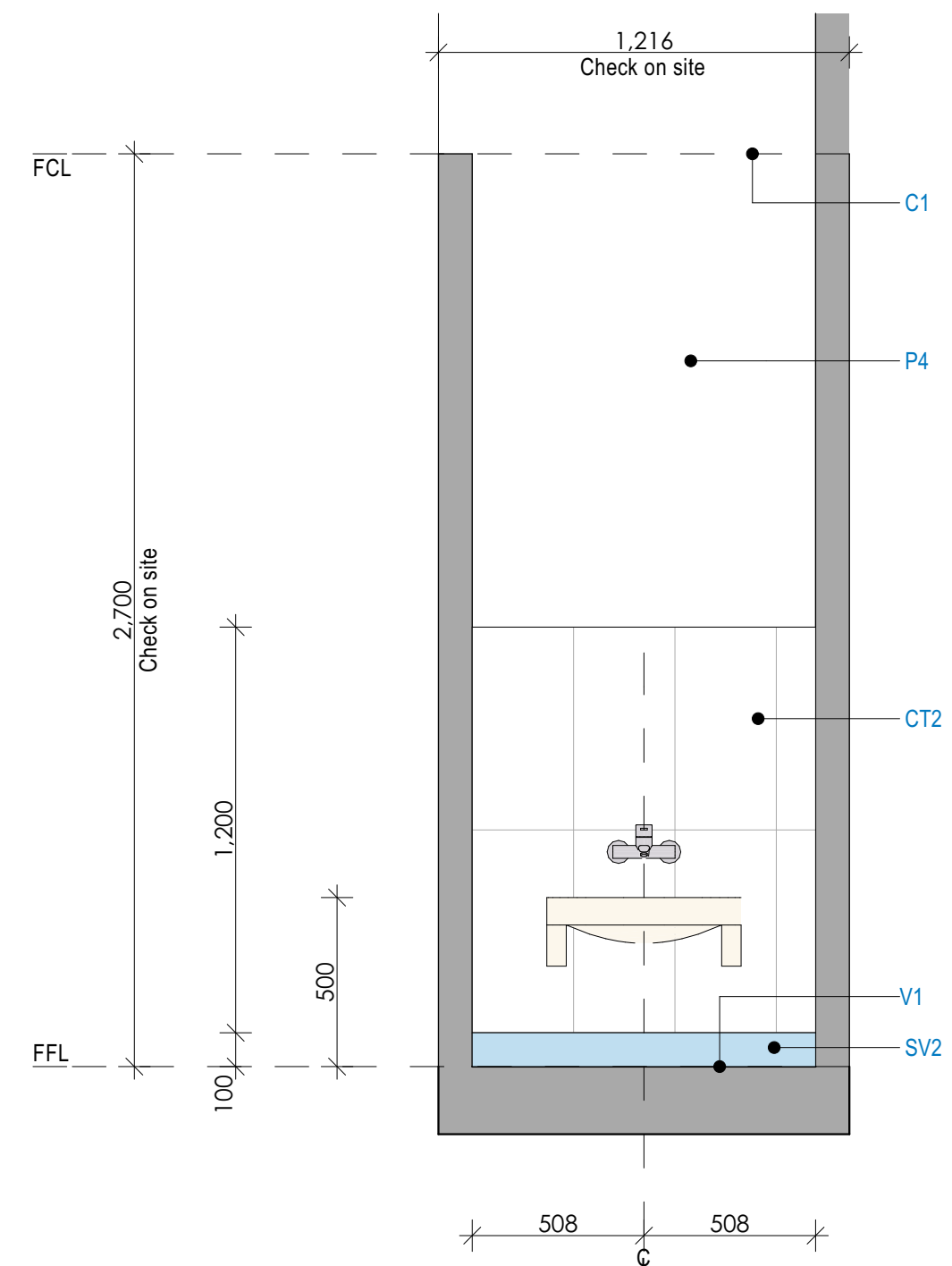
NUMBER OF CHILDREN			
	EXISTING	PROPOSED	TOTAL
INDOOR AREA / 3.25 sqm	62.13	30.07	92.2
OUTDOOR AREA / 7.25 sqm	77.33	69.21	146.5



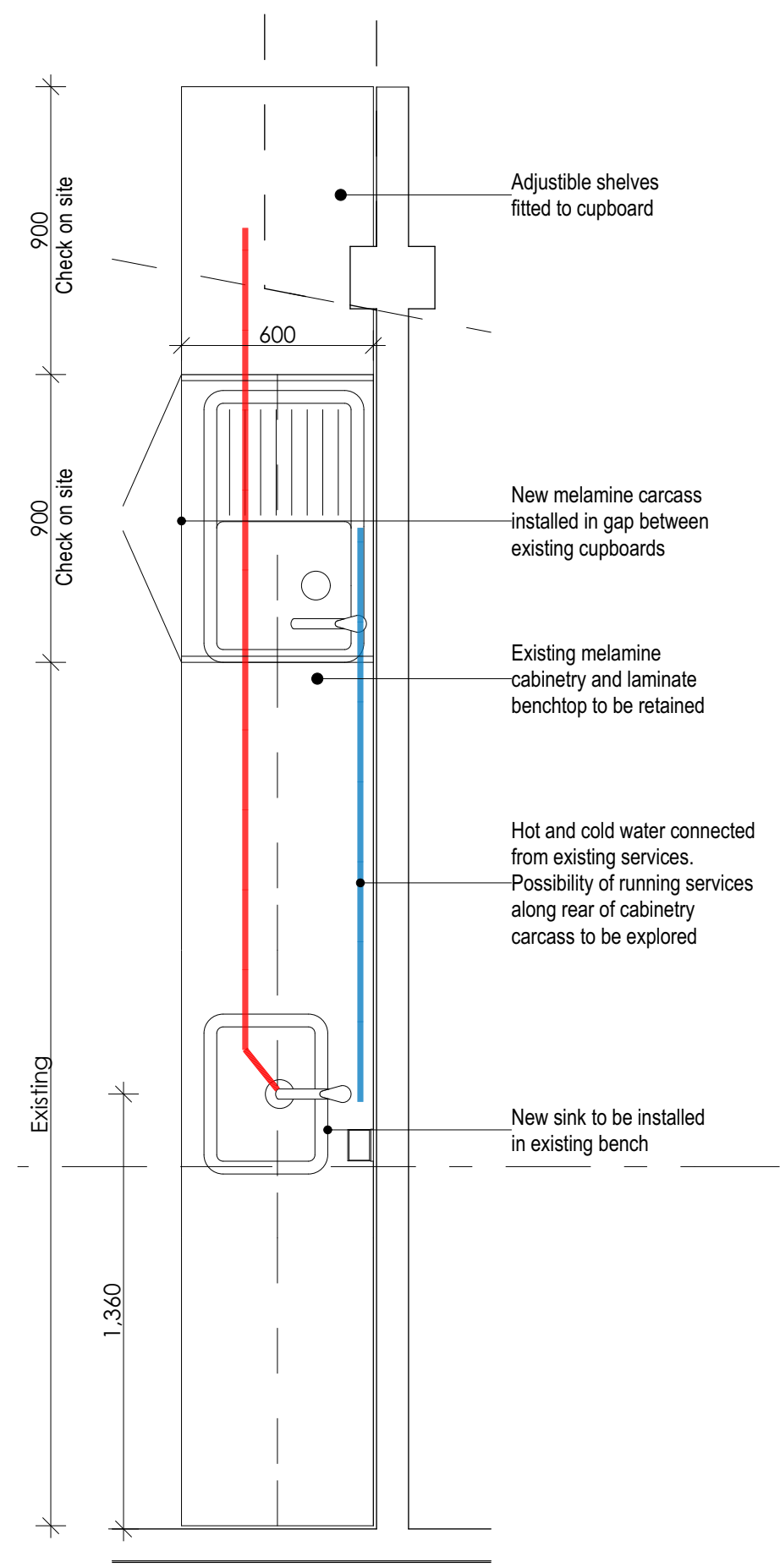
drawing: **AREA CALCULATION PLAN**
 project: **PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK**,
 client: **PENRITH CITY COUNCIL**
 drawn: A.M. scale: as shown sheet size: A3 Council
 checked: J.E. date: SEPT19 ref: 2019-135 PCC

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CC1 NORTHERN CLEANERS ROOM ELEVATION
1:20



KITCHENETTE DETAIL FLOORPLAN
1:20

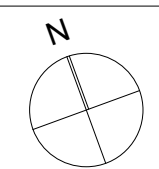
drawing:	DETAILS 01
project:	PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK
client:	PENRITH CITY COUNCIL
drawn:	A.M.
checked:	J.E.
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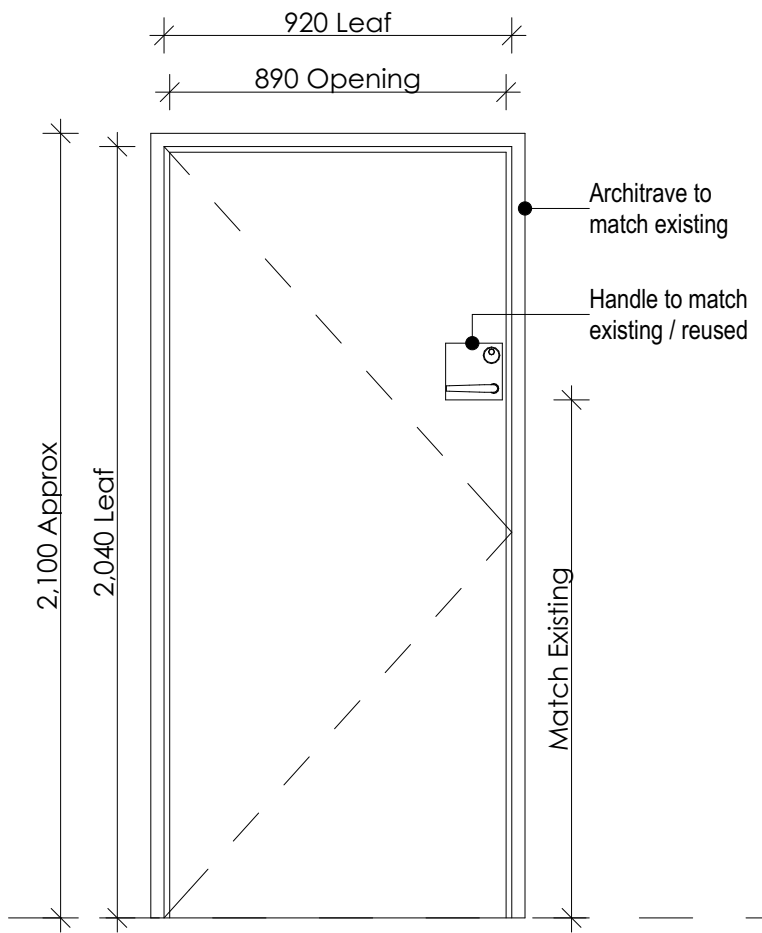


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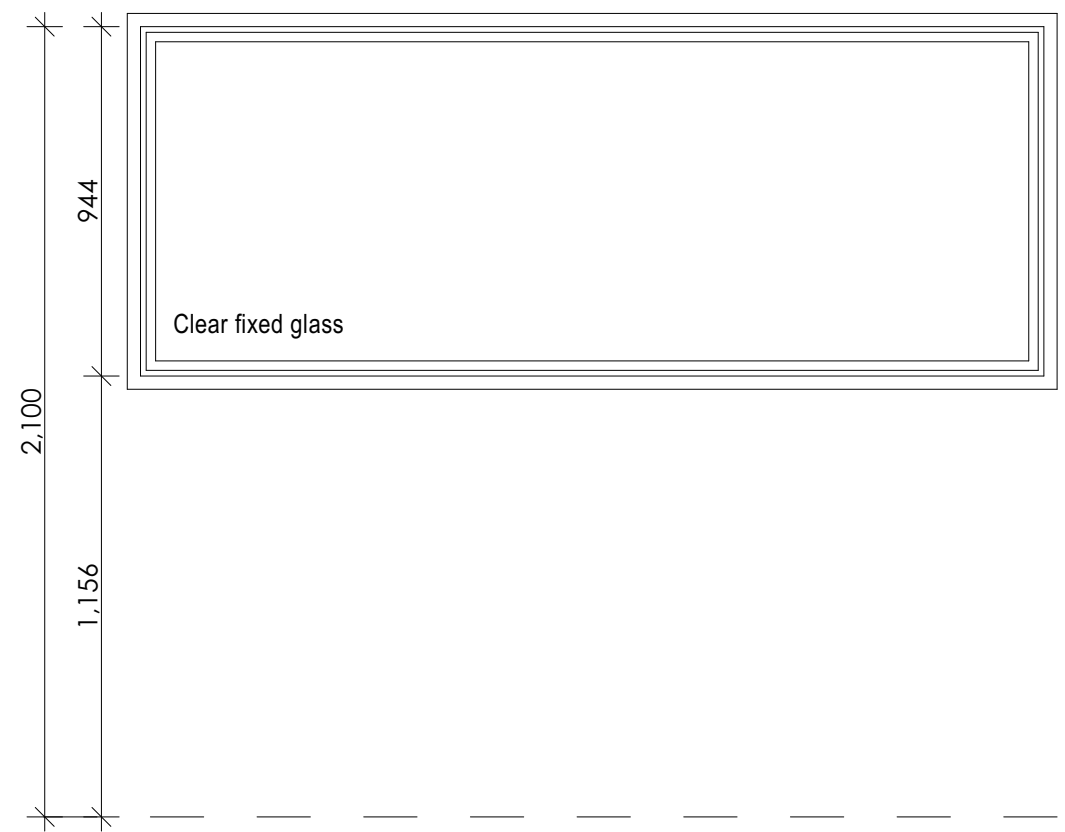
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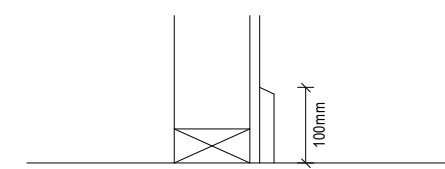


D01
DOOR & WINDOW SCHEDULE
1:20

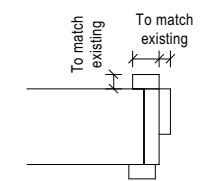


W01

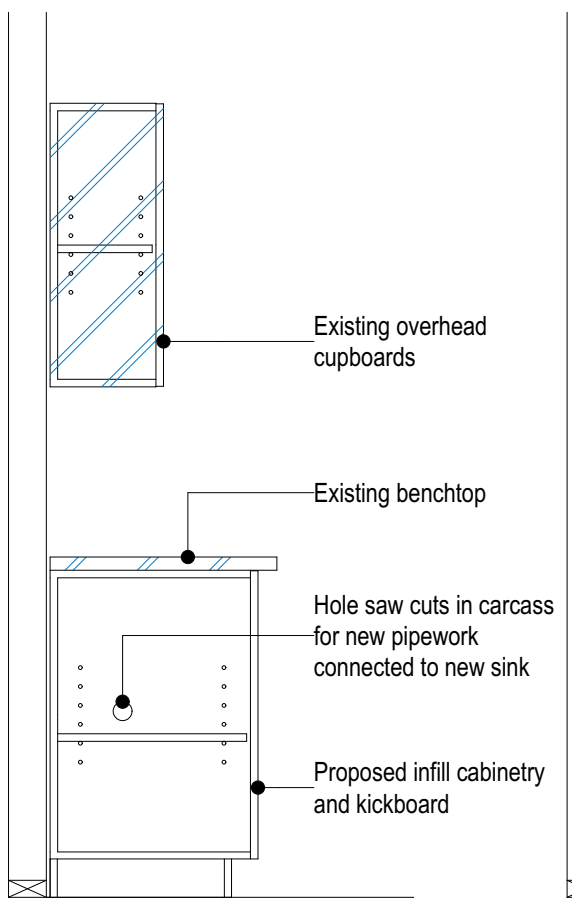
NOTES:
 - All doors and windows are viewed from the outside
 - Dimensions shown are frame size. Confirm dimensions on site
 - All glazing to be safety glass (laminated or toughened) Min. 6.38mm in accordance with AS 1288.1994: Glass installation code and the BCA



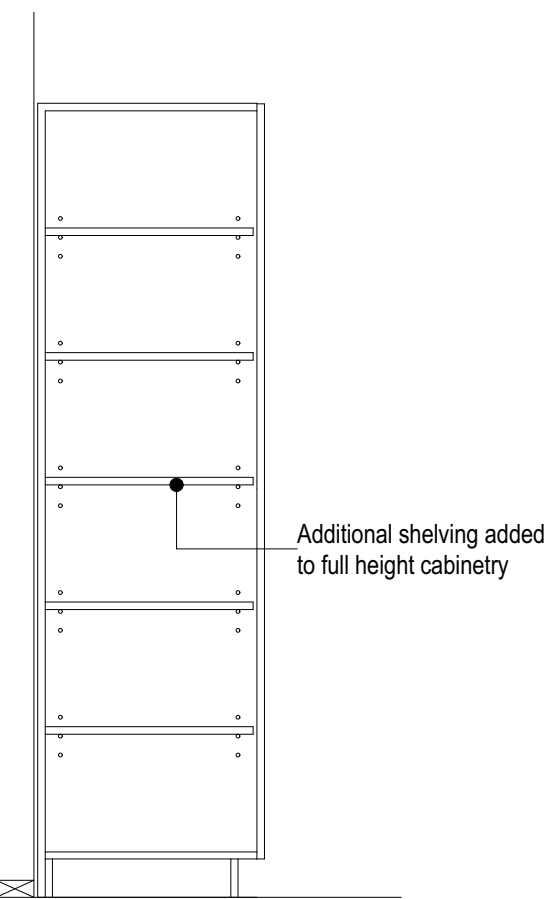
SKIRTING DETAIL
1:10



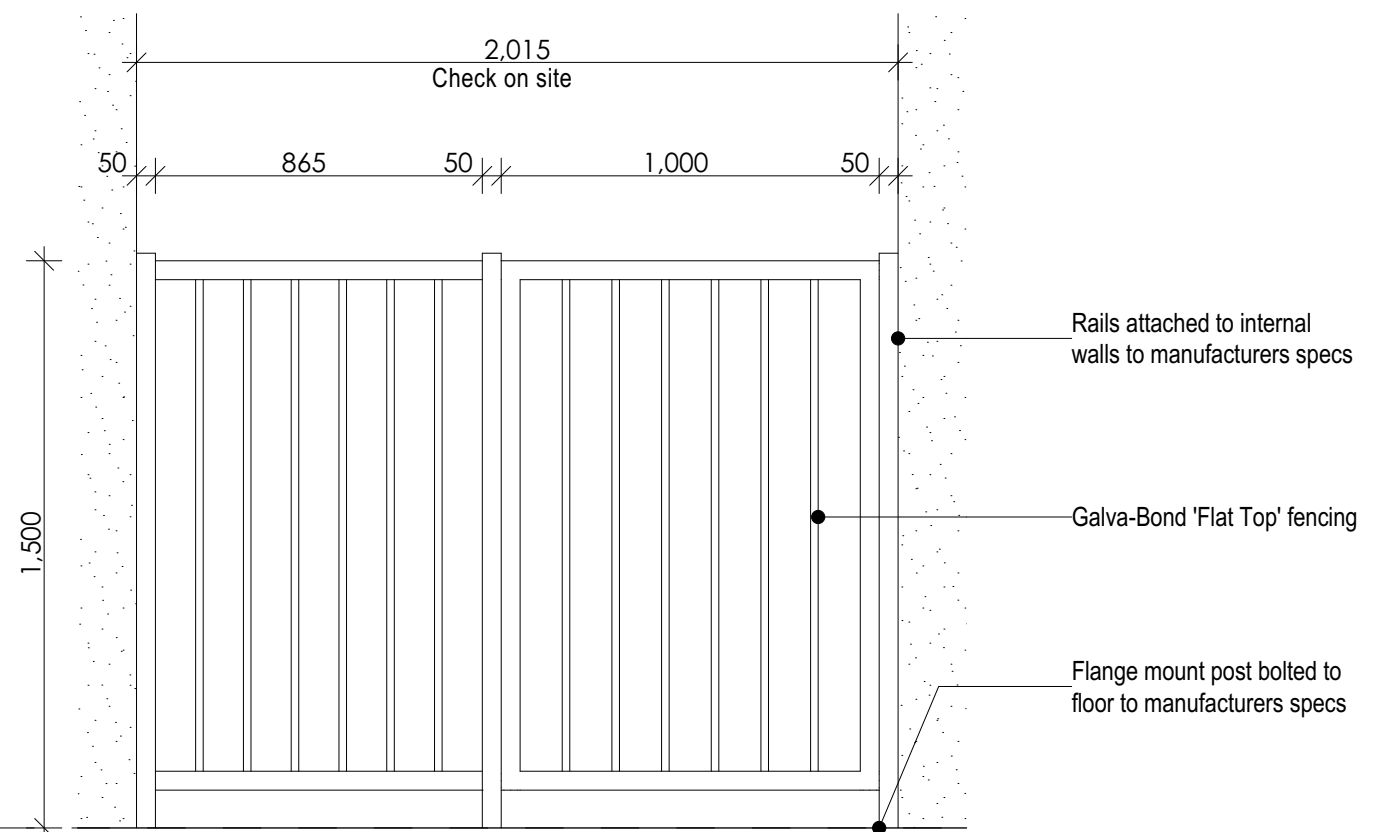
ARCHITRAVE DETAIL
1:10



BASE CUPBOARD
1:20



FULL HEIGHT CUPBOARD
1:20



POOL TYPE FENCING
1:20

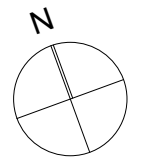
drawing:	DETAILS 02
project:	PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK
client:	PENRITH CITY COUNCIL
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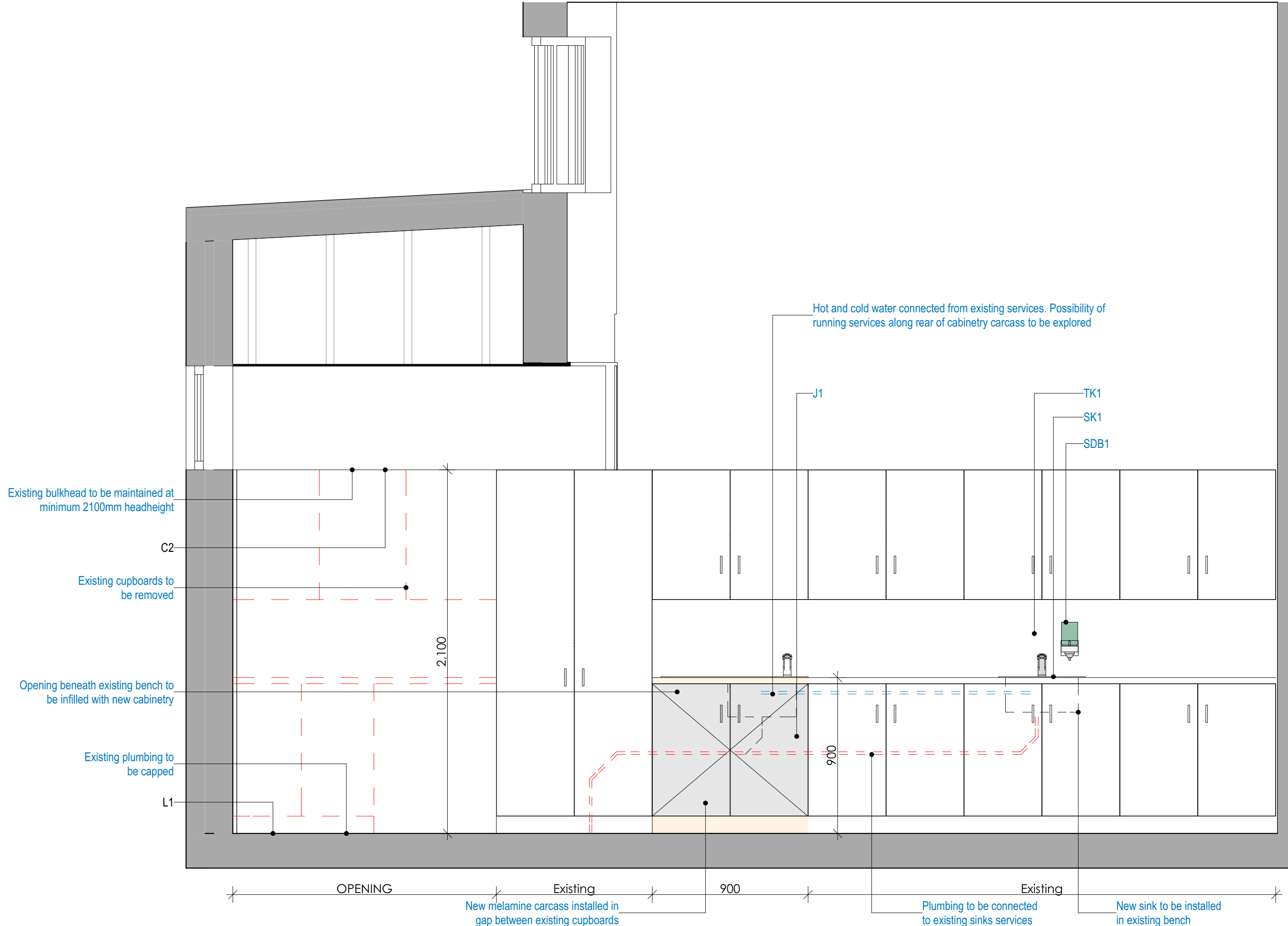
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drawing: K1 INTERIOR ELEVATION

project: PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK ,

client: PENRITH CITY COUNCIL

drawn: A.M. scale: as shown sheet size: A3 Council
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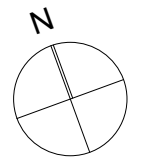
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K1 INTERIOR ELEVATION
 1:20

drawing: CHILDRENS BATHROOM FLOORPLAN DETAIL
project: PROPOSED CHILDCARE CENTRE ALT & ADDS
client: PENRITH CITY COUNCIL

scale: as shown
date: SEPT19

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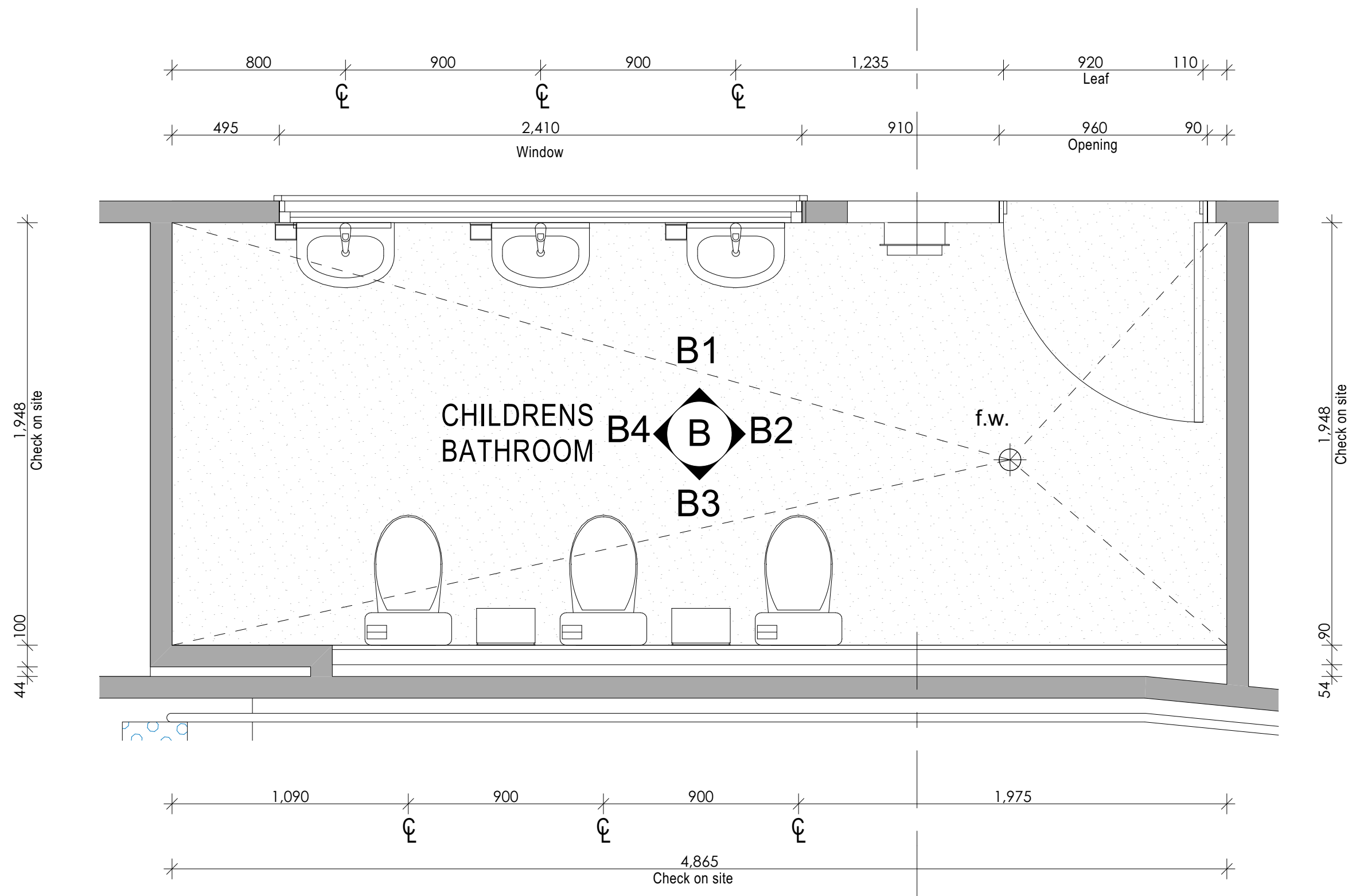
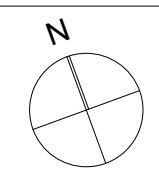
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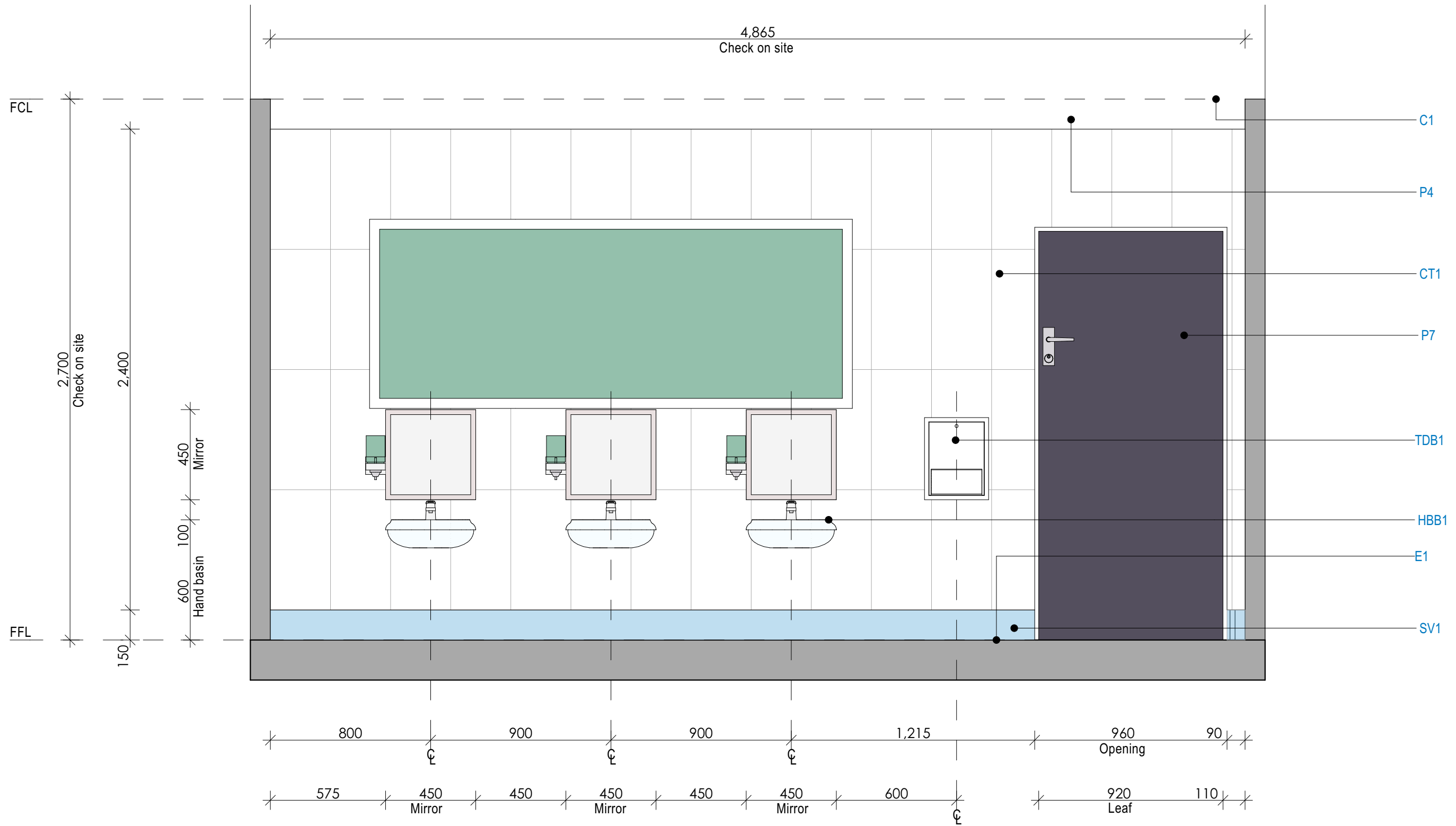
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CHILDRENS BATHROOM DETAIL FLOORPLAN
1:20

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B1 INTERIOR ELEVATION
1:20

drawing: **B1 INTERIOR ELEVATION**

project: **PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK ,**

client: **PENRITH CITY COUNCIL**

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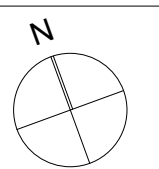
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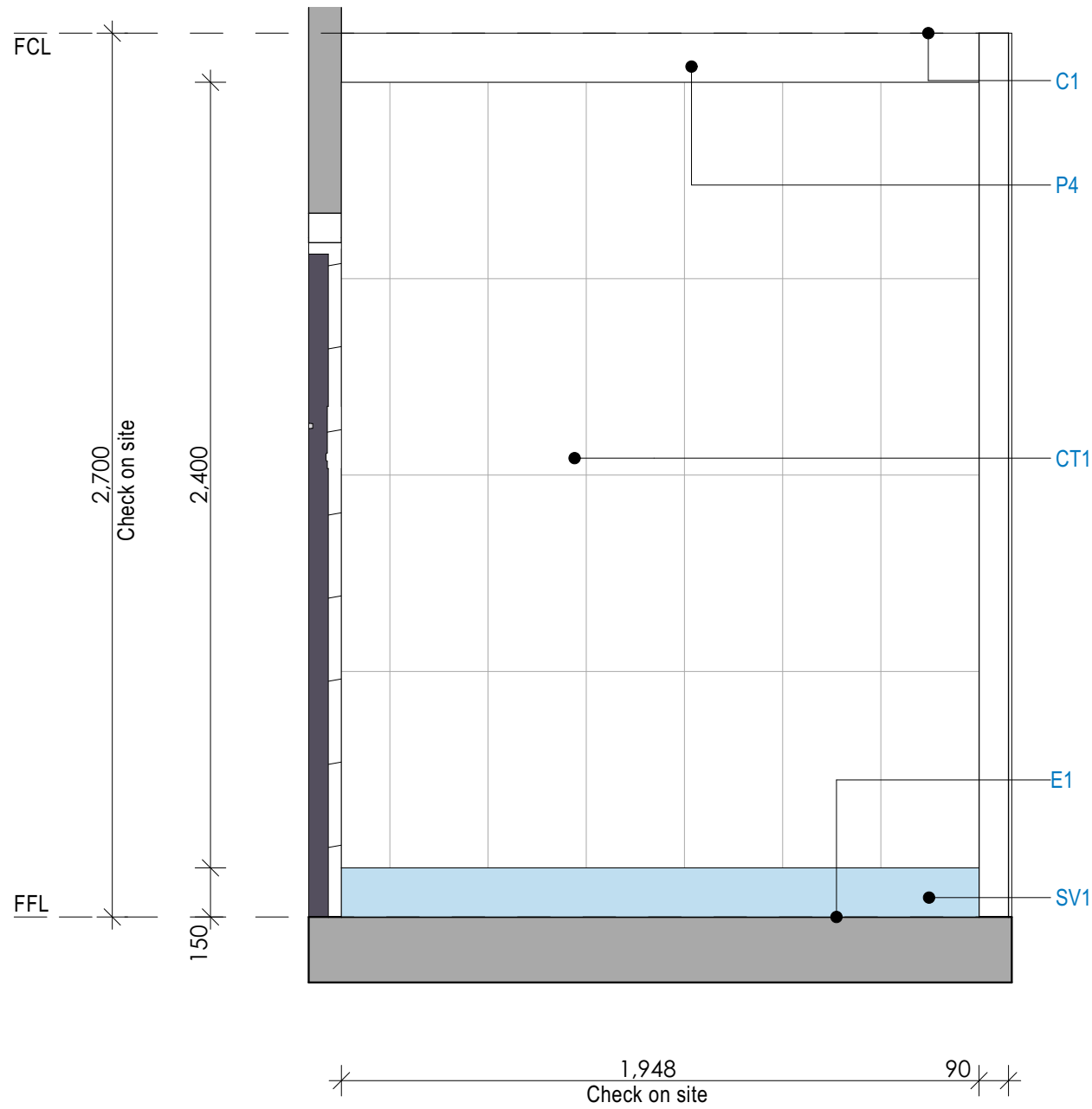


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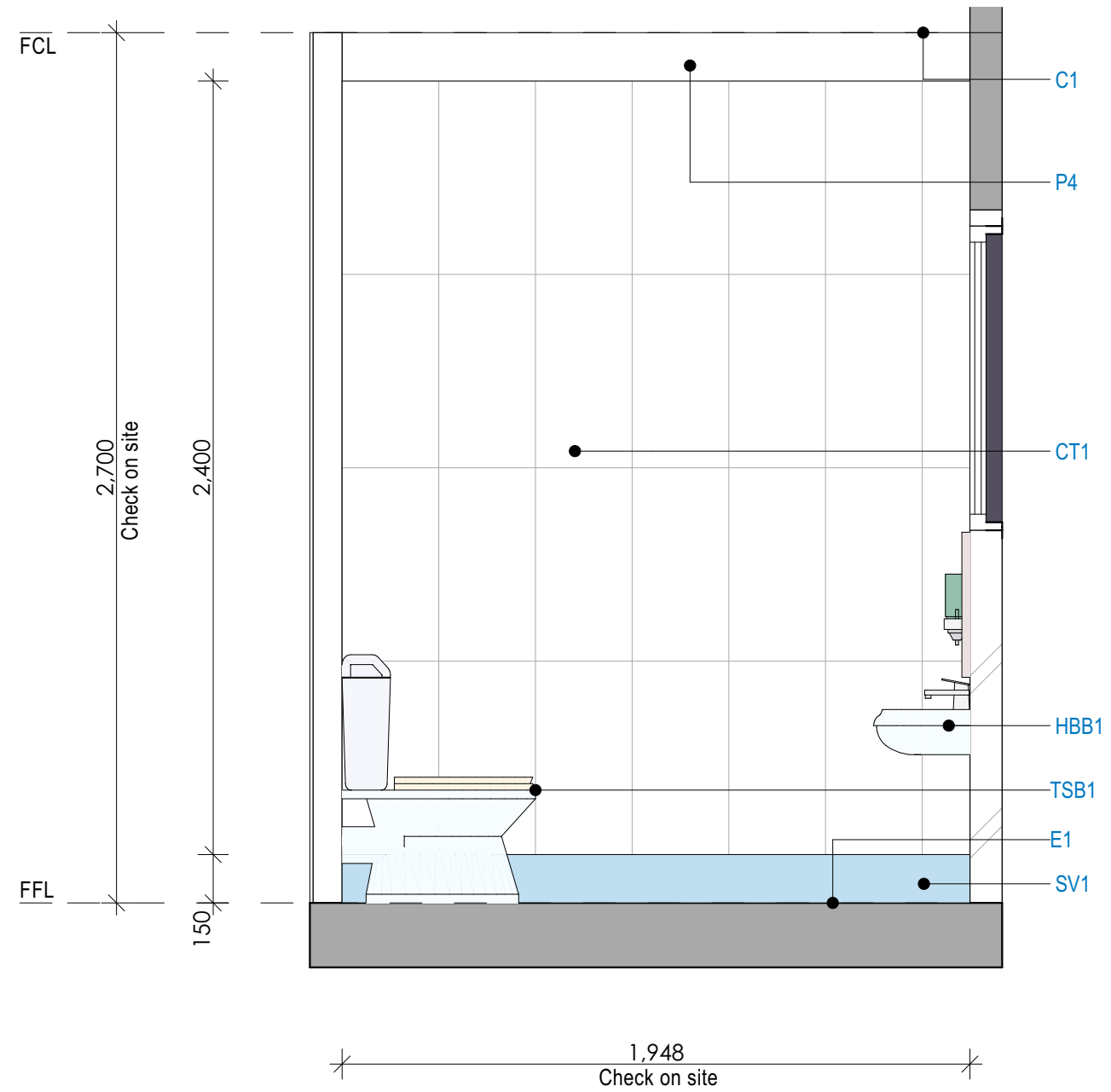
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issue a:	20/05/2019



B2 INTERIOR ELEVATION
1:20



B4 INTERIOR ELEVATION
1:20

drawing: **B2 & B4 INTERIOR ELEVATIONS**
 project: **PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK,**
 client: **PENRITH CITY COUNCIL**
 drawn: A.M. scale: as shown sheet size: A3 Council
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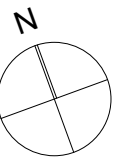
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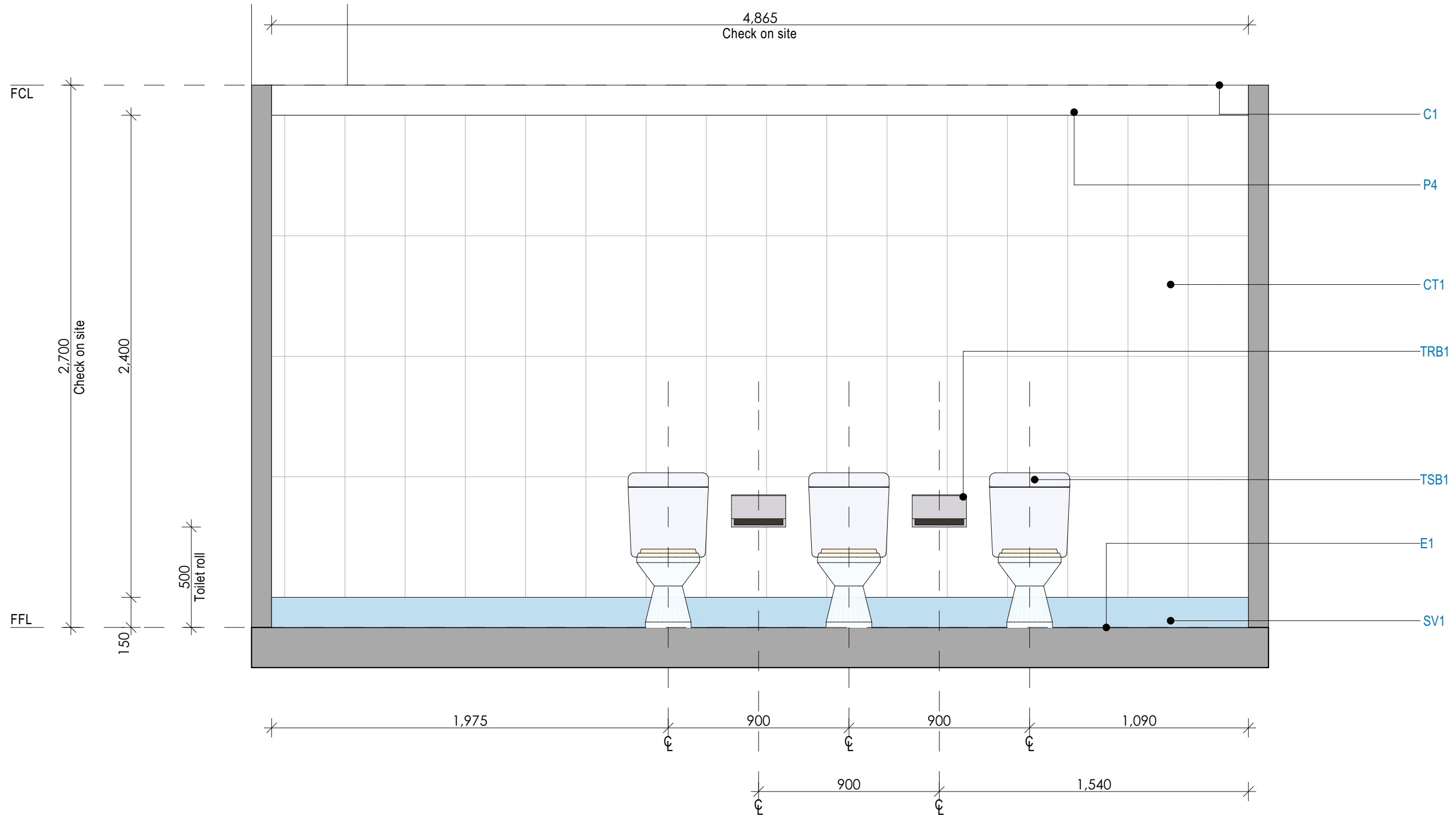
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issue d:	
issue c:	
issue b:	Client Sketch
issue a:	Grant Approval
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B3 INTERIOR ELEVATION
1:20

drawing: **B3 INTERIOR ELEVATION**
 project: **PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK,**
 client: **PENRITH CITY COUNCIL**
 drawn: A.M. scale: as shown sheet size: A3 Council
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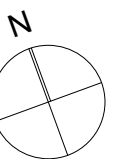
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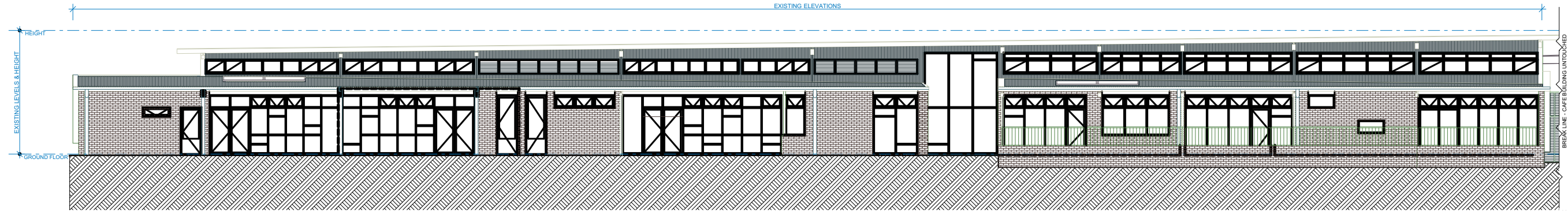
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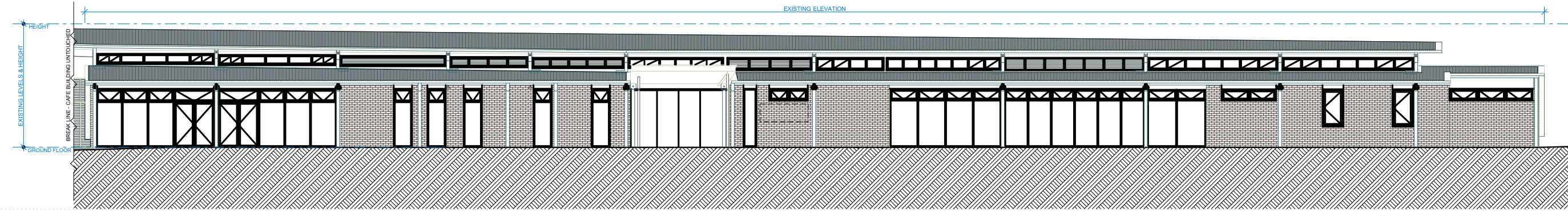


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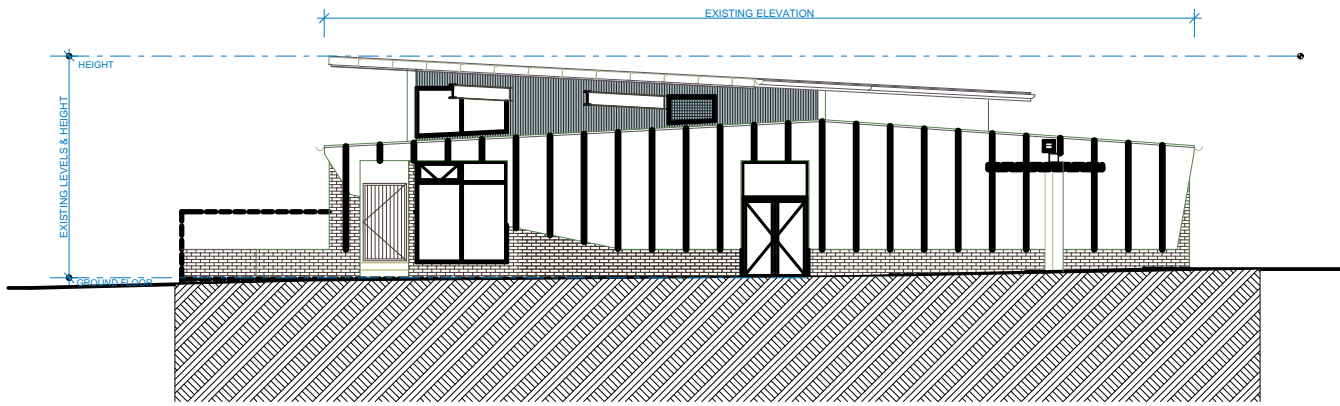
NORTH ELEVATION

1:200



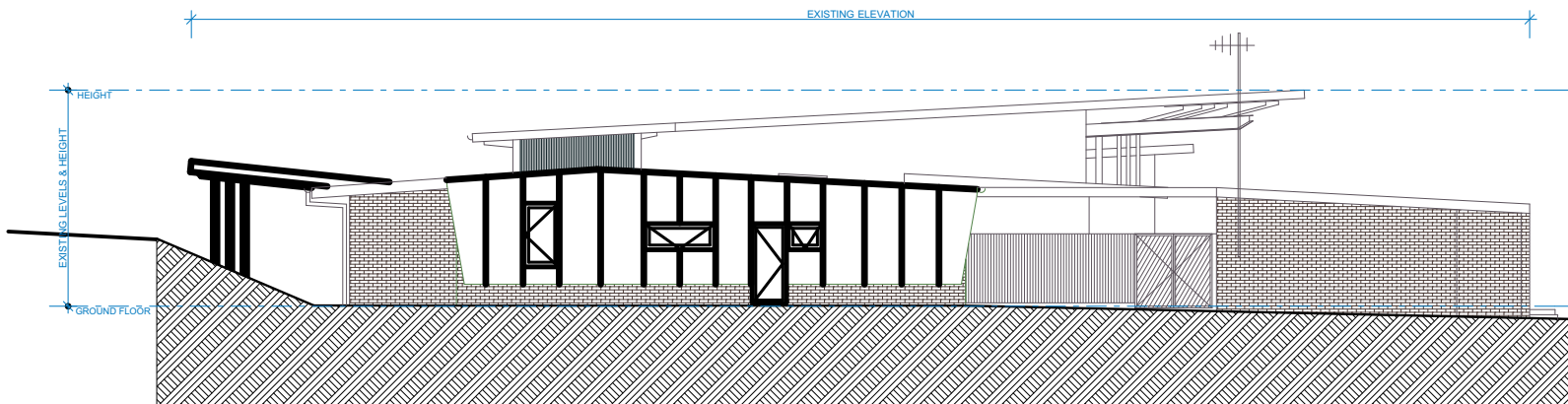
SOUTH ELEVATION

1:200



WEST ELEVATION

1:200



EAST ELEVATION

1:200

drawing:	ELEVATIONS
project:	PROPOSED CHILDCARE CENTRE ALT & ADDS @ GLENMORE PARK ,
client:	PENRITH CITY COUNCIL
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