

PROPOSED RESIDENTIAL FLAT BUILDING

36-38 Rodley Avenue, Penrith, NSW, 2750



DEVELOPMENT DETAILS			
Site Area	1112m ²		
Gross Floor Area (GFA)	2095m ²		
Zoning	R4 High Density Residential		
	Allowable	Proposed	
Floor Space Ratio (FSR)*	n/a	1.88:1	
Total Storeys	6	6	
Communal Open Space	25%	65.4m ²	5.88%
Deep Soil Zones	7%	390m ²	35%

*LEP REQUIREMENT
^SEPP 65 REQUIREMENT
REFER SHEET DA02 FOR DETAILS

UNITS TYPES	
Type	Count
2B	9
2B Adaptable	3
3B	9
TOTAL APARTMENTS: 21	

GROSS FLOOR AREA	
Level	Area
GROUND LEVEL	316.7 m ²
LEVEL 1	396.3 m ²
LEVEL 2	396.3 m ²
LEVEL 3	396.3 m ²
LEVEL 4	388.3 m ²
LEVEL 5	201.8 m ²
Grand total: 6	2095.8 m ²

COMMON OPEN SPACE	
Area	% of Site
65.4 m ²	5.88


DEEP SOIL AREA	
Area	% the Site
390.1 m ²	34.99

CAR SPACES REQUIRED	
2 Bed units: 9	9
2 Bed units Adaptable: 3	3
3 Bed units: 9	18
Visitors (1/5)	4
Service vehicles (1/40)	1
Washing bay (1/50)	1
Grand total	36

CAR SPACES - TYPES	
Type	Number
Disabled - 2400w x 5400d	3
Service - 2500w x 5400d	1
STANDARD - 2500w x 5400d	29
Visitor - 2500w x 5400d	4
Grand total: 37	37

ISSUE	DATE	AMENDMENT
A	04/09/2018	DA SUBMISSION

PROJECT	ADDRESS	CLIENT
PROPOSED RESIDENTIAL FLAT BUILDING	36-38 Rodley Avenue, Penrith, NSW, 2750	Inglow Investments Two


 NOMINATED ARCHITECT - P/F MORSON
 REGISTRATION NUMBER 0100
 A/CN 124 880 026, ABN 61 199 480 024
 www.morsongroup.com
 020 530 6166
 PO Box 170, Parkes NSW 2886

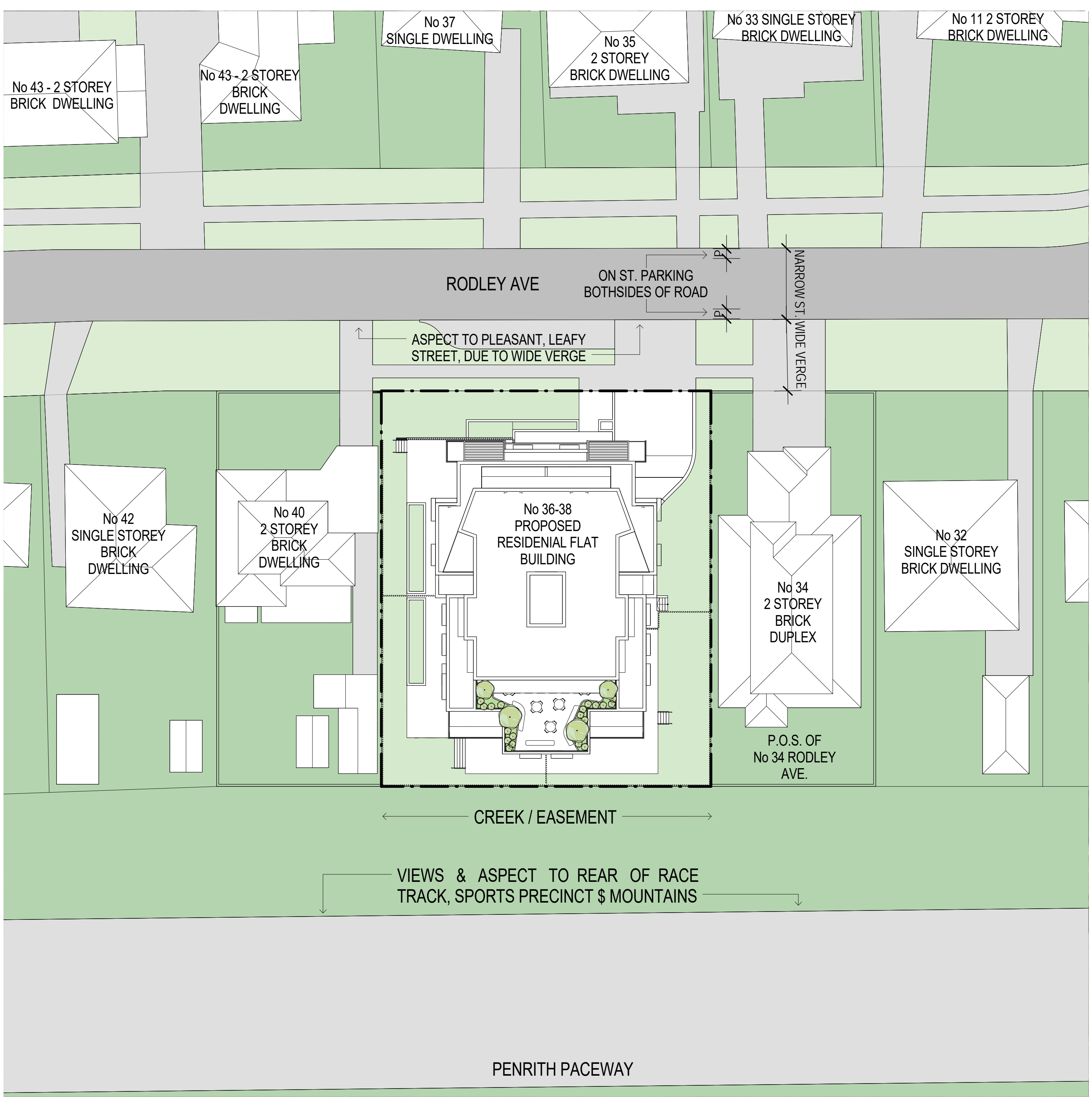
SHEET SIZE: A1	SCALE	DATE
1:1		

SHEET NAME **VIEWS AND SCHEDULES**

DRAWING NUMBER	ISSUE NO.
DA01	A



1 SITE PLAN - 1500
DA14 1:1500



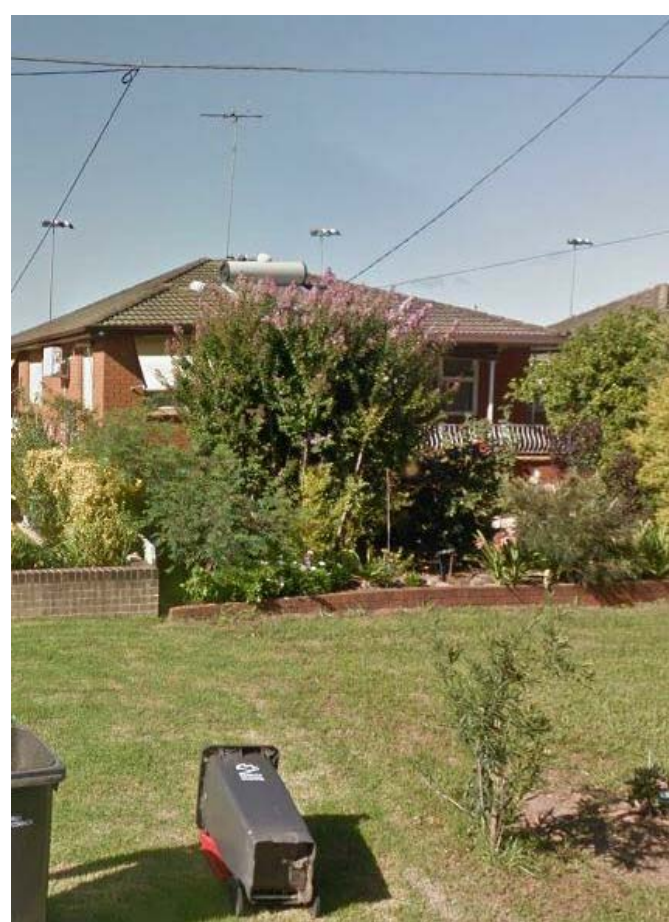
2 SITE PLAN & ANALYSIS - 500
DA14 1:250



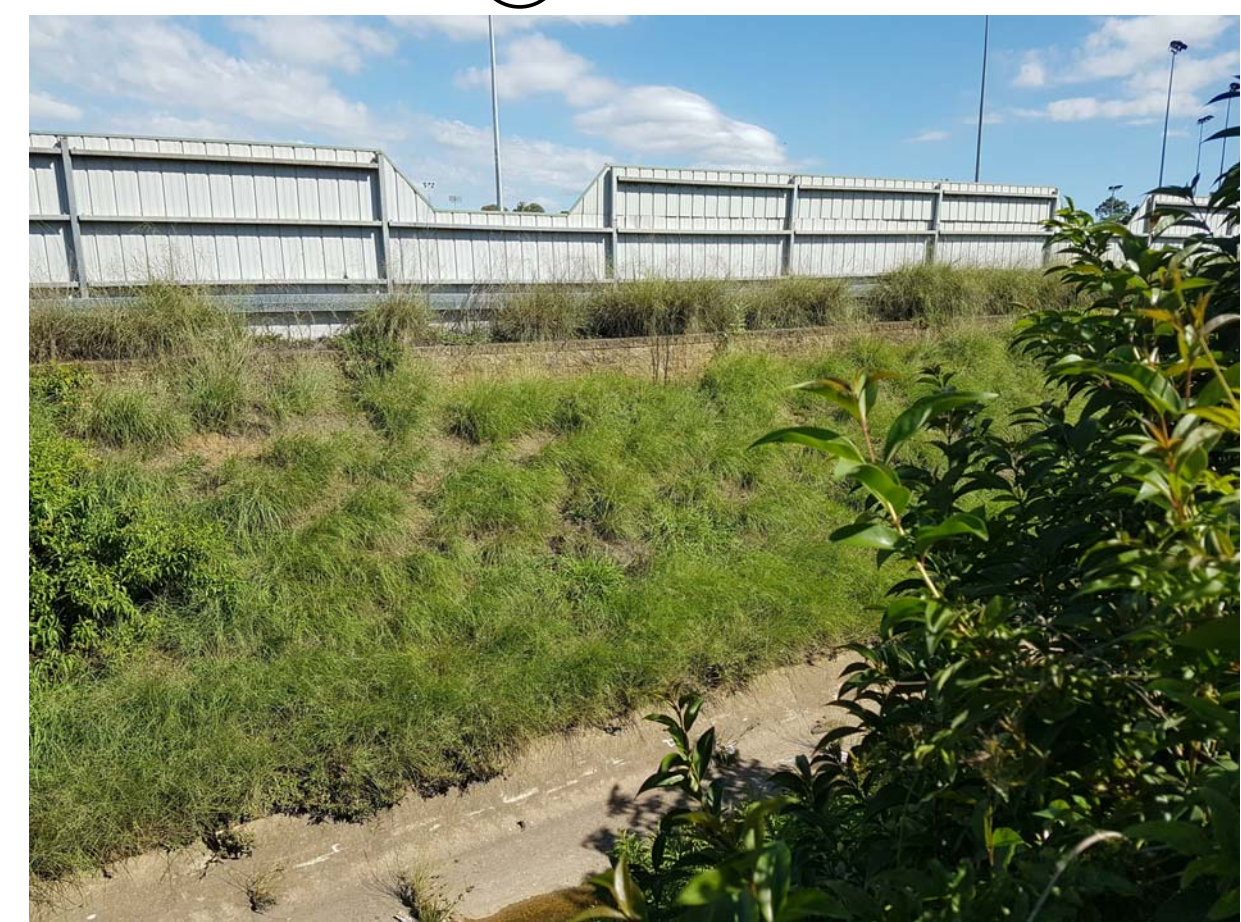
No 36 & No 34 BOUNDARY



No 36 EASTERN BOUNDARY



No 36 FROM RODLEY ST



CREEK



No 38 WESTERN BOUNDARY

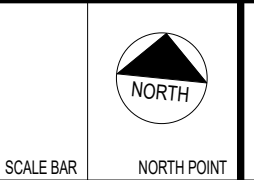


No 38 & No 40 SIDE BOUNDARY



No 38 & No 40 SIDE BOUNDARY

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A	04-09-2018	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglow Investments Two



NOMINATED ARCHITECT - PJ MORSON
REGISTRATION NUMBER 1910
ACD 124 180 006 406 41 198 482 004
www.pjmorson.com.au
202 5522 8166
PO Box 170, Penrith, NSW 1505

SHEET NAME
SITE PLAN

SHEET SIZE: A1
SCALE: As Indicated
DATE:

DRAWING NUMBER
DA04
ISSUE NO
A

RODLEY AV

KERB INLET PIT

SEALED PIT
SL 26.87

SEALED PIT

POWER POLE

TELSTRA PIT

COUNCIL DREANAGE EASEMENT
(1.826 WIDE)

COMPLETLEY
DEMOLISH ALL
PAVING SLABS &
DRIVEWAYS

DP33490
LOT 59

DP33490
LOT 58

COMPLETLEY
DEMOLISH ALL
PAVING SLABS &
DRIVEWAYS

COMPLETLEY DEMOLISH
EXISTING RESIDENCE
DOWN TO FOOTINGS.
CAP OFF ALL SERVICES

COMPLETLEY DEMOLISH
EXISTING RESIDENCE
DOWN TO FOOTINGS.
CAP OFF ALL SERVICES

COMPLETLEY
DEMOLISH ALL PAVING
SLABS & DRIVEWAYS

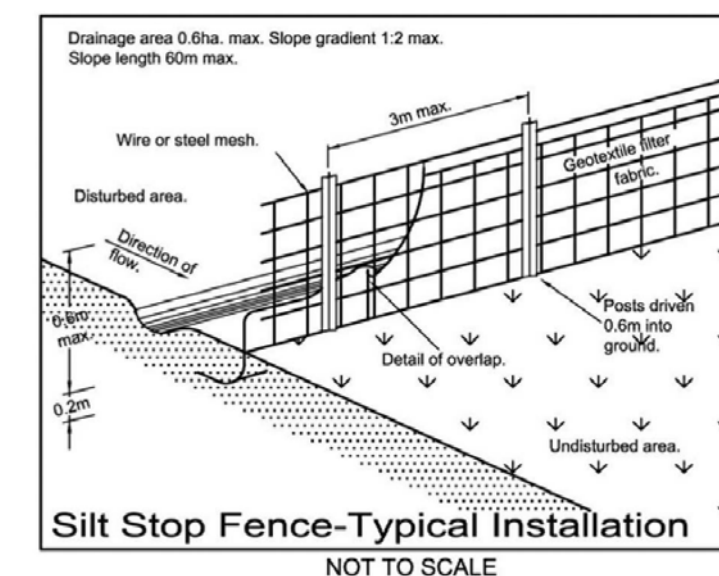
COMPLETLEY
DEMOLISH ALL PAVING
SLABS &
DRIVEWAYS

COMPLETLEY DEMOLISH ALL
EXISTING GARAGES,
CARPORTYS & OUTBUILDINGS
DOWN TO FOOTINGS

CREEK

SEDIMENT & EROSION CONTROL

1. THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENT CONTROL MEASURES TO THE COUNCIL'S SPECIFICATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND DURING CONSTRUCTION.
2. ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN A SATISFACTORY WORKING ORDER DURING THE CONSTRUCTION PERIOD. INSPECTIONS OF THESE DEVICES SHALL BE CARRIED OUT AFTER EACH STORM. REPAIRS AND/OR DE-CLOGGING SHALL BE CARRIED OUT TO ENSURE PROPER OPERATION OF THE DEVICE.
3. STORAGE OF MATERIALS AND EQUIPMENT SHALL BE WITHIN SEDIMENT CONTROLLED AREAS.
4. REMOVE SILT STOP FENCING AND DRAINAGE STRUCTURE SEDIMENT CONTROL TRAPS AFTER VEGETATION IS ESTABLISHED.

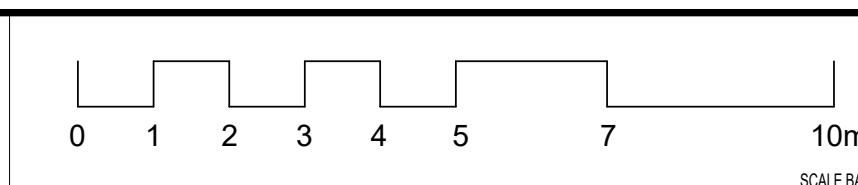


NOTE:

1. ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001(THE DEMOLITION OF STRUCTURES)
2. THIS DEMOLITION DRAWING GIVES AN INDICATION OF THE SCOPE REQUIRED TO CARRY OUT THE ALTERATIONS & ADDITIONS AS PROPOSED. THE BUILDER IS ASSUMED TO HAVE INSPECTED THE SITE DURING TENDERING & ALLOWED FOR ALL DEMOLITION INCLUDING SUNDRY WORKS NOT INDICATED ON THIS DRAWING THAT ARE REQUIRED IN ORDER TO CONSTRUCT THE WORKS.

ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION

LEGEND	
	NEW WALL/WORK
	EXISTING WALL
	DEMOLITION
	TREE TO BE REMOVED
	TREE TO BE RETAINED
	NEW PLANTING
	PROPOSED LEVEL



PROJECT
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ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750
CLIENT
Inglow Investments Two

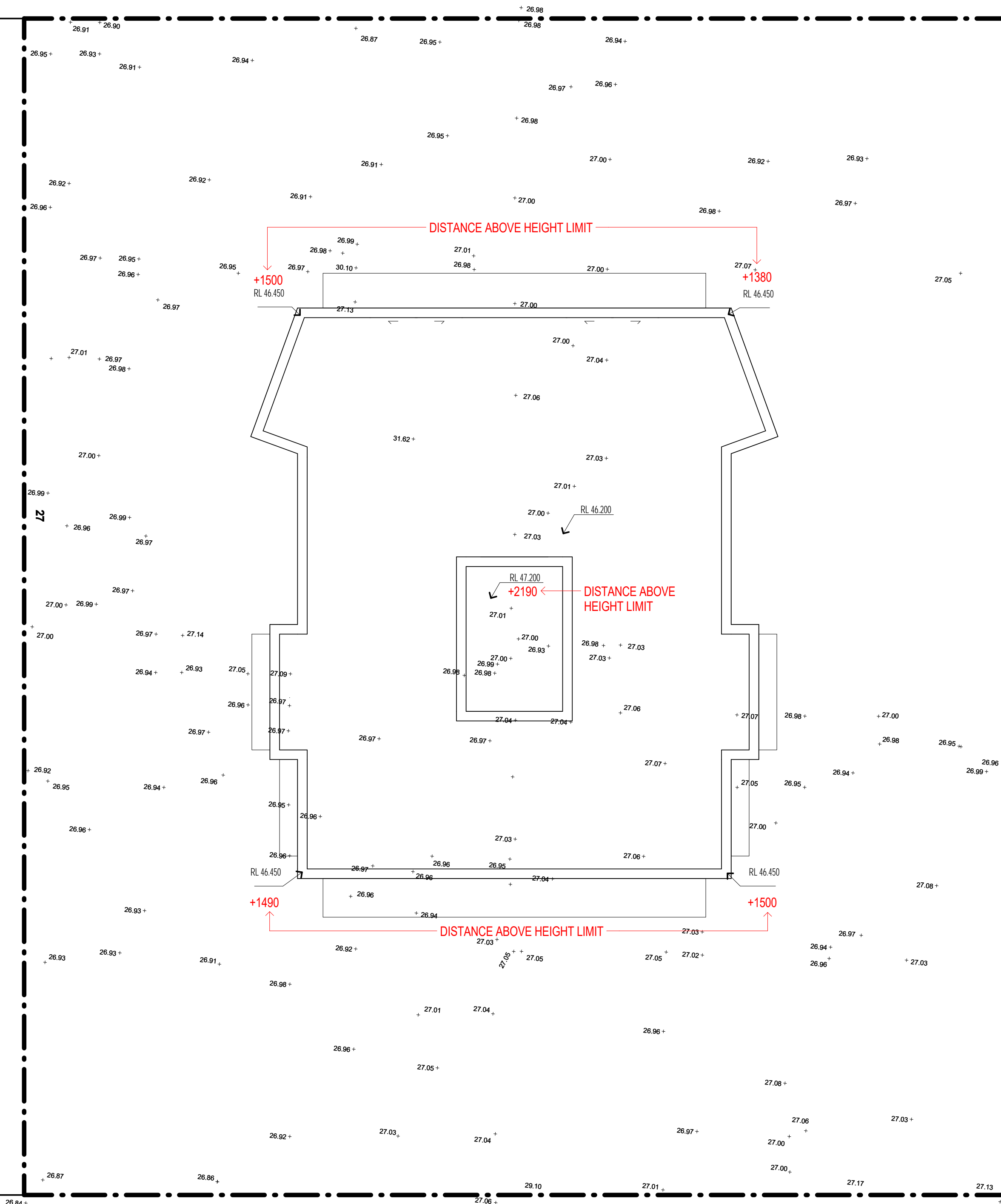


SHEET SIZE: A1
SCALE: DATE
1:100

SHEET NAME
DEMOLITION PLAN

DRAWING NUMBER
DA05
ISSUE NO.
A

RODLEY AVE

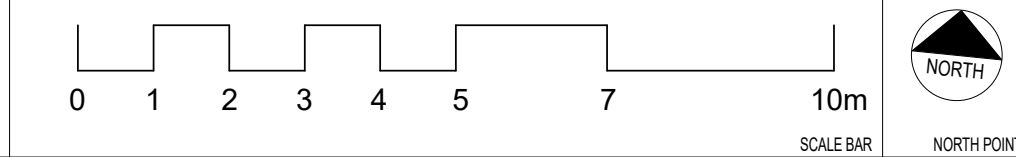


Penrith City Council Flood Level Report:
 -The 1% AEP local overland flow flood level affecting the above property is estimated to be RL 27.1m AHD
 -Property less than 0.5m above the 1% AEP flood level (27.6m) is subject to Penrith Development Control Plan 2014.
 -Street RL=26.95m

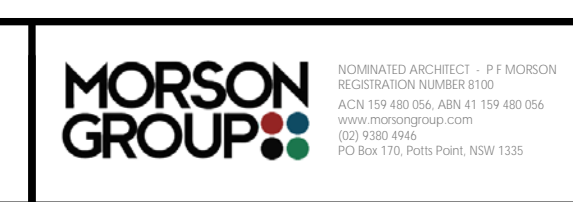
Owing to Flood level issues the building must be placed 650mm above the street RL (26.950mm),
 Floor to floor height is 3.10m instead of 3m in order to guarantee 2.7m height clearance.
 3.10m x 6 = 18.60m, what exceeds 600mm the height limit.
 Hob (above roof slab)= 200mm
 Conclusion: 650mm + 600mm + 200mm = 1450mm above the height limit

NATURAL GROUND LEVELS

ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION



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PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750
 CLIENT
 Inglow Investments Two



NOMINATED ARCHITECT - P F MORSON
 REGISTRATION NUMBER 8102
 A/CN 124 881 026, ABN 61 124 881 026
 www.morsongroup.com
 020 1932 6196
 PO Box 170, Park Park, NSW 1330

SHEET NAME
ROOF

DRAWING NUMBER
DA11
 ISSUE NO.
A

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

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This includes New South Wales Part J(A). Specifically:

- Building thermal construction is in accordance with part J1.2
- loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)
- where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
- Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
- Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
- Any new mechanical ventilation system is installed in accordance with Part J5.3
- Any new miscellaneous exhaust system is installed in accordance with Part J5.4
- Any new heated water system is installed in accordance Part J7.2
- Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)

U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)

Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL

Cavity Panel/Concrete – No Insulation

Partition walls – No thermal insulation required

EXTERNAL FLOOR

Concrete Slab on Ground – No insulation

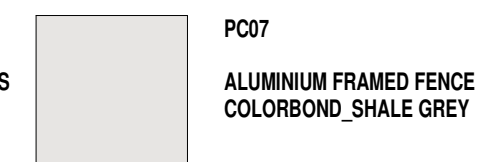
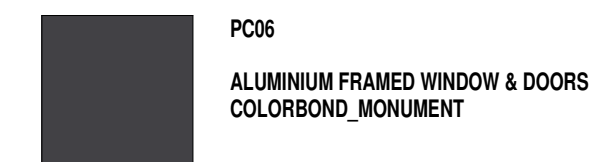
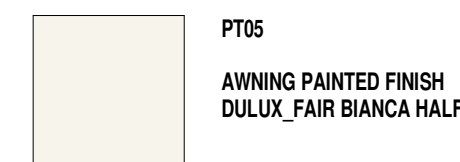
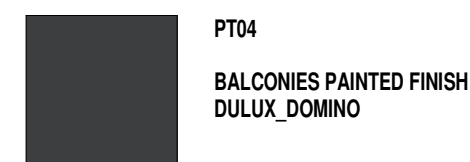
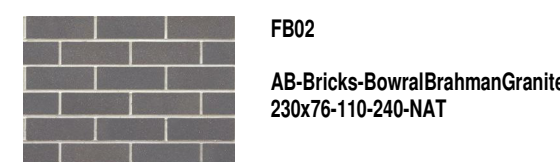
Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

EXTERNAL CEILING/ROOF (Medium colour)

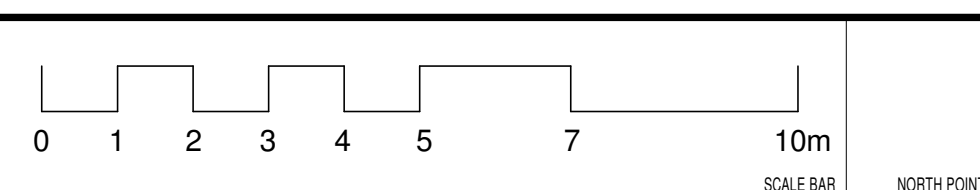
Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights

which do not penetrate ceiling insulation (ie: IC rated)



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglow Investments Two



NOMINATED ARCHITECTS - P F MORSON
REGISTRATION NUMBER 8105
ACD 138 480 026, ABA 41 148 480 026
www.morsongroup.com
2021/000 0164
PO Box 170, Parkes NSW 1330

SHEET NAME

ELEVATION NORTH

SHEET SIZE: A1
SCALE DATE
As Indicated

DRAWING NUMBER **DA14**
ISSUE NO. **A**

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.

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 - where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
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 - Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
 - Any new mechanical ventilation system is installed in accordance with Part J5.3
 - Any new miscellaneous exhaust system is installed in accordance with Part J5.4
 - Any new heated water system is installed in accordance Part J7.2
 - Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)
U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)
Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL
Cavity Panel/Concrete – No Insulation
Partition walls – No thermal insulation required

EXTERNAL FLOOR
Concrete Slab on Ground – No insulation
Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

EXTERNAL CEILING/ROOF (Medium colour)
Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)



FB01
AB-Bricks-Neutral Red
230x76-110-240-NSW



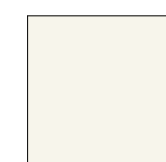
FB02
AB-Bricks-BowralBrahmanGranite
230x76-110-240-NAT



FB03
AB-Bricks-ExpressionsBlackstone
230x76-110-240-NAT



PT04
BALCONIES PAINTED FINISH
DULUX_DOMINO



PT05
AWNING PAINTED FINISH
DULUX_FAIR BIANCA HALF

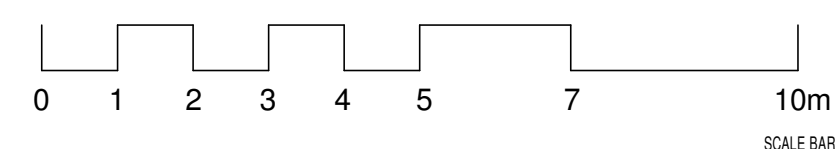


PC06
ALUMINIUM FRAMED WINDOW & DOORS
COLORBOND_MONUMENT



PC07
ALUMINIUM FRAMED FENCE
COLORBOND_SHALE GREY

ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglow Investments Two



NOMINATED ARCHITECTS - P F MORSON
REGISTRATION NUMBER 8100
ACD 138 480 024, ABA 41 188 480 024
www.morsongroup.com
023 900 4194
PO Box 170, Parkes NSW 1330

SHEET SIZE: A1
SCALE DATE
As Indicated

SHEET NAME

ELEVATION SOUTH

DRAWING NUMBER **DA15**

ISSUE NO. **A**

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.

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- Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
- Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
- Any new mechanical ventilation system is installed in accordance with Part J5.3
- Any new miscellaneous exhaust system is installed in accordance with Part J5.4
- Any new heated water system is installed in accordance Part J7.2
- Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)

U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)

Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL

Cavity Panel/Concrete – No Insulation

Partition walls – No thermal insulation required

EXTERNAL FLOOR

Concrete Slab on Ground – No insulation

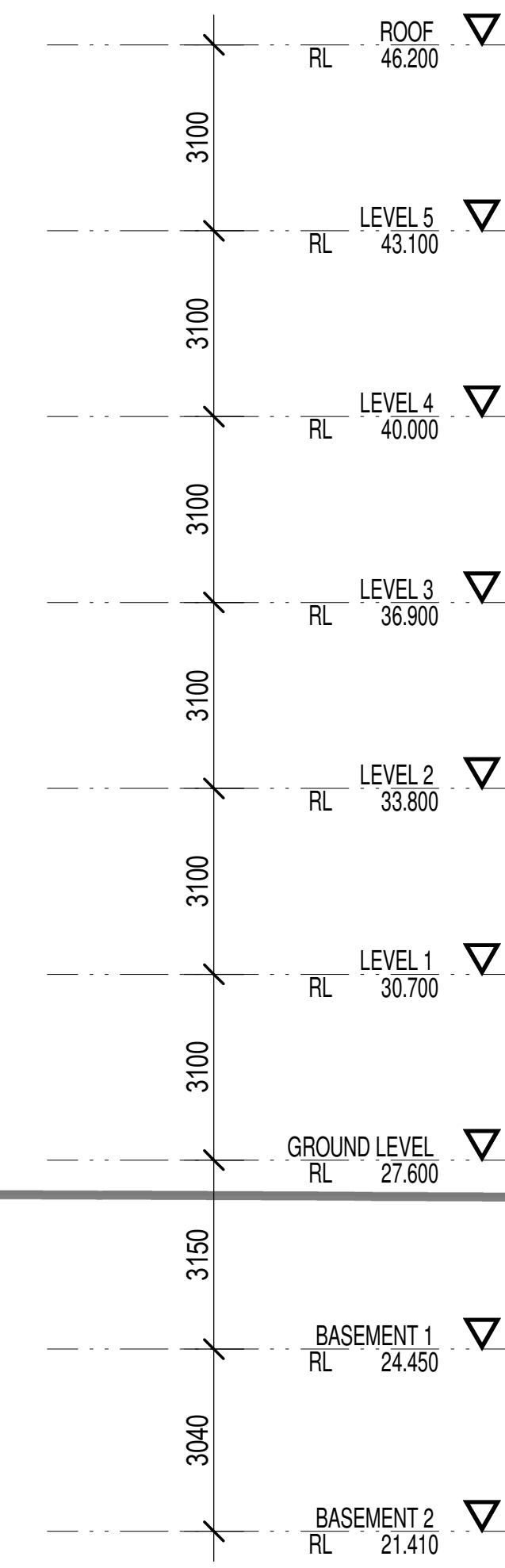
Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

EXTERNAL CEILING/ROOF (Medium colour)

Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)

RODLEY AVE



FB01
AB-Bricks-Neutral Red
230x76-110-240-NSW



FB02
AB-Bricks-BowralBrahmanGranite
230x76-110-240-NAT



FB03
AB-Bricks-ExpressionsBlackstone
230x76-110-240-NAT



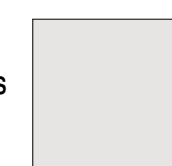
PT04
BALCONIES PAINTED FINISH
DULUX_DOMINO



PT05
AWNING PAINTED FINISH
DULUX_FAIR BIANCA HALF

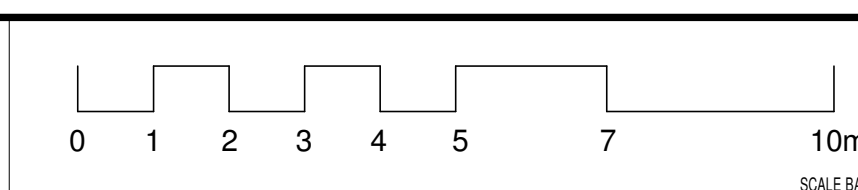


PC06
ALUMINIUM FRAMED WINDOW & DOORS
COLORBOND_MONUMENT



PC07
ALUMINIUM FRAMED FENCE
COLORBOND_SHALE GREY

ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglow Investments Two



NOMINATED ARCHITECTS - P F MORSON
REGISTRATION NUMBER 8105
AC21138-480-056-486-411-181-480-056
www.morsongroup.com
2021-2024
PO Box 170, Parkes NSW 1330

SHEET SIZE: A1
SCALE: DATE
As indicated

SHEET NAME
ELEVATION WEST

DRAWING NUMBER
DA16
ISSUE NO.
A

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

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- Any new mechanical ventilation system is installed in accordance with Part J5.3
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- Any new heated water system is installed in accordance Part J7.2
- Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)

U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)

Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL

Cavity Panel/Concrete – No Insulation

Partition walls – No thermal insulation required

EXTERNAL FLOOR

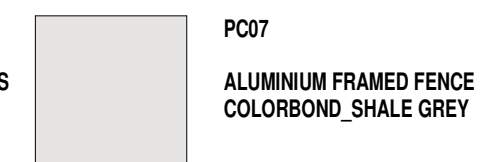
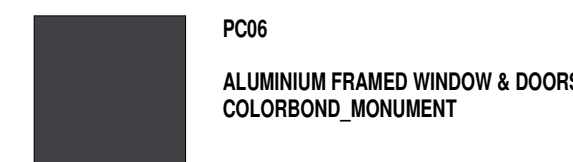
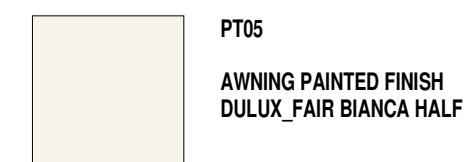
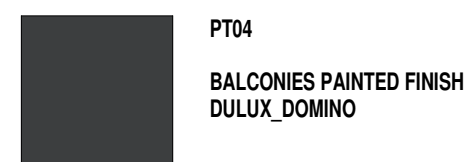
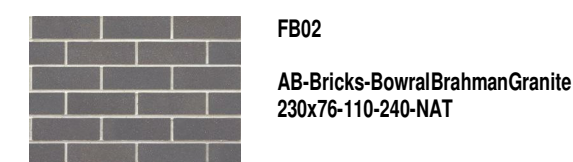
Concrete Slab on Ground – No insulation

Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

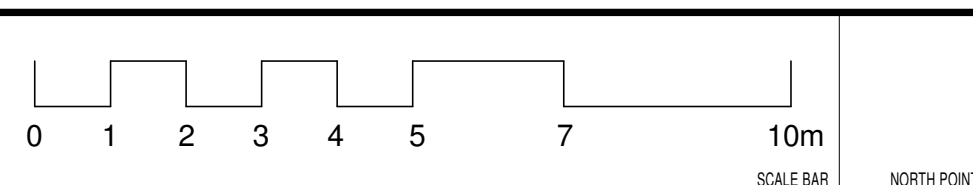
EXTERNAL CEILING/ROOF (Medium colour)

Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING

ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglow Investments Two



NOMINATED ARCHITECT: P F MORSON
REGISTRATION NUMBER: 1105
ACD 138 480 056, ABN 41 138 480 056
www.morsongroup.com
2020 7000 8784
PO Box 170, Parramatta, NSW 1500

SHEET SIZE: A1
SCALE: As indicated
DATE: As indicated

SHEET NAME
ELEVATION EAST

DRAWING NUMBER
DA17

ISSUE NO.
A

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

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 - Any new miscellaneous exhaust system is installed in accordance with Part J5.4
 - Any new heated water system is installed in accordance Part J7.2
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WINDOWS (total product specification – glass + frame)
U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

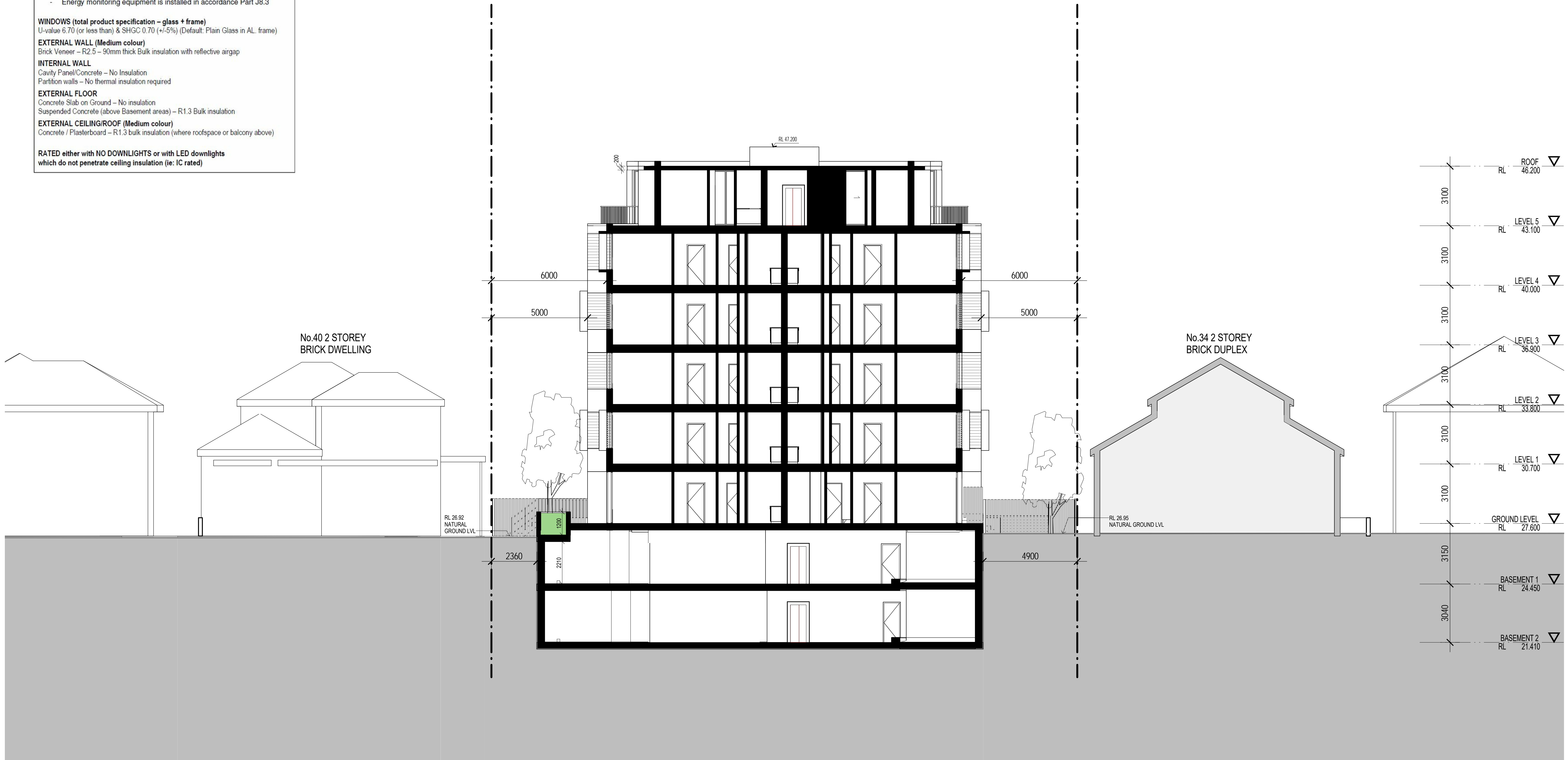
EXTERNAL WALL (Medium colour)
Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL
Cavity Panel/Concrete – No Insulation
Partition walls – No thermal insulation required

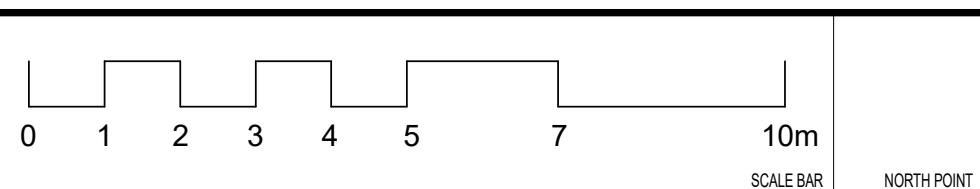
EXTERNAL FLOOR
Concrete Slab on Ground – No insulation
Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

EXTERNAL CEILING/ROOF (Medium colour)
Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)



ISSUE	DATE	AMENDMENT
A	04/09/2018	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING

ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inflow Investments Two

MORSON GROUP

NOMINATED ARCHITECT - P14 MORSON
REGISTRATION NUMBER 0103
ACD 124 181 026 484 41 199 481 034
www.morsongroup.com
023 532 4166
PO Box 170, Penrith, NSW 1505

SHEET SIZE: A1
SCALE: DATE
1:100

SHEET NAME
SECTION 1

DRAWING NUMBER
DA18

ISSUE NO.
A

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.

This includes New South Wales Part J(A). Specifically:

- Building thermal construction is in accordance with part J1.2
- loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)
- where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
- Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
- Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
- Any new mechanical ventilation system is installed in accordance with Part J5.3
- Any new miscellaneous exhaust system is installed in accordance with Part J5.4
- Any new heated water system is installed in accordance Part J7.2
- Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)

U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)

Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL

Cavity Panel/Concrete – No Insulation

Partition walls – No thermal insulation required

EXTERNAL FLOOR

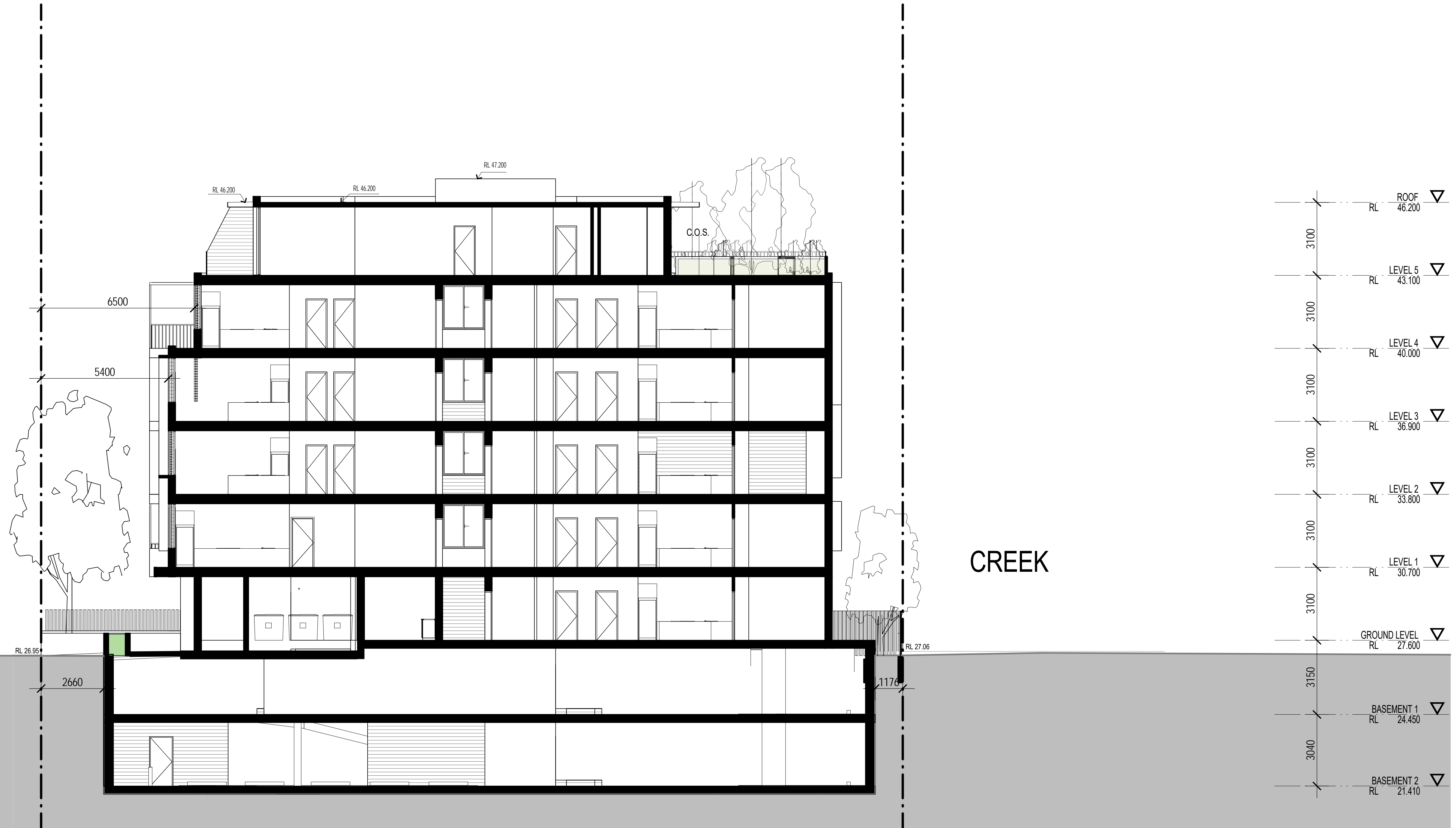
Concrete Slab on Ground – No insulation

Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

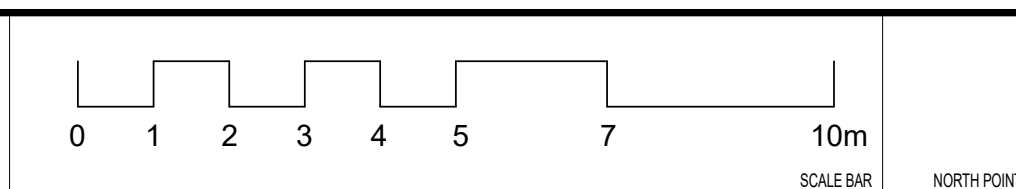
EXTERNAL CEILING/ROOF (Medium colour)

Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)



ISSUE	DATE	AMENDMENT
A	04/09/2018	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING

ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inflow Investments Two



NOMINATED ARCHITECT - P.F. MORSON
REGISTRATION NUMBER 0102
A/CN 124 880 026, ABN 61 199 480 024
www.morsongroup.com
202 932 8196
PO Box 110, Park Park, NSW 1330

SHEET NAME **SECTION 2**

SHEET SIZE: A1
SCALE: 1:100
DATE:

DRAWING NUMBER **DA19**

ISSUE NO. **A**

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.

This includes New South Wales Part J(A). Specifically:

- Building thermal construction is in accordance with part J1.2
- loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)
- where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
- Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
- Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
- Any new mechanical ventilation system is installed in accordance with Part J5.3
- Any new miscellaneous exhaust system is installed in accordance with Part J5.4
- Any new heated water system is installed in accordance Part J7.2
- Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)

U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)

Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL

Cavity Panel/Concrete – No Insulation

Partition walls – No thermal insulation required

EXTERNAL FLOOR

Concrete Slab on Ground – No insulation

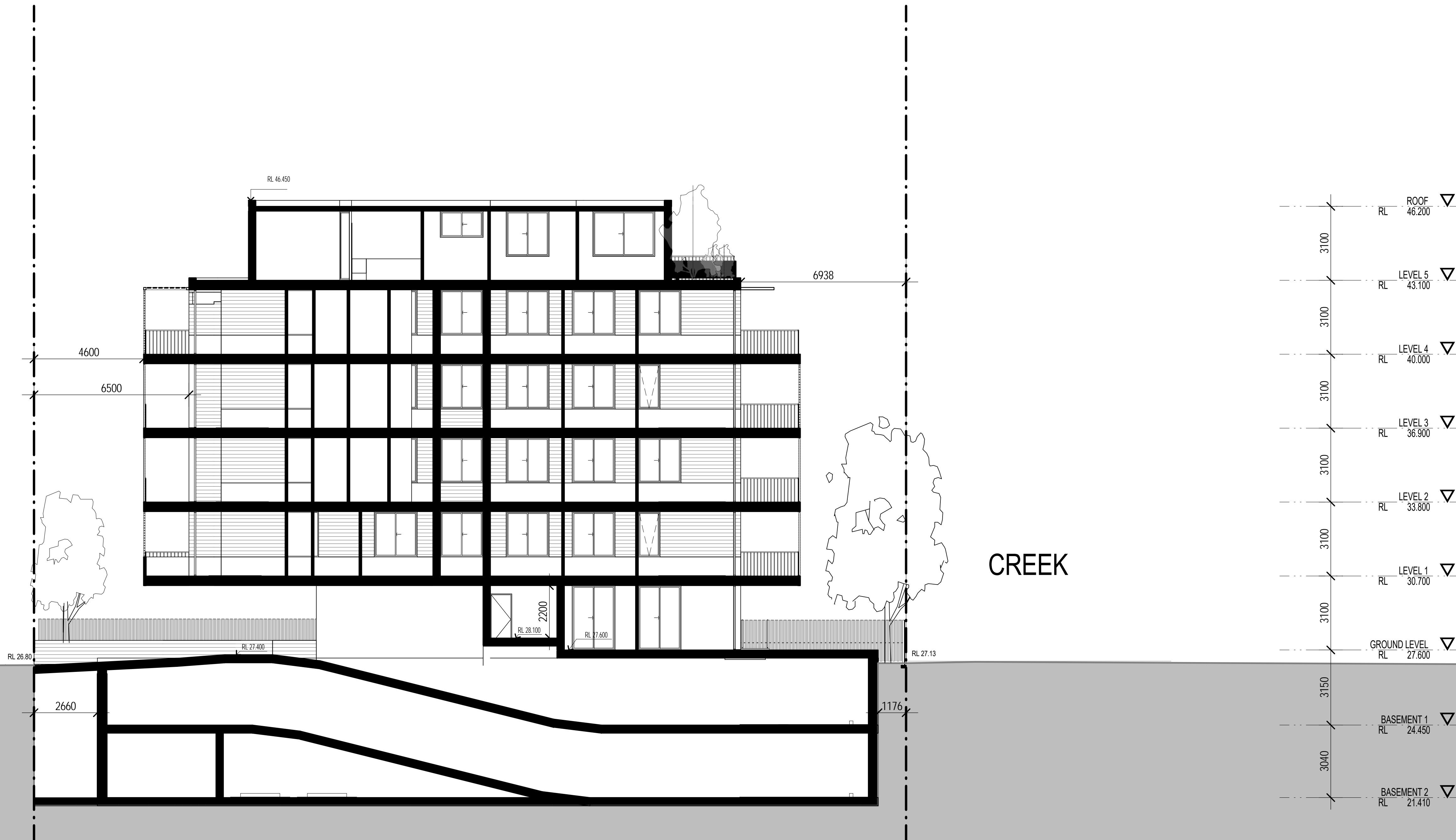
Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

EXTERNAL CEILING/ROOF (Medium colour)

Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights

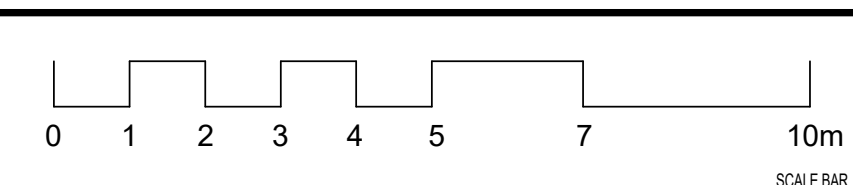
which do not penetrate ceiling insulation (ie: IC rated)



RODLEY AVE

CREEK

ISSUE	DATE	AMENDMENT
A	04/09/2018	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglow Investments Two

MORSON GROUP
NOMINATED ARCHITECT - PJ MORSON
REGISTRATION NUMBER 9103
ACCA 124 880 026, ABN 61 199 480 054
www.morsongroup.com
222 5322 8196
PO Box 170, Penrith, NSW 1505

SHEET SIZE: A1
SCALE: DATE
1:100

SHEET NAME
SECTION 3

DRAWING NUMBER
DA20
ISSUE NO.
A



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION

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PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750
 CLIENT
 Inglow Investments Two

MORSON GROUP
NOMINATED ARCHITECT - P14 MORSON
 REGISTRATION NUMBER 8100
 A/CN 124 881 026, ABN 41 199 483 034
 www.morsongroup.com
 023 532 6166
 PO Box 170, Parkes NSW 1330

SHEET SIZE: A1
 SCALE: DATE

SHEET NAME **VIEWS**
 DRAWING NUMBER **DA22**
 ISSUE NO. **A**