

**SEDIMENT CONTROL NOTES**

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POSTS AT 3.0m CENTRES, FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE).

www.dialbeforeyoudig.com.au



DIAL BEFORE YOU DIG SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION ON SITE

CONTOURS TO BE CONFIRMED PRIOR TO CONSTRUCTION

- STORMWATER PIT & DRAINAGE LINE
- SEWER STRUCTURE, LINE & CONCRETE ENCASING
- WATER MAIN, HYDRANT & STOP VALVE
- WATER METER
- STREET LIGHT
- ELECTRICAL LV PILLAR & CONDUIT
- NBN PIT & CONDUIT
- GAS MAIN

M CLASS SITE ASSUMED TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY

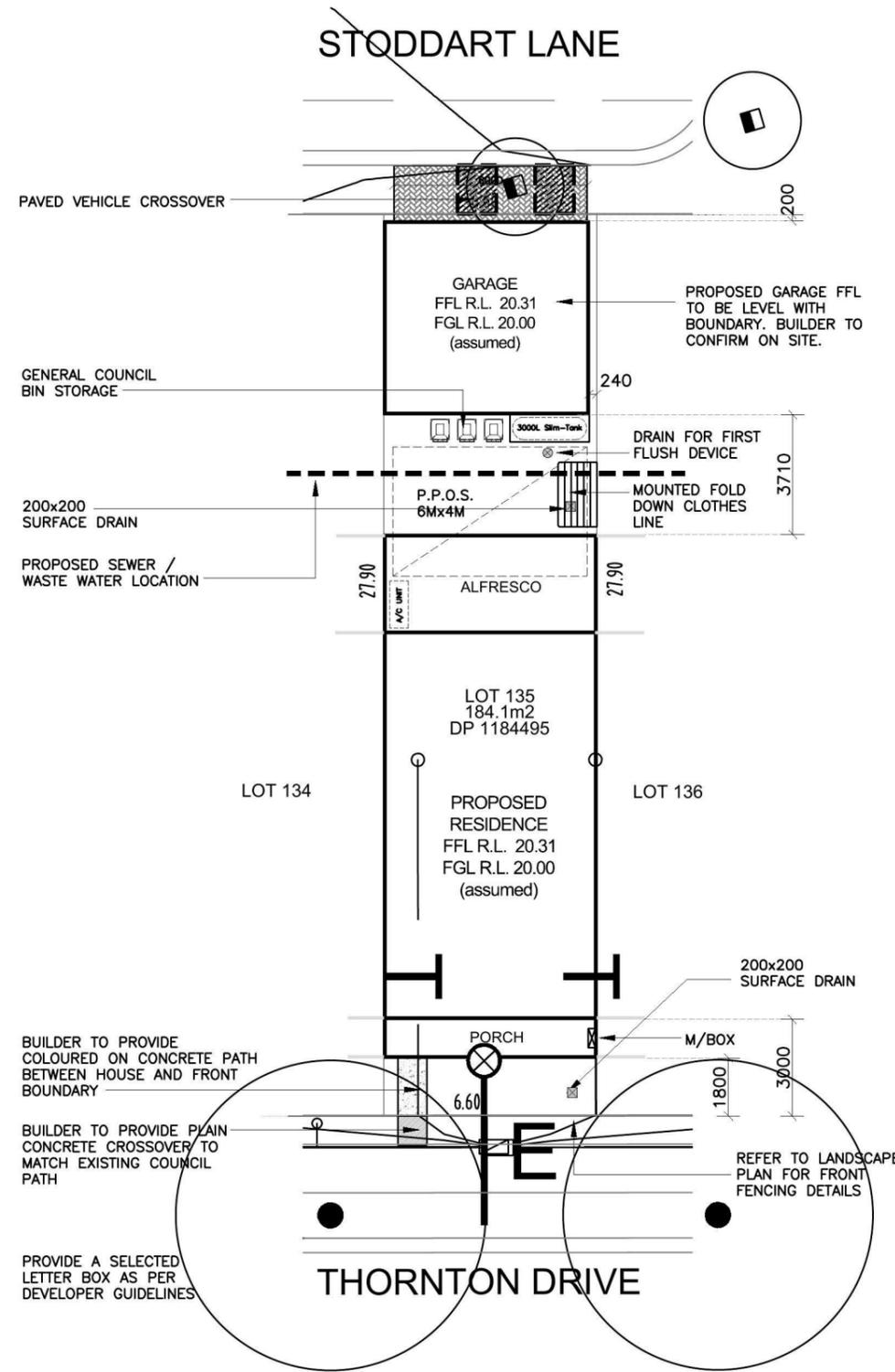
(A): EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

(C): EASEMENT TO DRAIN WATER 2 WIDE

**GENERAL NOTES:**

- This drawing is to be read in conjunction with all other architectural & consultants drawings & specifications for the works.
- Dimensions in preference to scale.
- Verify all dimensions on site prior to construction.
- All ground lines are approximate.
- All work to be carried out in accordance with Local Council Codes, the B.C.A., Australian Standards and any relevant authorities.
- Wind Rating refer to framing manufacturer's specification.

LOCATION OF SEWER TO BE CONFIRMED ONCE THE LAND IS REGISTERED AND A CERTIFIED SURVEY HAS BEEN RECEIVED



| AREAS         |                      |
|---------------|----------------------|
| SITE:         | 184.1m <sup>2</sup>  |
| GROUND FLOOR: | 79.20m <sup>2</sup>  |
| FIRST FLOOR:  | 78.21m <sup>2</sup>  |
| GARAGE:       | 38.10m <sup>2</sup>  |
| PORCH:        | 7.92m <sup>2</sup>   |
| ALFRESCO:     | 8.91m <sup>2</sup>   |
| BALCONY:      | 19.80m <sup>2</sup>  |
| TOTAL:        | 232.14m <sup>2</sup> |

| LANDSCAPE AREA               |                      |
|------------------------------|----------------------|
| SITE AREA:                   | 184.1m <sup>2</sup>  |
| TOTAL HARD SURFACE AREAS:    | 147.91m <sup>2</sup> |
| REMAINING SOFT AREA:         | 36.19m <sup>2</sup>  |
| LANDSCAPE AREA:              | 19.7%                |
| MINIMUM REQUIRED BY COUNCIL: | NA                   |

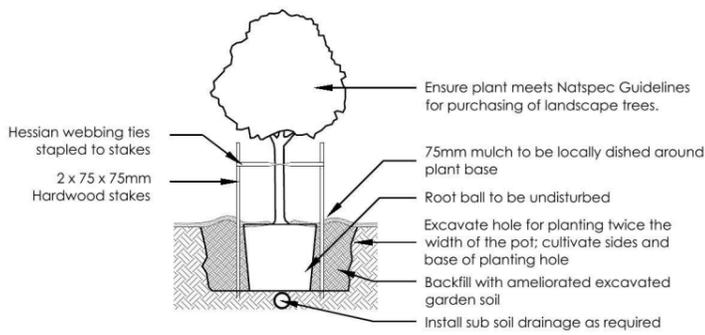
|             |                             |
|-------------|-----------------------------|
| P.O.S. AREA | 44.29m <sup>2</sup> (24.1%) |
|-------------|-----------------------------|

|               |       |
|---------------|-------|
| SITE COVERAGE | 80.3% |
|---------------|-------|

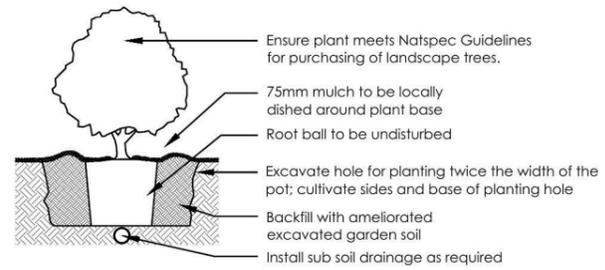
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|-------------------|-------|
| FLOOR SPACE RATIO | 85.5% |
|-------------------|-------|



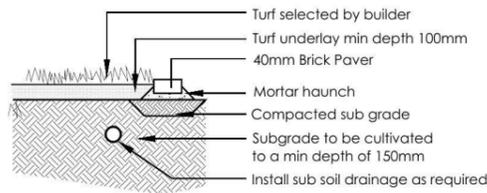
|   |   |                                |                        |                        |   |
|---|---|--------------------------------|------------------------|------------------------|---|
| Product:<br><b>Stage 12 Terrace Housing</b> | Client:<br><b>ZAC HOMES</b>                                 | Dwg Title:<br><b>SITE PLAN</b> | Sheet:<br><b>A3</b>    | Scale:<br><b>1:200</b> | ISSUE DATE DESCRIPTION DRAWN<br>A 30.09.14 D.A. DRAWINGS - ISSUE A SG |
|   | Site Address:<br><b>LOT 135 THORNTON DRIVE THORNTON NSW</b> | Date:<br><b>23.09.14</b>       | Sheet No.<br><b>01</b> | Issue:<br><b>A</b>     |   |
|   | Council:<br><b>PENRITH</b>                                  | Job No:<br><b>214286d</b>      |                        |                        |   |



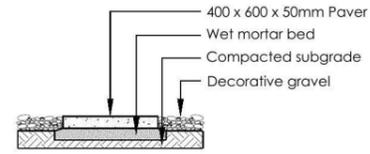
1 Tree Planting Detail  
NTS 25L - 100L Pot Size



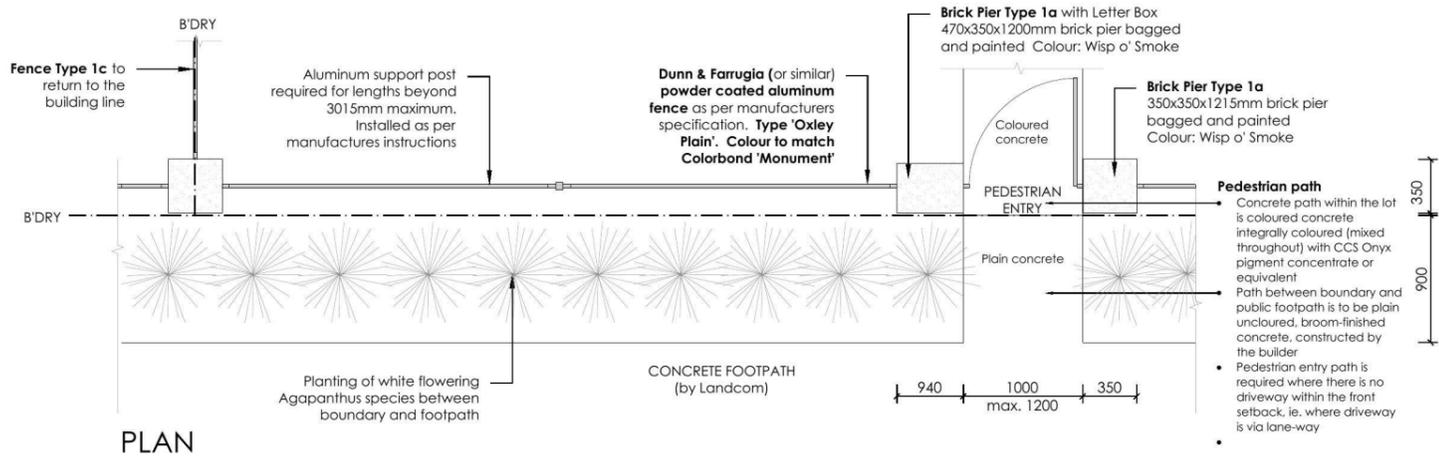
2 Planting Detail  
NTS 150mm, 200mm Pot Size



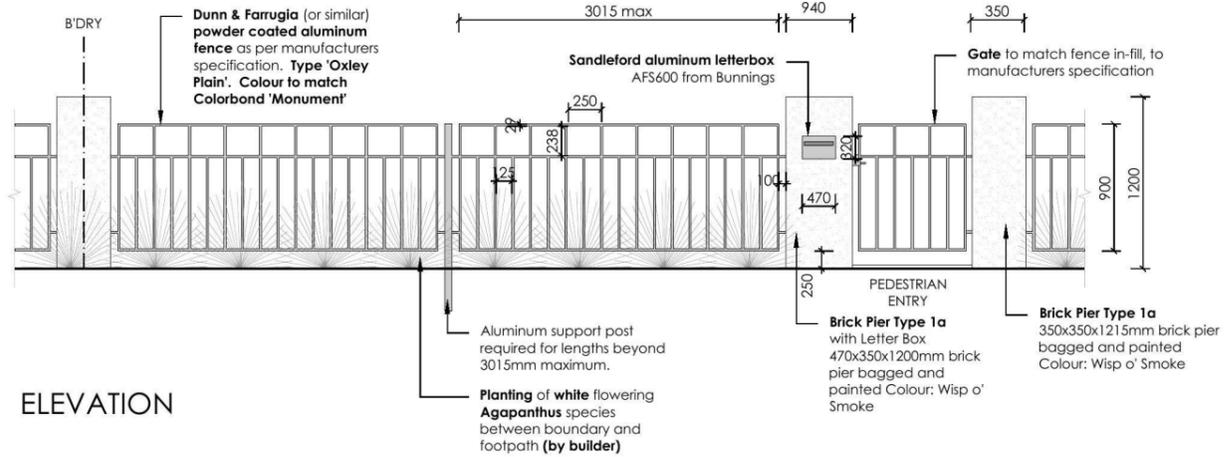
3 Turf Detail  
NTS Brick Paver Edge



4 Stepping stones in gravel  
NTS Low traffic zone

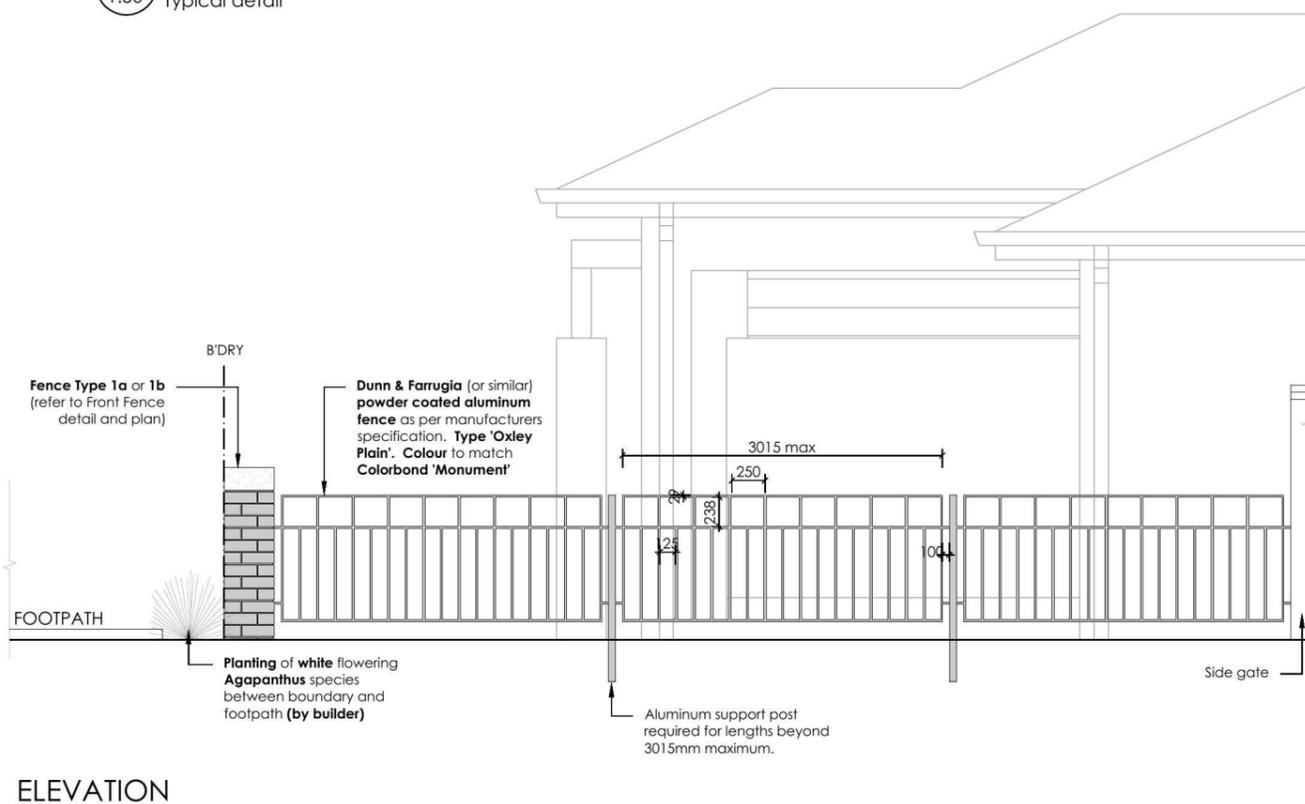


PLAN



ELEVATION

5 FENCE TYPE 1a - Front Fence  
1:50 Typical detail



ELEVATION

6 FENCE TYPE 1c - Side Boundary Front Setback  
1:50 Typical detail

| REVISION | DESCRIPTION                          | DRAWN | CHECK | DATE     |
|----------|--------------------------------------|-------|-------|----------|
| A        | ISSUE COLOUR PLANS FOR CLIENT REVIEW | JD    | RS    | 26-09-14 |

**ecodesign**  
outdoor living environments

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Email: info@ecodesign.com.au  
Web: www.ecodesign.com.au  
Member of the Australian Institute of Landscape Designers and Managers

1. Do not scale from drawings  
2. Verify all measurements on site  
3. Notify ecodesign of any inconsistencies  
4. Copyright © ecodesign. All rights reserved  
5. Drawing remains the property of ecodesign

6. All work to comply with relevant Australian Standards or Building Code of Australia  
7. All work to be performed by a suitably qualified tradesperson  
8. For application purposes only - NOT FOR CONSTRUCTION

PROJECT: NEW RESIDENCE

DRAWING: DETAILS

SCALE: 1:100 @ A3

ISSUE: DA

SHEET: L-02

CLIENT: ZAC HOMES

DRAWN: JD

CHECK: RS

DATE: 26-09-14

REVISION: A

PROJECT: NEW RESIDENCE

DRAWING: DETAILS

SCALE: 1:100 @ A3

ISSUE: DA

SHEET: L-02

DRAWN: JD

CHECK: RS

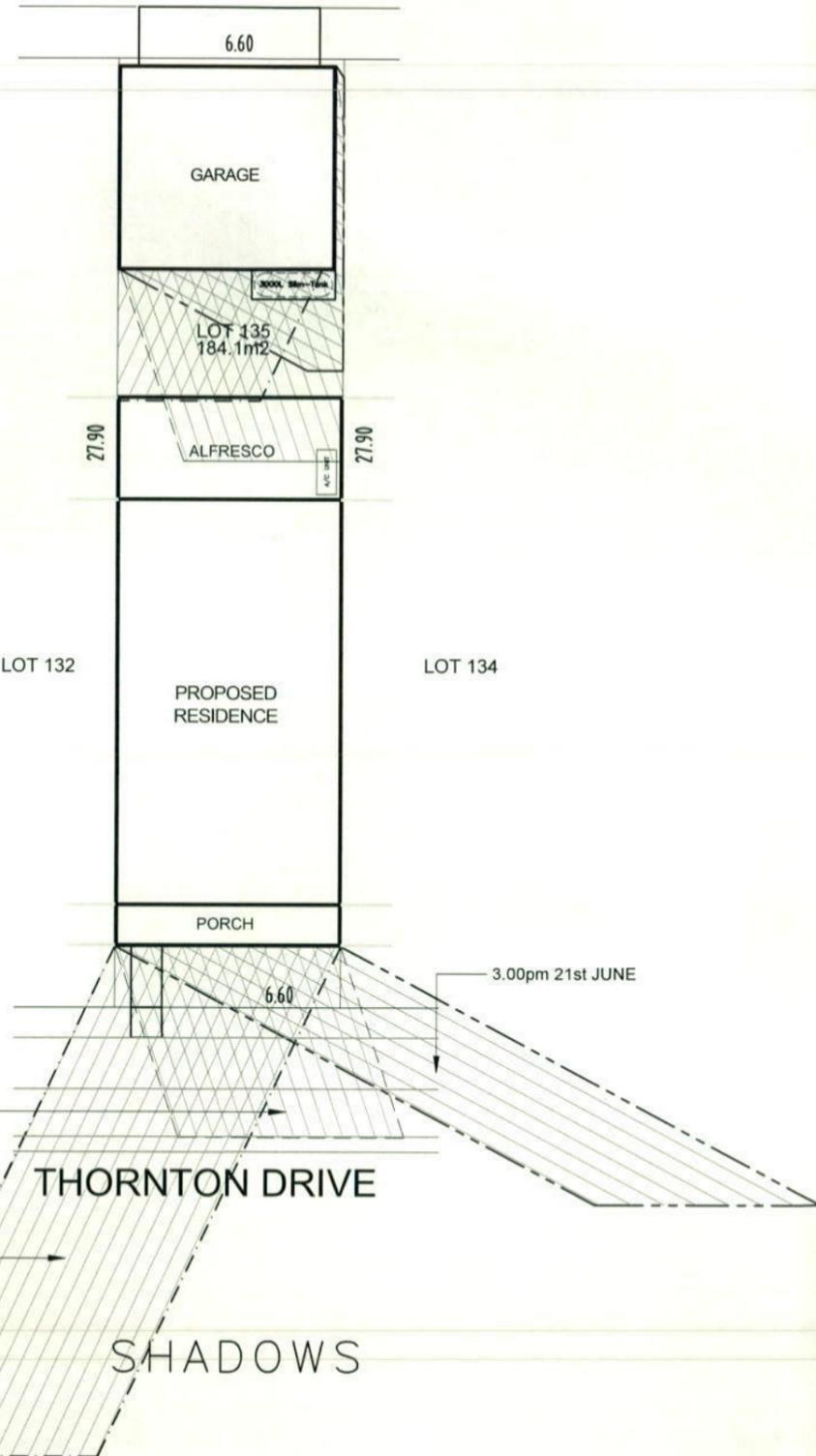
DATE: 26-09-14

REVISION: A



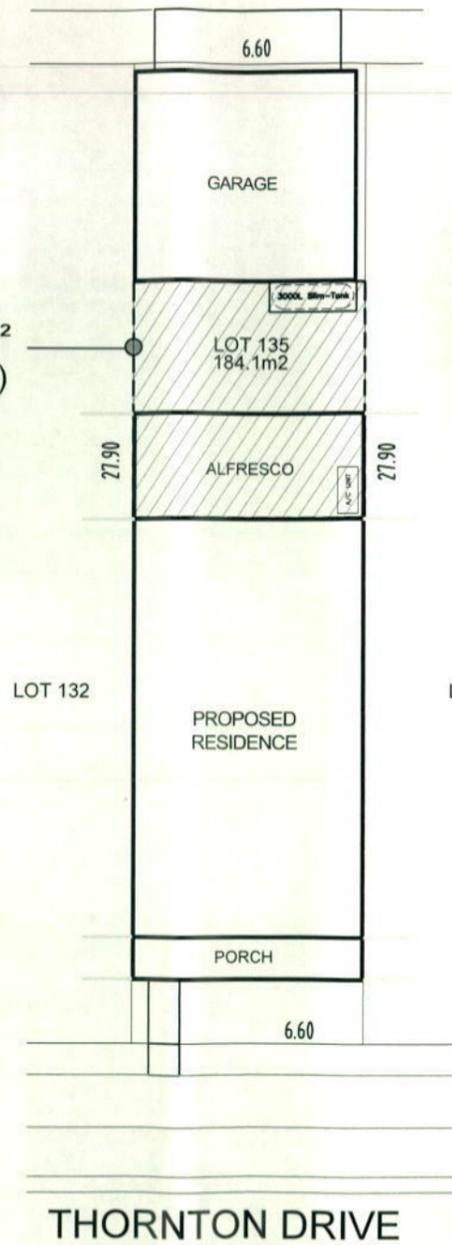


STODDART LANE



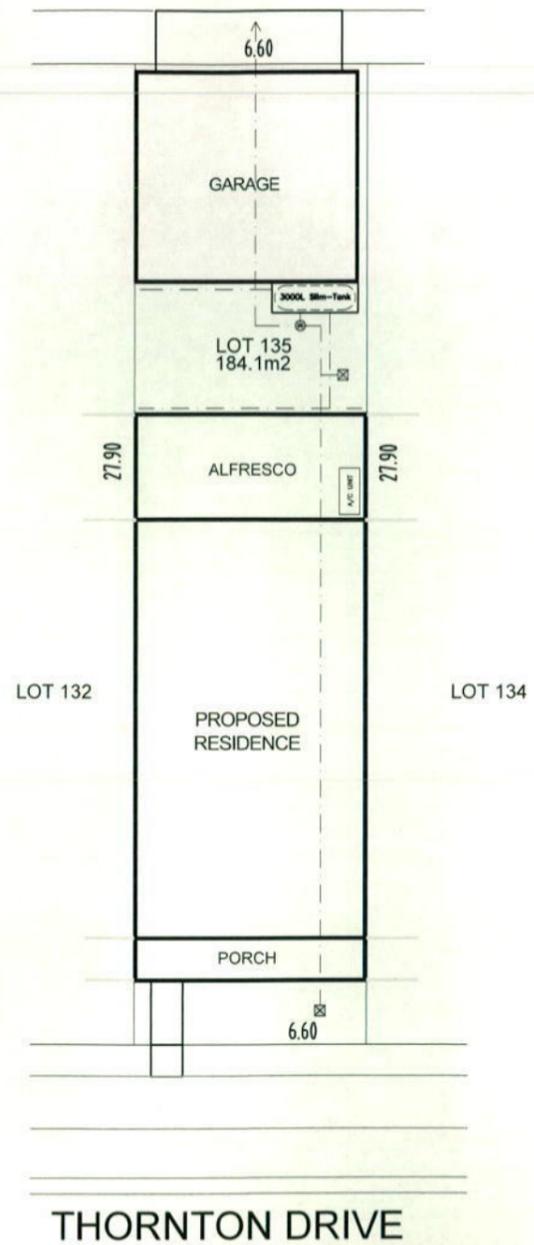
STODDART LANE

P.O.S.  
44.29m<sup>2</sup>  
(24.1%)



STORMWATER DRAINAGE LINES TO  
DRAINAGE EASEMENT AT REAR  
(VIA RAINWATER TANK)

STODDART LANE



SITE ANALYSIS PLAN

STORMWATER PLAN



Product:  
**Stage 12  
Terrace Housing**

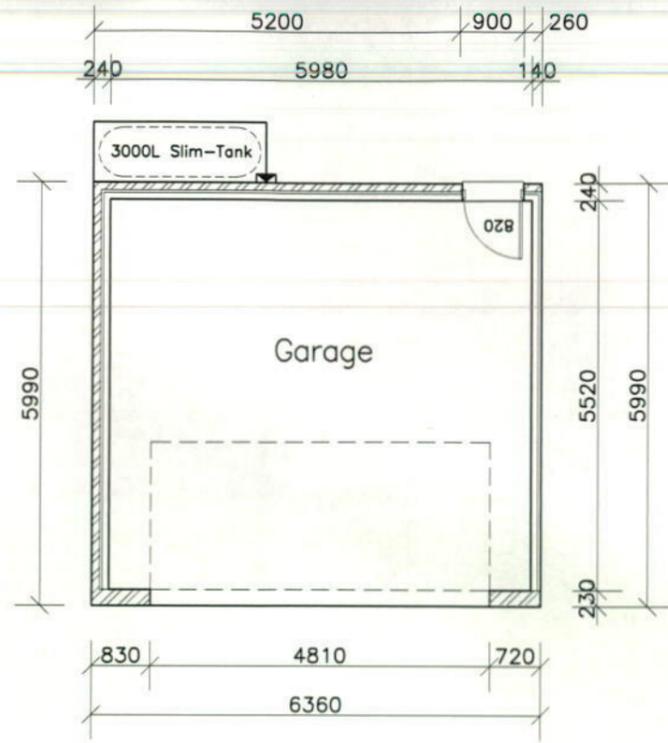
Client:  
**ZAC HOMES**  
Site Address:  
LOT 135 THORNTON DRIVE  
THORNTON NSW

Dwg Title:  
SITE ANALYSIS, SHADOWS, STORMWATER  
Date:  
23.09.14  
Council:  
PENRITH

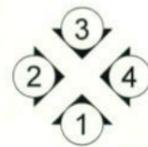
Sheet:  
**A3**  
Sheet No.  
05  
Job No:  
**214286d**

Scale:  
**1:200**  
Issue:  
A

| ISSUE | DATE     | DESCRIPTION             | DRAWN |
|-------|----------|-------------------------|-------|
| A     | 30.09.14 | D.A. DRAWINGS - ISSUE A | SG    |
|       |          |                         |       |
|       |          |                         |       |
|       |          |                         |       |
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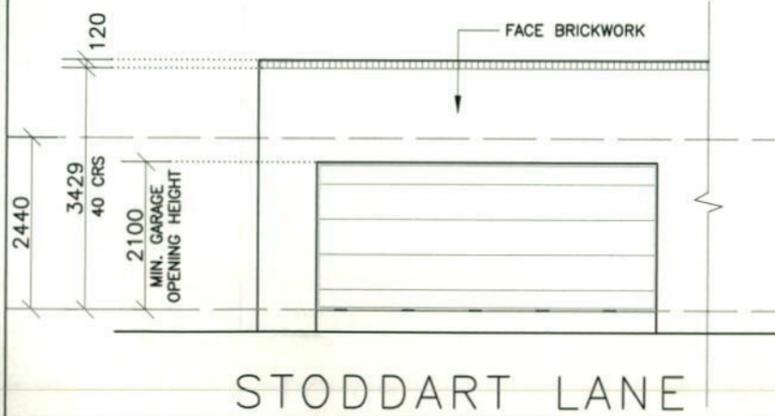
GARAGE FLOOR PLAN



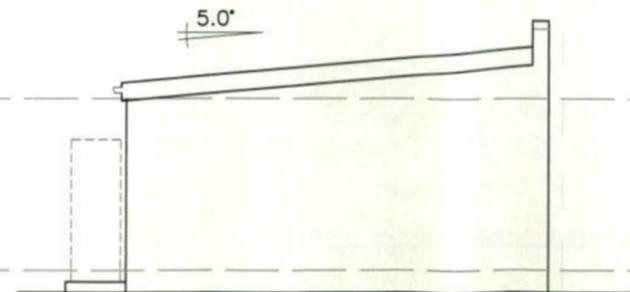
| SUMMARY OF BASIX COMMITMENTS   |                                      |                               |             |
|--|--------------------------------------|-------------------------------|-------------|
| <i>This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au</i> |                                      |                               |             |
| WATER COMMITMENTS  |                                      |                               |             |
| Fixtures   |                                      |                               |             |
| 3 Star Shower Heads  | Yes                                  | 4 Star Toilet                 | Yes         |
| 4 Star Kitchen Taps  | Yes                                  | 4 Star Basin Taps             | Yes         |
| Alternative Water  |                                      |                               |             |
| Minimum Tank Size (L)  | 3000                                 | Collected From Roof Area (m2) | 96.0        |
| Alternative Water Supply Connected To:   |                                      |                               |             |
| All Toilets  | Yes                                  | Laundry W/M Cold Tap          | Yes         |
| 1 x Outdoor Tap  | Yes                                  |                               |             |
| THERMAL COMFORT COMMITMENTS - Refer to next table  |                                      |                               |             |
| ENERGY COMMITMENTS   |                                      |                               |             |
| Hot Water Gas Instantaneous - 5.5 Star   |                                      |                               |             |
| Cooling System   | Living                               | 3 Phase Cooling System        | EER 3.0-3.5 |
|  | Bedrooms                             | 3 Phase Cooling System        | EER 3.0-3.5 |
| Heating System   | Living                               | 3 Phase Heating System        | EER 3.5-4.0 |
|  | Bedrooms                             | 3 Phase Heating System        | EER 3.5-4.0 |
| Ventilation  | Bathroom                             | Mechanical Ventilation        | N/A         |
|  | Kitchen                              | Mechanical Ventilation        | N/A         |
|  | Laundry                              | Mechanical Ventilation        | N/A         |
| Natural Lighting   | Window in Kitchen                    |                               | No          |
|  | Window/Skylight in Bathrooms/Toilets | No                            | to 3        |
| Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)   | Number of bedrooms                   | 2                             | Yes No      |
|  | Number of Living/Dining rooms        | 1                             | No No       |
|  | Kitchen                              | 1                             | No No       |
|  | All Bathrooms/Toilets                | 3                             | Yes No      |
|  | Laundry                              | 1                             | Yes No      |
| All Hallways   | 1                                    | Yes No                        |             |
| OTHER COMMITMENTS  |                                      |                               |             |
| Outdoor clothes line   | Yes                                  | Gas Cooktop                   | Yes         |

| Thermal Performance Specifications - BASIX COMMITMENTS   |                      |                                   |              |           |
|--|----------------------|-----------------------------------|--------------|-----------|
| External Wall Construction   | Insulation           | Colour (Solar Absorptance)        | Detail       |           |
| Brick Veneer   | Min. R2.0            | N/A                               | N/A          |           |
| Framed - Cladding  | Min. R2.0            | N/A                               | N/A          |           |
| Brick Veneer - Garage  | None                 | N/A                               | N/A          |           |
| Internal Wall Construction   | Insulation           | Detail                            |              |           |
| Plasterboard on studs  | None                 | N/A                               |              |           |
| Plasterboard on studs - Garage   | Min. R2.0            | House / Garage walls as per plans |              |           |
| Ceiling Construction   | Insulation           | Detail                            |              |           |
| Plasterboard   | Min. R3.0            | Ceilings adjacent to roof space   |              |           |
| Plasterboard - Garage  | None                 | N/A                               |              |           |
| Roof Construction  | Insulation           | Colour (Solar Absorptance)        | Detail       |           |
| Tiled Roof   | Foil / Sarking       | Dark SA> 0.7                      | As per plans |           |
| Floor Construction   | Insulation           | Covering                          | Detail       |           |
| Concrete   | None                 | N/A                               | N/A          |           |
| Concrete   | None                 | N/A                               | N/A          |           |
| Timber Floor - First Floor   | None                 | N/A                               | N/A          |           |
| Windows  | Glass and frame type | U                                 | SHGC         | Area sq m |
| Single clear   | Improved Aluminium   | 6.44                              | 0.75         | 17.91     |
| Single clear   | Standard Aluminium   | 6.44                              | 0.75         | 1.68      |
| Single clear   | Timber Door          | 5.71                              | 0.66         | 0.00      |
| <i>U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 10% higher or lower than the above figures.</i> |                      |                                   |              |           |
| Sky Lights   | Glass type           | Frame type                        | U            | SHGC      |
| N/A  | N/A                  | N/A                               | N/A          | N/A       |
| External Window Cover  |                      |                                   |              |           |
| None N/A   |                      |                                   |              |           |
| Fixed shading - Eaves  |                      |                                   |              |           |
| Width: 450 - 600 Offset: 0 Nominal only, refer to plan for detail  |                      |                                   |              |           |
| Ventilation and Infiltration to Habitable Rooms  |                      |                                   |              |           |
| Open fire no damper  | no                   | Exhaust fans no dampers           | no           |           |
| Door and window seals  | no                   | Vented skylights                  | no           |           |
| Vented downlights  | no                   | Fixed wall or ceiling vents       | no           |           |
| *No* means that the item was not included in the assessment and shall not be installed.  |                      |                                   |              |           |

LOT 135

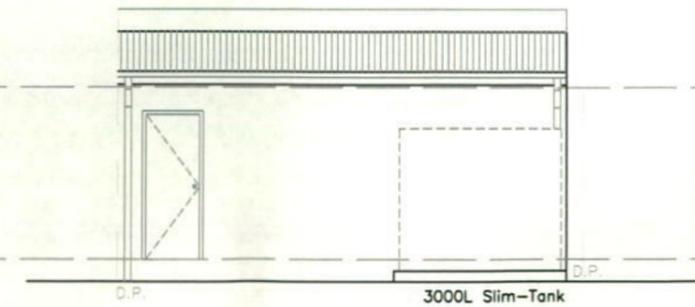


STODDART LANE



ELEVATION 2

LOT 135



ELEVATION 3



Product:  
**Stage 12 Terrace Housing**

Client:  
**ZAC HOMES**  
Site Address:  
**LOT 135 THORNTON DRIVE THORNTON NSW**

Dwg Title:  
**ELEVATIONS**  
Date:  
**23.09.14**  
Council:  
**PENRITH**

Sheet:  
**A3**  
Scale:  
**1:100**  
Sheet No.  
**03**  
Issue:  
**A**  
Job No:  
**214286d**

| ISSUE | DATE     | DESCRIPTION             | DRAWN |
|-------|----------|-------------------------|-------|
| A     | 30.09.14 | D.A. DRAWINGS - ISSUE A | SG    |