

Certificate number: 504341S

Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 223 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• the laundry;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

1005710270
CERTIFICATION NUMBER
13/09/2013
DATE
28
CLIMATE ZONE
BERS Professional - v4.2.110811/A (BERS Professional)
SOFTWARE
48.0 MJ/m <sup>2</sup> pa
SIMULATED ENERGY CONSUMPTION - HEATING
31.0 MJ/m <sup>2</sup> pa
SIMULATED ENERGY CONSUMPTION - COOLING
79.0 MJ/m <sup>2</sup> pa
TOTAL SIMULATED ENERGY CONSUMPTION
133.0 m <sup>2</sup>
FLOOR AREA - CONDITIONED
12.0 m <sup>2</sup>
FLOOR AREA - UNCONDITIONED
145.0 m <sup>2</sup>
FLOOR AREA - TOTAL

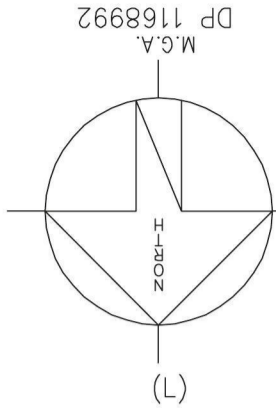


AREAS	
SITE:	425.00 m <sup>2</sup>
GROUND FLOOR:	157.05 m <sup>2</sup>
GARAGE:	34.33 m <sup>2</sup>
PORCH:	4.61 m <sup>2</sup>
PATIO	18.00 m <sup>2</sup>
	m <sup>2</sup>
	m <sup>2</sup>
TOTAL:	213.99 m <sup>2</sup>

REV	DATE	AMENDMENTS	BY	SHEET	DESCRIPTION
E	19.11.13	DEVELOPER NOTE AND DA DRAWINGS	M.C.	2.4	Stormwater Concept Plan
D	02.10.13	PCV DATED 02.10.13	G.D.	2.3	Site Analysis Plan
C	04.09.13	PCV DATED 28.08.13	G.D.	2.2	Construction Management Plan
B	23.08.13	CONTRACT DRAWING	R.C.	2.1	Neighbour Notification Plan
A	23.08.13	TENDER DRAWING		10	SLAB PLAN
				9	STEEL PLAN
				8	WET AREA DETAILS
				7	GROUND FLOOR ELECTRICAL
				6	SECTION
				5	ELEVATIONS
				4	ELEVATIONS
				3	GROUND FLOOR PLAN
				2	SITE PLAN
				1	COVER SHEET

 BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 9954 5000	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # DIMENSIONS TO BE READ IN CONJUNCTION WITH THE...	PRODUCT: <b>LYNWOOD 21</b> Oxford R/H Garage Ruby Specification	CLIENT: <b>MR. CHEUNG</b> Clients 2 SITE ADDRESS: LOT 2163 DP:1168992 40 CABARITA WAY JORDAN SPRINGS 2747	<b>D A DRAWINGS</b>		
				DRAWN: R.C.	DATE: 23.08.13	Rev: <b>E</b>
		RATIO @ A3: N/A	CHECKED: Checked By			
		SHEET: <b>1</b>	JOB No: <b>29908593</b>	NSW		

NORTH



- (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE
- (L) RESTRICTION ON THE USE OF LAND

HOUSE TO BE CONSTRUCTED TO BAL-12.5 BUSHFIRE CONSTRUCTION



### LOCALITY SKETCH

UBD AREA: SYD REVISION: 48  
MAP: 144 REF:

**LOT LOT 2163**  
D.P: 1168992  
L.G.A: PENRITH

#### PRIVATE OPEN SPACE

SITE AREA:	425 m <sup>2</sup>
PRIVATE OPEN SPACE:	90.42 m <sup>2</sup>
MIN. REQUIRED BY COUNCIL 15%:	63.75 m <sup>2</sup>

**Maximum 1000mm CUT**  
**Maximum 1000mm FILL**

**SALINE AFFECTED SOILS**

REFER TO ENGINEER'S DETAIL

#### Developer Note : owner to comply after handover

- ANY GARDEN AND LAWN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLORED BRICKS, BLOCKS OR COLORED CONCRETE - NO TIMBER EDGING IS PERMITTED
- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900MM HIGH AND OVER ARE TO BE MASONRY CONSTRUCTION
- VEHICLE CROSSOVERS ARE TO BE PLAIN CONCRETE TO PCC SPECIFICATIONS. 5M WIDE V.C FOR DOUBLE GARAGE AND 3M WIDE V.C FOR SINGLE GARAGE
- ALL EXISTING TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION

**\*\*B.O.S.\*\***

(Building adjacent to sewer)

**ORDER SEWER PEGOUT**

WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "H1"

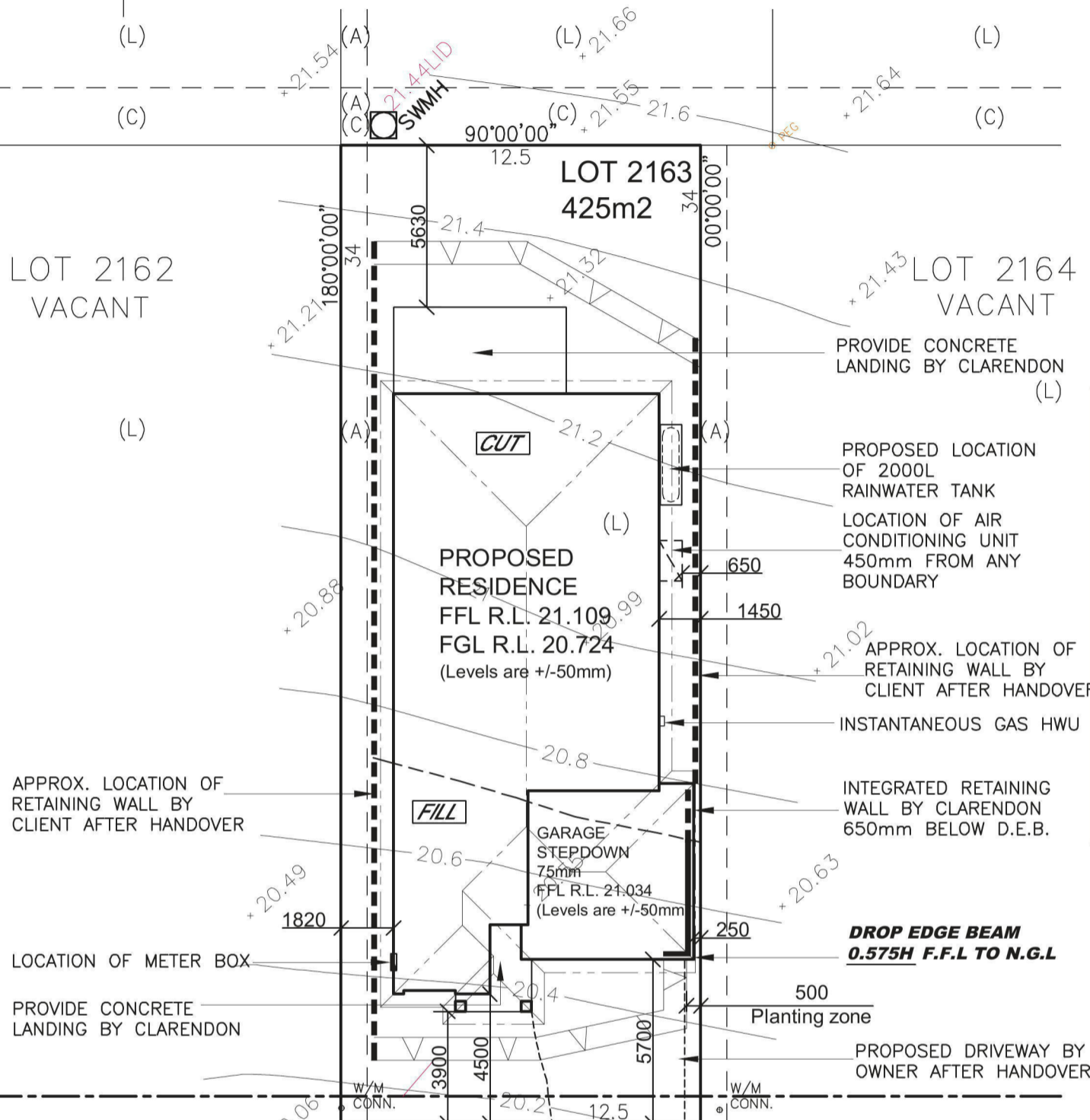
#### SITE INDUCTION

Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

#### SITE SPECIFIC HAZARDS

- \* LIMITED STREET PARKING
- \* LIMITED SPACE FOR MATERIAL STOCK PILE
- \* FOOTPATH / PEDESTRIAN TRAFFIC
- \* TRAFFIC CONTROL REQUIRED
- \* DROP EDGE BEAM

**STORMWATER TO STREET VIA RAINWATER TANK**



APPROX. LOCATION OF RETAINING WALL BY CLIENT AFTER HANDOVER

LOCATION OF METER BOX  
PROVIDE CONCRETE LANDING BY CLARENDON

PROVIDE CONCRETE LANDING BY CLARENDON (L)

PROPOSED LOCATION OF 2000L RAINWATER TANK  
LOCATION OF AIR CONDITIONING UNIT 450mm FROM ANY BOUNDARY

APPROX. LOCATION OF RETAINING WALL BY CLIENT AFTER HANDOVER

INSTANTANEOUS GAS HWU

INTEGRATED RETAINING WALL BY CLARENDON 650mm BELOW D.E.B.

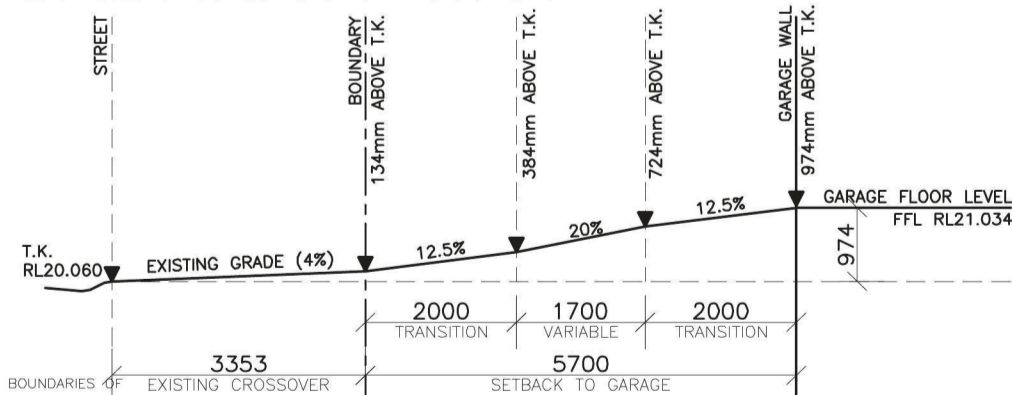
**DROP EDGE BEAM**  
**0.575H F.F.L TO N.G.L**

PROPOSED DRIVEWAY BY OWNER AFTER HANDOVER

**ELECTRICAL PILLAR NO. 116945**

**NOTE:**  
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

CABARITA WAY



### SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 9954 5200

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# DIMENSIONS TO BE READ IN

PRODUCT:  
**LYNWOOD 21**  
Oxford  
R/H Garage  
Ruby Specification

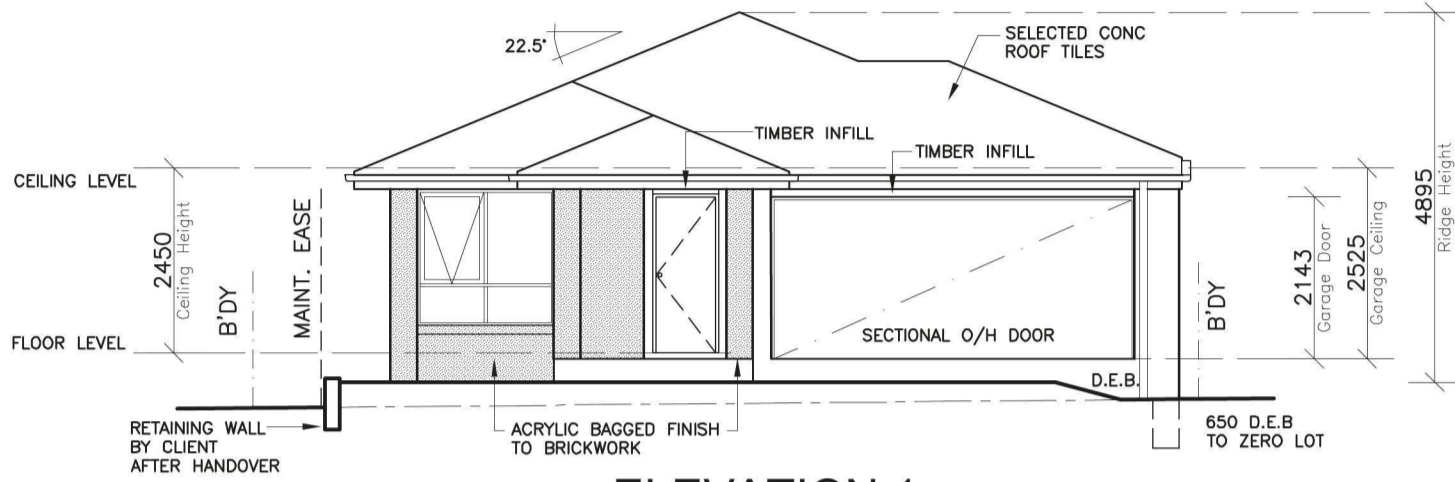
CLIENT:  
**MR. CHEUNG**  
Clients 2  
SITE ADDRESS:  
**LOT 2163 DP:1168992**  
**40 CABARITA WAY**  
JORDAN SPRINGS 2717

D A DRAWINGS

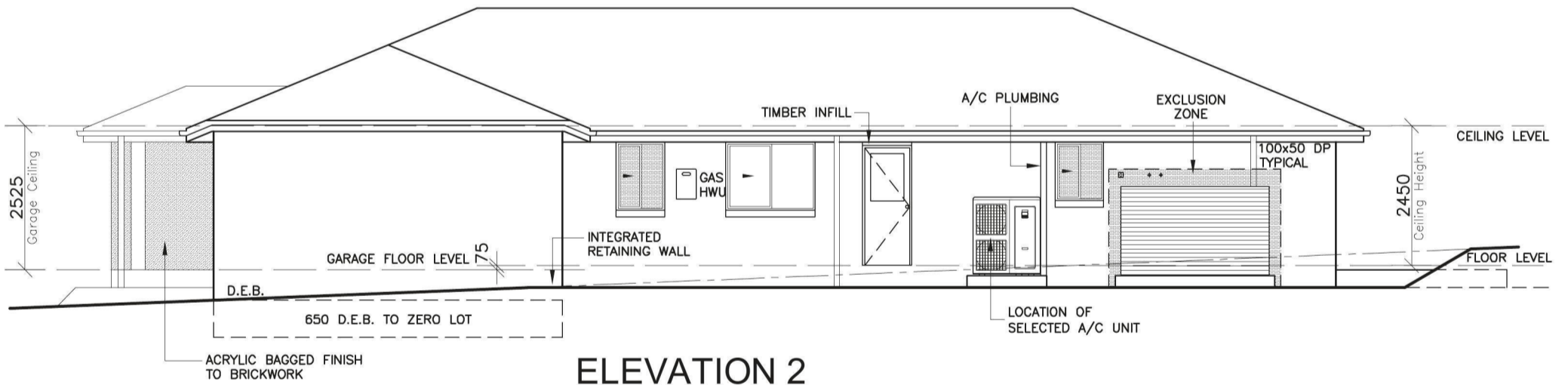
DRAWN: R.C.	DATE: 23.08.13	Rev: E
RATIO @ A3: 1:200	CHECKED: Checked By	
SHEET: 2	JOB No: 29908593	NSW

**HOUSE TO BE CONSTRUCTED TO  
BAL-12.5 BUSHFIRE CONSTRUCTION**

NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**



**ELEVATION 1**

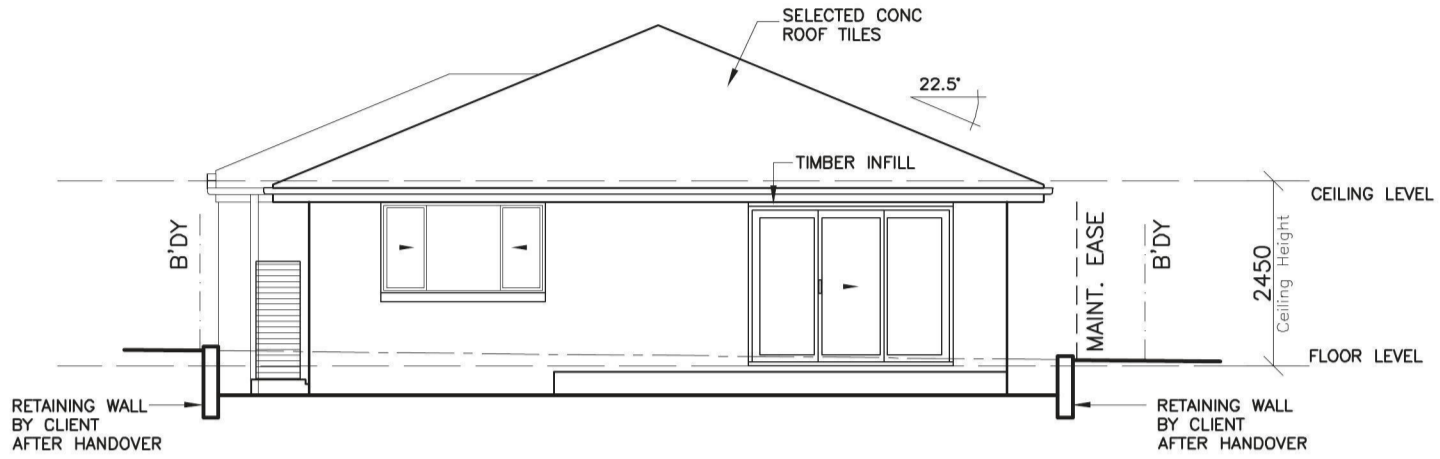


**ELEVATION 2**

CLIENT'S SIGNATURE: _____		DATE: _____				
<p>BL No. 2298C ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 9954 5200</p>	<p>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</p> <p># DIMENSIONS TO BE READ IN CONFORMANCE WITH AS 1100</p>	<p>PRODUCT: <b>LYNWOOD 21</b> Oxford R/H Garage</p> <p>Ruby Specification</p>	<p>CLIENT: <b>MR. CHEUNG</b> Clients 2</p> <p>SITE ADDRESS: <b>LOT 2163 DP:1168992</b> 40 CABARITA WAY JORDAN SPRINGS 2717</p>	<b>D A DRAWINGS</b>		
				DRAWN: R.C.	DATE: 23.08.13	Rev:
				RATIO @ A3: 1:100	CHECKED: Checked By	<b>E</b>
				SHEET: <b>4</b>	JOB No: <b>29908593</b>	<b>NSW</b>

HOUSE TO BE CONSTRUCTED TO  
BAL-12.5 BUSHFIRE CONSTRUCTION

NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
CDN 21.010-21.080



ELEVATION 3



ELEVATION 4

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Bulkhams Hills NSW 2153  
T: (02) 9954 5200

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# DIMENSIONS TO BE READ IN  
METRES UNLESS OTHERWISE SPECIFIED

PRODUCT:  
**LYNWOOD 21**  
Oxford  
R/H Garage

Ruby Specification

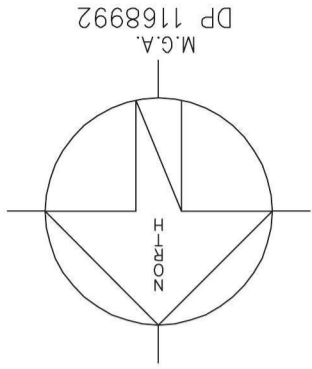
CLIENT:  
**MR. CHEUNG**  
Clients 2

SITE ADDRESS:  
LOT 2163 DP:1168992  
40 CABARITA WAY  
JORDAN SPRINGS 2747

D A DRAWINGS

DRAWN: R.C.	DATE: 23.08.13	Rev: E
RATIO @ A3: 1:100	CHECKED: Checked By	
SHEET: 5	JOB No: 29908593	NSW

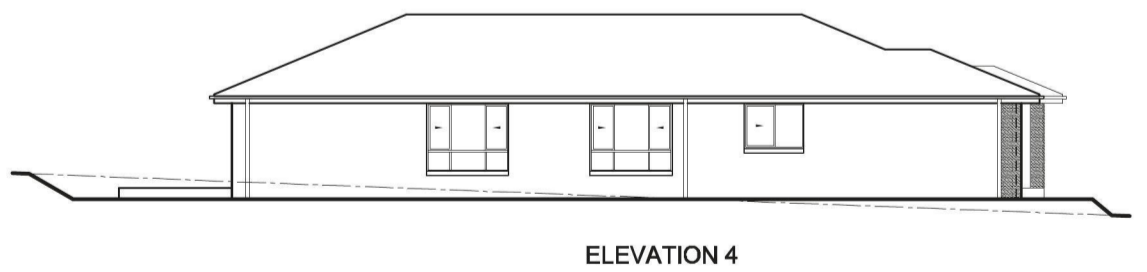
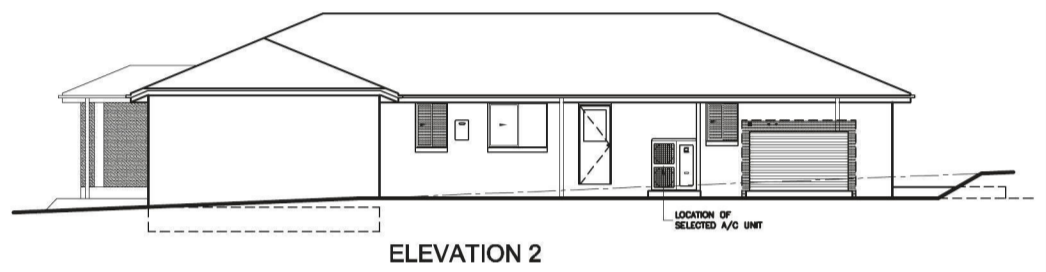
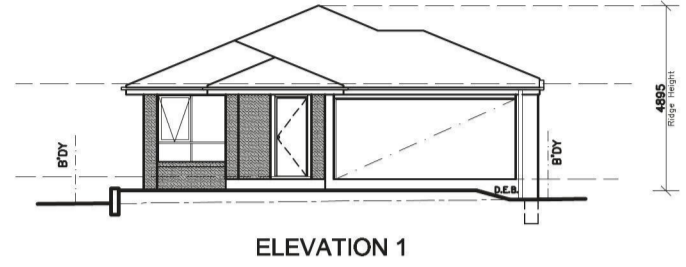
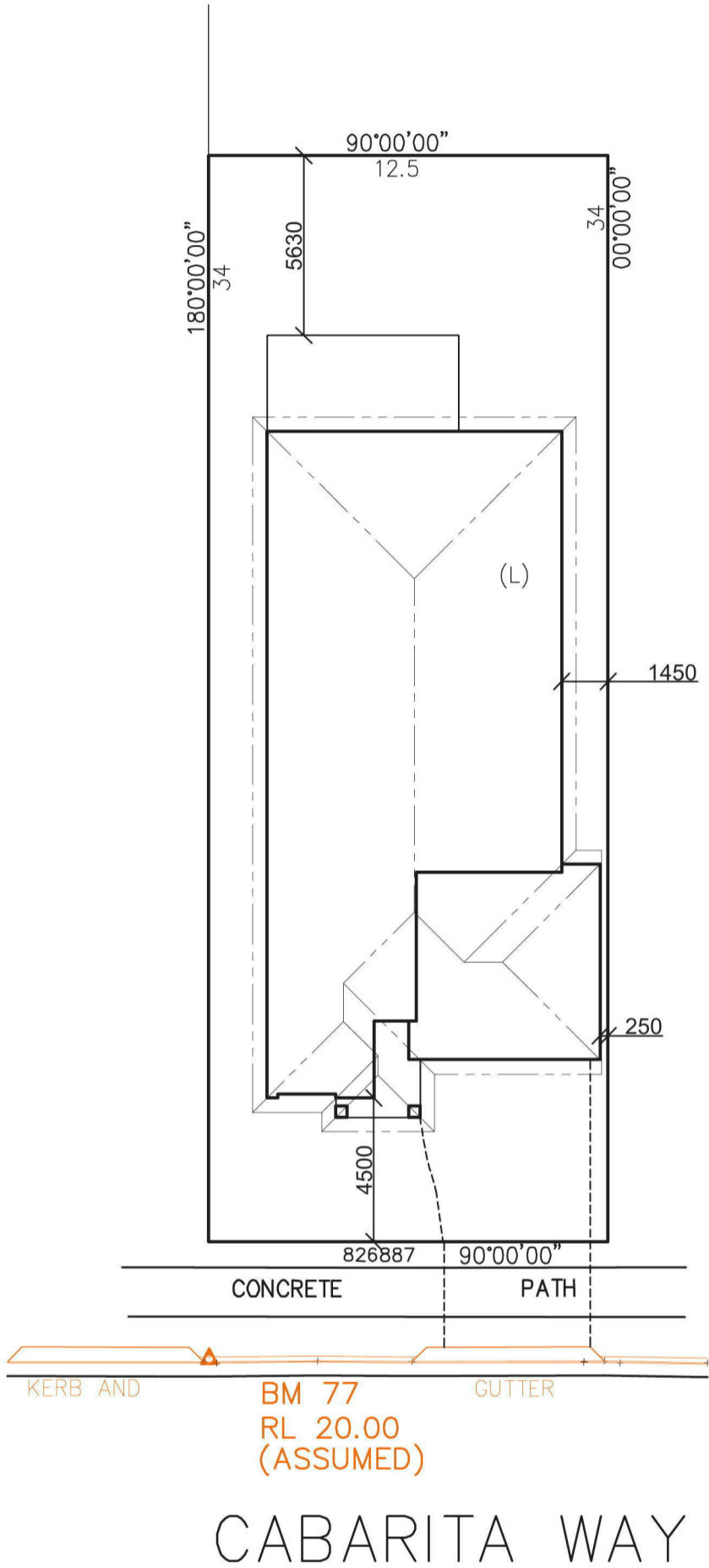
NORTH



# LOCALITY SKETCH

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MAP: 144 REF:

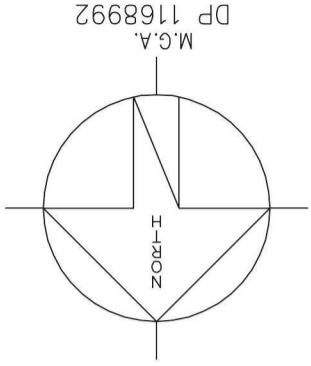
**LOT LOT 2163**  
**D.P: 1168992**  
**L.G.A: PENRITH**



## NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: _____ DATE: _____		PRODUCT: <b>LYNWOOD 21</b> Oxford R/H Garage  Ruby Specification		CLIENT: <b>MR. CHEUNG</b> Clients 2  SITE ADDRESS: <b>LOT 2163 DP:1168992</b> <b>40 CABARITA WAY</b> <b>JORDAN SPRINGS 2717</b>		<b>D A DRAWINGS</b>	
<b>ClarendonHomes</b> <small>BL No. 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 9954 5200		© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L  # DIMENSIONS TO BE READ IN CONJUNCTION WITH ALL DIMENSIONS		DRAWN: M.C. RATIO @ A3: 1:200 SHEET: 2 1		DATE: 19.11.2013 CHECKED: Checked By JOB No: 29908593	
						Rev: E NSW	

I-I



- (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE
- (L) RESTRICTION ON THE USE OF LAND

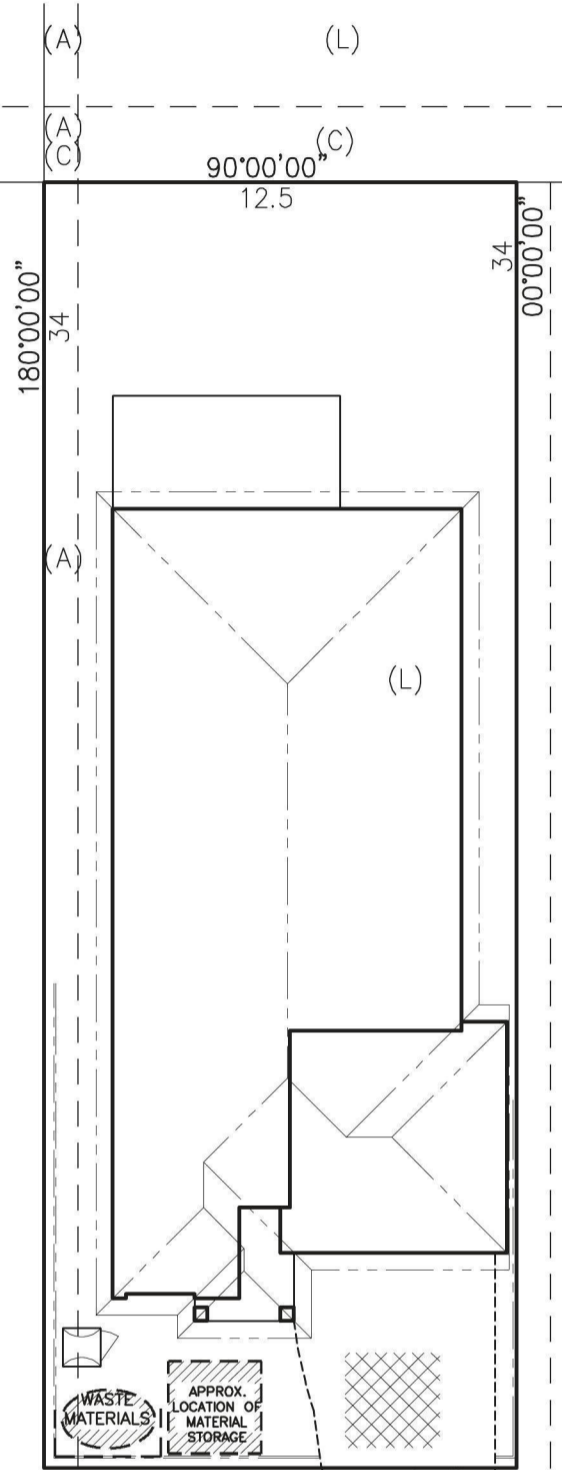
# LOCALITY SKETCH

UBD AREA: SYD REVISION: 48  
 MAP: 144 REF:

**LOT LOT 2163**  
**D.P: 1168992**  
**L.G.A: PENRITH**

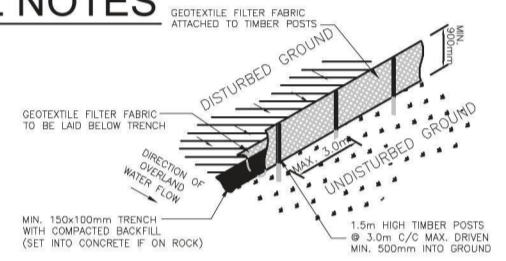
LOT 2162  
VACANT

LOT 2164  
VACANT



### SEDIMENT CONTROL NOTES

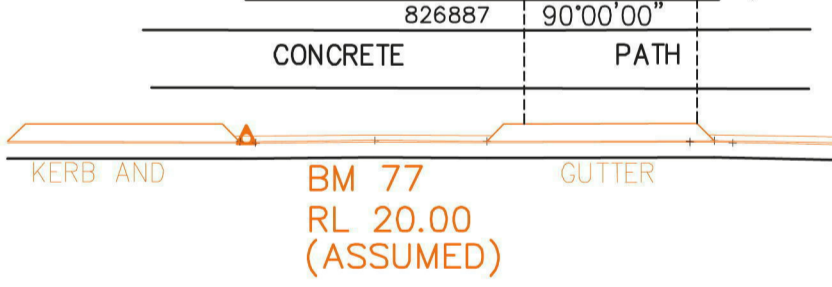
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



**SEDIMENT FENCE**  
NOT TO SCALE

**NOTE:**  
 TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

**NOTE:**  
 GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS



## CABARITA WAY

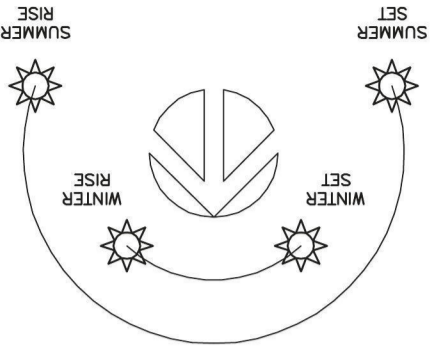
- DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION
- PORTABLE TOILET
- WASTE MATERIALS → SEDIMENT FENCE AROUND WASTE MATERIALS
- APPROX. LOCATION OF MATERIAL STORAGE
- ALL WEATHER ACCESS POSITION
- APPROXIMATE LOCATION OF SEDIMENT FENCE

# CONSTRUCTION MANAGEMENT PLAN

## EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: _____	DATE: _____	PRODUCT: <b>LYNWOOD 21</b> Oxford R/H Garage  Ruby Specification	CLIENT: <b>MR. CHEUNG</b> Clients 2  SITE ADDRESS: <b>LOT 2163 DP:1168992</b> <b>40 CABARITA WAY</b> <b>JORDAN SPRINGS 2747</b>	<b>D A DRAWINGS</b>	
<b>ClarendonHomes</b> BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Bulkhams Hills NSW 2153 T: (02) 9954 5200	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L. Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # DIMENSIONS TO BE READ IN			DRAWN: M.C.	DATE: 19.11.2013
				RATIO @ A3: 1:200	CHECKED: Checked By
				SHEET: 22	JOB No: 29908593
					Rev: E NSW

NORTH

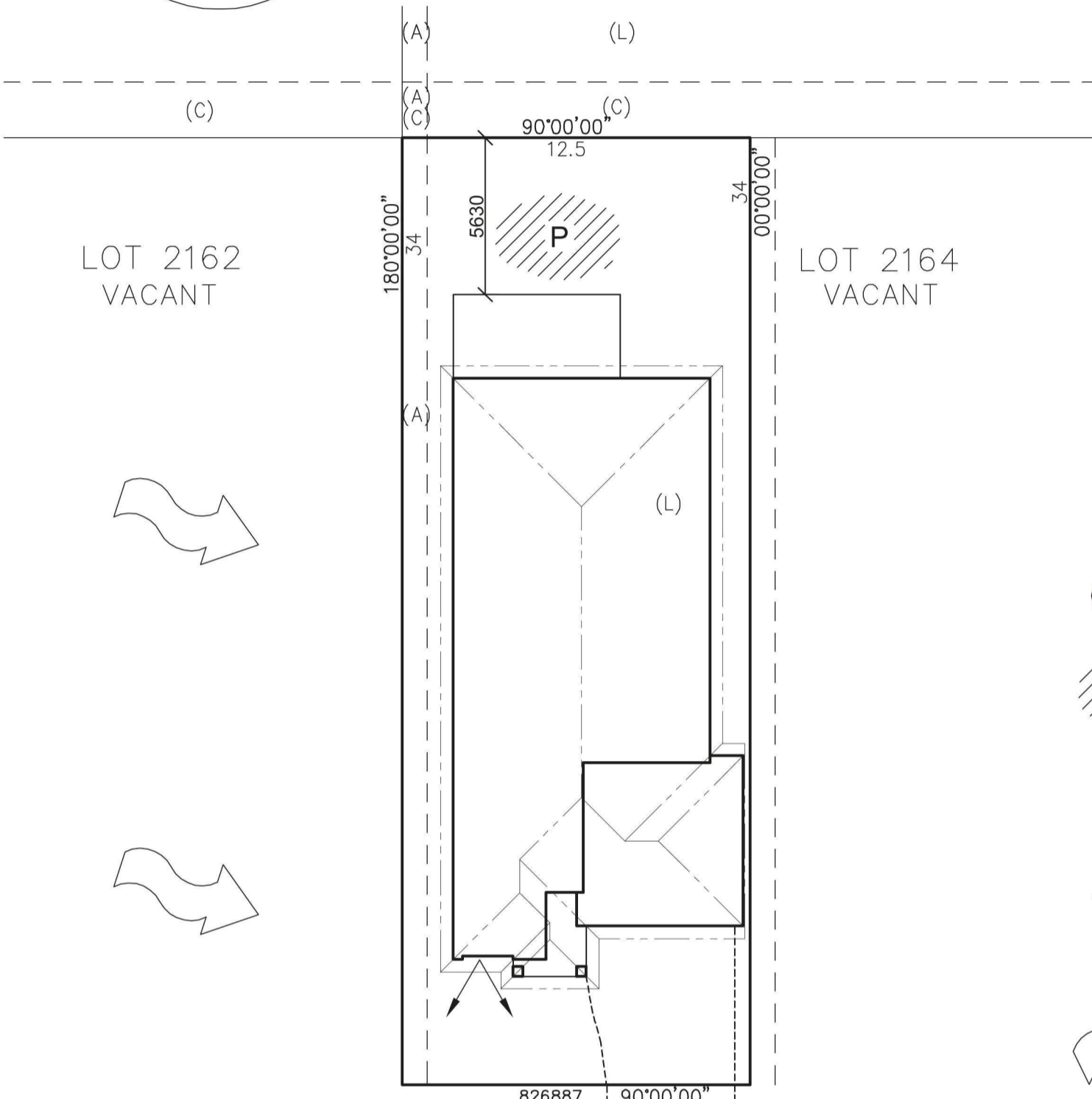


- (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE
- (L) RESTRICTION ON THE USE OF LAND

## LOCALITY SKETCH

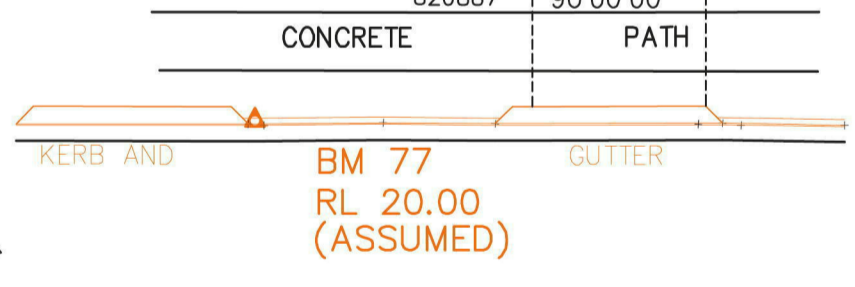
UBD AREA: SYD REVISION: 48  
MAP: 144 REF:

**LOT LOT 2163**  
**D.P: 1168992**  
**L.G.A: PENRITH**

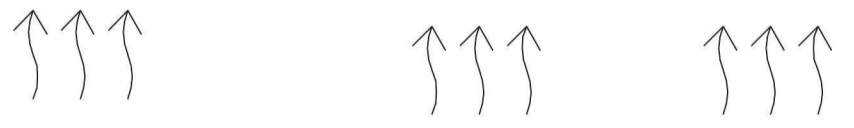


- DENOTES EXISTING TREES TO BE RETAINED
- DENOTES EXISTING TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION
- NUMBER OF STOREYS
- PRINCIPAL PRIVATE OPEN SPACE
- MAIN VIEWS
- NOISE IMPACT
- PREVAILING WINDS

NOTE TO DRAFTSPERSON ONLY:  
PREVAILING WINDS COME FROM THE SOUTH-WEST DIRECTION.



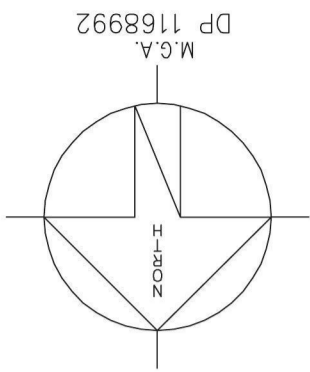
CABARITA WAY



## SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____		PRODUCT: <b>LYNWOOD 21</b> Oxford R/H Garage  Ruby Specification		CLIENT: <b>MR. CHEUNG</b> Clients 2  SITE ADDRESS: LOT 2163 DP:1168992 40 CABARITA WAY JORDAN SPRINGS 2717		D A DRAWINGS	
<p>BL No. 2298C ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 9954 5200</p>	<p>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L. Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</p> <p># DIMENSIONS TO BE READ IN</p>	DRAWN: M.C.		DATE: 19.11.2013		Rev: E	
		RATIO @ A3: 1:200		CHECKED: Checked By			
		SHEET: 23		JOB No: 29908593		NSW	

NORTH



- (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE
- (L) RESTRICTION ON THE USE OF LAND

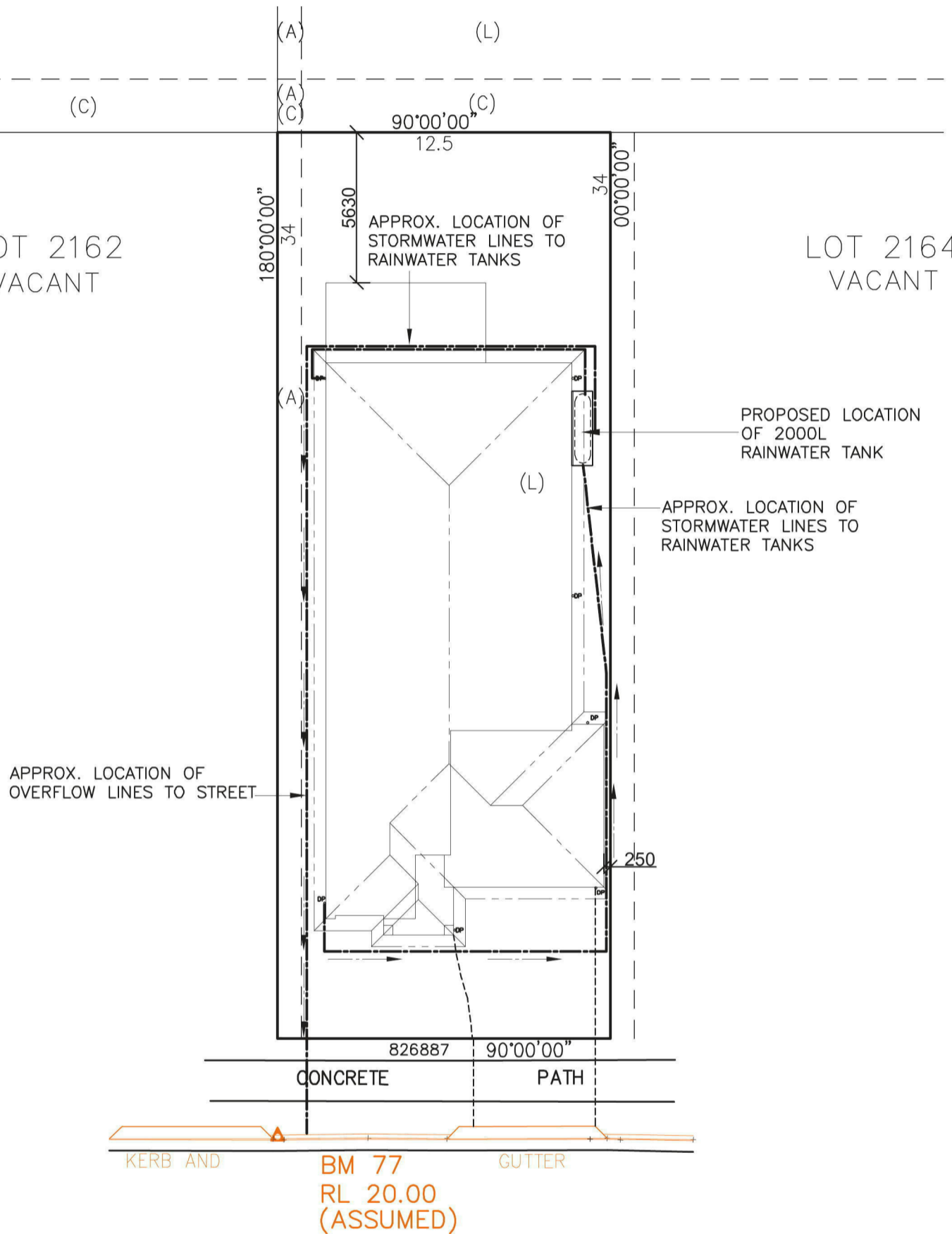
### LOCALITY SKETCH

UBD AREA: SYD REVISION: 48  
 MAP: 144 REF:

**LOT LOT 2163**  
**D.P: 1168992**  
**L.G.A: PENRITH**

LOT 2162  
VACANT

LOT 2164  
VACANT



## CABARITA WAY

# CONCEPT STORMWATER MANAGEMENT PLAN

## STORMWATER TO STREET VIA RAINWATER TANK

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

### ClarendonHomes

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 9954 5200

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 # DIMENSIONS TO BE READ IN  
 METRES UNLESS OTHERWISE STATED

PRODUCT:  
**LYNWOOD 21**  
 Oxford  
 R/H Garage  
 Ruby Specification

CLIENT:  
**MR. CHEUNG**  
 Clients 2  
 SITE ADDRESS:  
 LOT 2163 DP:1168992  
 40 CABARITA WAY  
 JORDAN SPRINGS 2747

D A DRAWINGS

DRAWN: M.C.	DATE: 19.11.2013	Rev: E
RATIO @ A3: 1:200	CHECKED: Checked By	
SHEET: 24	JOB No: 29908593	NSW



# PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
<b>*Aam</b>	Acmena smithii 'Allyn Magic'	Allyn Magic Lillypilly	24	200mm	0.5-1m
<b>Cyg</b>	Cordyline 'Renegade'	Purple Cordyline	13	200mm	1m
<b>*Dff</b>	Dianella tasmanica 'Tasred'	Tasred Flax Lily	23	150mm	0.40m
<b>*Er</b>	Elaeocarpus reticulatus	Blueberry Ash	1	25L	9m
<b>Mlg</b>	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1	25L	4m

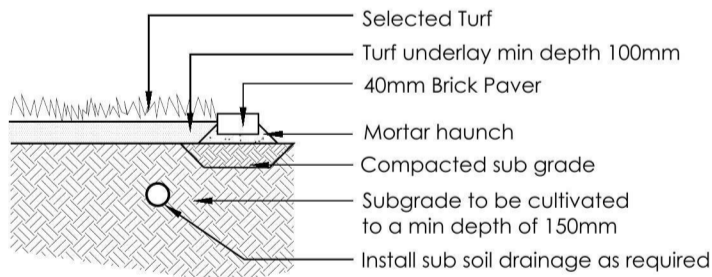
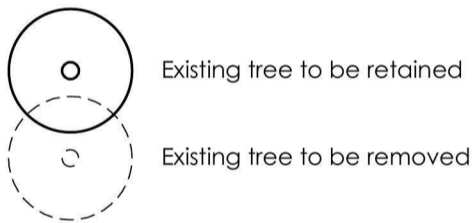
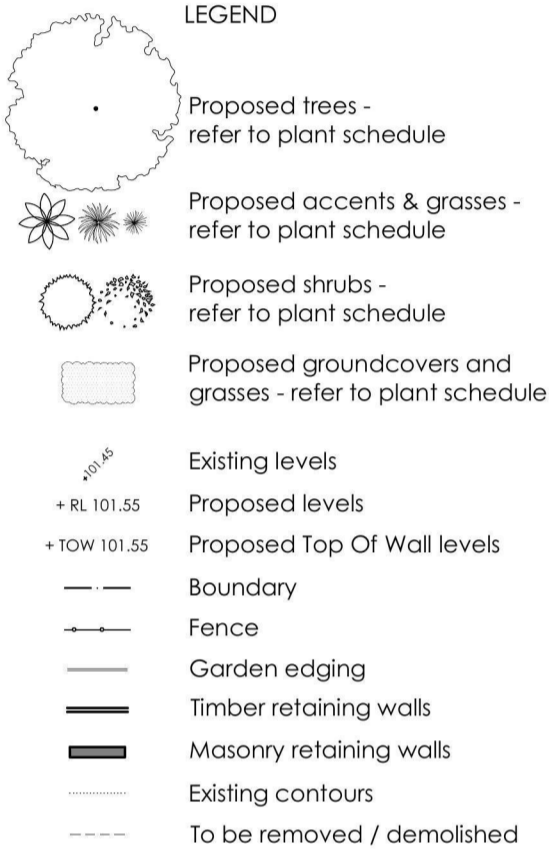
\*Australian native plant

## PLANTING SUMMARY

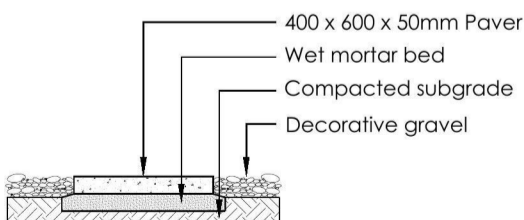
Total Plants	Total Native Plants	Total Exotic Plants	% Native Plants**	Total Trees***	Area of low water use / native plants m <sup>2</sup>
62	48	14	77%	2	11.4 m <sup>2</sup>

\*\*Minimum required 50%

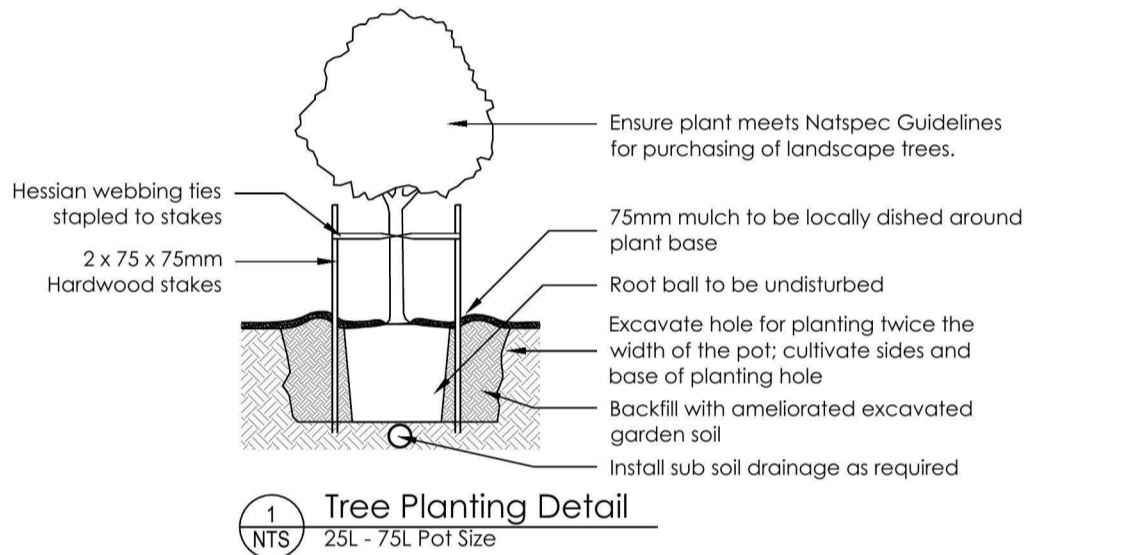
\*\*\*Minimum 2 trees



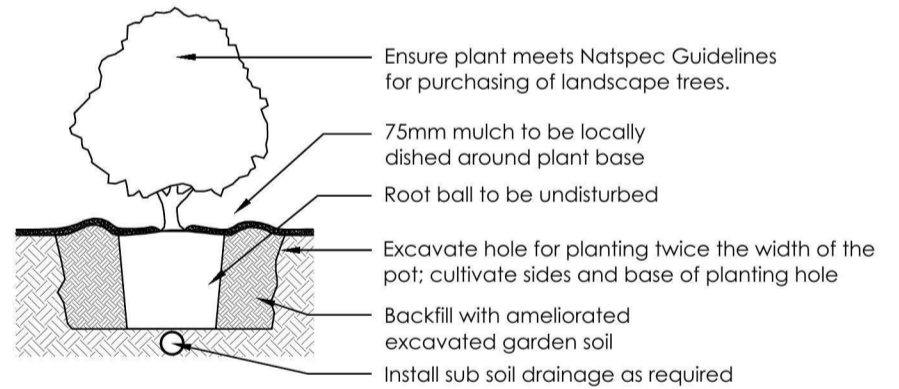
**3** **Turf Detail**  
NTS Brick Paver Edge



**4** **Stepping stones in gravel**  
NTS Low traffic zone



**1** **Tree Planting Detail**  
NTS 25L - 75L Pot Size



**2** **Planting Detail**  
NTS Tube, 150mm, 200mm Pot Size

## AREA CALCULATIONS

SITE AREA	- 425.0 m <sup>2</sup>
<b>TOTAL LANDSCAPED AREA</b>	<b>- 233.6 m<sup>2</sup></b>
<b>SOFT LANDSCAPED AREA</b>	
MINIMUM REQUIRED	- 50% (116.5 m <sup>2</sup> )
PROPOSED	- 72.0% (168.2 m <sup>2</sup> )

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	SUBMITTED FOR APPROVAL	TB	MD	30-09-13
B	PORCH UPDATED - FOR APPROVAL	TB	MD	23-10-13

**ecodeign**  
*Outdoor Living environments*

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Member of the Australian Institute of Landscape Designers and Managers

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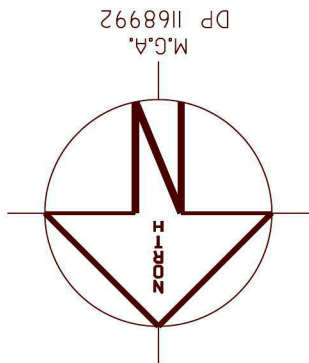
6. All work to comply with relevant Australian Standards or Building Code of Australia  
7. All work to be performed by a suitably qualified tradesperson  
8. For application purposes only - NOT FOR CONSTRUCTION

PROJECT	ADDRESS	CLIENT
NEW RESIDENCE	LOT 2163, NO.40, CABARITA WAY, JORDAN SPRINGS	MR CHEUNG

DRAWING	SCALE	ISSUE	SHEET	DATE	REVISION
LANDSCAPE PLAN	1:100 @ A3	DA	L - 02	23-10-13	B



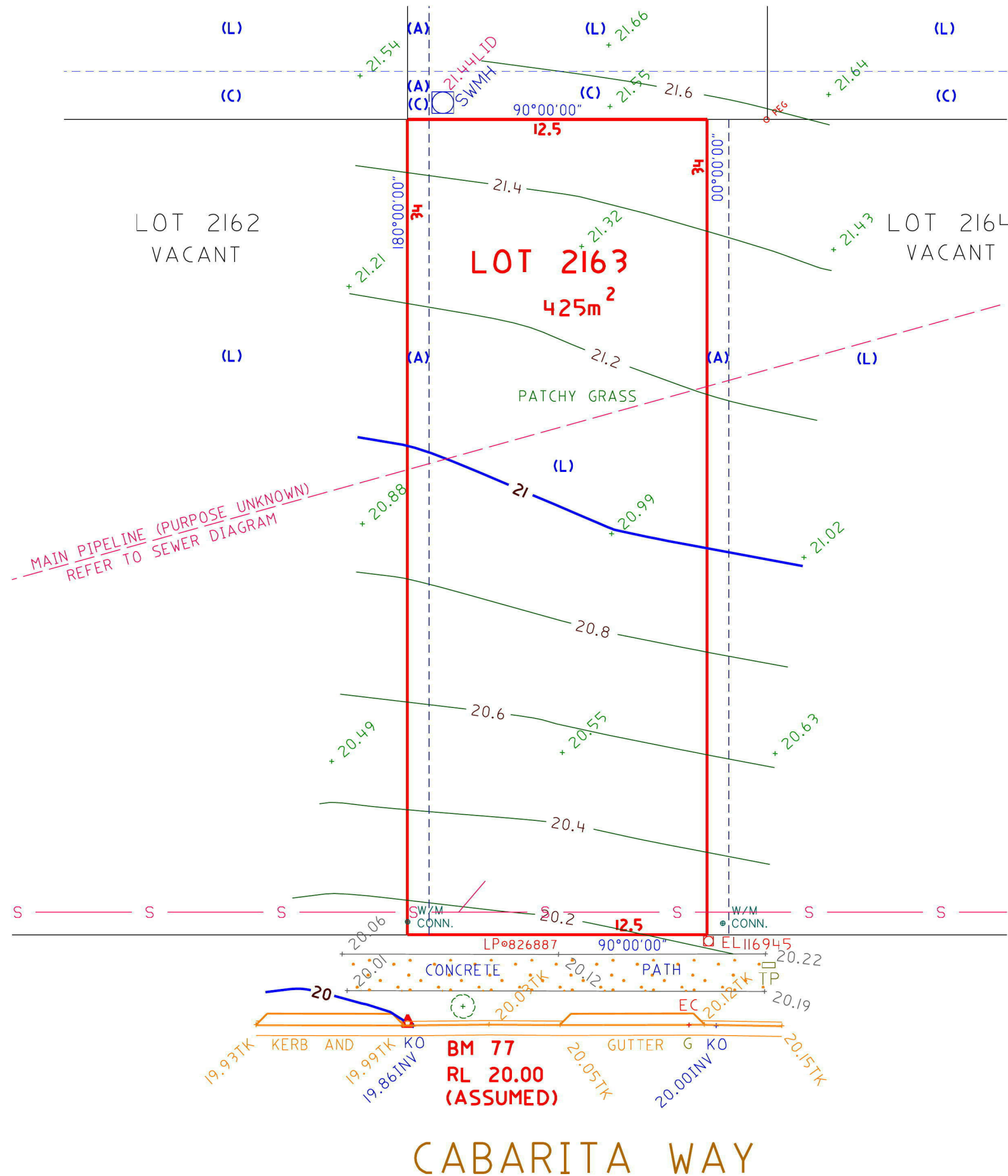
NORTH



DP 1168992  
M.G.A.

LOCALITY SKETCH

UBD AREA: SYD REVISION: 48  
MAP: 144 REF:  
S  
GPS E



- (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE
- (L) RESTRICTION ON THE USE OF LAND



APPROXIMATE POSITION OF SEWER MAIN. REFER TO SEWER DIAGRAM FOR DETAILS



SCALE 1:200

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C) THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.  
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SYMBOLS & ABBREVIATIONS:			
GP	GULLY PIT	-E-	OVERHEAD ELEC LINE
HYD	HYDRANT	-S-	SEWER LINE
SIP	SURFACE INLET PIT	GM	GAS METER
SIC	SEWER INSPECTION COVER	LP	LIGHT POLE
SMH	SEWER MANHOLE	EC	ELECTRICITY CONDUIT
W/M	WATER METER	ECT	ELEC & TELE CONDUIT
EL	ELECTRICITY BOX	TC	TELECOM CONDUIT
TP	TELECOM PIT	WC	WATER CONDUIT
VC	VEHICLE CROSSING	INV	INVERT
SV	STOP VALVE	KO	KERB OUTLET
SWMH	STORMWATER MANHOLE	TK	TOP OF KERB

**ASPECT DEVELOPMENT & SURVEY PTY LTD**  
CONSULTING REGISTERED SURVEYORS  
ABN 60 078 649 000  
SUITE 1  
103 VANESSA STREET  
KINGSGROVE NSW 2208  
PHONE (02) 9554 8388  
FAX (02) 9554 8588

**PROJECT**  
OUR REFERENCE 3/1023277/139455  
LOT 2163 DP 1168992 SECTION  
DATUM ASSUMED SOURCE  
ORIGIN OF LEVELS BM 77 REDUCED LEVEL 20.00  
SURVEYED HK DATE 19/07/13  
DRAWN SA/EN DATE 24/07/13  
SCALE 1: 200 A3 SHEET

**CLIENT: CLARENDON HOMES Pty. Ltd.**  
REF: CHEUNG  
REF: 29908593  
ADDRESS: CABARITA WAY  
SUBURB JORDAN SPRINGS