

**AREAS SCHEDULE**

**SITE DETAILS**

LOT NUMBER:	149
SITE AREA:	341.60m <sup>2</sup>
<b>DWELLING AREAS</b>	
GROUND FLOOR LIVING:	101.40m <sup>2</sup>
FIRST FLOOR LIVING:	105.37m <sup>2</sup>
GARAGE:	19.42m <sup>2</sup>
PORCH:	1.47m <sup>2</sup>
OUTDOOR LEISURE:	12.75m <sup>2</sup>
TOTAL FLOOR AREA:	240.41m <sup>2</sup>

**LOT: 149**  
**DP: DRAFT**  
**AREA: 341.6m<sup>2</sup>**

**'H1' CLASS SLAB**

STORMWATER DRAINAGE TO EASEMENT.

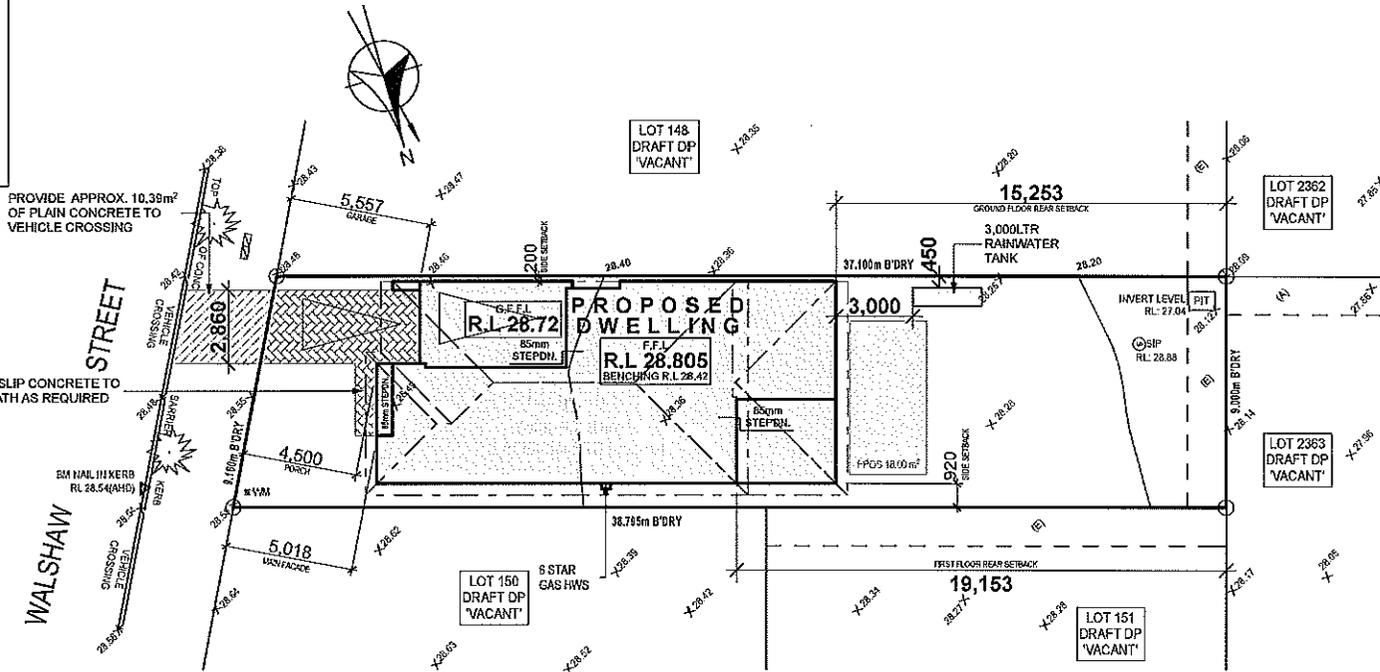
ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURERS SPECIFICATIONS.

(A) PROPOSED EASEMENT TO DRAIN WATER 1.5 WIDE (WIDE DP 1164497).

(E) PROPOSED EASEMENT TO DRAIN WATER 1.5 WIDE.

PROVIDE APPROX. 10.38m<sup>2</sup> OF PLAIN CONCRETE TO VEHICLE CROSSING

PROVIDE NON SLIP CONCRETE TO DRIVEWAY & PATH AS REQUIRED



**BASIX NOTES**

**WATER**

- RAINWATER TANK OF AT LEAST 3,000 LITRES TO BE INSTALLED.
- RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH APPLICABLE REGULATORY AUTHORITIES.
- RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 155.03m<sup>2</sup> OF ROOF AREA.
- RAINWATER TANK SUPPLY TO BE CONNECT TO ALL TOILETS IN THE DEVELOPMENT.
- KITCHEN TAP FITTING RATING 3 STAR
- SHOWERHEAD RATING 3 STAR
- TOILET RATING (DUAL FLUSH) 3 STAR
- BATHROOM TAP FITTING RATING 3 STAR
- RAINWATER TANK TO BE CONNECTED TO AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

**THERMAL COMFORT**

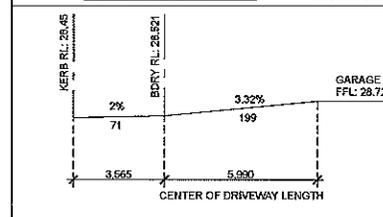
EXTERNAL WALLS:	BRICK VENEER/TIMBER FRAME
EXTERNAL WALL INSULATION:	R2.0
EXTERNAL WALL COLOUR:	MEDIUM
ROOFING MATERIAL:	CONCRETE ROOF TILES
ROOF INSULATION:	SARKING
ROOF COLOUR:	MEDIUM
CEILING INSULATION:	R3.5

**ENERGY**

- ACTIVE HEATING AND COOLING TO BE INSTALLED IN LIVING AND BEDROOMS, 3 PHASE A/C SYSTEM (EER 2.5-3.0), TO BE DAY/NIGHT ZONED BETWEEN LIVING AREAS AND BEDROOMS. TO BE INSTALLED PRIOR TO FINAL OCCUPATION CERTIFICATE.
- PROVIDE GAS 5 STAR INSTANTANEOUS HWS.
- PROVIDE GAS COOKTOP TO KITCHEN.
- PROVIDE ELECTRIC OVEN TO KITCHEN.
- ALL REFRIGERATOR SPACES TO BE WELL VENTILATED.
- PROVIDE COMPACT FLUORESCENT ENERGY SAVING LIGHT BULBS TO ALL LIGHT POINTS.
- PROVIDE OUTDOOR CLOTHES LINE.

**NOTES:**  
REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.  
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.  
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.  
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.  
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FLOOR FINISHES AS SELECTED AS PER TENDER.

**DRIVEWAY PROFILE**



**SITE PLAN**  
1:200

**Wisdom Smart The easystart**

Ph: 4647 1200  
Fax: 4647 1233

www.wisdomsmart.com.au

PROJECT: PROPOSED BRICK VENEER DWELLING  
CLIENT: Mr J. Patricio & Ms J. He

ADDRESS: Lot 149 Walshaw Street  
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊕ SMOKE ALARM AS 3786-1993

LODGE: D.A.C.C  
DP No: DRAFT

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**REVISION SCHEDULE**

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	04.03.14
A-1	RE-CONTRACT - CHANGE HOUSE TYPE	SI	25.06.14
B-1	DA APPROVAL	SI	21.07.14
B-1	RECEIVED CONTOURS	DW	17/10/14
-	-	-	-
-	-	-	-

JOB No: <b>143685</b>	DRAWN: SI
LGA: PENRITH	DATE: 17/10/14
DESCRIPTION: COLUMBUS 27	SITE CLASSIFICATION: 'H1' Class
CODE: WS-COLU27D CL LH	FAÇADE: CLASSIC
	SHEET: <b>2</b>

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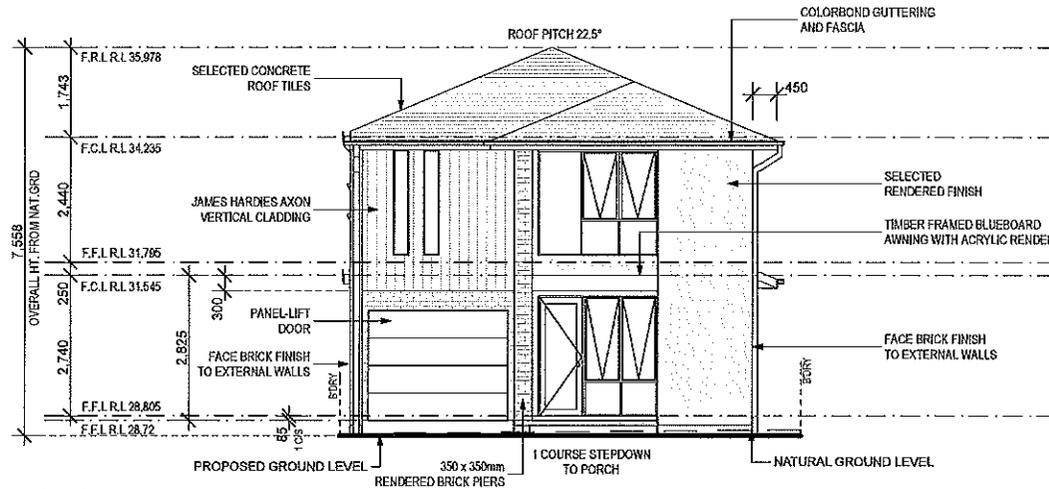
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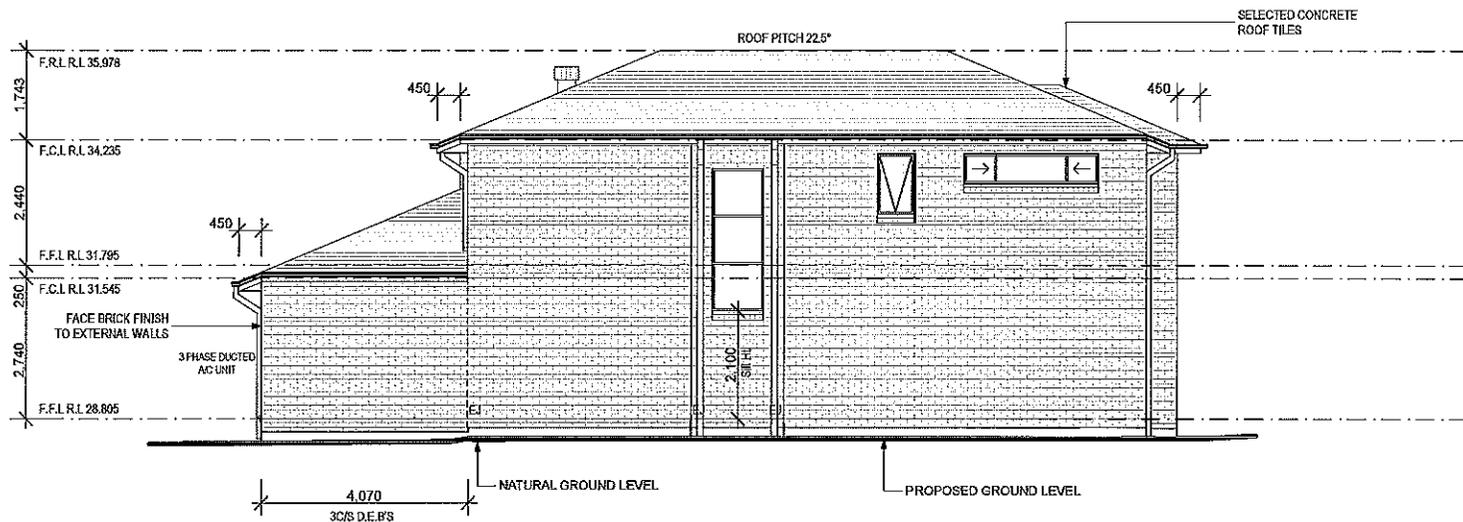
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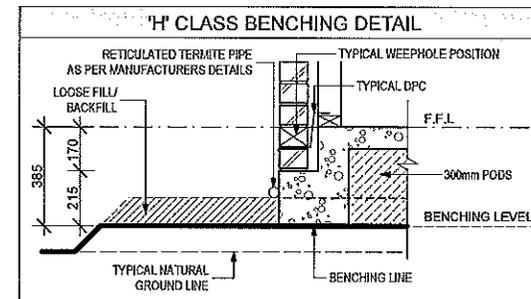
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FACADE: CLASSIC  
SHEET: 6



FRONT/EAST ELEVATION  
1:100



LEFT/SOUTH ELEVATION  
1:100



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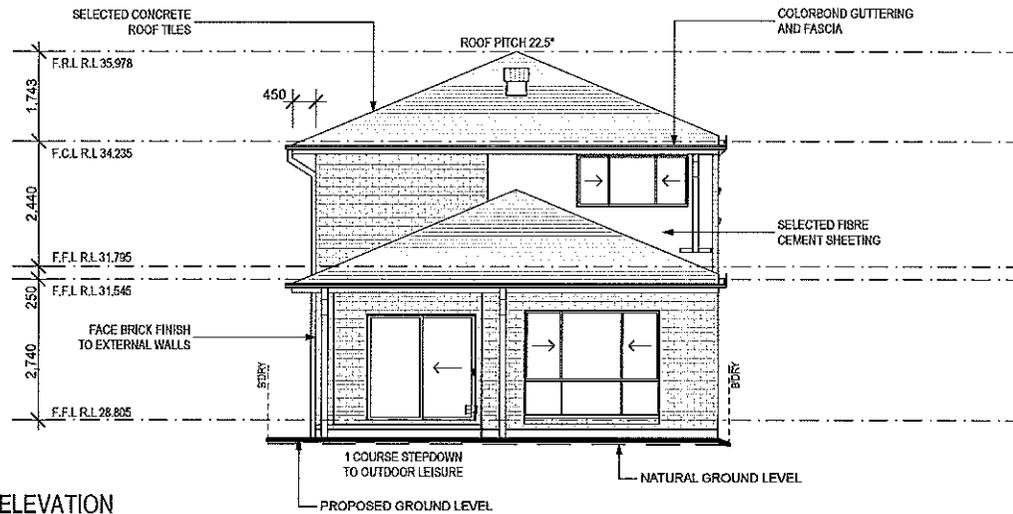
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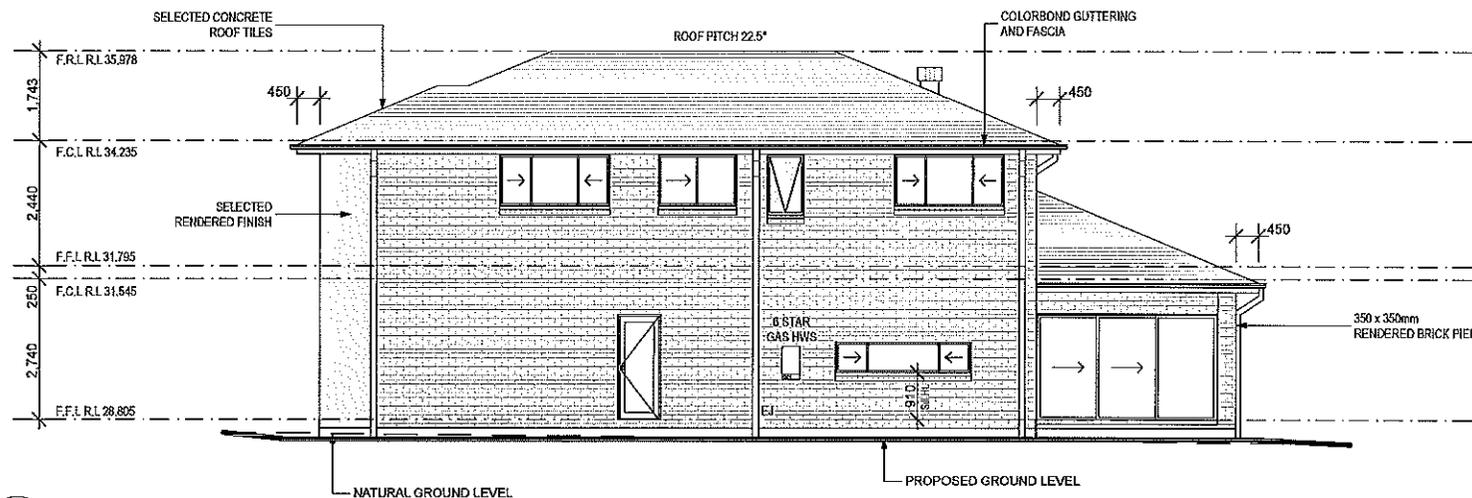
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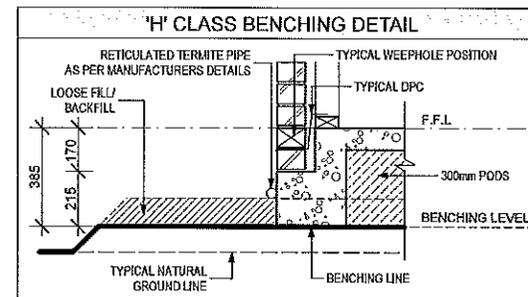
7



REAR/WEST ELEVATION  
1:100



RIGHT/NORTH ELEVATION  
1:100



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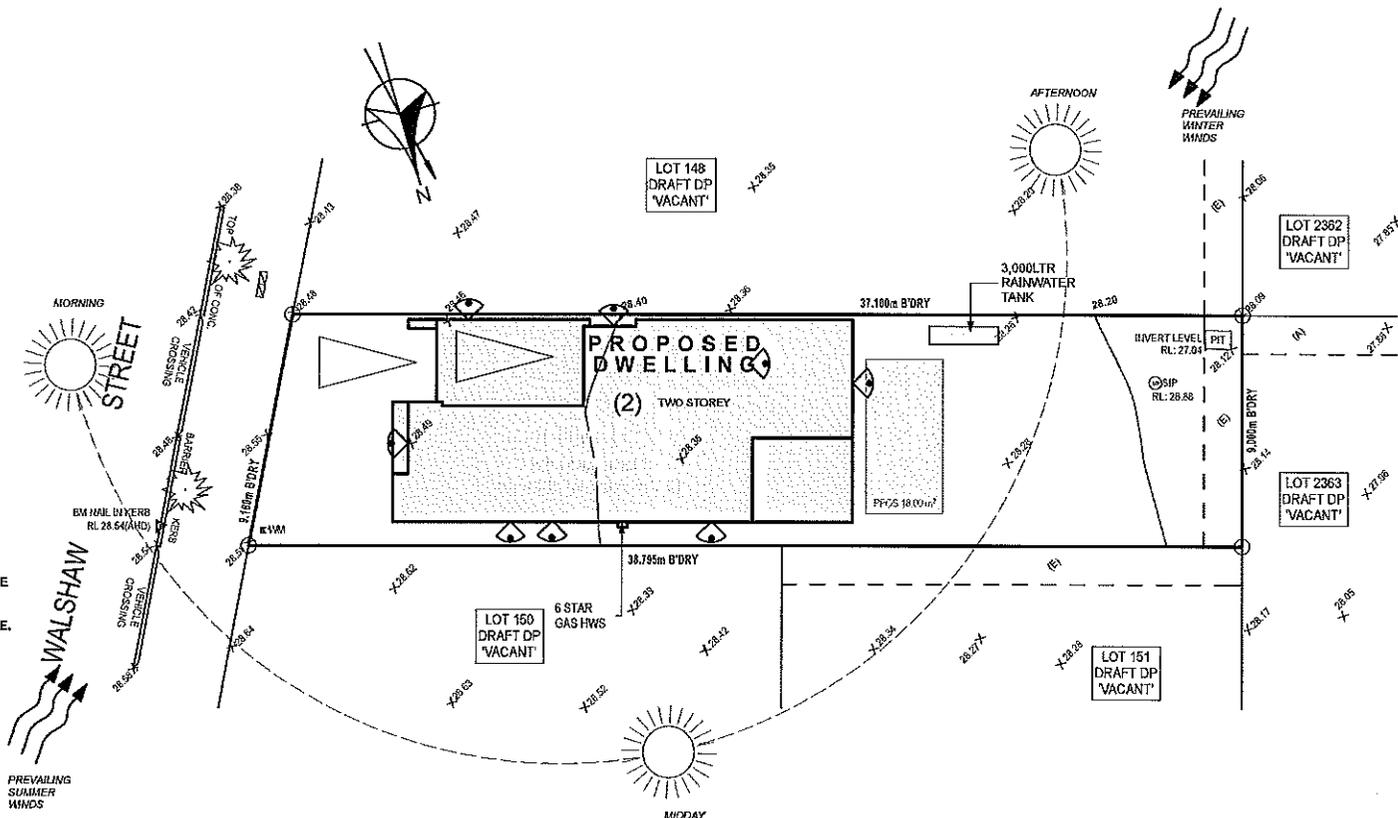
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(A) PROPOSED EASEMENT TO DRAIN WATER 1.5 WIDE (VIDE DP 1184487).

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SITE ANALYSIS PLAN

1:200

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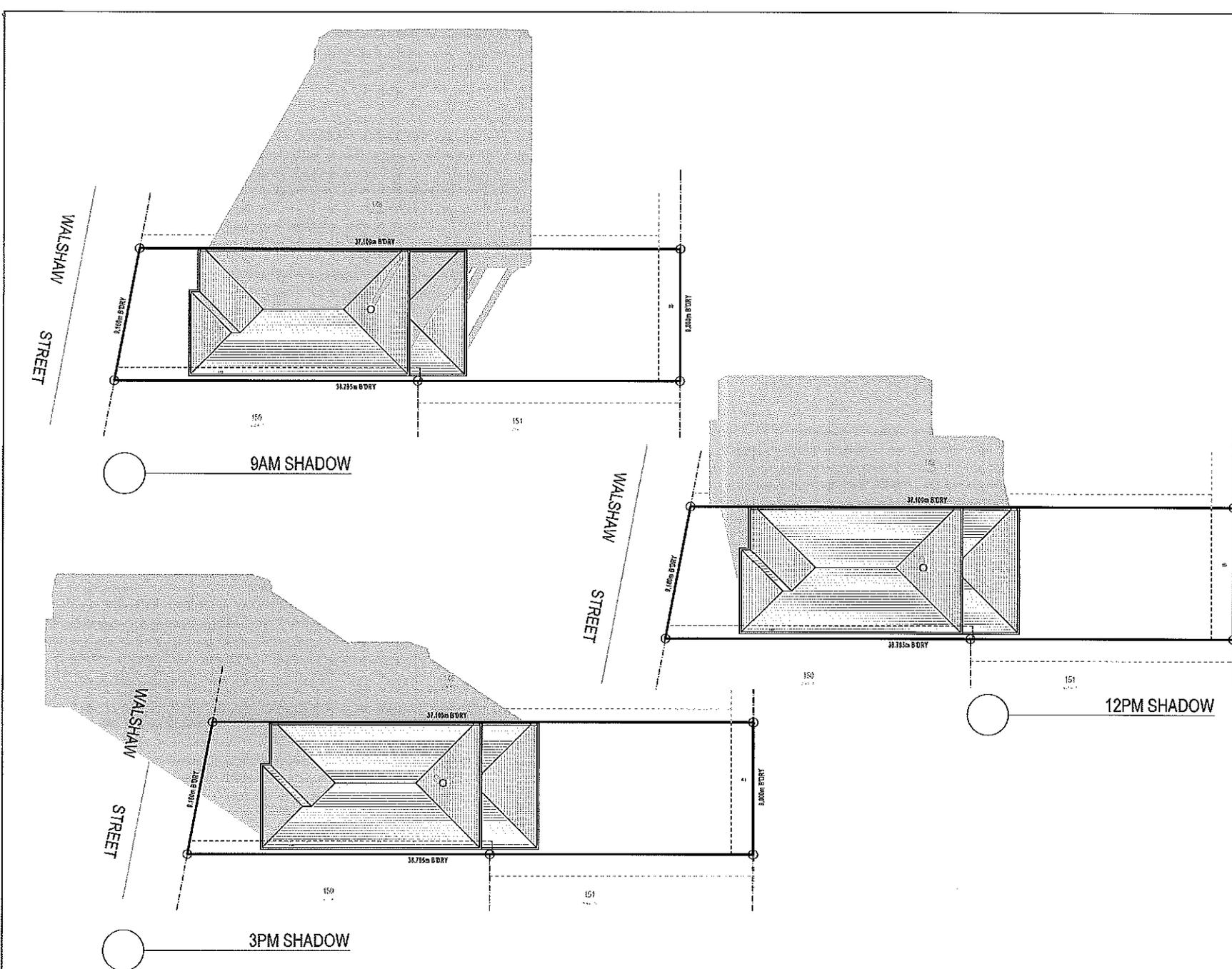
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FACADE:

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16



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SHADOW PROJECTIONS 21<sup>st</sup> JUNE