

Client:

Mr Michael Harriden

DEVELOPMENT BUILDING CONSULTANTS
ARCHITECTURAL CONSULTANTS

Proposed Multi-Unit Townhouse Development

LOT 2 IN DP38057, 84 COX AVENUE PENRITH

Development Application - June 2020



PreTech Pty Ltd - Architects
John Hepworth Nominated Architect Reg. No 5036

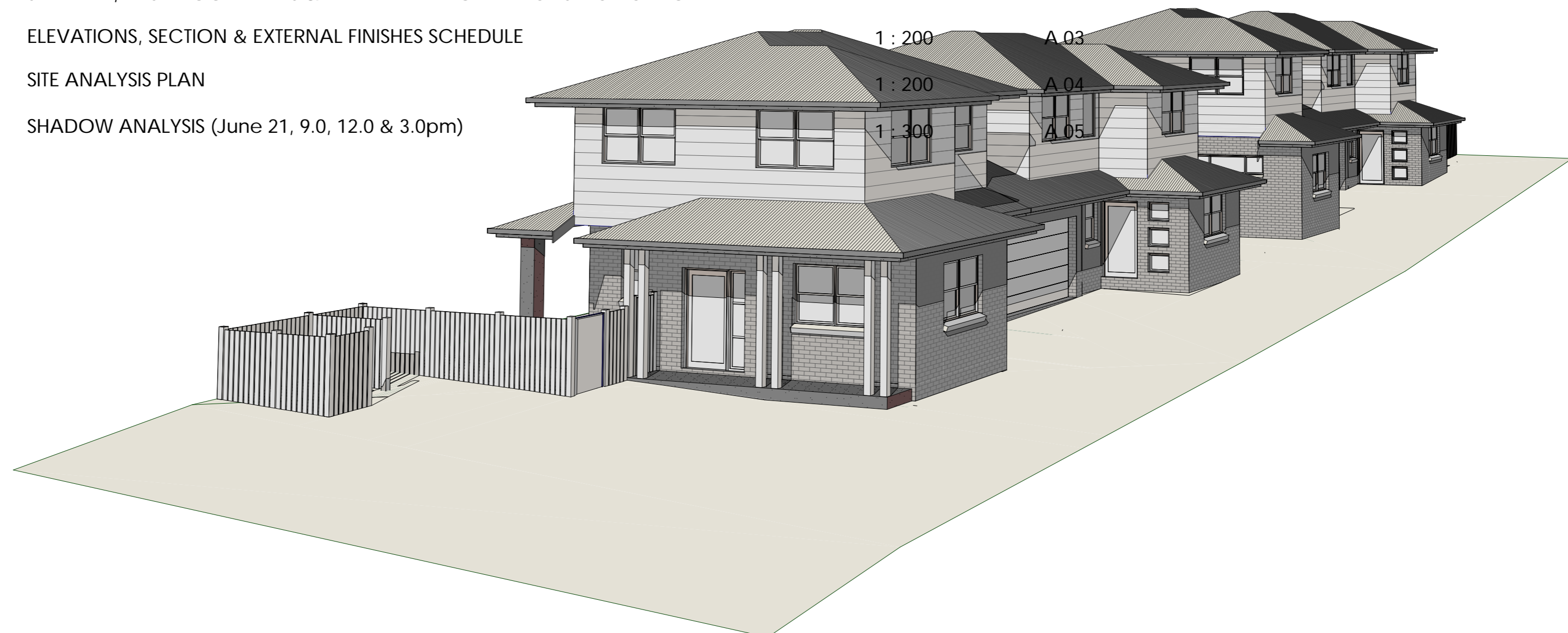
Level 1, Suite 2/86 Henry Street
Penrith NSW 2750 Australia
PO Box 301 Penrith NSW 2751

T - (02) 4732 5100

E - admin@pretech.com.au

ARCHITECTURAL DRAWING SCHEDULE

SITE PLAN, GROUND FLOOR PLANS & DEVELOPMENT CALCULATIONS	1 : 200	A 01
SITE PLAN, FIRST FLOOR PLANS & THERMAL PERFORMANCE SPECIFICATION	1 : 200	A 02
ELEVATIONS, SECTION & EXTERNAL FINISHES SCHEDULE	1 : 200	A 03
SITE ANALYSIS PLAN	1 : 200	A 04
SHADOW ANALYSIS (June 21, 9.0, 12.0 & 3.0pm)	1 : 300	A 05



ARTIST IMPRESSION

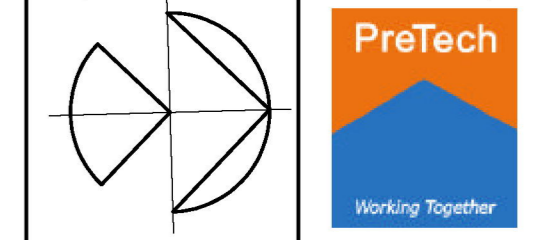
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LEGEND

- Existing Surveyors Spot Level
- Proposed Related Level
- Aboveground pre-fabricated water tank '1,500Litre-620W x 2,000L x 2,190H'
- Selected under ground pre-fabricated water tank 2,000Litre-1,500L x 1,250W x 1,010H' or equal
- Smoke Detector
- Roof Access
- Electric Hot Water System
- Gas Hot water
- Exhaust Fan/Light
- Skytube
- Selected Pavers
- Remove Existing Tree
- Retain Existing Tree
- "Hills" Paraline Super Fold Compact or Equal

Retaining Wall Notes:
(a) generally should be no taller than 500mm
(b) should not cut through roots of any tree
(c) should be separated from any associated fence by a planter-bed at least 500mm wide, minimising the apparent overall height of fencing
(d) should provide drainage for any associated planterbed
(e) should be separated from any driveway by a landscaped verge at least 500mm wide, to prevent impact damage from vehicles

B	Development Application	03.07.20
A	Client Presentation	21.06.20
Issue	Amendment	Date



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PO Box 301
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Telephone: 0425 270 782 Email: admin@pretech.com.au

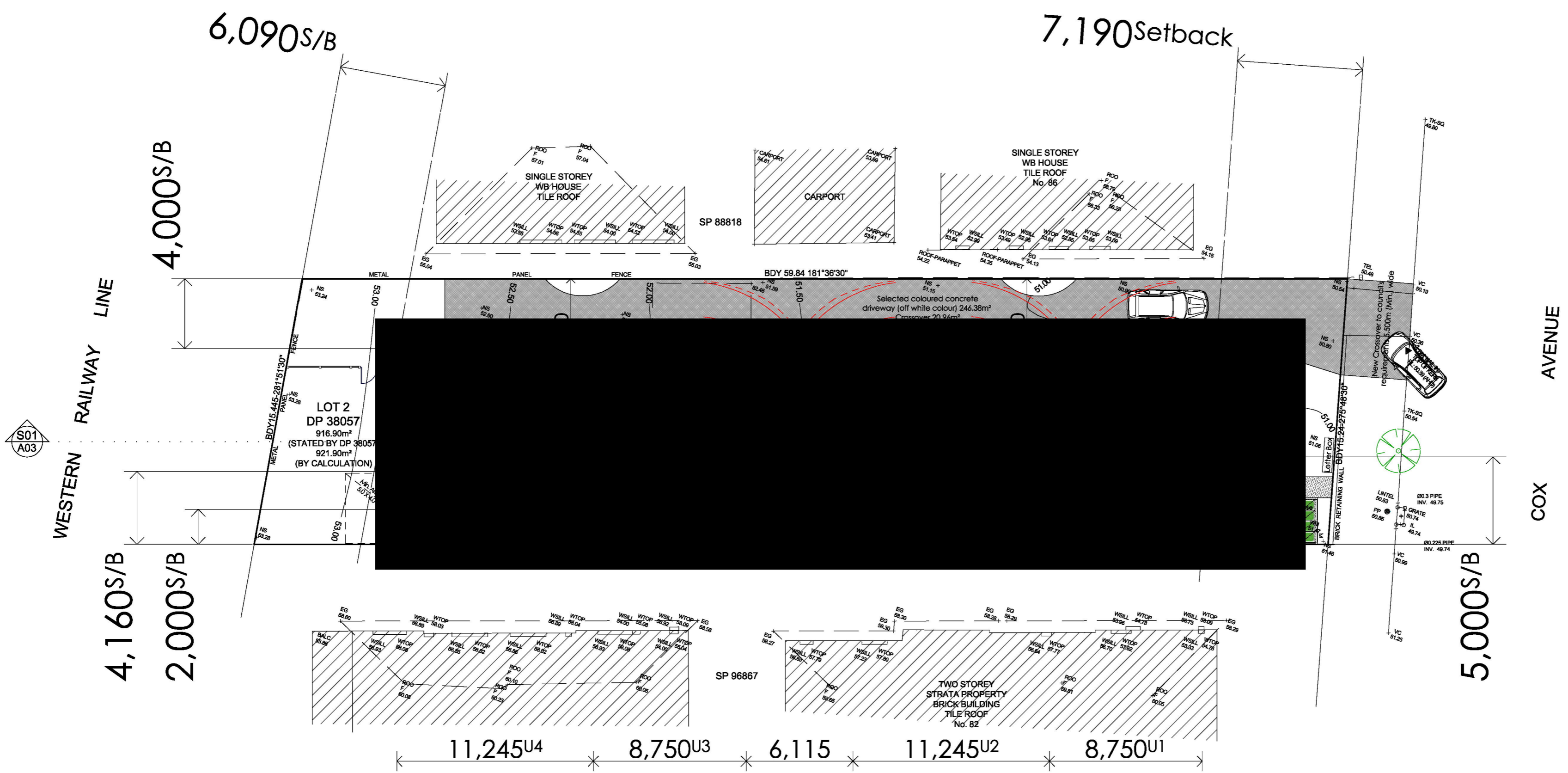
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Project
Proposed Multi-Unit Development
LOT 2 IN DP38057, 84 Cox Avenue PENRITH

Client: Mr Michael Harriden
Job No. 00391
Scale 1:200
Author S.Vlangos
Drawn S.Vlangos
Date June 2020

Drawing
Site, Ground Floor Plan & Development Calculations

No. in Set	Dwg. No.	Issue
05	A01	B



SURVEY NOTES:-
A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED BY US AND THE POSITION SHOWN IS APPROXIMATE ONLY.
B) IF THE DIMENSIONS OR DESCRIPTION OF THE TITLE ARE CRITICAL FOR DESIGN AND/OR CONSTRUCTION OF NEW STRUCTURES OR FINANCIAL DECISIONS WE RECOMMEND THAT AN IDENTIFICATION SURVEY OR RE-SURVEY OF BOUNDARIES BE CARRIED OUT.
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ORIGIN OF LEVELS: PM 12590, RL 54.446 (AHD), CLASS LB.
G) USE STATED DIMENSIONS. DO NOT SCALE.
H) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
I) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

DEVELOPMENT CALCULATIONS

- Lot 53 in DP16330
- SITE AREA = 916.90m²**
 - PARKING REQUIREMENTS**
1.50 space per every 3 bed unit (4 units) = 6.0 Spaces
Total provided = 7.0 Spaces
 - LANDSCAPED OPEN AREA**
Min. required 30.0% = 275.07m²
Actual Area 40.19% = 368.50m²
 - DEEP SOIL ZONE AREA**
Min. required 15.0% = 137.55m²
Actual Area 36.78% = 337.21m²

5. UNIT FLOOR AREAS

UNIT	Living Area	Garage	Verandah	Total Area
UNIT 1	Ground Floor = 41.49m ²	= 20.77m ²	= 12.27m ²	= 74.53m ²
	First Floor = 58.13m ²			
UNIT 2	Ground Floor = 43.31m ²	= 38.02m ²	= 4.40m ²	= 85.73m ²
	First Floor = 58.13m ²			
UNIT 3	Ground Floor = 43.31m ²	= 4.40m ²	= 4.40m ²	= 92.11m ²
	First Floor = 58.13m ²			
UNIT 4	Ground Floor = 43.31m ²	= 4.40m ²	= 4.40m ²	= 92.11m ²
	First Floor = 58.13m ²			

6. COURTYARD AREAS

Unit 1	= 39.00m ²
Unit 2	= 44.40m ²
Unit 3	= 44.40m ²
Unit 4	= 100.90m ²

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LEGEND

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- UGD/AWT
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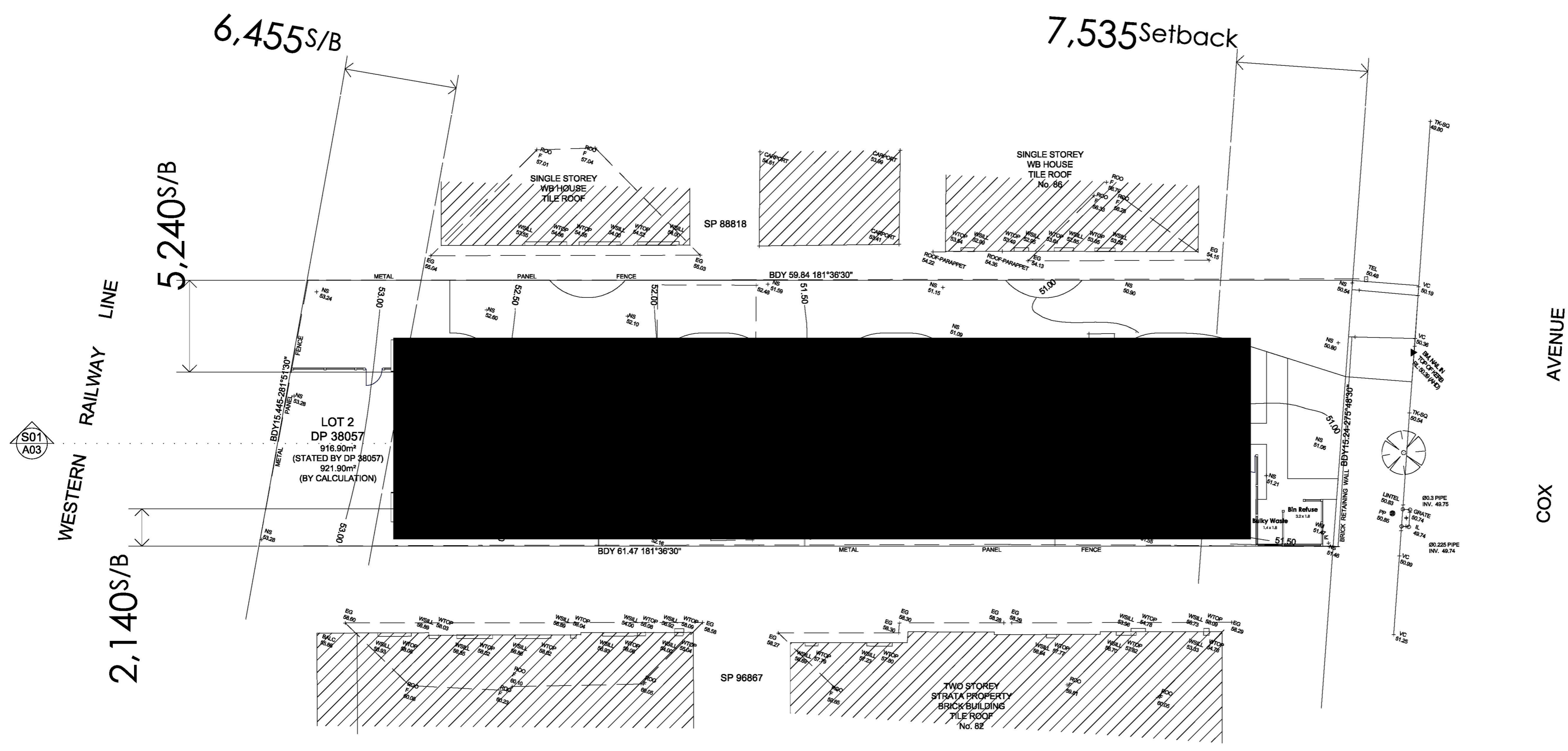
Project
Proposed Multi-Unit Development
 LOT 2 IN DP38057, 84 Cox Avenue PENRITH

Client: Mr Michael Harriden

Job No.	Scale	
00391	1:200	
Author	Drawn	Date
S.Vlangos	S.Vlangos	June 2020

Drawing
Site, First Floor Plan & Development Calculations

No. in Set	Dwg. No.	Issue
05	A02	B



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UNIT	Living Area	Garage	Verandah	Total Area
UNIT 3	Ground Floor = 43.31m ²	= 20.77m ²	= 4.40m ²	= 68.48m ²
	First Floor = 58.13m ²			
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	First Floor = 58.13m ²			

6. COURTYARD AREAS

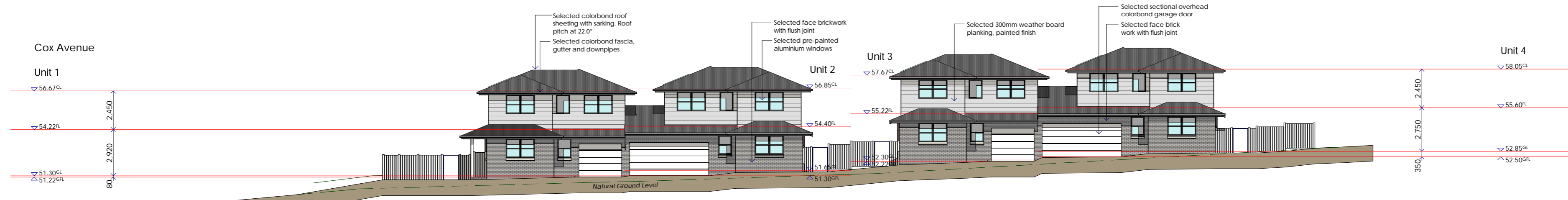
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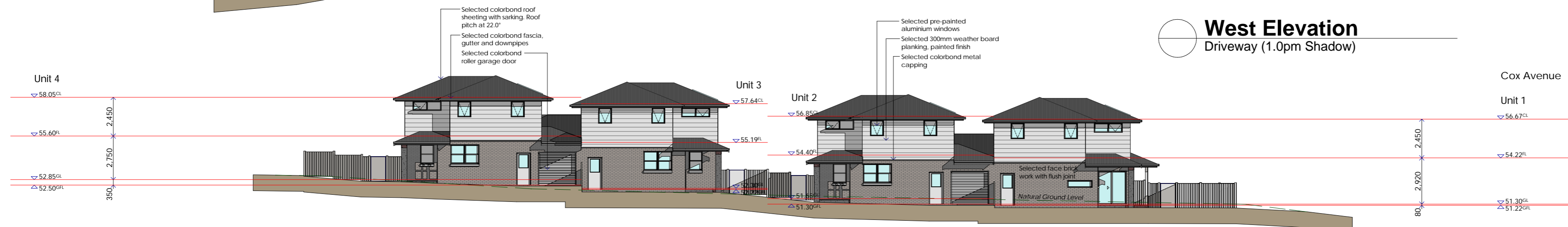
External Colour Schedule

- Selected colorbond roof sheeting
Colour-Woodland Gray (Colorbond Colour)
- Colorbond fascia
Colour-Woodland Gray (Colorbond Colour)
- Colorbond gutter & downpipes
Colour-Woodland Gray (Colorbond Colour)
- Plank cladding
Colour-Off White
- Aluminium windows and doors
Colour-White
- External Timber Work
Colour-White

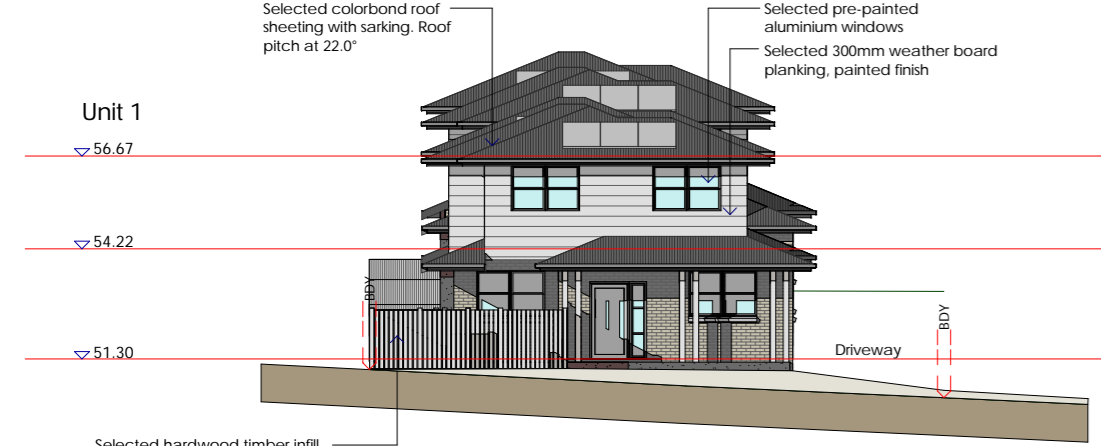
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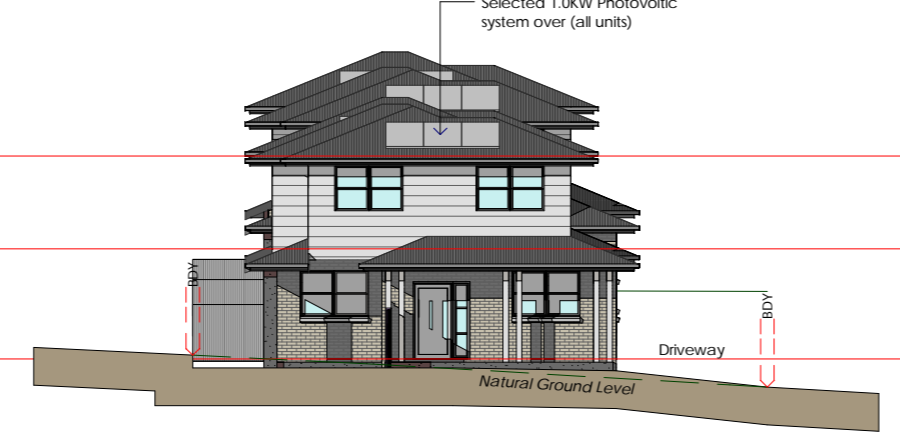
West Elevation
Driveway (1.0pm Shadow)



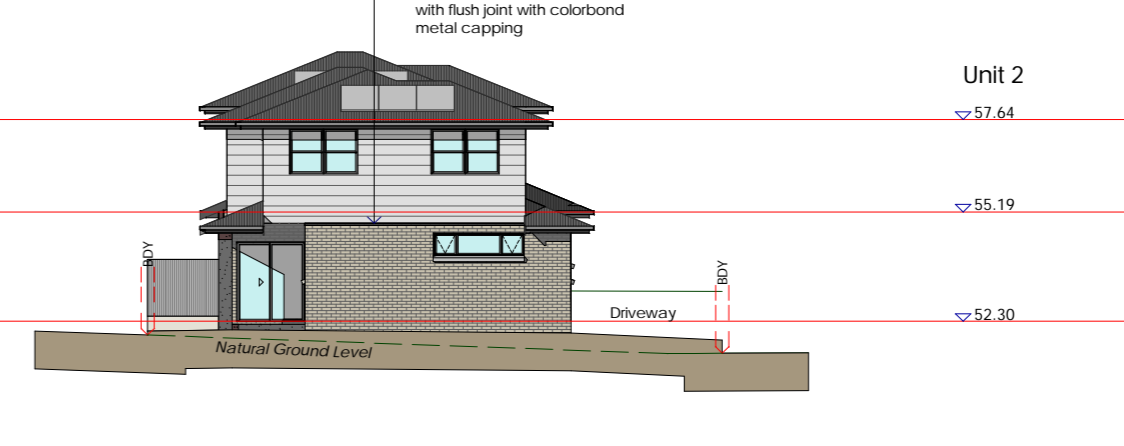
East Elevation
Courtyard (9.0am Shadow)



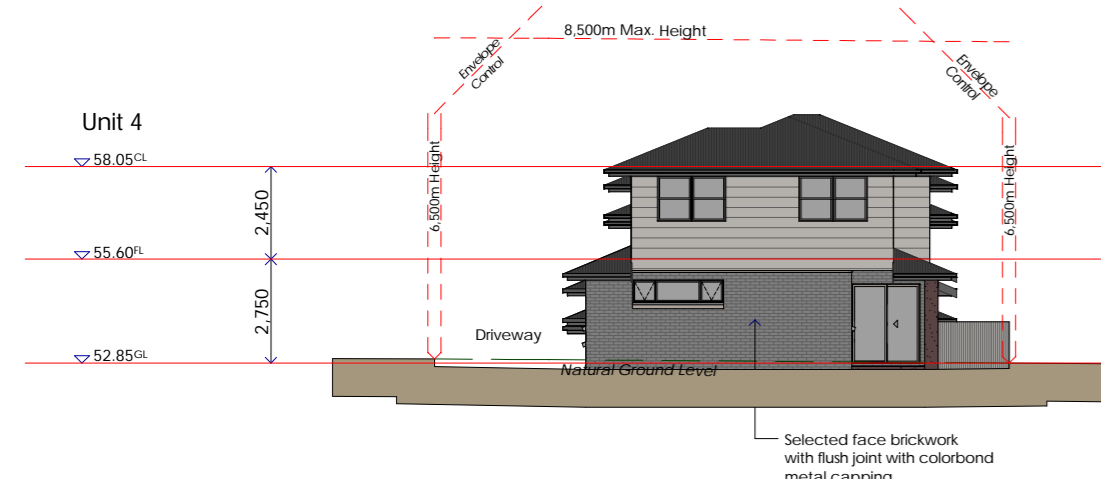
North Elevation
Cox Avenue



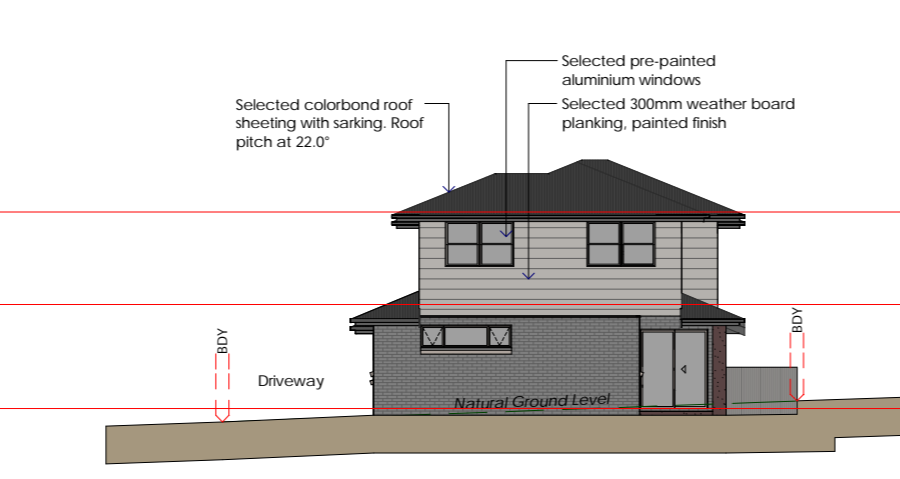
North Elevation
Unit 1



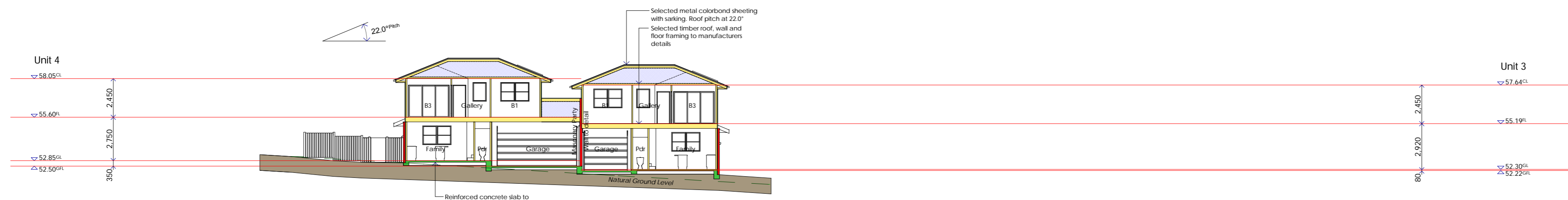
North Elevation
Unit 3



South Elevation
Unit 4



South Elevation
Unit 2



S01 Section
A01 Unit 4&3

A	Development Application	01.07.20
Issue	Amendment	Date



PreTech Pty Ltd - Architects
John Hepworth Nominated Architect Reg. No 5036
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Telephone: 0425 270 782 Email: admin@pretech.com.au

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Project Proposed Multi-Unit Development LOT 2 IN DP38057, 84 Cox Avenue PENRITH		
Client: Mr Michael Harriden		
Job No. 00391	Scale 1:200	
Author S.Vlangos	Drawn S.Vlangos	Date June 2020

Elevations & Sections

No. in Set	Dwg. No.	Issue
05	A03	A

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A	Development Application	02.07.20
Issue	Amendment	Date

PreTech
Working Together

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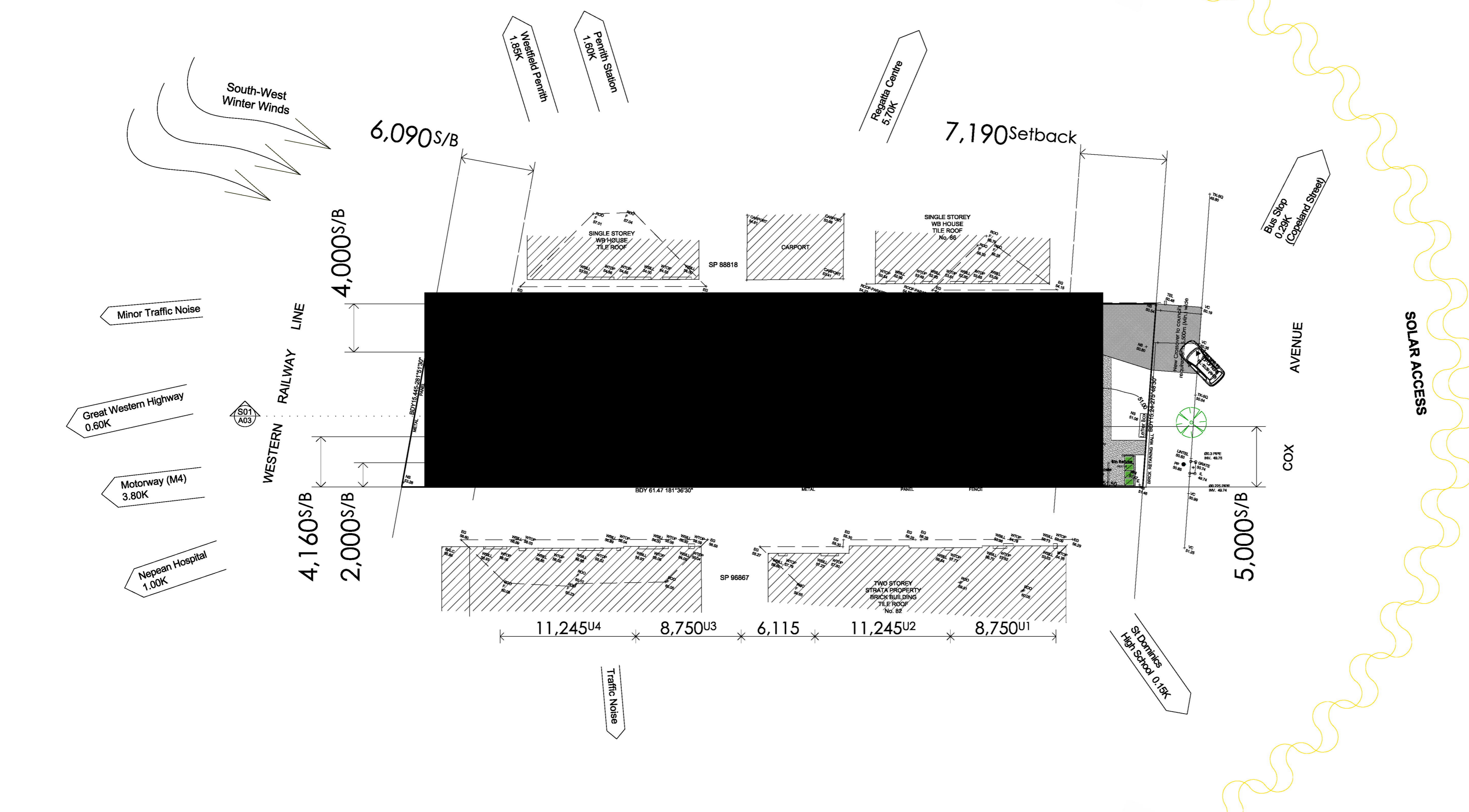
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Project
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 LOT 2 IN DP38057, 84 Cox Avenue PENRITH

Client:	Mr Michael Harriden	
Job No.	Scale	
00391	1:250	
Author	Drawn	Date
S.Vlangos	S.Vlangos	June 2020

Drawing
Site Analysis Plan

No. in Set	Dwg. No.	Issue
05	A04	A

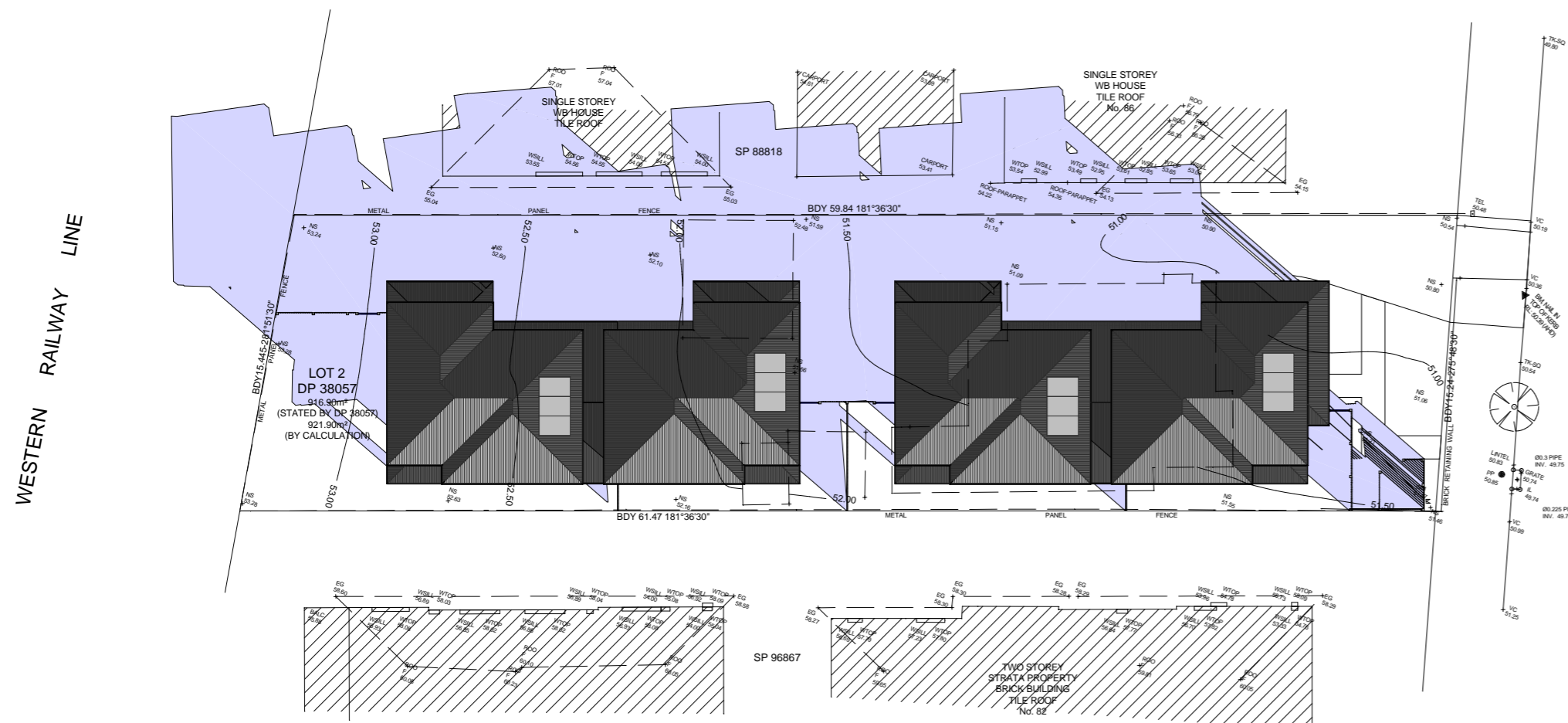


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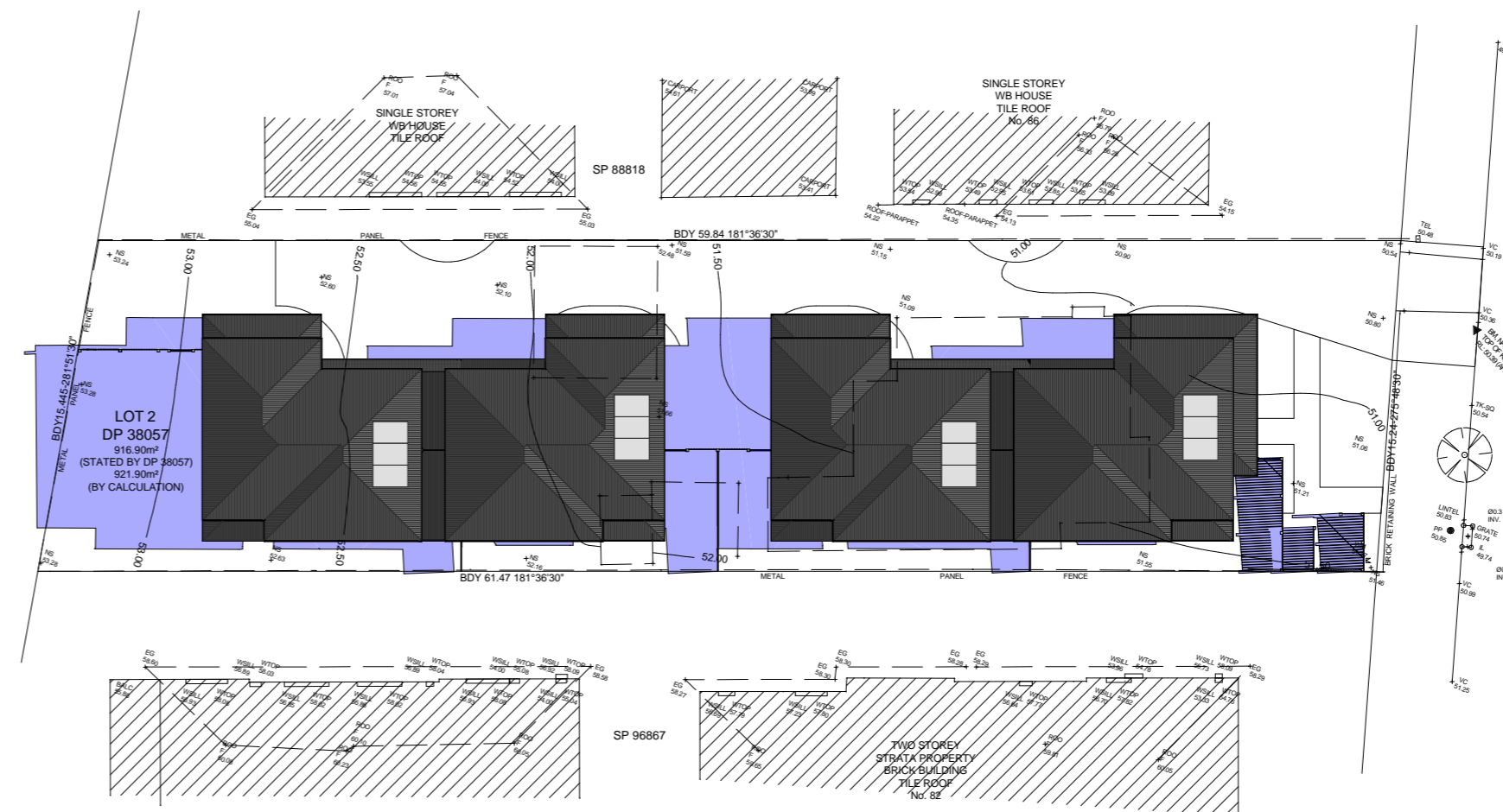
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Shadow Legend

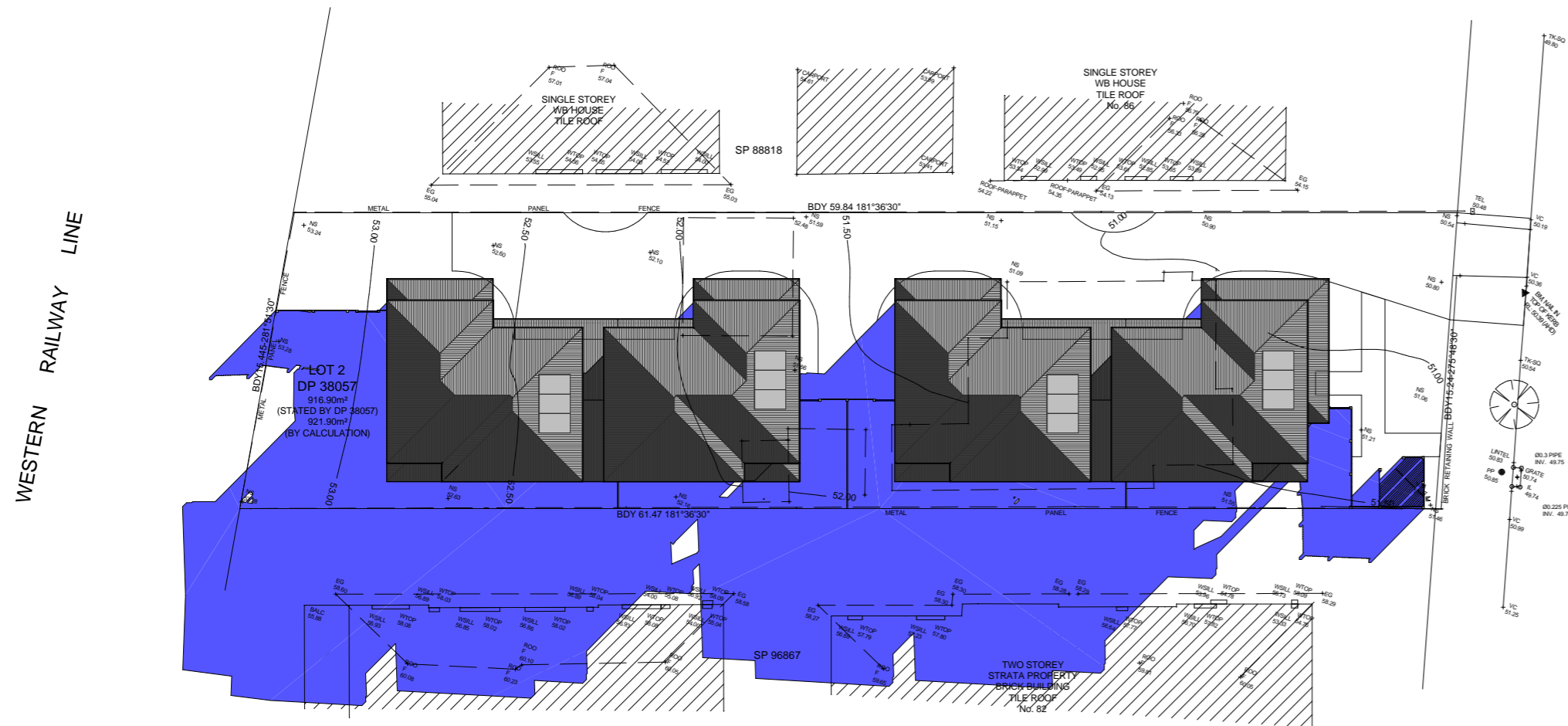
- 9.0am
- 12.0
- 3.0pm



Shadow Diagram
 9.0am



Shadow Diagram
 12.0



Shadow Diagram
 3.0pm

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Job No. 00391	Scale 1:300
Author S.Vlangos	Drawn S.Vlangos
	Date June 2020

Drawing
Shadow Analysis
 June 21 (9.0am, 12.0 & 3.00pm)

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