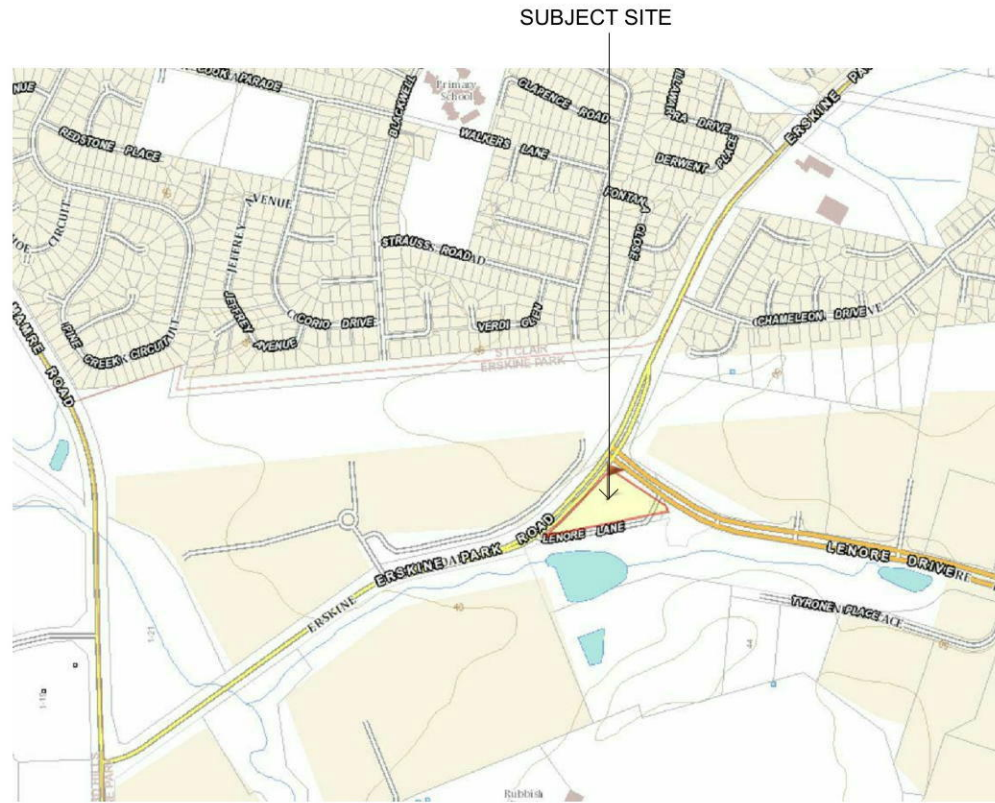
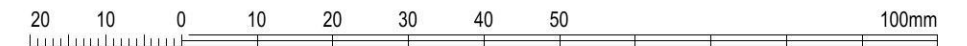
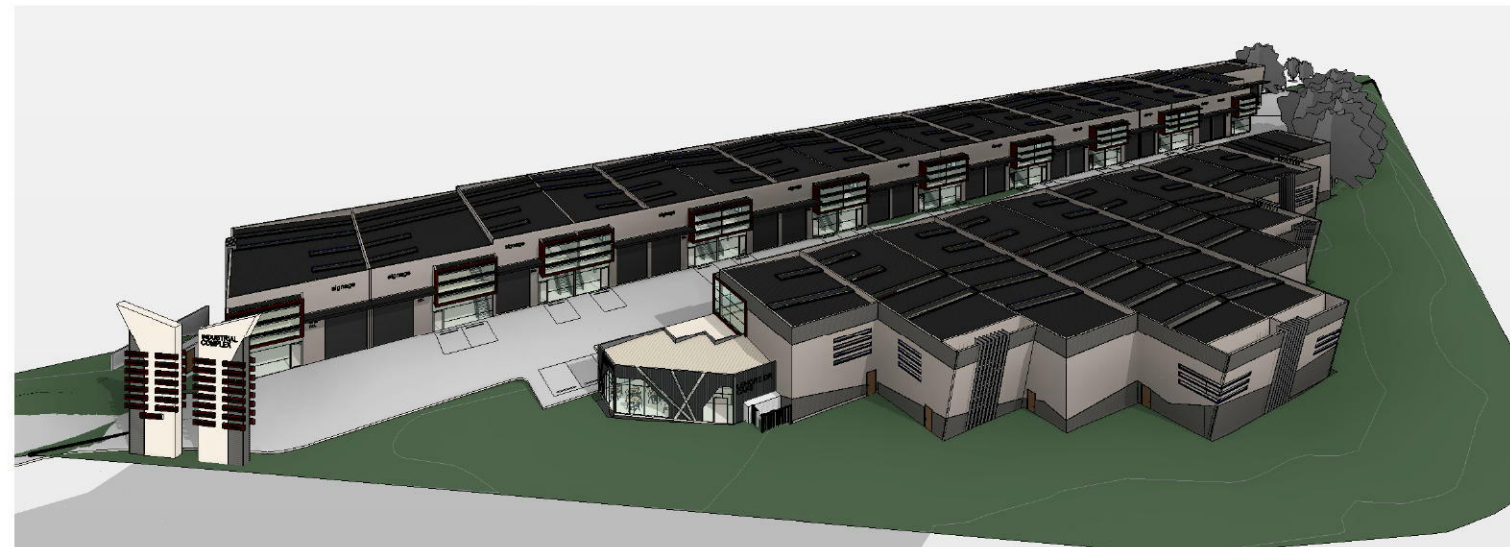
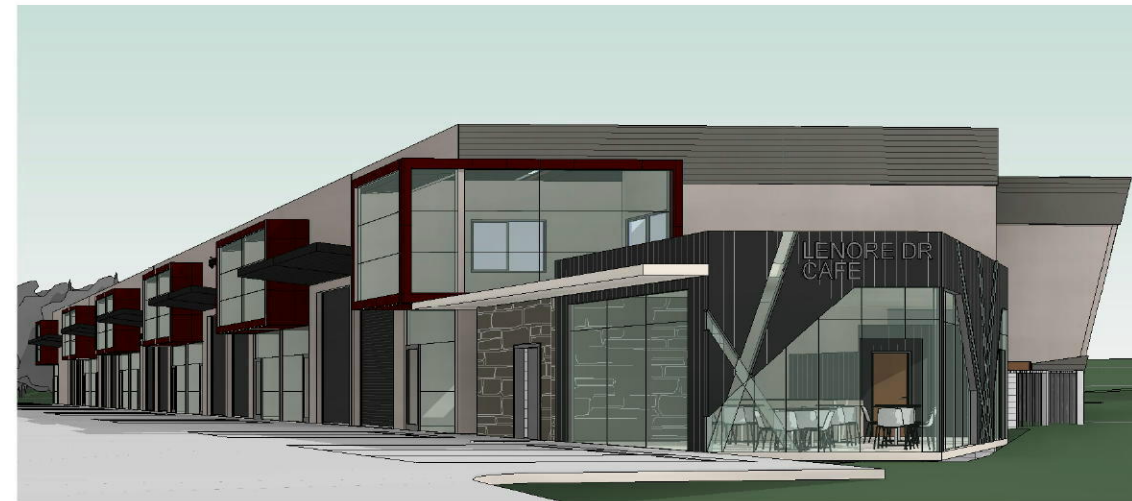


# DEVELOPMENT APPLICATION

## PROPOSED INDUSTRIAL DEVELOPMENT AT 1-23 LENORE DRIVE & ERSKINE PARK ROAD, ERSKINE PARK NSW 2759 LOT 1 DP 1071114 & LOT 55 DP 1170183



LOCATION PLAN  
NTS



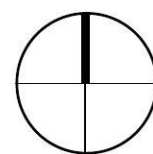
### Drawing List

Sheet Number	Sheet Name	Drawn By	Checked By	Current Revision Date	Current Revision
A0000	COVER SHEET & LOCATION PLAN	SP	HC	25.09.19	G
A0001	SITE ANALYSIS	HC	HC	25.09.19	F
A0002	PROPOSED SITE & ROOF PLAN	HC	HC	25.09.19	D
A0003	WASTE, SITE MANAGEMENT & SEDIMENT CONTROL PLAN	HC	HC	25.09.19	C
A0004	CONCEPT STRATA PLAN	HC	HC	25.09.19	C
A1001	PROPOSED BASEMENT PLAN	HC	HC	25.09.19	G
A1002	PROPOSED GROUND MASTER PLAN	SP	HC	25.09.19	J
A1003	PROPOSED MEZZANINE FLOOR PLAN	HC	HC	25.09.19	D
A2001	PROPOSED ELEVATIONS 01	HC	HC	25.09.19	F
A2002	PROPOSED ELEVATIONS 02	SP	HC	25.09.19	F
A2003	PROPOSED ELEVATIONS 03	HC	HC	25.09.19	E
A3001	PROPOSED SECTIONS	SP	HC	25.09.19	F
A4001	TYPICAL WAREHOUSE UNIT TYPES - GROUND FLOOR PLAN 01	HC	HC	25.09.19	F
A4002	TYPICAL WAREHOUSE UNIT TYPES - GROUND FLOOR PLAN 02	HC	HC	25.09.19	C
A4003	CAFE GROUND FLOOR PLAN & SIGNAGE PANEL DETAILS	HC	HC	25.09.19	C
A7001	3D PERSPECTIVES 01	HC	HC	25.09.19	E
A7002	3D PERSPECTIVES 02	HC	HC	25.09.19	E
A7003	3D PERSPECTIVES 03	SP	HC	25.09.19	C
A7004	FINISHES SCHEDULE	HC	HC	25.09.19	D

### DEVELOPMENT DATA

LOT 1 DP 1071114	= 11,220m <sup>2</sup>
LOT 55 DP 1170183	= 2,131m <sup>2</sup>
<b>TOTAL SITE AREA</b>	<b>= 13,351m<sup>2</sup></b>
6 x 150m <sup>2</sup> UNITS (INCL. 30m <sup>2</sup> OFFICE MEZZANINE)	150m <sup>2</sup> = 900m <sup>2</sup>
13 x 212m <sup>2</sup> UNITS (INCL. 45m <sup>2</sup> OFFICE MEZZANINE)	212m <sup>2</sup> = 2756m <sup>2</sup>
2 x 300m <sup>2</sup> UNITS (INCL. 60m <sup>2</sup> OFFICE MEZZANINE)	300m <sup>2</sup> = 600m <sup>2</sup>
4 x 284m <sup>2</sup> UNITS (INCL. 60m <sup>2</sup> OFFICE MEZZANINE)	284m <sup>2</sup> = 1136m <sup>2</sup>
2 x 250m <sup>2</sup> UNITS (INCL. 55m <sup>2</sup> OFFICE MEZZANINE)	250m <sup>2</sup> = 500m <sup>2</sup>
2 x 375m <sup>2</sup> UNITS (INCL. 75m <sup>2</sup> OFFICE MEZZANINE)	375m <sup>2</sup> = 750m <sup>2</sup>
TOTAL NO. FACTORY UNITS	= 29 UNITS
1 CAFE	= 80m <sup>2</sup>
<b>TOTAL GFA</b>	<b>= 6,722m<sup>2</sup> (50% YIELD)</b>
<b>GROUND SITE COVER (Ground Floor only)</b>	<b>= 5595m<sup>2</sup> (42%)</b>
<b>PARKING CALCULATION</b>	
FACTORIES (1 SPACE PER 75m <sup>2</sup> )	= 6722 / 75 = 89.60
CAFE (1 SPACE PER 6m <sup>2</sup> OF SEATING AREA + 1 SPACE PER EMPLOYEE)	= 8 (BASED ON 36m <sup>2</sup> OF SEATING AREA & 2 EMPLOYEE)
TOTAL PARKING REQUIRED	= 98
TOTAL PARKING PROVIDED	= 37 ON GRADE + 61 IN BASEMENT
	<b>= 98 (INCLUDING 4 ACCESSIBLE PARKING)</b>

ISSUE	DATE	REVISION
G	25.09.19	NEW DA ISSUE
F	15.03.19	DA ISSUE - RESPONSE TO COUNCIL LETTER 08.01.2019
4	01.03.19	ISSUED FOR CONSULTANTS
E	29.08.18	DA ISSUE FOR COORDINATION
D	20.04.18	DA ISSUE
3	11.04.18	ISSUED FOR COORDINATION



client: NICHOLOPOULOS

project:  
**INDUSTRIAL COMPLEX**  
PROPOSED INDUSTRIAL DEVELOPMENT  
AT 1-23 LENORE DRIVE & ERSKINE PARK  
ROAD, ERSKINE PARK NSW 2759.  
LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
**COVER SHEET &  
LOCATION PLAN**

print date: 25.09.19  
drawn: SP  
checked: HC  
scale: 1 : 500 @A3  
DA ISSUE

job no.

17221

drawing no.

A0000

issue: **G**

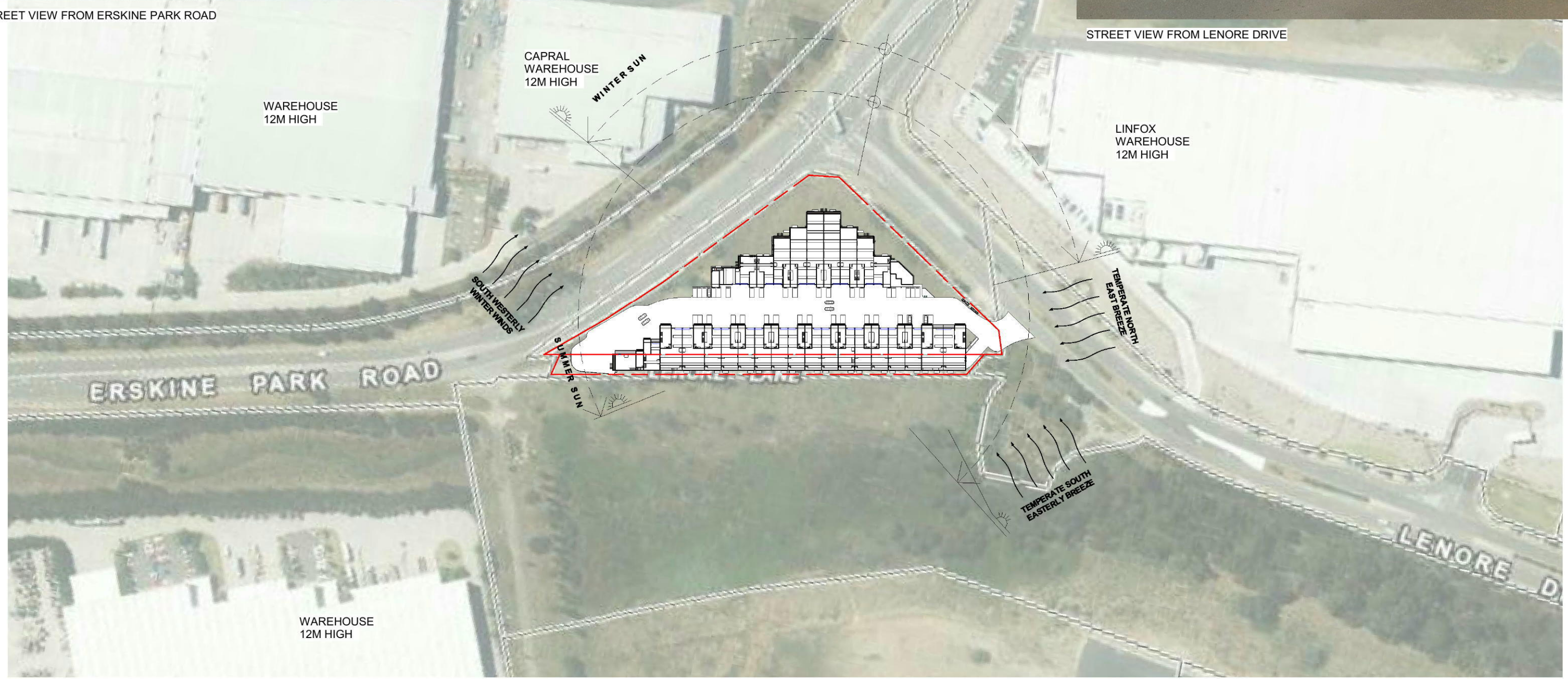
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STREET VIEW FROM ERSKINE PARK ROAD



STREET VIEW FROM LENORE DRIVE

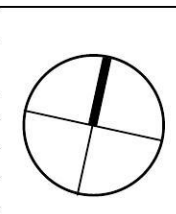


**1 SITE ANALYSIS**  
1 : 2000



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ISSUE	DATE	REVISION
F	25.09.19	NEW DA ISSUE
E	15.03.19	DA ISSUE - RESPONSE TO COUNCIL LETTER 08.01.2019
D	20.04.18	DA ISSUE
2	11.04.18	ISSUED FOR COORDINATION
C	31.01.18	DRAFT DA ISSUE & CONS COORDINATION
B	14.11.17	ISSUED FOR URBAN DESIGN MEETING



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 www.arkexpressdesign.com.au

client: NICHOLOPOULOS  
 project: INDUSTRIAL COMPLEX  
 PROPOSED INDUSTRIAL DEVELOPMENT  
 AT 1-23 LENORE DRIVE & ERSKINE PARK ROAD, ERSKINE PARK NSW 2759.  
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
**SITE ANALYSIS**

print date: 25.09.19  
 drawn: HC  
 checked: HC  
 scale: 1 : 2000 @A3

DA ISSUE

job no. 17221  
 drawing no. A0001  
 issue. **F**



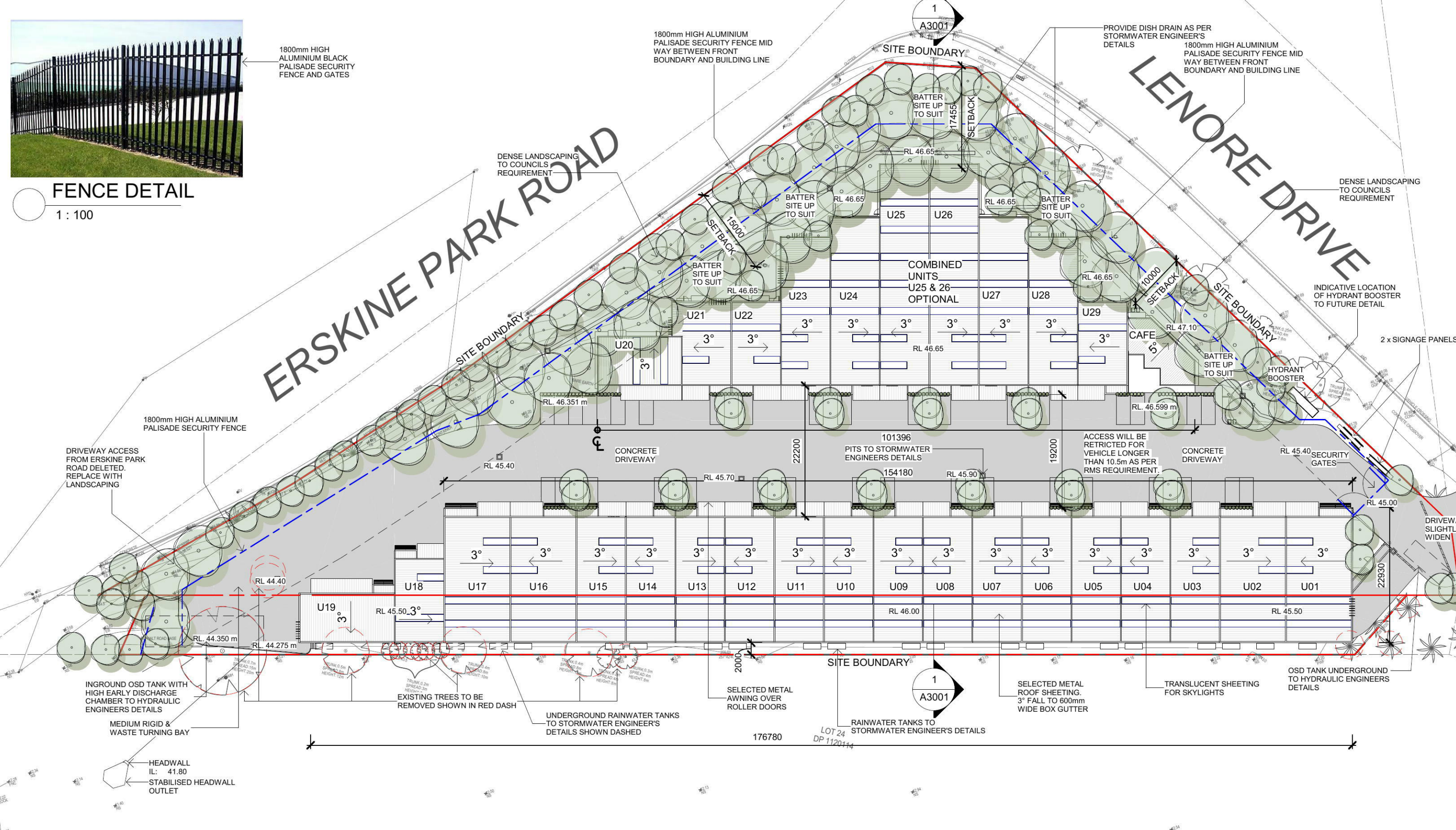
1800mm HIGH ALUMINIUM BLACK PALISADE SECURITY FENCE AND GATES

FENCE DETAIL

1 : 100

ERSKINE PARK ROAD

LENORE DRIVE



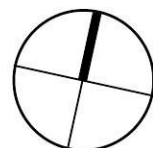
1 PROPOSED SITE & ROOF PLAN

1 : 600



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1	11.04.18	ISSUED FOR COORDINATION
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 project: INDUSTRIAL COMPLEX  
 PROPOSED INDUSTRIAL DEVELOPMENT  
 AT 1-23 LENORE DRIVE & ERSKINE PARK ROAD, ERSKINE PARK NSW 2759.  
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
**PROPOSED SITE & ROOF PLAN**

print date: 25.09.19  
 drawn: HC  
 checked: HC  
 scale: As indicated@A3

DA ISSUE

job no.

17221

issue.

drawing no.

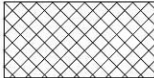
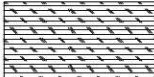
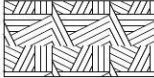
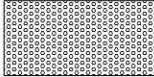
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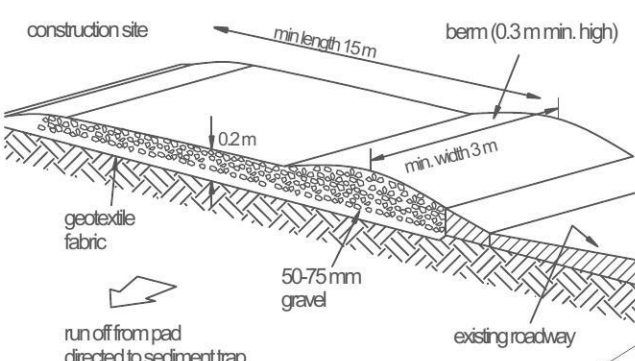
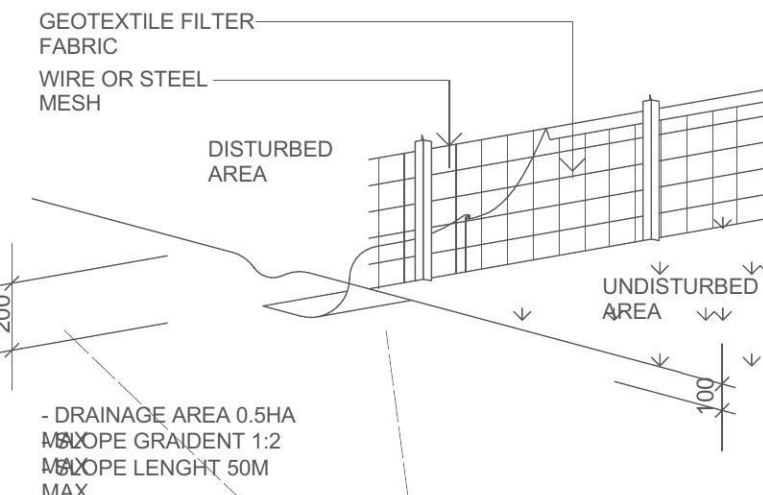
**A0002**

**SEDIMENT RUN-OFF CONTROL DURING EARTHWORKS:**

THE CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION AND SEDIMENT CONTROL MEASURES GENERALLY IN ACCORDANCE WITH GUIDELINES OF THE NEW SOUTH WALES SOIL CONSERVATION SERVICE AND AS NECESSARY TO PREVENT RUN OFF FROM THE SITE OF ANY SEDIMENT RESULTING FROM HIS WORKS ALL MEASURES ARE TO COMPLY WITH THE REQUIREMENTS OF THE APPROVING COUNCIL TRUCKS AND VEHICLES LEAVING THE SITE ARE NOT TO SPREAD SPOIL ONTO THE ROADWAY OR ALLOW SPOIL TO ENTER THE STORMWATER SYSTEM. ALL DISTURBED GROUND AREAS AND STOCKPILES OF EXCAVATED OR IMPORTED MATERIAL IS TO BE STABILIZED WITHIN 48 HOURS. DUST IS TO BE SUPPRESSED BY WATERING

**WASTE LEGEND:**

-  BRICK, TILE, CONCRETE DISPOSAL BIN 3 CUBIC METRES
-  TIMBER DISPOSAL BIN 3 CUBIC METRES
-  MIXED WASTE DISPOSAL BIN 3 CUBIC METRES
-  METALS DISPOSAL BIN 3 CUBIC METRES



TEMPORARY EXIT

**ERSKINE PARK ROAD**

**LENORE DRIVE**

INSTALL APPROVED EROSION AND SEDIMENT CONTROL BARRIER/FENCE (FULL EXTENT TO BE DETERMINED ON SITE TO ENSURE 100% CAPTURE)

STOCKPILING OF "STRIPPED" TOP SPOIL AND EXCAVATED MATERIAL TO BE ADEQUATELY PROTECTED WITH GOETEXTILE MATERIAL. SILT FENCES SHOULD BE PROVIDED IF ASSISTANCE IS NEEDED IN CONTAINING AND SEPARATING STOCKPILES

LOCATION OF WASTE BIN ON AFTER HOUR COLLECTION DAY. EACH TENANT TO WHEEL BINS BACK INSIDE OF UNITS

LOCATION OF WASTE BIN ON AFTER HOUR COLLECTION DAY. EACH TENANT TO WHEEL BINS BACK INSIDE OF UNITS

USE EXISTING DRIVEWAY AS TEMPORARY SITE ENTRY AND EXIT

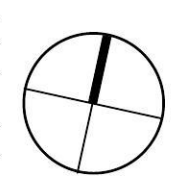
**1 WASTE, SITE MANAGEMENT & SEDIMENT CONTROL PLAN**

1 : 600



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client: NICHOLOPOULOS  
 project: INDUSTRIAL COMPLEX  
 PROPOSED INDUSTRIAL DEVELOPMENT  
 AT 1-23 LENORE DRIVE & ERSKINE PARK  
 ROAD, ERSKINE PARK NSW 2759.  
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
**WASTE, SITE  
 MANAGEMENT &  
 SEDIMENT  
 CONTROL PLAN**

print date: 25.09.19  
 drawn: HC  
 checked: HC  
 scale: As indicated@A3

DA ISSUE

job no. 17221  
 drawing no. A0003  
**C**  
 issue.

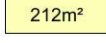
**DEVELOPMENT DATA**

LOT 1 DP 1071114 = 11,220m<sup>2</sup>  
 LOT 55 DP 1170183 = 2,131m<sup>2</sup>  
**TOTAL SITE AREA = 13,351m<sup>2</sup>**

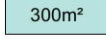
6 x 150m<sup>2</sup> UNITS (INCL. 30m<sup>2</sup> OFFICE MEZZANINE) = 900m<sup>2</sup>



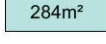
13 x 212m<sup>2</sup> UNITS (INCL. 45m<sup>2</sup> OFFICE MEZZANINE) = 2756m<sup>2</sup>



2 x 300m<sup>2</sup> UNITS (INCL. 60m<sup>2</sup> OFFICE MEZZANINE) = 600m<sup>2</sup>



4 x 284m<sup>2</sup> UNITS (INCL. 60m<sup>2</sup> OFFICE MEZZANINE) = 1136m<sup>2</sup>



2 x 250m<sup>2</sup> UNITS (INCL. 55m<sup>2</sup> OFFICE MEZZANINE) = 500m<sup>2</sup>



2 x 375m<sup>2</sup> UNITS (INCL. 75m<sup>2</sup> OFFICE MEZZANINE) = 750m<sup>2</sup>



**TOTAL NO. FACTORY UNITS = 29 UNITS**

1 CAFE = 80m<sup>2</sup>

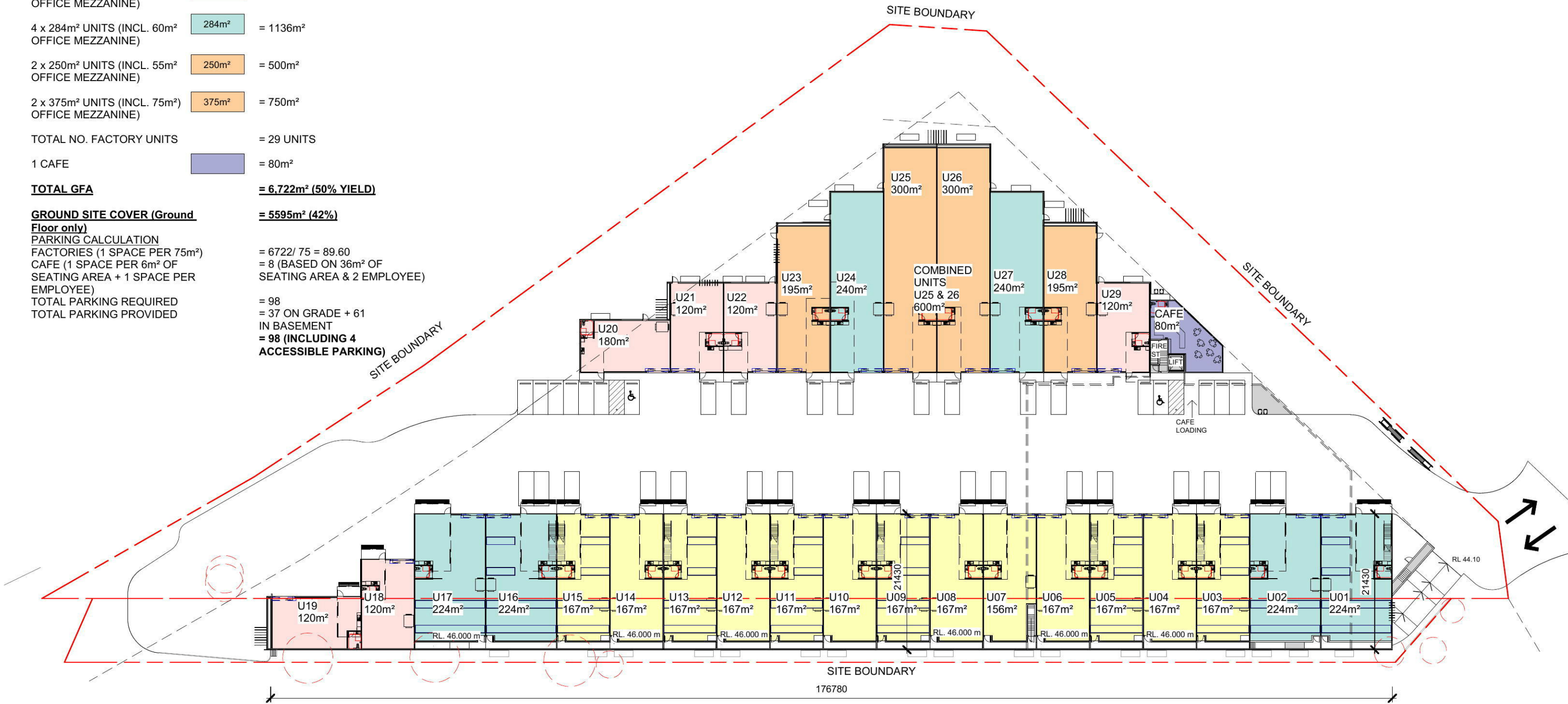


**TOTAL GFA = 6,722m<sup>2</sup> (50% YIELD)**

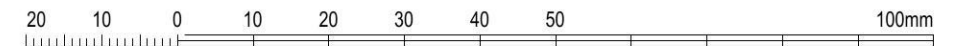
**GROUND SITE COVER (Ground Floor only) = 5595m<sup>2</sup> (42%)**

**PARKING CALCULATION**  
 FACTORIES (1 SPACE PER 75m<sup>2</sup>) = 6722 / 75 = 89.60  
 CAFE (1 SPACE PER 6m<sup>2</sup> OF SEATING AREA + 1 SPACE PER EMPLOYEE) = 8 (BASED ON 36m<sup>2</sup> OF SEATING AREA & 2 EMPLOYEE)

TOTAL PARKING REQUIRED = 98  
 TOTAL PARKING PROVIDED = 37 ON GRADE + 61 IN BASEMENT  
**= 98 (INCLUDING 4 ACCESSIBLE PARKING)**

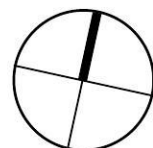


**1 CONCEPT STRATA PLAN**  
 1 : 600



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ISSUE	DATE	REVISION
C	25.09.19	NEW DA ISSUE
B	15.03.19	DA ISSUE - RESPONSE TO COUNCIL LETTER 08.01.2019
A	20.04.18	DA ISSUE
1	11.04.18	ISSUED FOR COORDINATION



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client: NICHOLOPOULOS  
 project: INDUSTRIAL COMPLEX  
 PROPOSED INDUSTRIAL DEVELOPMENT  
 AT 1-23 LENORE DRIVE & ERSKINE PARK ROAD, ERSKINE PARK NSW 2759.  
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
**CONCEPT STRATA PLAN**

print date: 25.09.19  
 drawn: HC  
 checked: HC  
 scale: As indicated@A3

DA ISSUE

job no.

17221

drawing no.

A0004

issue.

**C**

**DEVELOPMENT DATA**

LOT 1 DP 1071114 = 11,220m<sup>2</sup>  
 LOT 55 DP 1170183 = 2,131m<sup>2</sup>  
**TOTAL SITE AREA = 13,351m<sup>2</sup>**

6 x 150m<sup>2</sup> UNITS (INCL. 30m<sup>2</sup> OFFICE MEZZANINE) = 900m<sup>2</sup>

13 x 212m<sup>2</sup> UNITS (INCL. 45m<sup>2</sup> OFFICE MEZZANINE) = 2756m<sup>2</sup>

2 x 300m<sup>2</sup> UNITS (INCL. 60m<sup>2</sup> OFFICE MEZZANINE) = 600m<sup>2</sup>

4 x 284m<sup>2</sup> UNITS (INCL. 60m<sup>2</sup> OFFICE MEZZANINE) = 1136m<sup>2</sup>

2 x 250m<sup>2</sup> UNITS (INCL. 55m<sup>2</sup> OFFICE MEZZANINE) = 500m<sup>2</sup>

2 x 375m<sup>2</sup> UNITS (INCL. 75m<sup>2</sup> OFFICE MEZZANINE) = 750m<sup>2</sup>

**TOTAL NO. FACTORY UNITS = 29 UNITS**

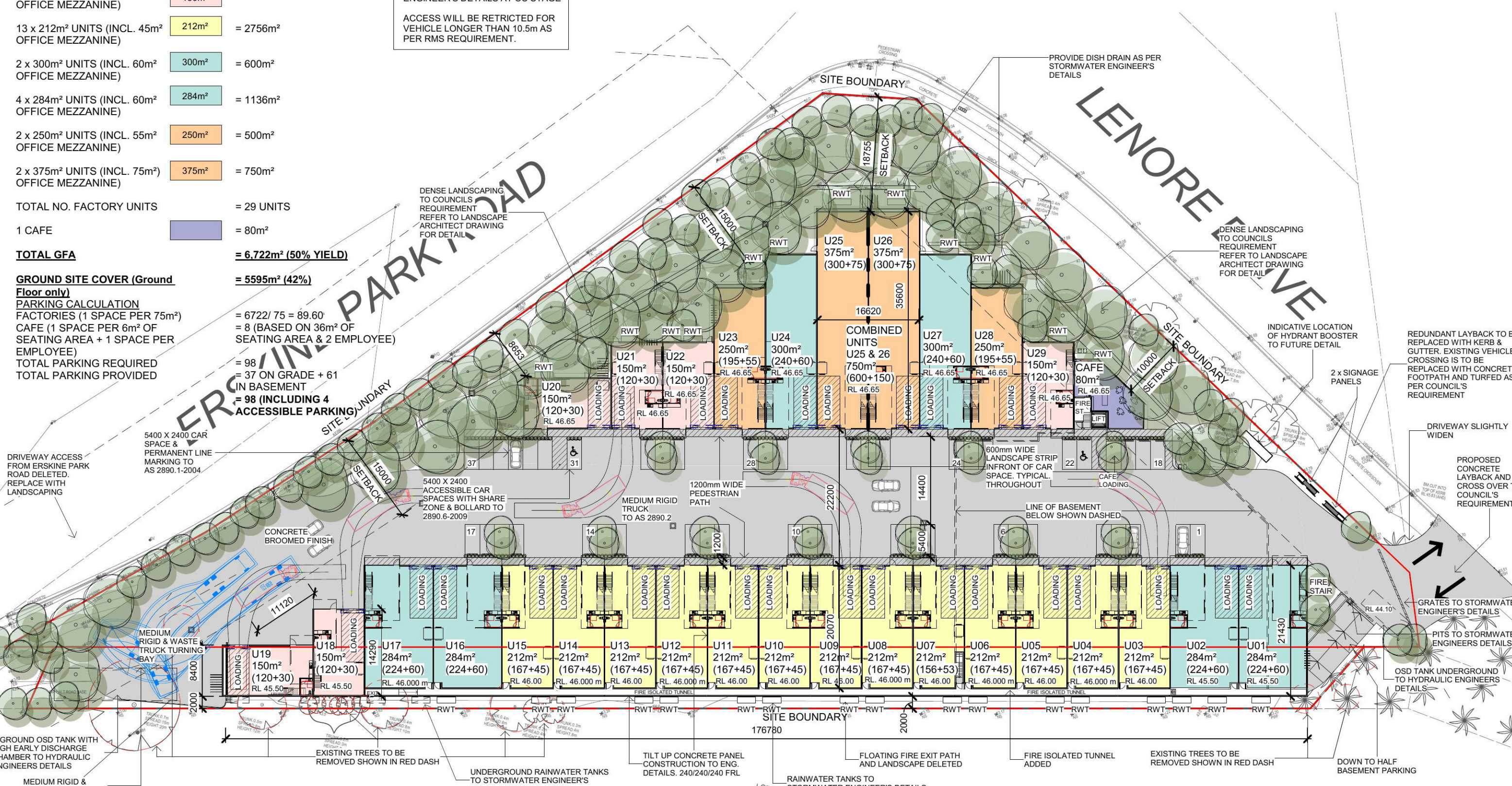
1 CAFE = 80m<sup>2</sup>

**TOTAL GFA = 6,722m<sup>2</sup> (50% YIELD)**

**GROUND SITE COVER (Ground Floor only) = 5595m<sup>2</sup> (42%)**

**PARKING CALCULATION**  
 FACTORIES (1 SPACE PER 75m<sup>2</sup>) = 6722 / 75 = 89.60  
 CAFE (1 SPACE PER 6m<sup>2</sup> OF SEATING AREA + 1 SPACE PER EMPLOYEE) = 8 (BASED ON 36m<sup>2</sup> OF SEATING AREA & 2 EMPLOYEE)  
 TOTAL PARKING REQUIRED = 98  
 TOTAL PARKING PROVIDED = 37 ON GRADE + 61 IN BASEMENT = 98 (INCLUDING 4 ACCESSIBLE PARKING)

**NOTE:**  
 ALL FIRE HOSE REELS, FIRE EXTINGUISHERS & FIRE HYDRANTS WILL BE TO HYDRAULIC ENGINEER'S DETAILS AT CC STAGE  
 ACCESS WILL BE RESTRICTED FOR VEHICLE LONGER THAN 10.5m AS PER RMS REQUIREMENT.

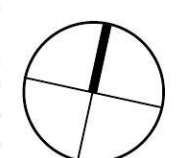


**PROPOSED GROUND MASTER PLAN**

1 : 600

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3	12.02.19	ISSUE FOR TRAFFIC CONSULTANT
H	29.08.18	DA ISSUE FOR COORDINATION
G	20.04.18	DA ISSUE



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 PROPOSED INDUSTRIAL DEVELOPMENT  
 AT 1-23 LENORE DRIVE & ERSKINE PARK ROAD, ERSKINE PARK NSW 2759.  
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title: PROPOSED GROUND MASTER PLAN  
 print date: 25.09.19  
 drawn: SP  
 checked: HC  
 scale: As indicated@A3  
 DA ISSUE

job no. 17221  
 drawing no. A1002  
 issue. J

# DEVELOPMENT DATA

LOT 1 DP 1071114 = 11,220m<sup>2</sup>  
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6 x 150m<sup>2</sup> UNITS (INCL. 30m<sup>2</sup> OFFICE MEZZANINE) = 900m<sup>2</sup>

13 x 212m<sup>2</sup> UNITS (INCL. 45m<sup>2</sup> OFFICE MEZZANINE) = 2756m<sup>2</sup>

2 x 300m<sup>2</sup> UNITS (INCL. 60m<sup>2</sup> OFFICE MEZZANINE) = 600m<sup>2</sup>

4 x 284m<sup>2</sup> UNITS (INCL. 60m<sup>2</sup> OFFICE MEZZANINE) = 1136m<sup>2</sup>

2 x 250m<sup>2</sup> UNITS (INCL. 55m<sup>2</sup> OFFICE MEZZANINE) = 500m<sup>2</sup>

2 x 375m<sup>2</sup> UNITS (INCL. 75m<sup>2</sup> OFFICE MEZZANINE) = 750m<sup>2</sup>

**TOTAL NO. FACTORY UNITS = 29 UNITS**

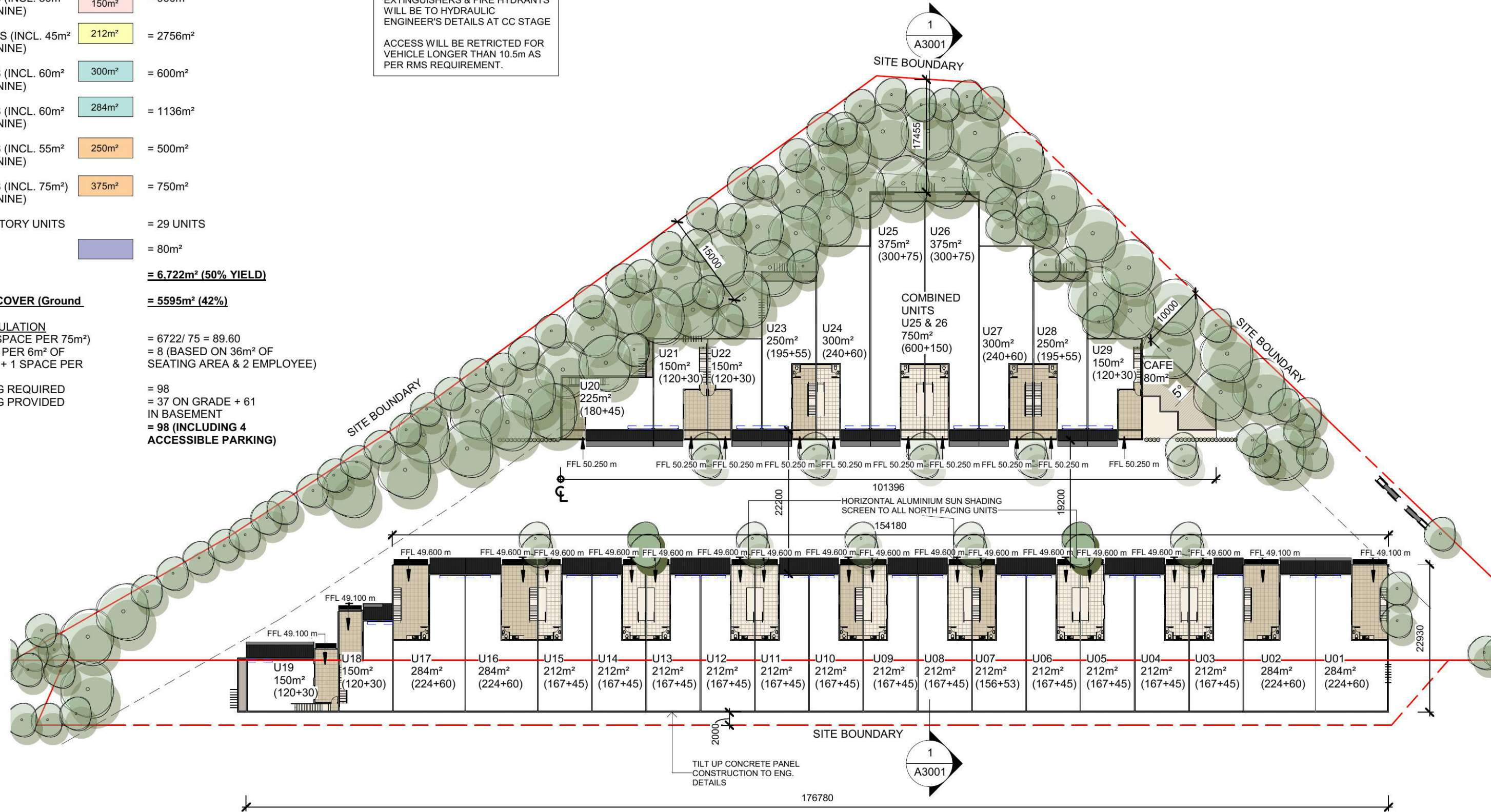
1 CAFE = 80m<sup>2</sup>

**TOTAL GFA = 6,722m<sup>2</sup> (50% YIELD)**

**GROUND SITE COVER (Ground Floor only) = 5595m<sup>2</sup> (42%)**

**PARKING CALCULATION**  
 FACTORIES (1 SPACE PER 75m<sup>2</sup>) = 6722 / 75 = 89.60  
 CAFE (1 SPACE PER 6m<sup>2</sup> OF SEATING AREA + 1 SPACE PER EMPLOYEE) = 8 (BASED ON 36m<sup>2</sup> OF SEATING AREA & 2 EMPLOYEE)  
 TOTAL PARKING REQUIRED = 98  
 = 37 ON GRADE + 61 IN BASEMENT  
**= 98 (INCLUDING 4 ACCESSIBLE PARKING)**

NOTE:  
 ALL FIRE HOSE REELS, FIRE EXTINGUISHERS & FIRE HYDRANTS WILL BE TO HYDRAULIC ENGINEER'S DETAILS AT CC STAGE  
 ACCESS WILL BE RESTRICTED FOR VEHICLE LONGER THAN 10.5m AS PER RMS REQUIREMENT.

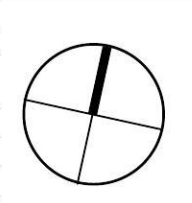


**1 PROPOSED MEZZANINE FLOOR PLAN**  
 1 : 600



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C	15.03.19	DA ISSUE - RESPONSE TO COUNCIL LETTER 08.01.2019
B	20.04.18	DA ISSUE
1	11.04.18	ISSUED FOR COORDINATION
A	31.01.18	DRAFT DA ISSUE & CONS COORDINATION

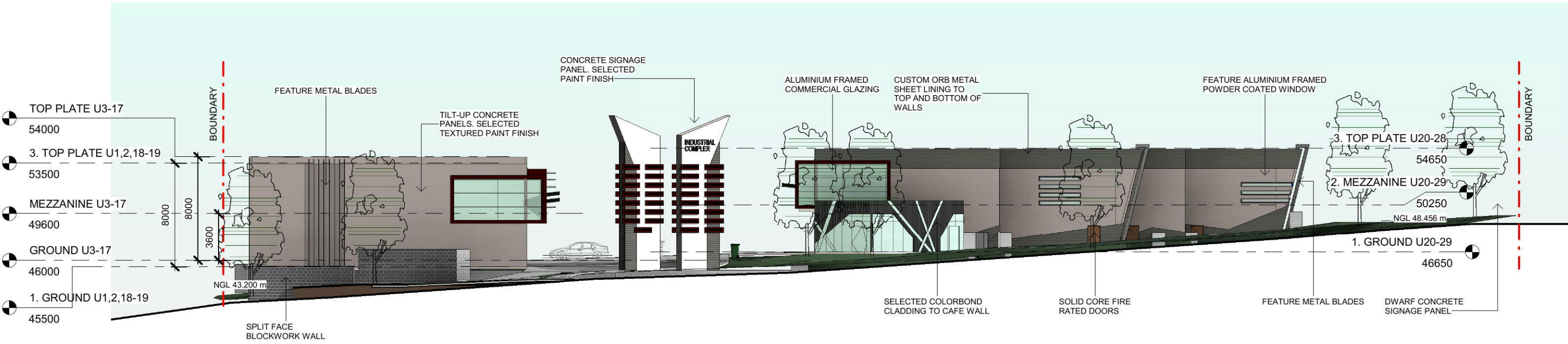


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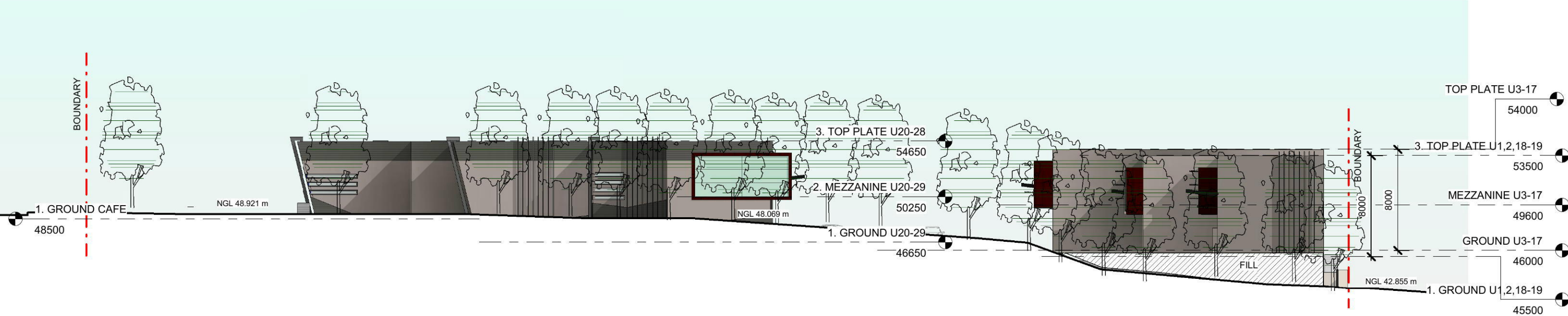
client: NICHOLOPOULOS  
 project: INDUSTRIAL COMPLEX  
 PROPOSED INDUSTRIAL DEVELOPMENT  
 AT 1-23 LENORE DRIVE & ERSKINE PARK ROAD,  
 ERSKINE PARK NSW 2759.  
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title: PROPOSED MEZZANINE FLOOR PLAN  
 print date: 25.09.19  
 drawn: HC  
 checked: HC  
 scale: As indicated@A3  
 DA ISSUE

job no. 17221  
 drawing no. A1003  
**D**  
 issue.



1 ELEVATION - FROM LENORE DRIVE  
1 : 300



2 ELEVATION - FROM ERSKINE PARK ROAD  
1 : 300



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D	29.08.18	DA ISSUE FOR COORDINATION
C	20.04.18	DA ISSUE
1	11.04.18	ISSUED FOR COORDINATION
B	31.01.18	DRAFT DA ISSUE & CONS COORDINATION

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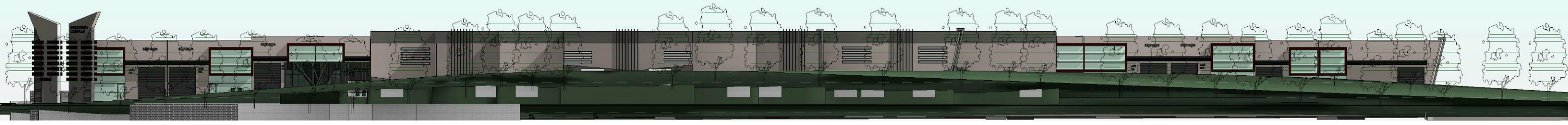
client: NICHOLOPOULOS  
project: INDUSTRIAL COMPLEX  
PROPOSED INDUSTRIAL DEVELOPMENT  
AT 1-23 LENORE DRIVE & ERSKINE PARK  
ROAD, ERSKINE PARK NSW 2759.  
LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
PROPOSED  
ELEVATIONS 01

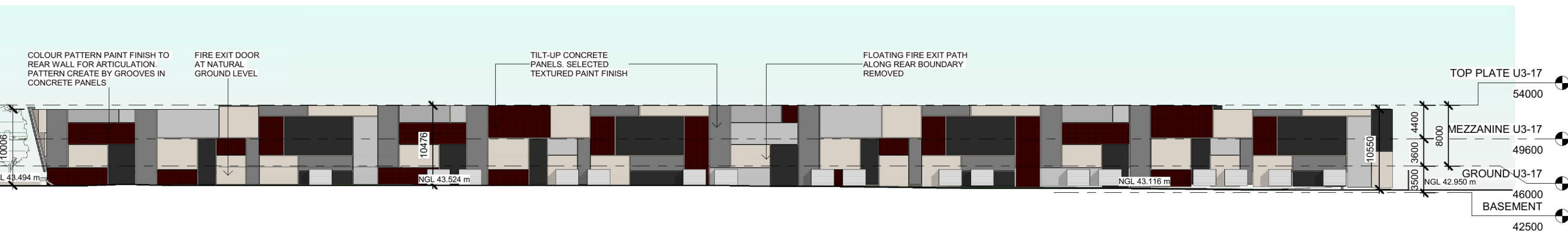
print date: 25.09.19  
drawn: HC  
checked: HC  
scale: 1 : 300 @A3

DA ISSUE  
job no. 17221  
drawing no. A2001

**F**



**1** ELEVATION - FROM CORNER ERSKINE PARK & LENORE DRIVE  
1 : 500



**2** ELEVATION - REAR - FROM WATER COURSE  
1 : 500



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F	25.09.19	NEW DA ISSUE
E	15.03.19	DA ISSUE - RESPONSE TO COUNCIL LETTER 08.01.2019
3	07.03.19	ISSUED FOR DA REVIEW
2	01.03.19	ISSUED FOR CONSULTANTS
D	29.08.18	DA ISSUE FOR COORDINATION
C	20.04.18	DA ISSUE

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 project: INDUSTRIAL COMPLEX  
 PROPOSED INDUSTRIAL DEVELOPMENT  
 AT 1-23 LENORE DRIVE & ERSKINE PARK  
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drawing title:  
**PROPOSED  
 ELEVATIONS 02**

print date: 25.09.19  
 drawn: SP  
 checked: HC  
 scale: 1 : 500 @A3  
 DA ISSUE

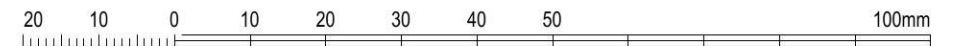
job no. 17221  
 drawing no. A2002  
 issue. **F**



1 ELEVATION - UNIT 1-19  
1 : 500



2 ELEVATION - UNIT 20-29  
1 : 300



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A	14.11.17	ISSUED FOR URBAN DESIGN MEETING

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project:  
INDUSTRIAL COMPLEX  
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drawing title:  
PROPOSED  
ELEVATIONS 03

print date: 25.09.19  
drawn: HC  
checked: HC  
scale: As indicated@A3

DA ISSUE

job no.

17221

issue.

E

drawing no.

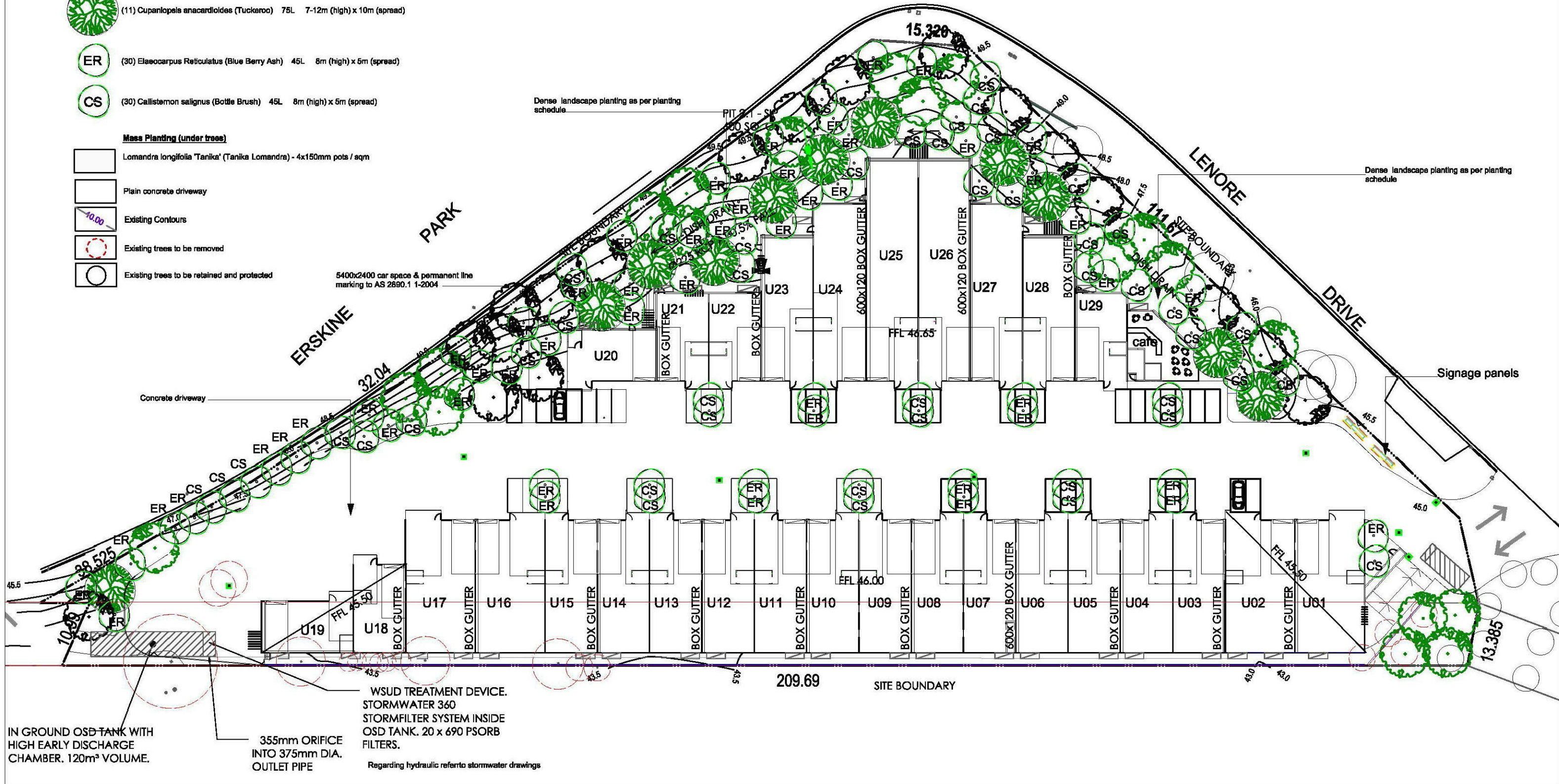
A2003

**PLANT SCHEDULE**

- (19) *Banksia serrata* (Old Man Banksia) 75L 8-15m (high) x 8m (spread)
- (20) *Eucalyptus haemastoma* (Scribbly Gum) 75L 7-10m (high) x 8m (spread)
- (11) *Cupaniopsis anacardioides* (Tuckeroo) 75L 7-12m (high) x 10m (spread)
- (ER) *Elaeocarpus Reticulatus* (Blue Berry Ash) 45L 8m (high) x 5m (spread)
- (CS) *Callistemon salignus* (Bottle Brush) 45L 8m (high) x 5m (spread)

**Mass Planting (under trees)**

- Lomandra longifolia* 'Tanika' (Tanika Lomandra) - 4x150mm pots / sqm
- Plain concrete driveway
- Existing Contours
- Existing trees to be removed
- Existing trees to be retained and protected



**WSUD TREATMENT DEVICE.**  
 STORMWATER 360  
 STORMFILTER SYSTEM INSIDE  
 OSD TANK. 20 x 690 PSORB  
 FILTERS.  
 Regarding hydraulic refer to stormwater drawings

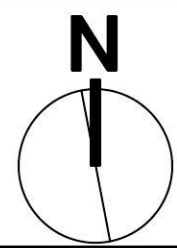
**IN GROUND OSD-TANK WITH  
 HIGH EARLY DISCHARGE  
 CHAMBER. 120m³ VOLUME.**  
 355mm ORIFICE  
 INTO 375mm DIA.  
 OUTLET PIPE

**general notes**  
 do not scale off the drawing unless otherwise stated and use figures dimensions in preference. All dimensions are to be checked and verified by the CONTRACTOR on site before commencement of any works, all dimensions and levels are subject to final survey and set out. Discrepancies to be reported to designer prior to commencement.  
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issue	date	amendment
C	15.3.19	Revised as per Council letter request
R	21.3.18	Added stormwater layout
A	5.9.17	Submitted to client for approval



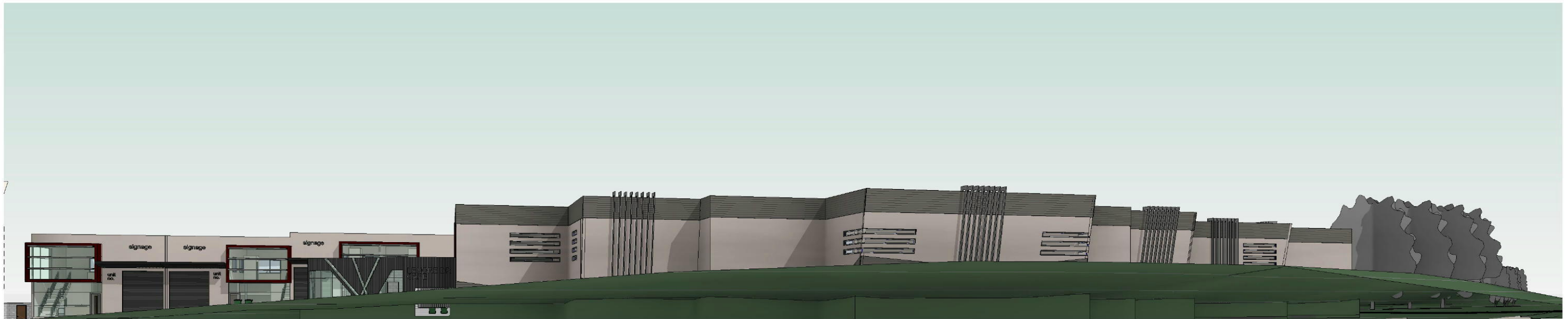
abn:25 125 114 454  
 a: 6 Norman Ave, Thornleigh NSW 2120  
 o: (02) 9875 3489 m: 0414 540 518 e: emily@outtherelandscape.com.au

client: NICHOLPOULOS  
 project: 1-23 LENORE DRIVE & ERSKINE PARK ROAD ERSKINE PARK  
 drawing title: Landscape Plan  
 scale: 1:600 @ A3  
 drawing no.: LP: 180219  
 drawn by: ER  
 rev no.: C  
 Member of the Australian Institute of Landscape Designers and Managers

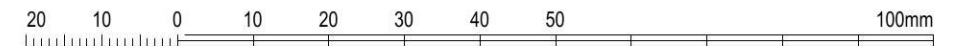




1 3D View 1 - FROM LENORE DRIVE



2 3D View 2 - CORNER OF ERSKINE PARK RD & LENORE DR



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project: INDUSTRIAL COMPLEX  
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AT 1-23 LENORE DRIVE & ERSKINE PARK  
ROAD, ERSKINE PARK NSW 2759.  
LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
3D PERSPECTIVES  
01

print date: 25.09.19  
drawn: HC  
checked: HC  
scale: @A3

DA ISSUE

job no.

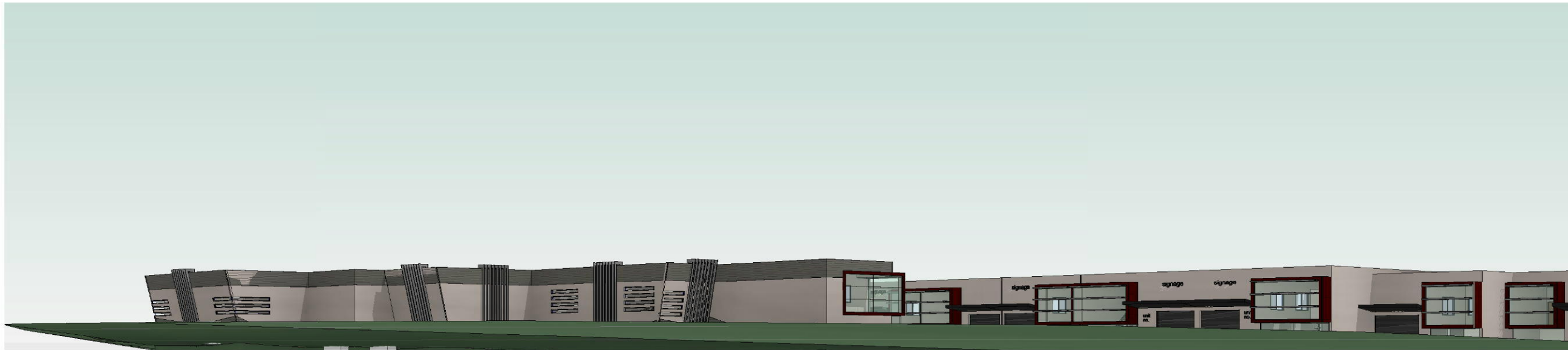
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drawing no.

A7001

issue.

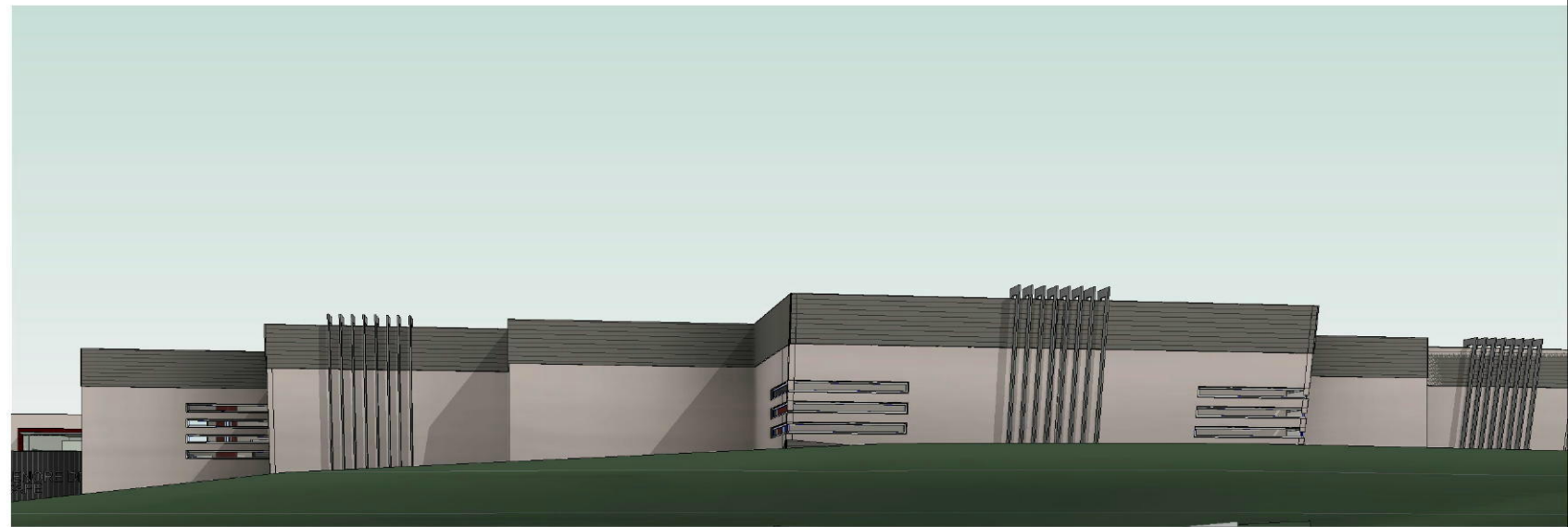
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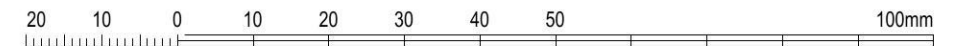
1 3D View 3 - FROM ERSKINE PARK ROAD



2 3D View 4 - LENORE DRIVE ACCESS



3 3D View 5 - CORNER OF ERSKINE PARK RD & LENORE DR



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drawing title:  
 3D PERSPECTIVES  
 02

print date: 25.09.19  
 drawn: HC  
 checked: HC  
 scale: @A3

DA ISSUE

job no.

17221

drawing no.

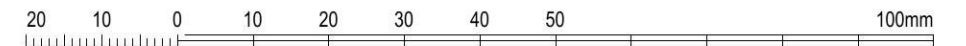
A7002

issue.

E



1 3D View 6 - FROM REAR OF ERSKINE PARK RD



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drawing title:  
**3D PERSPECTIVES**  
 03

print date: 25.09.19  
 drawn: SP  
 checked: HC  
 scale: @A3

DA ISSUE

job no.






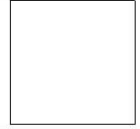







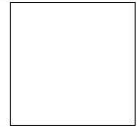




17221

drawing no.

A7003

issue: **C**

## FINISHES SCHEDULE

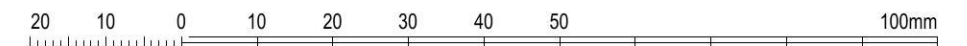
REINFORCED CONCRETE TILT-UP PANELS - TEXTURED PAINT FINISH. DULUX - BEIGE ROYAL A192 OR SIMILAR		STAINLESS STEEL HANDRAIL & STEEL CABLE BALUSTRADE OR SIMILAR AT SOUTHERN END FIRE ESCAPE ROUTE.	
ALUMINIUM FRAMED POWDERCOATED WINDOWS & DOORS - DULUX - MONUMENT OR SIMILAR		AWNING OVER ROLLER DOORS - PRESSED METAL FASCIA GUTTER AND DOWNPIPES - COLORBOND - MONUMENT OR SIMILAR	
METAL ROOF SHEETING - LYSAGHT KLIP-LOCK 406 - COLORBOND - WOODLAND GREY OR SIMILAR		SOFFIT UNDER AWNING - FC LINING - PAINT FINISH - DULUX - WHITE ON WHITE	
FEATURE CLADDING AT MEZZANINE & SIGNAGE PANEL - ALUMINIUM COMPOSIT PANEL - ALUCOBOND - RED FIRE OR SIMILAR		ROLLER DOORS - ALUMINIUM - COLORBOND - SHALE GREY	
METAL CLADDING FOR CAFE, SIGNAGE PANEL - COLORBOND - MINI ORB - MONUMENT OR SIMILAR	 	SIGNAGE PANEL LETTERING - BRUSHED ALUMINIUM INDIVIDUAL LETTERING 50mm DEEP.	
FEATURE METAL FINS & SUN SHADING SCREENS IN FRONT OF WINDOWS - ALUMINIUM - CLEAR ANODISED OR SIMILAR	 	CAFE ROOF CANOPY - CONCRETE - TEXTURE PAINT FINISH	
FEATURE WALL CLADDING - COLORBOND - CUSTOM ORB - MONUMENT OR SIMILAR		FIRE DOORS - PAINT FINISH - RED	
FACE BLOCKWORK - GREY BLOCKS AUSTRAL MASONRY - PALING COURT OR SIMILAR		FEATURE STONE CLADDING WALL ADJACENT LIFT SHAFT.	



1800mm HIGH ALUMINIUM BLACK PALISADE SECURITY FENCE AND GATES

### FENCE DETAIL

1 : 100



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 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
 FINISHES  
 SCHEDULE

print date: 25.09.19  
 drawn: HC  
 checked: HC  
 scale: 1 : 100 @A3

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job no.

17221

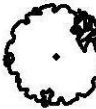




issue.

**D**






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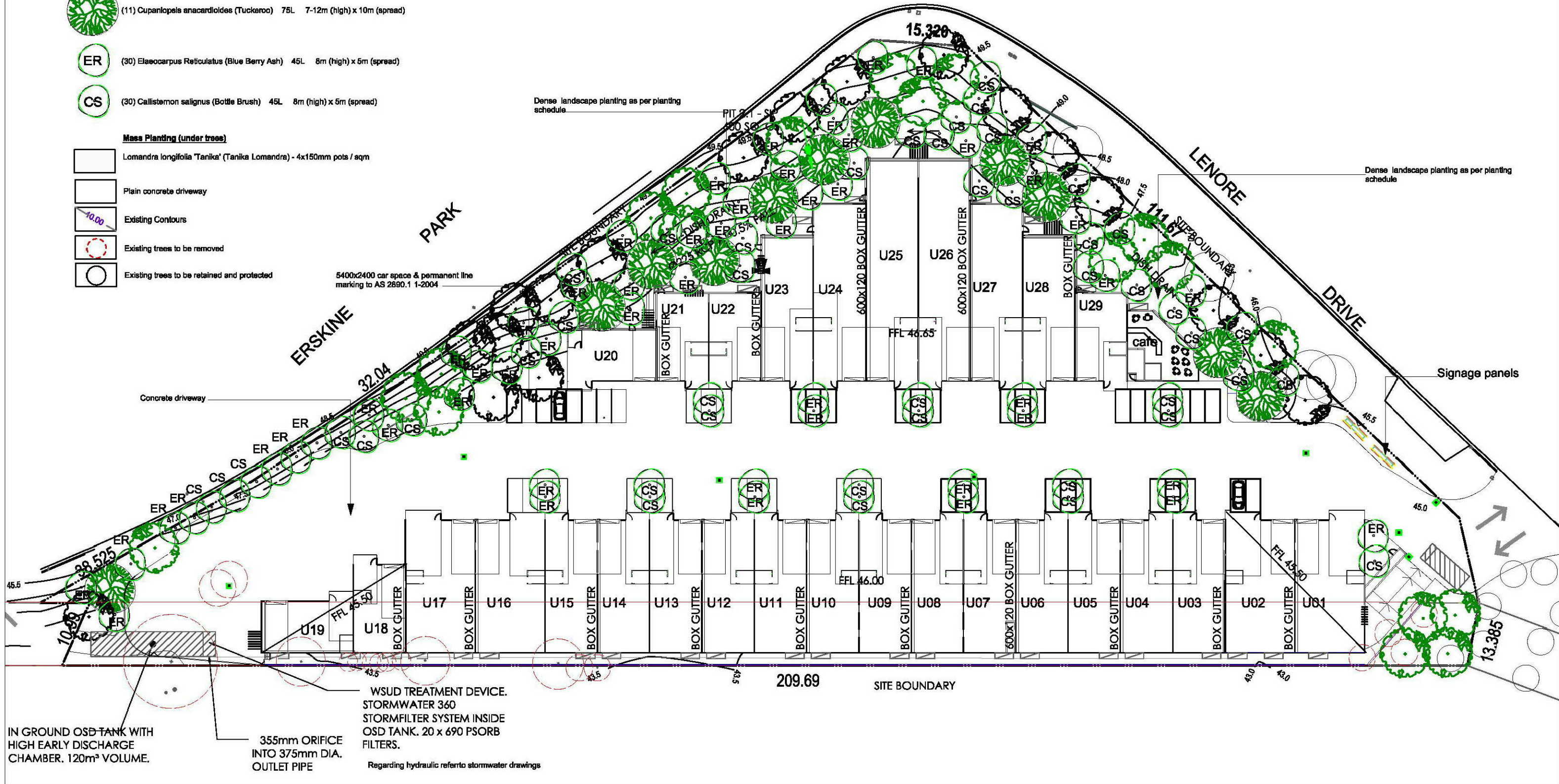
A7004

**PLANT SCHEDULE**

-  (19) *Banksia serrata* (Old Man Banksia) 75L 8-15m (high) x 8m (spread)
-  (20) *Eucalyptus haemastoma* (Scribbly Gum) 75L 7-10m (high) x 8m (spread)
-  (11) *Cupaniopels anacardioloides* (Tuckeroo) 75L 7-12m (high) x 10m (spread)
-  (30) *Elaeocarpus Reticulatus* (Blue Berry Ash) 45L 8m (high) x 5m (spread)
-  (30) *Callistemon salignus* (Bottle Brush) 45L 8m (high) x 5m (spread)

**Mass Planting (under trees)**

-  *Lomandra longifolia* 'Tanika' (Tanika Lomandra) - 4x150mm pots / sqm
-  Plain concrete driveway
-  Existing Contours
-  Existing trees to be removed
-  Existing trees to be retained and protected

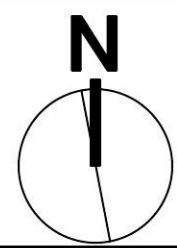


**general notes**  
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 no responsibility will be accepted by this company for any variations in design, builders method of construction or materials used. deviation from specification without permission or accepted work practices resulting in a liability.  
 all work to comply with relevant Australian standards or building code of Australia.  
 Version 1.0 Date 26/09/2019  
 all works to be performed by a suitably qualified person.

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issue	date	amendment
C	15.3.19	Revised as per Council letter request
R	21.3.18	Added stormwater layout
A	5.9.17	Submitted to client for approval



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 a: 6 Norman Ave, Thornleigh NSW 2120  
 o: (02) 9875 3489 m: 0414 540 518 e: emily@outtherelandscape.com.au

client: NICHOLPOULOS  
 project: 1-23 LENORE DRIVE & ERSKINE PARK ROAD ERSKINE PARK  
 drawing title: Landscape Plan  
 scale: 1:600 @ A3  
 drawing no.: LP: 180219  
 drawn by: ER  
 rev no.: C  
 Member of the Australian Institute of Landscape Designers and Managers

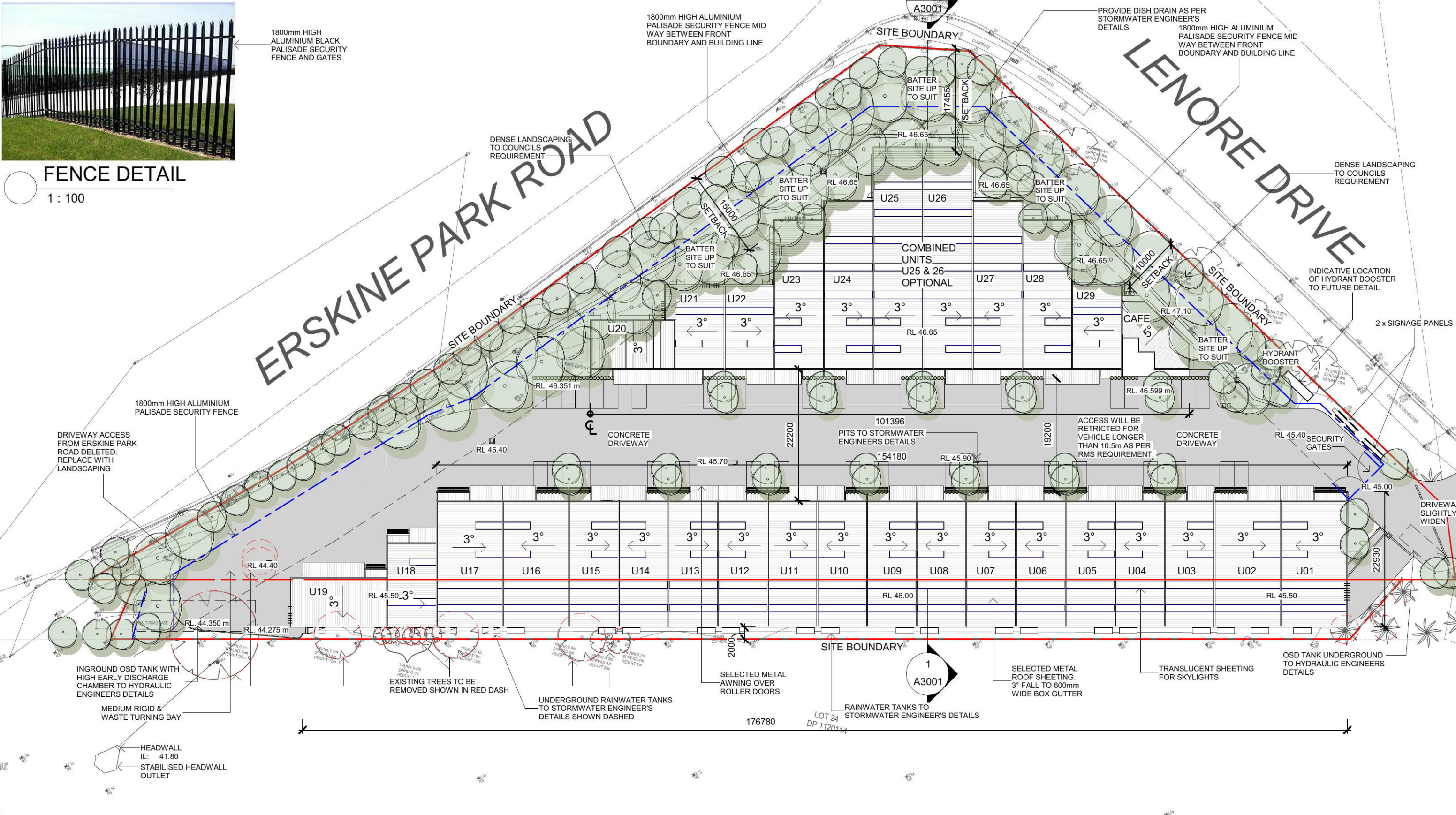


FENCE DETAIL

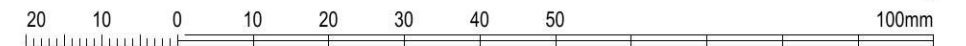
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ERSKINE PARK ROAD

LENORE DRIVE

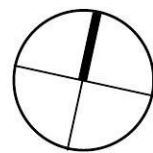


1 PROPOSED SITE & ROOF PLAN  
1 : 600



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ISSUE	DATE	REVISION
D	25.09.19	NEW DA ISSUE
C	15.03.19	DA ISSUE - RESPONSE TO COUNCIL LETTER 08.01.2019
2	01.03.19	ISSUED FOR CONSULTANTS
B	20.04.18	DA ISSUE
1	11.04.18	ISSUED FOR COORDINATION
A	31.01.18	DRAFT DA ISSUE & CONS COORDINATION



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www.arkexpressdesign.com.au

client: NICHOLOPOULOS  
project: INDUSTRIAL COMPLEX  
PROPOSED INDUSTRIAL DEVELOPMENT  
AT 1-23 LENORE DRIVE & ERSKINE PARK  
ROAD, ERSKINE PARK NSW 2759.  
LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
NOTIFICATION  
PLAN 01

print date: 25.09.19  
drawn: HC  
checked: HC  
scale: As indicated@A3

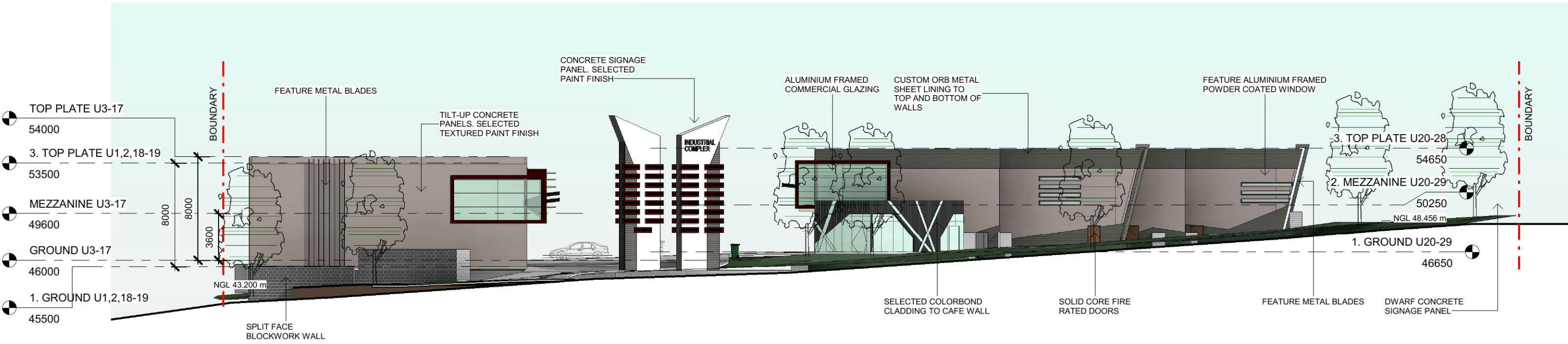
DA ISSUE

job no.

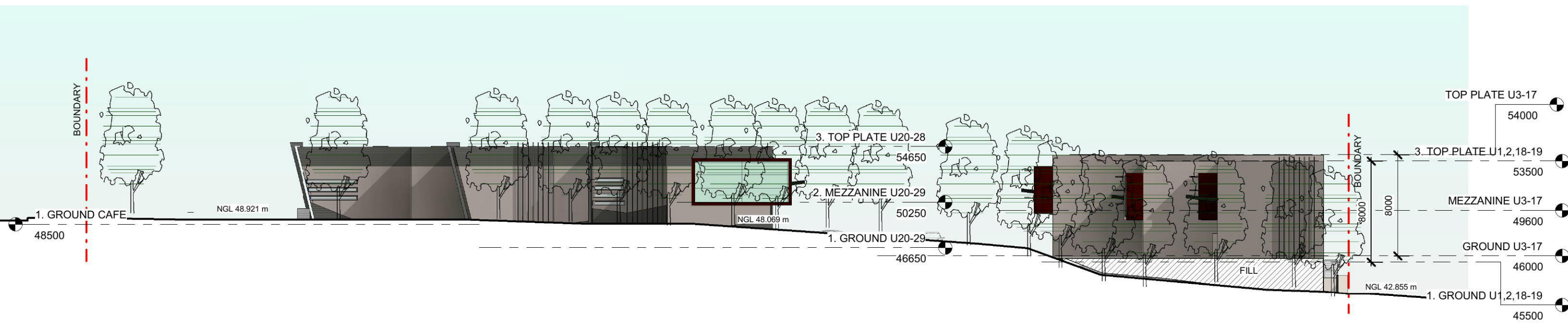
17221

issue.

D  
NP01



**1** ELEVATION - FROM LENORE DRIVE  
1 : 300



**2** ELEVATION - FROM ERSKINE PARK ROAD  
1 : 300



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ISSUE	DATE	REVISION
F	25.09.19	NEW DA ISSUE
E	15.03.19	DA ISSUE - RESPONSE TO COUNCIL LETTER 08.01.2019
D	29.08.18	DA ISSUE FOR COORDINATION
C	20.04.18	DA ISSUE
1	11.04.18	ISSUED FOR COORDINATION
B	31.01.18	DRAFT DA ISSUE & CONS COORDINATION

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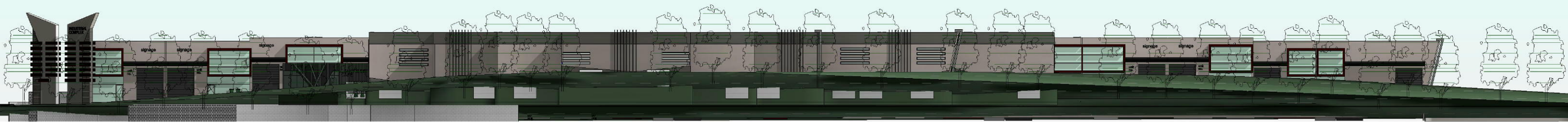
client: NICHOLOPOULOS  
project: INDUSTRIAL COMPLEX  
PROPOSED INDUSTRIAL DEVELOPMENT  
AT 1-23 LENORE DRIVE & ERSKINE PARK  
ROAD, ERSKINE PARK NSW 2759.  
LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
**NOTIFICATION  
PLAN 02**

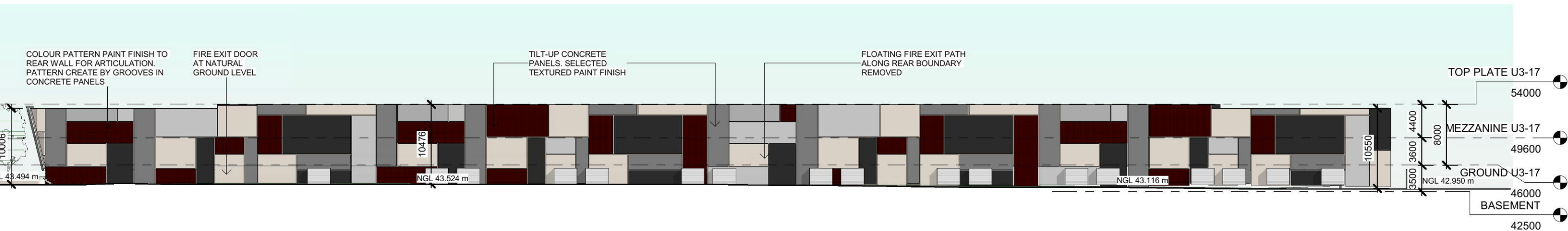
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drawn: HC  
checked: HC  
scale: 1 : 300 @A3

DA ISSUE

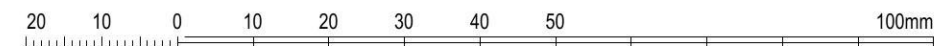
job no. 17221  
drawing no. NP02  
issue. **F**



**1** ELEVATION - FROM CORNER ERSKINE PARK & LENORE DRIVE  
1 : 500



**2** ELEVATION - REAR - FROM WATER COURSE  
1 : 500



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ISSUE	DATE	REVISION
F	25.09.19	NEW DA ISSUE
E	15.03.19	DA ISSUE - RESPONSE TO COUNCIL LETTER 08.01.2019
3	07.03.19	ISSUED FOR DA REVIEW
2	01.03.19	ISSUED FOR CONSULTANTS
D	29.08.18	DA ISSUE FOR COORDINATION
C	20.04.18	DA ISSUE

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client: NICHOLOPOULOS  
project: INDUSTRIAL COMPLEX  
PROPOSED INDUSTRIAL DEVELOPMENT  
AT 1-23 LENORE DRIVE & ERSKINE PARK  
ROAD, ERSKINE PARK NSW 2759.  
LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
**NOTIFICATION  
PLAN 03**

print date: 25.09.19  
drawn: SP  
checked: HC  
scale: 1 : 500 @A3  
DA ISSUE

job no.

17221

issue.

drawing no.

**F**  
**NP03**



1 ELEVATION - UNIT 1-19  
1 : 500



2 ELEVATION - UNIT 20-29  
1 : 300



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ISSUE	DATE	REVISION
E	25.09.19	NEW DA ISSUE
D	15.03.19	DA ISSUE - RESPONSE TO COUNCIL LETTER 08.01.2019
C	20.04.18	DA ISSUE
1	11.04.18	ISSUED FOR COORDINATION
B	31.01.18	DRAFT DA ISSUE & CONS COORDINATION
A	14.11.17	ISSUED FOR URBAN DESIGN MEETING

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client: NICHOLOPOULOS  
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PROPOSED INDUSTRIAL DEVELOPMENT  
AT 1-23 LENORE DRIVE & ERSKINE PARK  
ROAD, ERSKINE PARK NSW 2759.  
LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:  
NOTIFICATION  
PLAN 04

print date: 25.09.19  
drawn: HC  
checked: HC  
scale: As indicated@A3

DA ISSUE

job no. 17221  
drawing no. NP04  
issue. E

# PROPOSED DEVELOPMENT

## 1-23 LENORE DRIVE, ERSKINE PARK, NSW, 2759

### LOT 1/DP1071114, LOT55/DP1170183

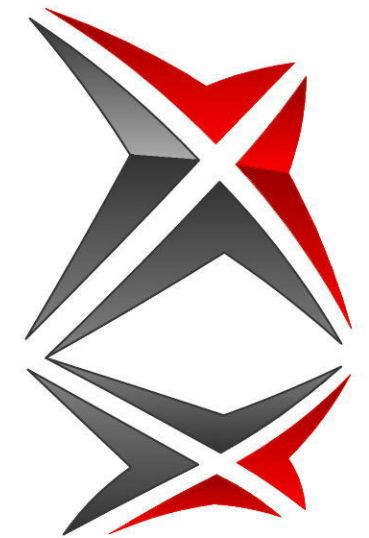
DRAWINGS INDEX	
Drawing No.	Drawings Title
C1.0	DRAWING INDEX & GENERAL NOTES
C2.0	CONCEPT STORMWATER PLAN
C2.1	OSD CATCHMENT PLAN
C2.2	STORMWATER DETAILS
C3.0	BASEMENT STORMWATER PLAN
C4.0	STORMWATER DISCHARGE DETAILS



PROPOSED SITE

**LOCALITY PLAN**

N.T.S.



## GENERAL NOTES

### GENERAL

- CG1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- CG2 ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT STANDARDS AUSTRALIA CODES AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- CG3 ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE. ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- CG4 UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETERS.
- CG5 ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH ACCEPTABLE SAFETY STANDARDS & APPROPRIATE SAFETY SIGNS SHALL BE INSTALLED AT ALL TIMES DURING THE PROGRESS OF THE JOB.

### SURVEY

- SU1 THE EXISTING SITE CONDITIONS SHOWN ON THE DRAWINGS HAVE BEEN INVESTIGATED BY OTHERS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN.
- SU2 THE FOLLOWING ENGINEERING SURVEY SHALL NOT BE TAKEN AS A CADASTRAL OR BOUNDARY IDENTIFICATION SURVEY. BOUNDARY DATA SHALL BE TAKEN AS A GUIDE ONLY UNLESS NOTED OTHERWISE.
- SU3 SHOULD DISCREPANCIES BE FOUND BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA THE CONTRACTOR SHALL NOTIFY TRIAXIAL CONSULTING PRIOR TO COMMENCEMENT OF THE WORKS. THE CONTRACTOR SHALL ACCEPT ALL RESPONSIBILITY FOR ERRORS MADE DURING CONSTRUCTION WHERE SURVEY DISCREPANCIES WERE NOT RELAYED AND RESOLVED BY TRIAXIAL CONSULTING PRIOR TO COMMENCEMENT OF THE WORKS.

### EXCAVATION

- EX1 REFER TO REPORT ON GEOTECHNICAL STABILITY ASSESSMENT FOR INFORMATION PERTAINING TO EXISTING SITE STABILITY, EXCAVATION AND GEOTECHNICAL ISSUES.
- EX2 ALL SITE EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH ITEMS NOTED IN THE ABOVE LISTED REPORT.
- EX3 THE EARTHWORKS CONTRACTOR IS TO CONTACT OR MEET WITH THE GEOTECHNICAL ENGINEER PRIOR TO COMMENCEMENT OF ANY EXCAVATION TO DETERMINE APPROPRIATE TECHNIQUES AND HOLD POINTS.
- EX4 TEMPORARY BATTER CUT TO ROCK TO BE FORMED AT NO STEEPER THAN 1 V : 1 H. PERMANENT BATTER TO BE CONFIRMED ON SITE IN CONSULTATION WITH THE GEOTECHNICAL ENGINEER.

### EXISTING UNDERGROUND SERVICES

- EU1 THE EXISTING UNDERGROUND SERVICES INDICATED ON THESE DRAWINGS HAVE BEEN OBTAINED FROM SURVEY AND SERVICE AUTHORITY INFORMATION. THE SERVICES INFORMATION SHOWN ARE THOSE OF KNOWN SERVICES ONLY. THE LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY AND MAY NOT BE 'AS CONSTRUCTED' OR ACCURATE. THE PRESENCE OR ABSENCE OF SERVICES SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- EU2 THE CONTRACTOR SHALL TAKE ALL DUE CARE WHEN EXCAVATING ON SITE INCLUDING HAND EXCAVATION WHERE NECESSARY.
- EU3 THE CONTRACTOR SHALL CONTACT ALL RELEVANT SERVICE AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORKS.
- EU4 THE CONTRACTOR SHALL UNDERTAKE A THOROUGH SERVICES SEARCH PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORKS. THE RESULTS OF SERVICES SEARCHES SHALL BE RECORDED AND KEPT ON SITE AT ALL TIMES.

### SITE PREPARATION

- SP1 REFER TO GEOTECHNICAL REPORT FOR EXISTING SOIL CONDITIONS.
- SP2 ALL ORGANIC & DELETERIOUS MATERIAL TO BE COMPLETELY CLEARED FROM SITE WORKS AREA.
- SP3 PRIOR TO THE COMMENCEMENT OF ANY CIVIL OR STRUCTURAL CONSTRUCTION THE ENTIRE SITE AREA IS TO BE COMPACTED AND TESTED IN ACCORDANCE WITH AS1289.5.1.1 OR .5.1.2 - 1993 TO PRODUCE THE FOLLOWING: -98.0% STANDARD COMPACTION AT THE SURFACE AND AT 200MM BELOW SURFACE LEVEL. FREQUENCY OF FIELD DENSITY TESTS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS3798 - 2007 TABLE 8.1 TESTING SHALL BE EVENLY SPACED OVER THE ENTIRE SITE. AND AT RANDOM LOCATIONS. TEST RESULTS SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORKS.
- SP4 PROOF ROLL EXPOSED SUBGRADE PRIOR TO COMMENCEMENT OF CIVIL AND STRUCTURAL CONSTRUCTION. CONDUCTED UNDER GEOTECHNICAL SUPERVISION.
- SP5 BOX OUT ANY SOFT AREAS AND FILL AND COMPACT WITH IMPORTED FILL.
- SP6 PLACE IMPORTED FILL IN MAXIMUM 200 LOOSE LAYERS & COMPACT TO 98%STD >1M BELOW B.E.L.) AND 100%STD (<1m BELOW B.E.L.) AND TO WITHIN +/-2% OF OMC.
- SP7 IMPORTED FILL IS TO BE CRUSHED SANDSTONE OR RIPPED SHALE WITH A MINIMUM CBR OF 30%, PI 8% AND A MAX PARTICLE SIZE OF 75mm.

### SITWORKS

- SW1 THE CONTRACTOR SHALL VERIFY ALL LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORKS. ANY DISCREPANCIES SHALL BE REPORTED TO TRIAXIAL CONSULTING FOR FURTHER INSTRUCTION.
- SW2 ALL CONNECTIONS WITH EXISTING WORKS SHALL BE MADE SMOOTH.
- SW3 ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO ACHIEVE A DENSITY EQUIVALENT TO THE ADJACENT MATERIAL.
- SW4 ALL SERVICE TRENCHES SHALL BE BACKFILLED WITH SAND TO A LEVEL 300mm ABOVE THE PIPE. WHERE SERVICE TRENCHES ARE CONSTRUCTED UNDER VEHICULAR PAVEMENTS, BACKFILL THE REMAINDER OF THE TRENCH (TO UNDERSIDE OF PAVEMENT) WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN LAYERS NOT EXCEEDING 150mm DEPTH. BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM 98% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1 (CURRENT EDITION) OR A DENSITY INDEX OF NOT LESS THAN 75.
- SW5 PROVIDE A 10mm WIDE EXPANSION JOINT BETWEEN ALL BUILDINGS AND CONCRETE OR UNIT PAVEMENTS.
- SW6 ALL BASE-COURSE MATERIAL SHALL BE MINIMUM 95% MODIFIED DRY DENSITY (JUNO) IN ACCORDANCE WITH AS 1289 5.2.1 (CURRENT EDITION).

### SEDIMENT AND EROSION CONTROL

- SE1 CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUAL 'MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION' (2004) (THE BLUE BOOK).
- SE2 DISTURBANCE SHALL BE KEPT TO A MINIMUM AND WITHIN THE LIMITS OF THE CONSTRUCTION SITE.
- SE3 ADDITIONAL CONTROLS SHALL BE INSTALLED AS REQUIRED AND IN ACCORDANCE WITH 'THE BLUE BOOK'.
- SE4 ALL INSTALLED CONTROLS SHALL BE INSPECTED AT LEAST WEEKLY AND IMMEDIATELY FOLLOWING A RAIN EVENT. MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED.
- SE5 COMPLETED AREAS SHALL BE PROGRESSIVELY VEGETATED.
- SE6 CONTROL DEVICES, AS DETAILED, SHALL BE INSTALLED TO STORMWATER PITS IMMEDIATELY FOLLOWING THEIR CONSTRUCTION.

### STORMWATER DRAINAGE

- SD1 PIPES UP TO 300mm DIAMETER SHALL BE SEWER GRADE UPVC WITH SOLVENT WELDED JOINTS.
- SD2 ALL "INTERNAL WORKS" WITHIN PROPERTY BOUNDARIES SHALL COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.3 (CURRENT EDITION).
- SD3 ALL STORMWATER PIPES SHALL BE PROVIDED WITH MINIMUM PIPE COVER TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.3 (CURRENT EDITION).
- SD4 INSTALLATION OF ALL BURIED CONCRETE STORMWATER PIPES SHALL COMPLY WITH THE REQUIREMENTS OF AS/NZS 3725 (CURRENT EDITION) DESIGN FOR INSTALLATION OF BURIED CONCRETE PIPES.
- SD5 ENLARGERS, CONNECTORS AND JUNCTIONS SHALL BE PREFABRICATED FITTINGS WHERE PIPES ARE LESS THAN 300mm DIAMETER.
- SD6 ALL STORMWATER DRAINAGE LINES SHALL HAVE A MINIMUM FALL OF 1% UNLESS NOTED OTHERWISE ON THE DRAWINGS. CARE SHALL BE TAKEN WITH SETTING LEVELS OF STORMWATER DRAINAGE LINES. GRADES SHOWN ON THE DRAWINGS SHALL NOT BE REDUCED WITHOUT THE WRITTEN CONSENT OF TRIAXIAL CONSULTING.
- SD7 GRATES AND COVERS SHALL COMPLY WITH THE REQUIREMENTS OF AS 3996 (CURRENT EDITION).
- SD8 AT ALL TIMES DURING THE CONSTRUCTION OF STORMWATER PITS, ADEQUATE SAFETY PROCEDURES SHALL BE DOCUMENTED AND EXECUTED TO MITIGATE THE RISK OF PERSONAL INJURY AS A RESULT OF FALLS INTO PITS.
- SD9 ALL EXISTING STORMWATER LOCATIONS, INCLUDING INVERTS, TO BE CONFIRMED BY THE BUILDER/CONTRACTOR PRIOR TO THE COMMENCEMENT OF CIVIL WORKS ON SITE.
- SD10 ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN SHALL BE INSPECTED AND CLEANED. DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDANT/ENGINEER FOR FURTHER DIRECTIONS.

**NOTE:**  
THIS IS A PLANNING DRAWING ONLY. FOR THE PURPOSE OF CONCEPTUAL DESIGN AND/OR PLANNING. FURTHER DETAILED ENGINEERING DESIGN INCLUDING SPECIFICATIONS, SIZING AND STORMWATER INVERTS TO BE PROVIDED PRIOR TO BUILDING RULES ASSESSMENT AND CONSTRUCTION.

ISSUED FOR APPROVAL	DATE	BY	STATUS
ISSUED FOR APPROVAL	29.07.19	C J.D.	
ISSUED FOR APPROVAL	20.03.18	B J.D.	
ISSUED FOR APPROVAL	22.02.18	A J.D.	
AMENDMENTS	DATE	ISSUE	BY

ISSUED FOR APPROVAL



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PO BOX 6213  
CANLEY VALE NSW 2166

CLIENT  
**FRANK NICHOLAS**

PROJECT  
**PROPOSED DEVELOPMENT**  
1-23 LENORE DRIVE  
ERSKINE PARK, NSW, 2759

DESIGNED	DRAWN	DATE	SIZE	CAD REF
J.D.	J.M.	19.02.18	A1	TX13092.00-C1.0

DRAWING TITLE  
**DRAWING INDEX & GENERAL NOTES**

DRAWING NO. **TX13092.00 - C1.0** ISSUE **C**

**STORMWATER NOTES**

TOTAL SITE AREA = 13351m<sup>2</sup>  
 ASSUMED PRE-DEVELOPMENT IMPERVIOUS AREA = 0m<sup>2</sup>  
 POST DEVELOPMENT IMPERVIOUS AREA = 10000m<sup>2</sup>  
 OSD VOLUME AS PER DRAINS MODEL (BASED ON WORST CASE STORM, COMBINED STORAGE VOL.) = 180m<sup>3</sup>  
 OSD DESIGNED TO REDUCE FLOWS TO PRE-DEVELOPED RATE AS PER PENRITH COUNCIL GUIDELINES.  
 PRE-DEVELOPMENT FLOW LEAVING SITE = 0.303m<sup>3</sup>/s  
 POST-DEVELOPMENT FLOW LEAVING SITE = 0.238m<sup>3</sup>/s  
 ALL BUILDING DOWNPIPES ARE TO BE CONNECTED TO NEW STORMWATER DRAINAGE SYSTEM.

**RAINWATER HARVESTING NOTES**

AS PER PENRITH COUNCIL DEVELOPMENT CONTROL PLAN 2014 CHAPTER C3 - WATER MANAGEMENT, COMMERCIAL AND INDUSTRIAL, 80% OF NON POTABLE WATER SUPPLY TO BE SOURCED FROM NON-MAINS SUPPLY.  
 RAINWATER TANKS HAVE BEEN SIZED FOR EACH UNIT AND ARE A MINIMUM TANK SIZE TO SATISFY 80% OF NON POTABLE USE. NON-POTABLE USE INCLUDES WATER USED FOR GARDENS, LAUNDRY AND TOILET USE.  
 WATER USAGE RATES HAVE BEEN ADOPTED FROM SYDNEY WATER "AVERAGE DAILY WATER USE - BY PROPERTY TYPE", WHICH HAS BEEN COMPILED FROM WATER SUPPLY CODE OF AUSTRALIA, PB FLOW STUDY REPORT AND WATER USAGE SURVEYS. WATER USAGE RATES ADOPTED FOR THIS DEVELOPMENT WERE 2.48L/m<sup>2</sup> FLOOR AREA IN ACCORDANCE WITH A TYPICAL RETAIL UNIT. PERCENTAGE BREAKDOWN OF USAGE FOR NON POTABLE WATER IN ACCORDANCE WITH SYDNEY WATER USAGE RATES.  
 RAINFALL DATA WAS SOURCED FROM BUREAU OF METEOROLOGY FOR ERSKINE PARK AREA. RAINFALL DATA SAMPLED FROM THREE YEAR AVERAGE RAINFALL CONDITION. TANKS INITIALLY EMPTY.

RAINWATER TANK SIZE				
UNIT SIZE	USAGE	TANK WATER USAGE	MAINS WATER USAGE	MIN TANK SIZE REQUIRED
150m <sup>2</sup>	372	51700	9170	3000
225m <sup>2</sup>	558	82300	14000	5000
250m <sup>2</sup>	620	93400	14500	6000
300m <sup>2</sup>	744	111900	19400	7000
375m <sup>2</sup>	930	142000	24800	9000
80m <sup>2</sup> CAFE	199	30600	5100	2000

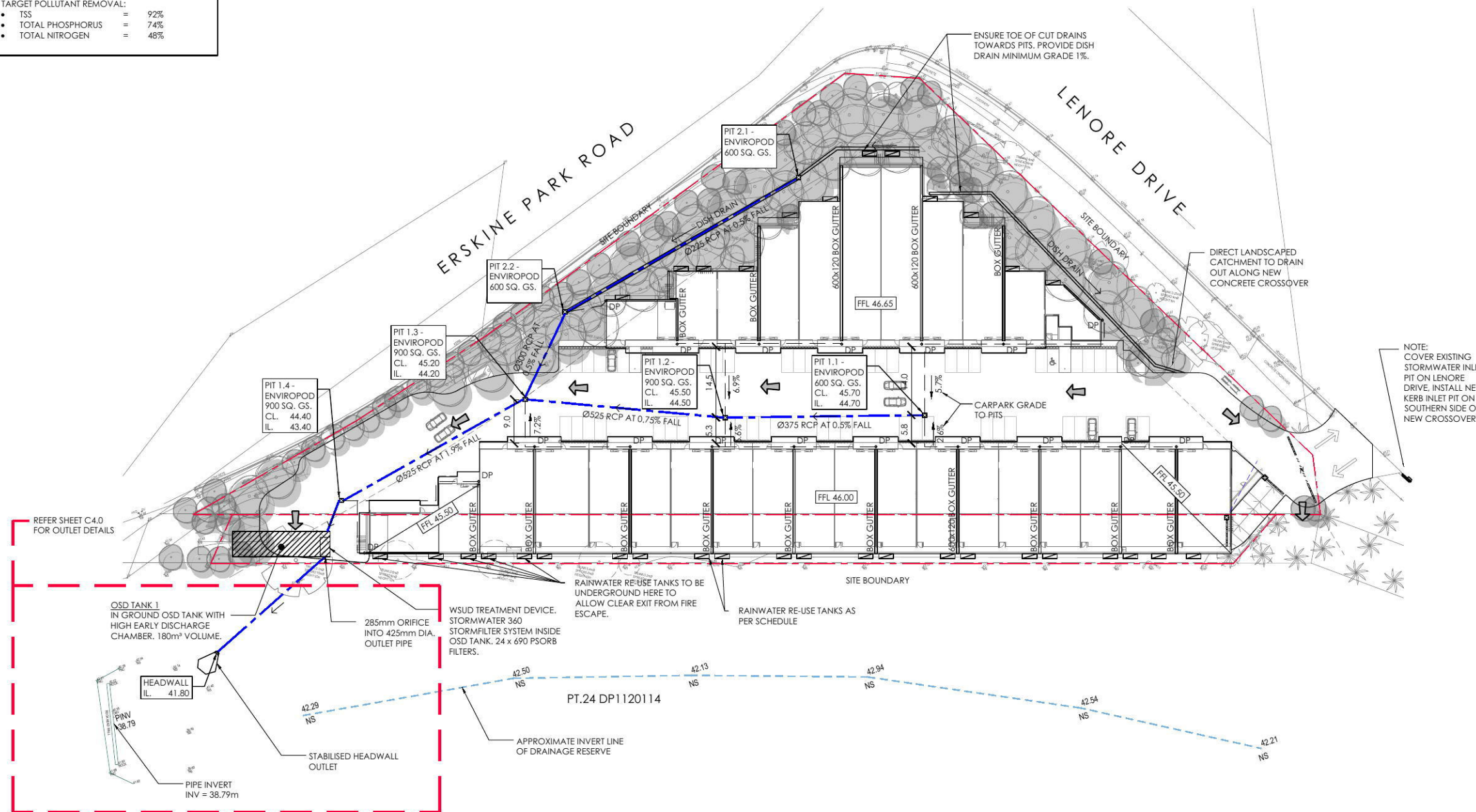
TANK WATER USAGE RATES SHOWN IN LITRES PER YEAR FOR NON POTABLE USE. MAINS WATER USED IN PERIODS OF DRY WEATHER WHEN TANK DOES NOT HAVE ENOUGH STORED WATER.

**WUSD NOTES**

WUSD DESIGN TO PENRITH COUNCIL GUIDELINES.  
 TARGET POLLUTANT REMOVAL:  
 • TSS = 92%  
 • TOTAL PHOSPHORUS = 74%  
 • TOTAL NITROGEN = 48%

**LEGEND**

SYMBOL	DESCRIPTION
—	STORMWATER PIPE @ 1.0% MIN U.N.O.
○ DP	UPVC DOWNPIPE
● IO	SURFACE INSPECTION OPENING
■ (GS)	(GS) GRATED SUMP (UNO)
■ (JB)	(JB) JUNCTION BOX (UNO)
—	CONCRETE HEADWALL
99.99	DESIGN LEVEL
TK.	TOP OF KERB
WT.	WATER TABLE
P.	PAVEMENT LEVEL
FL.	FINISHED LEVEL
CL.	COVER LEVEL
IL.	INVERT LEVEL
FFL.	FINISHED FLOOR LEVEL
BL.	BENCH LEVEL EXISTING
EL.	SURFACE LEVEL
TRW.	TOP OF RETAINING WALL
BRW.	BOTTOM OF RETAINING WALL
←	OVERLAND FLOWPATH
▭	RAINWATER RE-USE TANK EACH UNIT REFER SCHEDULE



NOTE: COVER EXISTING STORMWATER INLET PIT ON LENORE DRIVE. INSTALL NEW KERB INLET PIT ON SOUTHERN SIDE OF NEW CROSSOVER

STATUS	DATE	ISSUE BY
IFA - REVISED ARCH. SURVEY	12.03.19	E J.D.
ISSUED FOR APPROVAL	04.02.19	D J.D.
ISSUED FOR APPROVAL	13.11.18	C J.D.
ISSUED FOR APPROVAL	20.03.18	B J.D.
ISSUED FOR APPROVAL	30.07.19	F J.D.
AMENDMENTS	DATE	ISSUE BY

**ISSUED FOR APPROVAL**



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 PO BOX A203, SYDNEY SOUTH, NSW 1235  
 SYDNEY | ADELAIDE | BAROSSA | DARWIN | MUDGEE

ARCHITECT  
**HY CHENG**  
 ARKEXPRESS DESIGN PTY LTD  
 PO BOX 6213  
 CANLEY VALE NSW 2166  
 CLIENT  
**FRANK NICHOLAS**

PROJECT  
**PROPOSED DEVELOPMENT**  
 1-23 LENORE DRIVE  
 ERSKINE PARK, NSW, 2759  
 DRAWING TITLE  
**CONCEPT STORMWATER PLAN**

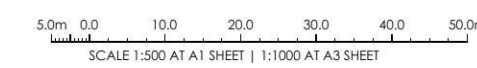
DRAWING No  
**TX13092.00 - C2.0**  
 ISSUE  
**F**

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NOTE:  
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**CONCEPT STORMWATER PLAN**  
 SCALE 1:500 AT A1

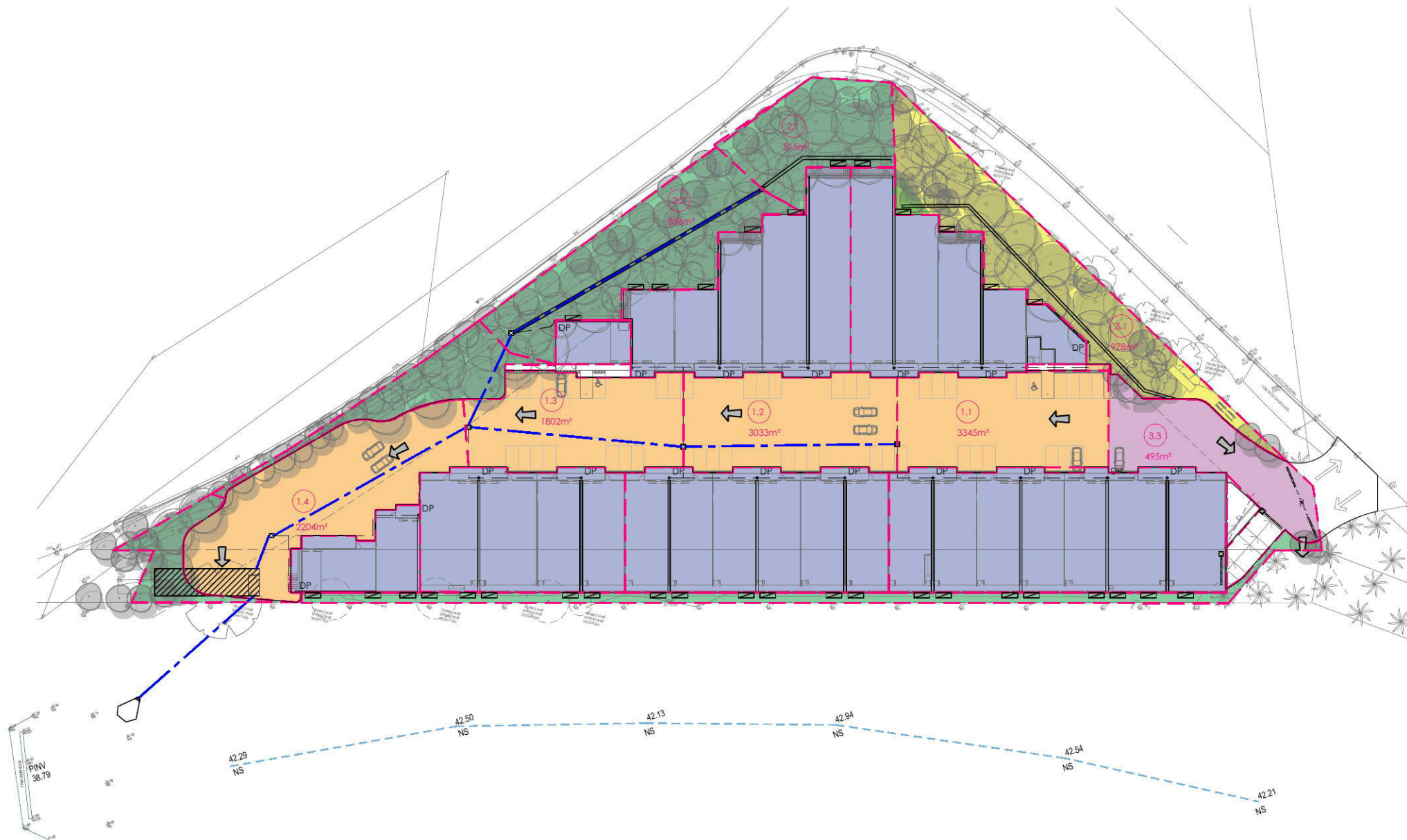


**STORMWATER NOTES**

TOTAL SITE AREA = 13351m<sup>2</sup>  
 ASSUMED PRE-DEVELOPMENT IMPERVIOUS AREA = 0m<sup>2</sup>  
 POST DEVELOPMENT IMPERVIOUS AREA = 10000m<sup>2</sup>  
 OSD VOLUME AS PER DRAINS MODEL (BASED ON WORST CASE STORM, COMBINED STORAGE VOL.) = 180m<sup>3</sup>  
 OSD DESIGNED TO REDUCE FLOWS TO PRE-DEVELOPED RATE AS PER PENRITH COUNCIL GUIDELINES.  
 PRE-DEVELOPMENT FLOW LEAVING SITE = 0.303m<sup>3</sup>/s  
 POST-DEVELOPMENT FLOW LEAVING SITE = 0.238m<sup>3</sup>/s  
 ALL BUILDING DOWNPIPES ARE TO BE CONNECTED TO NEW STORMWATER DRAINAGE SYSTEM.

**LEGEND**

SYMBOL	DESCRIPTION
	SUB-CATCHMENT AREA
	ROOF CATCHMENT
	IMPERVIOUS CATCHMENT
	PERVIOUS CATCHMENT
	PERVIOUS CATCHMENT BYPASSING OSD
	IMPERVIOUS CATCHMENT BYPASSING OSD
	OVERLAND FLOWPATH
	RAINWATER RE-USE TANK EACH UNIT REFER SCHEDULE



ISSUED FOR APPROVAL	DATE	BY
ISSUED FOR APPROVAL	30.08.19	C J.D.
IFA - REVISED ARCH. SURVEY	12.03.19	B J.D.
ISSUED FOR APPROVAL	13.11.18	A J.D.
AMENDMENTS	DATE	ISSUE BY
STATUS		

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 CANLEY VALE NSW 2166  
 CLIENT  
**FRANK NICHOLAS**

PROJECT  
**PROPOSED DEVELOPMENT**  
 1-23 LENORE DRIVE  
 ERSKINE PARK, NSW, 2759

DESIGNED	DRAWN	DATE	SIZE	CAD REF
J.D.	J.M.	13.11.18	A1	TX13092.00-C1.0

DRAWING TITLE  
**DEVELOPED SITE CATCHMENT PLAN**

DRAWING No  
**TX13092.00 - C2.1** ISSUE  
**C**

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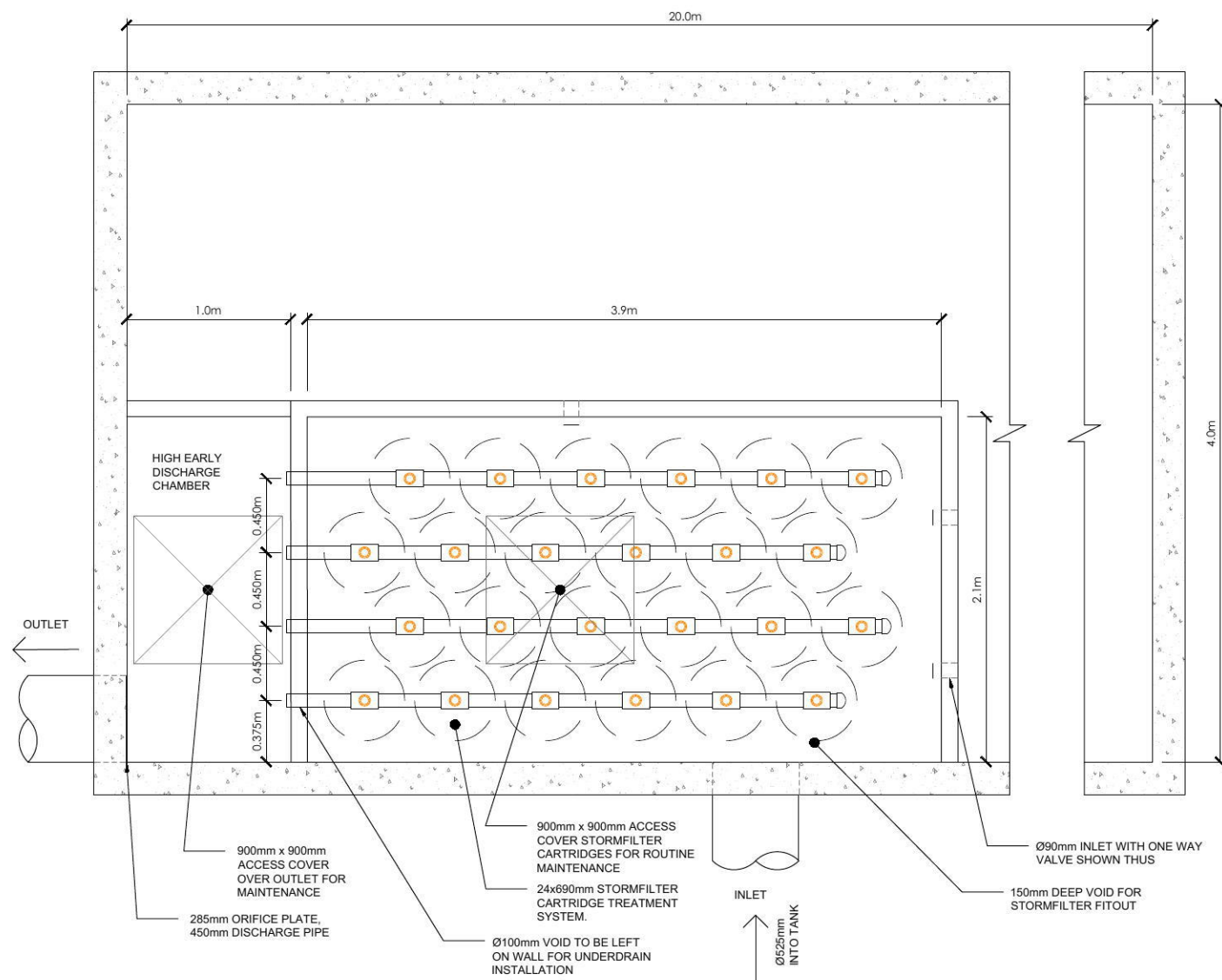
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**DEVELOPED SITE CATCHMENT PLAN**

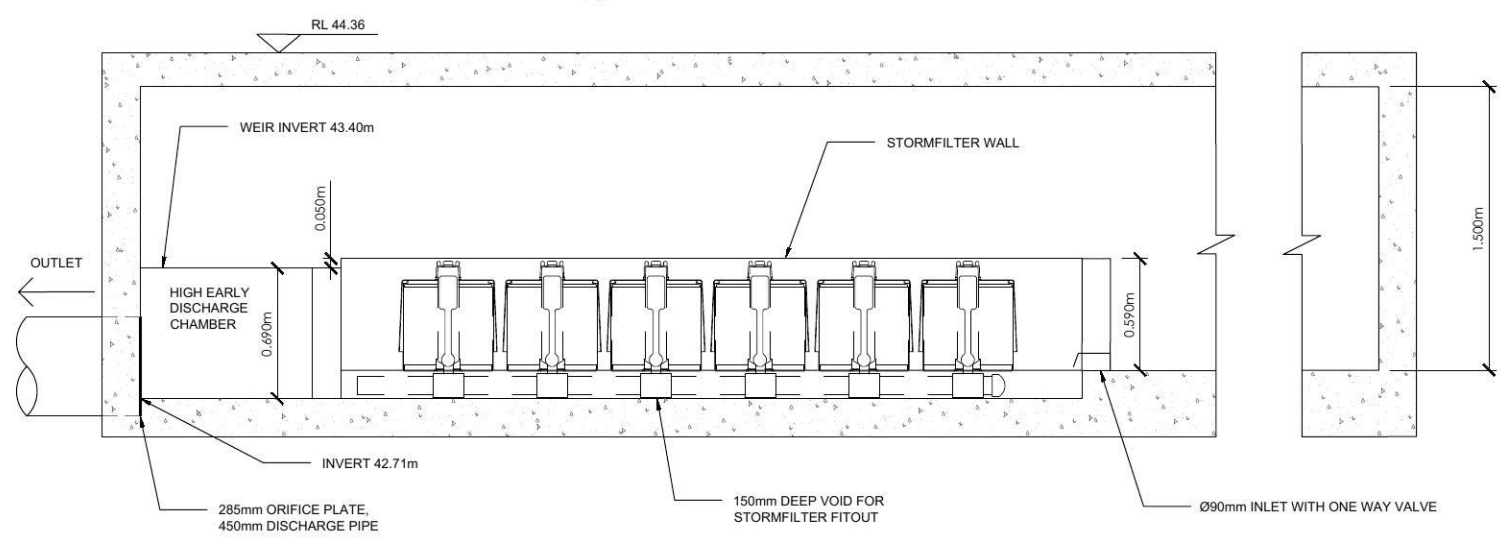
SCALE 1:500 AT A1

5.0m 0.0 10.0 20.0 30.0 40.0 50.0m  
 SCALE 1:500 AT A1 SHEET | 1:1000 AT A3 SHEET

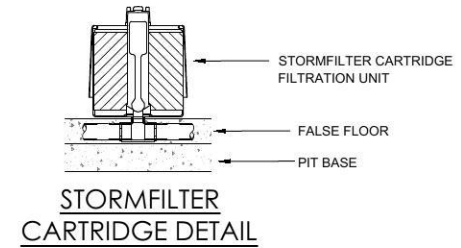




**O.S.D. TANK 1 PLAN**  
N.T.S.



**O.S.D. TANK 1 SECTION**  
N.T.S.



**STORMFILTER CARTRIDGE DETAIL**



ISSUED FOR APPROVAL	30.08.19	C	J.D.
ISSUED FOR APPROVAL	04.02.19	B	J.D.
ISSUED FOR APPROVAL	13.11.18	A	J.D.
AMENDMENTS	DATE	ISSUE	BY
STATUS			

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ARCHITECT  
**HY CHENG**  
ARKEXPRESS DESIGN PTY LTD  
PO BOX 6213  
CANLEY VALE NSW 2166  
CLIENT  
**FRANK NICHOLAS**

PROJECT  
**PROPOSED DEVELOPMENT**  
1-23 LENORE DRIVE  
ERSKINE PARK, NSW, 2759  
DESIGNED DRAWN DATE SIZE CAD REF  
J.D. J.M. 19.02.18 A1 TX13092.00-C1.0  
DRAWING TITLE  
**STORMWATER DETAILS**

DRAWING No  
**TX13092.00 - C2.2** ISSUE  
**C**

SYMBOL	DESCRIPTION
	STORMWATER PIPE @ 1.0% MIN U.N.O.
	uPVC DOWNPIPE
	SURFACE INSPECTION OPENING
	(GS) GRATED SUMP (UNO)
	(JB) JUNCTION BOX (UNO)
	CONCRETE HEADWALL
	DESIGN LEVEL
	TK. TOP OF KERB
	WT. WATER TABLE
	P. PAVEMENT LEVEL
	FL. FINISHED LEVEL
	CL. COVER LEVEL
	IL. INVERT LEVEL
	FFL. FINISHED FLOOR LEVEL
	BL. BENCH LEVEL EXISTING
	EL. SURFACE LEVEL
	TRW. TOP OF RETAINING WALL
	BRW. BOTTOM OF RETAINING WALL
	OVERLAND FLOWPATH
	RAINWATER RE-USE TANK EACH UNIT REFER SCHEDULE



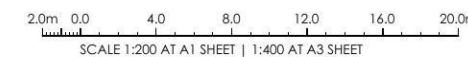
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**CONCEPT STORMWATER PLAN**  
SCALE 1:200 AT A1



ISSUED FOR APPROVAL	30.08.19	B	J.D.
ISSUED FOR APPROVAL	22.02.18	A	J.D.
AMENDMENTS	DATE	ISSUE	BY
STATUS			

**ISSUED FOR APPROVAL**



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ARCHITECT  
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ARKEXPRESS DESIGN PTY LTD  
PO BOX 6213  
CANLEY VALE NSW 2166  
CLIENT  
**FRANK NICHOLAS**

PROJECT  
**PROPOSED DEVELOPMENT**  
1-23 LENORE DRIVE  
ERSKINE PARK, NSW, 2759

DESIGNED	DRAWN	DATE	SIZE	CAD REF
J.D.	J.M.	27.07.19	A1	TX13092.00-C1.0

DRAWING TITLE  
**STORMWATER PLAN - OUTLET TREATMENT**

DRAWING No  
**TX13092.00 - C4.0**

ISSUE  
**B**

MSA

**NOTES**

THIS SURVEY HAS BEEN UNDERTAKEN FOR CONTOUR & DETAIL PURPOSES ONLY. THIS SURVEY IS NOT A LAND SURVEY WITH RESPECT TO THE SURVEYING AND SPATIAL INFORMATION ACT 2002. AS SUCH, NO ACCURATE INVESTIGATION INTO PROPERTY BOUNDARIES HAS BEEN MADE. THEREFORE ANY POSITION OF FEATURES AND STRUCTURES ARE APPROXIMATE ONLY. PARCEL BOUNDARY DIMENSIONS, BEARINGS AND AREAS HAVE BEEN ADOPTED FROM THE SUBJECT DEPOSITED PLAN AND HAVE NOT BEEN INVESTIGATED. ANY BEARING, DISTANCE, AREA, SETBACK OR OTHER DIMENSION MAY BE SUBJECT TO CHANGE WITH FURTHER INVESTIGATION AND LODGEMENT OF A PLAN AT THE LAND TITLES OFFICE.

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DETAIL FROM THE DRAWING. SURVEYOR MUST BE CONTACTED IF THERE ARE ANY DISCREPANCIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (A.H.D.) USING PM55834, R.L. 48.473m.

RIDGE & GUTTERS HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m

ADJOINING DWELLINGS, BUILDINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY.

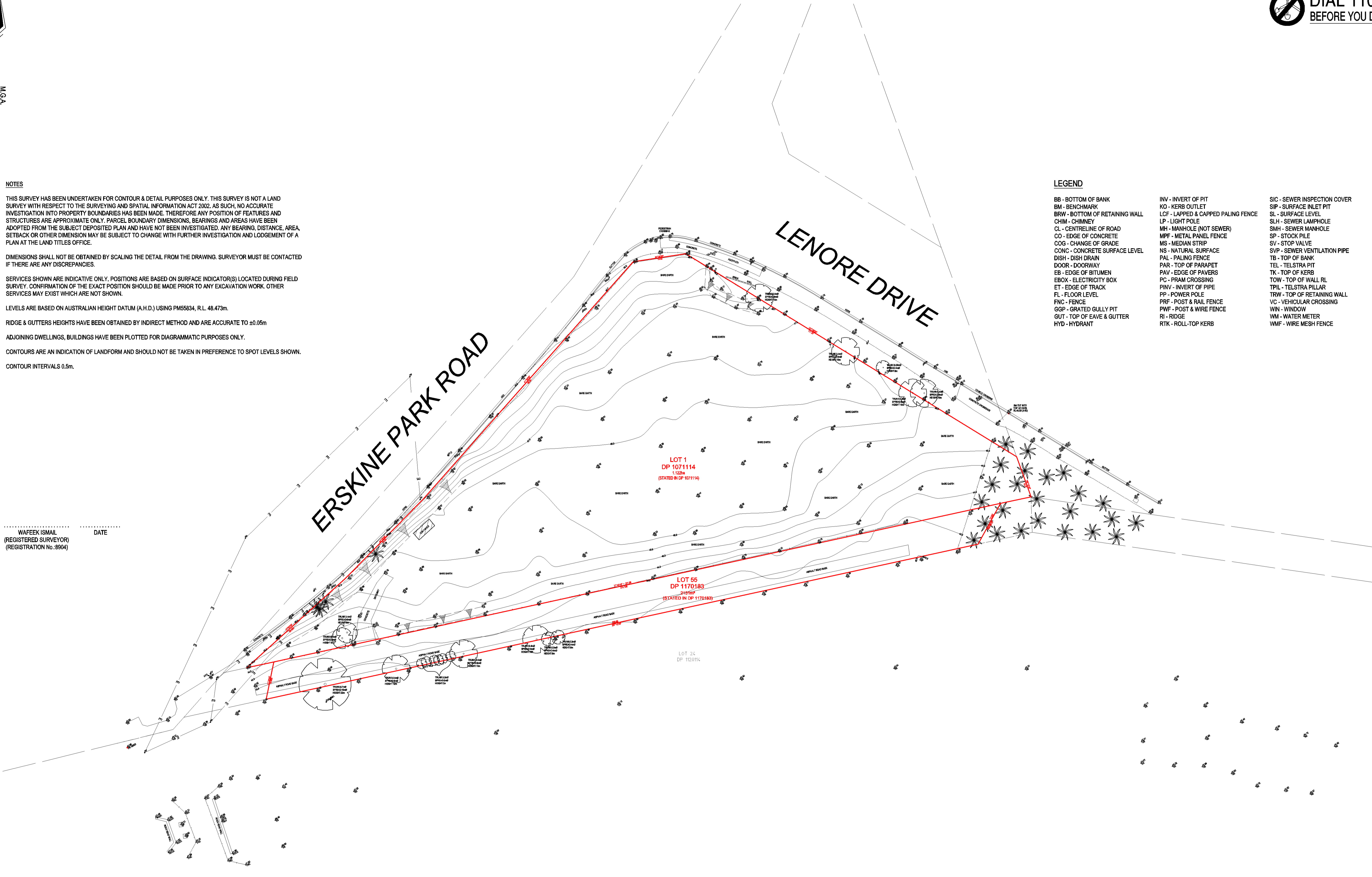
CONTOURS ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.

CONTOUR INTERVALS 0.5m.

**LEGEND**

- |                                |                                    |                              |
|--------------------------------|------------------------------------|------------------------------|
| BB - BOTTOM OF BANK            | INV - INVERT OF PIT                | SIC - SEWER INSPECTION COVER |
| BM - BENCHMARK                 | KO - KERB OUTLET                   | SIP - SURFACE INLET PIT      |
| BRW - BOTTOM OF RETAINING WALL | LCF - LAPPED & CAPPED PALING FENCE | SL - SURFACE LEVEL           |
| CHIM - CHIMNEY                 | LP - LIGHT POLE                    | SLH - SEWER LAMPHOLE         |
| CL - CENTRELINE OF ROAD        | MH - MANHOLE (NOT SEWER)           | SMH - SEWER MANHOLE          |
| CO - EDGE OF CONCRETE          | MPP - METAL PANEL FENCE            | SP - STOCK PILE              |
| COG - CHANGE OF GRADE          | MS - MEDIAN STRIP                  | SV - STOP VALVE              |
| CONC - CONCRETE SURFACE LEVEL  | NS - NATURAL SURFACE               | SVP - SEWER VENTILATION PIPE |
| DISH - DISH DRAIN              | PAL - PALING FENCE                 | TB - TOP OF BANK             |
| DOOR - DOORWAY                 | PAR - TOP OF PARAPET               | TEL - TELSTRA PIT            |
| EB - EDGE OF BITUMEN           | PAV - EDGE OF PAVERS               | TK - TOP OF KERB             |
| EBX - ELECTRICITY BOX          | PC - PRAM CROSSING                 | TOW - TOP OF WALL RL         |
| ET - EDGE OF TRACK             | PINV - INVERT OF PIPE              | TPIL - TELSTRA PILLAR        |
| FL - FLOOR LEVEL               | PP - POWER POLE                    | TRW - TOP OF RETAINING WALL  |
| FNC - FENCE                    | PRF - POST & RAIL FENCE            | VC - VEHICULAR CROSSING      |
| GGP - GRATED GULLY PIT         | PWF - POST & WIRE FENCE            | WIN - WINDOW                 |
| GUT - TOP OF EAVE & GUTTER     | RI - RIDGE                         | WM - WATER METER             |
| HYD - HYDRANT                  | RTK - ROLL-TOP KERB                | WMF - WIRE MESH FENCE        |

WAFEEK ISMAIL  
(REGISTERED SURVEYOR)  
(REGISTRATION No. 8904)



NO	DATE	BY	INFORMATION
3	21-02-19	A.M.	ADDITIONAL LEVELS
2	27-07-17	A.M.	ADDED LOT 55 INFORMATION
1	28-12-16	B.M.	INITIAL ISSUE

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email: info@osumcorporation.com  
phone: (02) 8283 7016  
mobile: 0400 512 716

LOCAL GOVERNMENT AREA	SURVEYED BY	DATE OF SURVEY	CLIENT
PENRITH	A.M.	20-12-16	ARKEXPRESS
SCALE	DRAWN BY	DATE DRAWN	
1 : 500 @ A1	A.M.	21-02-19	

PROJECT TITLE	CAD REFERENCE
1-23 LENORE DR & ERSKINE PARK RD, ERSKINE PARK	C:\150928-428C.dwg
DRAWING TITLE	DRAWING NO
PLAN SHOWING LEVELS & DETAIL	150928-428C
	SHEET
	1 OF 1
	REV
	3