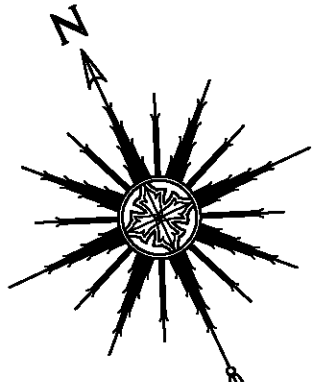
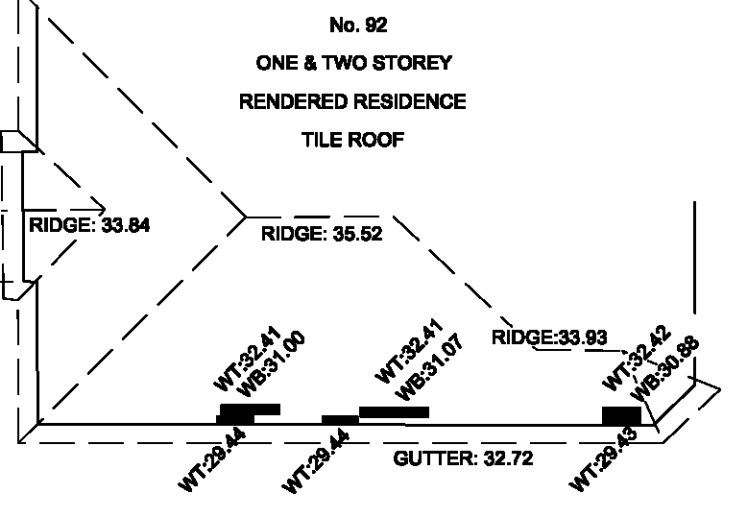




DIAL BEFORE YOU DIG SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION ON SITE

LOT 5 DP 38628

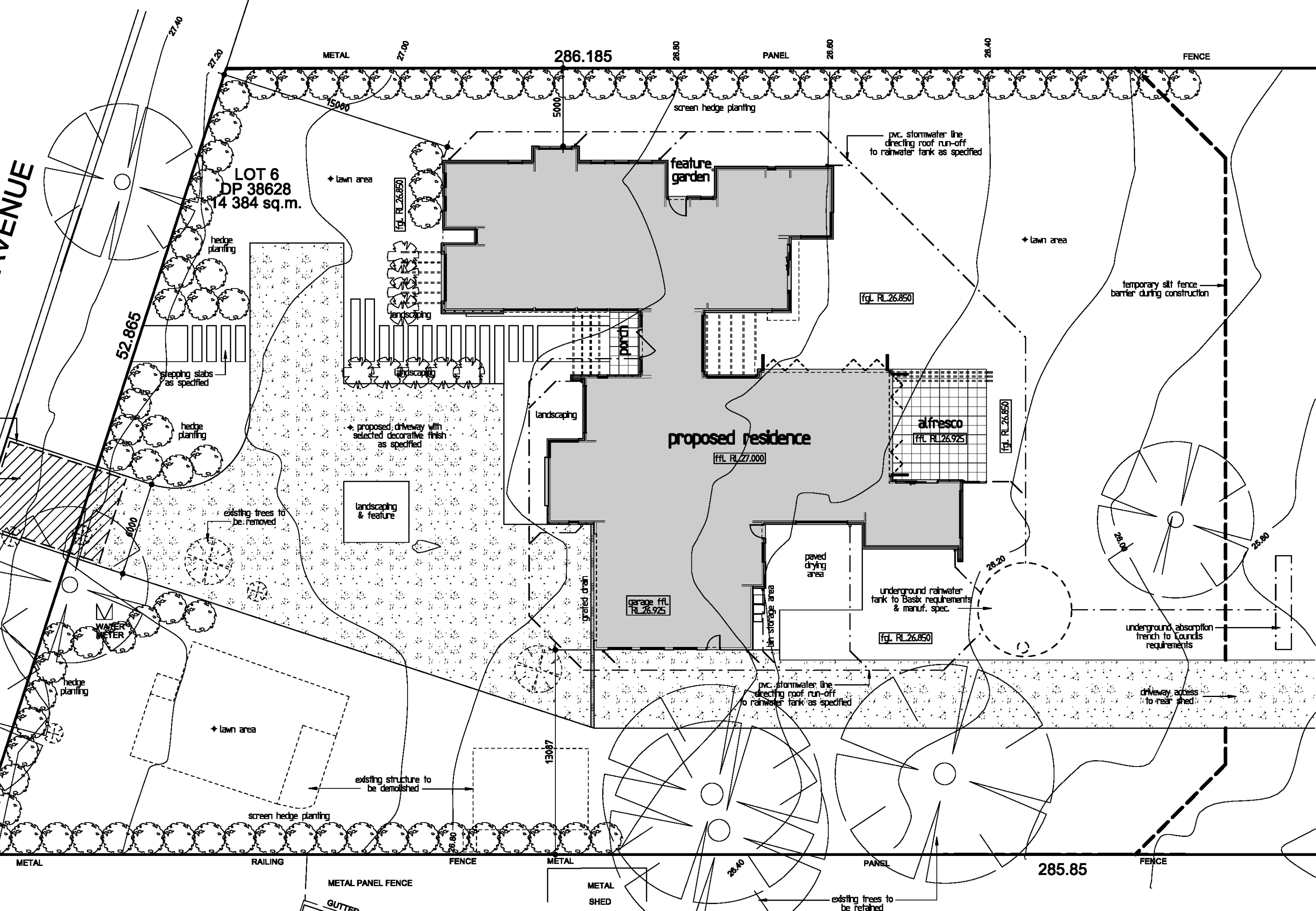


- SPECIFICATION NOTES
- The development will be completed in accordance with the requirements of Volume 2 of the National Construction Code series - Building Code of Australia (BCA) 2019.
- Gutters including box gutters and downpipes are to be in accordance with Clause 35.3 of Volume 2 of the BCA. Downpipes are to be spaced at intervals not exceeding 12 metres and the guttering should be provided with a provision for overflow if located greater than 1.2m from a valley.
- All wet areas are to be provided with floor wastes in accordance with the BCA. Landings where required are to be in accordance with Clause 3.9.15 of the BCA.
- All windows are to be provided with an appropriate means of restriction in accordance with Part 3.9.2.6 of Volume 2 of the BCA.
- All stairs are to have a finish that will meet the requirements of Clause 3.9.14 of Volume 2 of the BCA.
- All wall studs will be serviced by a handrail in accordance with the requirements of Clause 3.9.2.3 of Volume 2 of the BCA.
- All internal stairs are to be provided with a handrail to at least one side in accordance with Clause 3.9.2.3 of Volume 2 of the BCA.
- All balustrades serving the development will meet the requirements of Clause 3.9.2.3 of Volume 2 of the BCA.
- All glass balustrades must comply with Section 7 of AS1288-2006 - Engineer to certify.
- Brick parapet construction to be in accordance with Clause 3.3.12 of Volume 2 of the BCA.
- All parapet coping will be completed in accordance with the requirements of Part 3.3.4.8 of Volume 2 of the BCA.
- All roof cladding is to be in accordance with AS1562.1.
- The swimming pool wastewater system is to discharge directly into sewer system. The swimming pool refiltration system and skimmer box are to meet the requirements of Part 3.10.10 of Volume 2 of the BCA and AS1926.3-2010.
- All selected external cladding systems are to comply with Part 3.5 of Volume 2 of the BCA.
- All slab on ground construction is to be provided with a 0.2 micron high impact vapour membrane as per the requirements of Clause 3.2.2.6 (NSW variation) of Volume 2 of the BCA.
- Refer to the Engineers drawings for details of the ventilation joints to be provided to the lintelwork in accordance with the requirements of Part 3.3.5.13 of Volume 2 of the BCA and associated standard AS4773.
- All timber framing will be completed in accordance with AS1684.2 or will utilise prefabricated units as per AS1720.5 in accordance with the requirements of Part 3.4.3.0 of Volume 2 of the BCA.
- The opening for any laundry chute provided to service each floor is to be located no less than 1 metre in height from the finished floor level.
- All mechanical ventilation systems are to have a flow rate of discharge that meets the requirements of Clause 3.8.7.3 & 3.8.7.4 of Volume 2 of the BCA.
- All smoke alarms are to be provided and installed in accordance with Part 3.7.5 of Volume 2 of the BCA.

LOT 6 DP 38628 4 384 sq.m.

LOT 7 DP 38628

site / drainage concept / erosion control / demolition plan 1:200 part landscape concept plan 1:200



BUILDING DESIGN SAFETY REPORT REFERENCE NOTE: YOUR ATTENTION IS DRAWN TO SHEET 4 OF THIS SET OF DRAWINGS. PLEASE REFER TO THE BUILDING DESIGN SAFETY REPORT. THESE NOTES ARE TO BE READ AND UNDERSTOOD BY THE OWNER OF THE DWELLING AND ALL INVOLVED DURING THE CONSTRUCTION, MAINTENANCE & DEMOLITION OF THE SUBJECT BUILDING.

- NOTE:
- stormwater to councils requirements.
- sewer to Sydney Water requirements.
- all ground lines are to be verified on-site by the builder.
- final location of buildings to be verified on-site by a registered surveyor.

calculations table with columns: floor area, -main floor, -porch, -alfresco, -total

CONSTRUCTION WITH BOUNDARIES: The development including but not limited to footings, walls, roof barge & guttering must be constructed wholly within the boundaries of the premises.

DEMOLITION NOTES: a) the development must be carried out in accordance with AS2601-2001. The Demolition of Structures, and b) run-off and erosion controls to prevent soil erosion, water pollution or the discharge of loose sediment on the land surrounding the development must be implemented by:

BUILDING DESIGN SAFETY REPORT

- 1. FALLS, SLIPS, TRIPS
a) WORKING AT HEIGHTS
b) SLIPPERY OR UNEVEN SURFACES
2. FALLING OBJECTS
3. TRAFFIC MANAGEMENT
4. SERVICES
5. MANUAL TASKS
6. HAZARDOUS SUBSTANCES
7. CONFINED SPACES
8. PUBLIC ACCESS
9. OPERATIONAL USE OF BUILDING
10. OTHER HIGH RISK ACTIVITY

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

Table with columns: issue, date, description. Includes entries for conceptual design draft and DA submission issue.

adan CREATIVE DESIGNS logo and contact information including address, phone, fax, email, and website.

client: Lot 6 in dp.38628, No.94-98 Nepean Avenue, Penrith

project description: Proposed Dwelling House. This drawing is the property of Adan Creative Designs. Reproduction, copying or use in part or whole without written permission is strictly prohibited.

NOTE:
all internal stairs are to have a slip resistance classification of P3 or R10 in accordance with BCA 3.3.14

NOTE:
stair riser heights are to be calculated and verified by the builder upon selection of final floor finishes

NOTE:
all internal doors and openings are to be 2400H unless noted otherwise

BUILDING DESIGN SAFETY REPORT REFERENCE NOTE:
YOUR ATTENTION IS DRAWN TO SHEET 1 OF THIS SET OF DRAWINGS. PLEASE REFER TO THE BUILDING DESIGN SAFETY REPORT. THESE NOTES ARE TO BE READ AND UNDERSTOOD BY THE OWNER OF THE DWELLING AND ALL INVOLVED DURING THE CONSTRUCTION, MAINTENANCE & DEMOLITION OF THE SUBJECT BUILDING.

windows						
label	qty.	description	window ID	notes	height	width
(A)	6	sl. fr. awning window	AMS-007-28A		215	2400
(B)	1	sl. fr. awning window	AMS-007-28A		215	2400
(C)	1	sl. fr. awning/window	AMS-007-28A		315	1800
(D)	1	sl. fr. awning/window	AMS-007-28A		215	600
(E)	1	sl. fr. awning/window	AMS-007-28A		215	600
(F)	1	sl. fr. fixed window	AMS-007-28A		215	2400
(G)	2	sl. fr. fixed window	AMS-007-28A		215	3040
(H)	1	sl. fr. glass pivot door	ALM-001-01A		215	3040
(I)	2	sl. fr. awning window	AMS-007-28A - large		215	2400
(J)	1	sl. fr. fixed window	AMS-064-03A		215	700
(K)	1	sl. fr. awning/window	AMS-007-28A		215	2400
(L)	1	sl. fr. awning/window	AMS-007-28A		215	2400
(M)	3	sl. fr. awning window	ALM-001-01A		150	600
(N)	1	sl. fr. glass entry door - right hinged	ALM-001-01A		150	2400
(O)	1	sl. fr. glass entry door - right hinged	ALM-001-01A		215	1350
(P)	1	sl. fr. glass entry door - right hinged	ALM-001-01A		215	2400
(Q)	1	sl. fr. fixed window	AMS-007-28A		215	600
(R)	1	sl. fr. awning/window	AMS-007-28A		215	1500
(S)	1	sl. fr. sliding door - 2 panel	AMS-011-26A		215	2400
(T)	1	sl. fr. bi-fold door - 6 leaf	AMS-029-16A		215	2400
(U)	1	sl. fr. bi-fold door - 8 leaf	AMS-029-16A		215	2400
(V)	1	sl. fr. awning/window	AMS-007-28A		215	3040
(W)	1	sl. fr. awning/window	ALM-001-01A		215	3040
(X)	1	sl. fr. fixed window	AMS-064-03A		215	2400
(Y)	1	sl. fr. stacker sliding door - 3 panel	AMS-011-26A		215	2400
(Z)	1	sl. fr. fixed window	AMS-007-28A		215	2400
(AA)	1	sl. fr. awning window	AMS-007-28A		215	2400
(AB)	1	sl. fr. awning window	AMS-007-28A		215	2400
(AC)	1	sl. fr. glass entry door - left hinged	ALM-001-01A		215	2400
(AD)	1	sl. fr. awning/window	ALM-001-01A		215	1500
Total:	39					

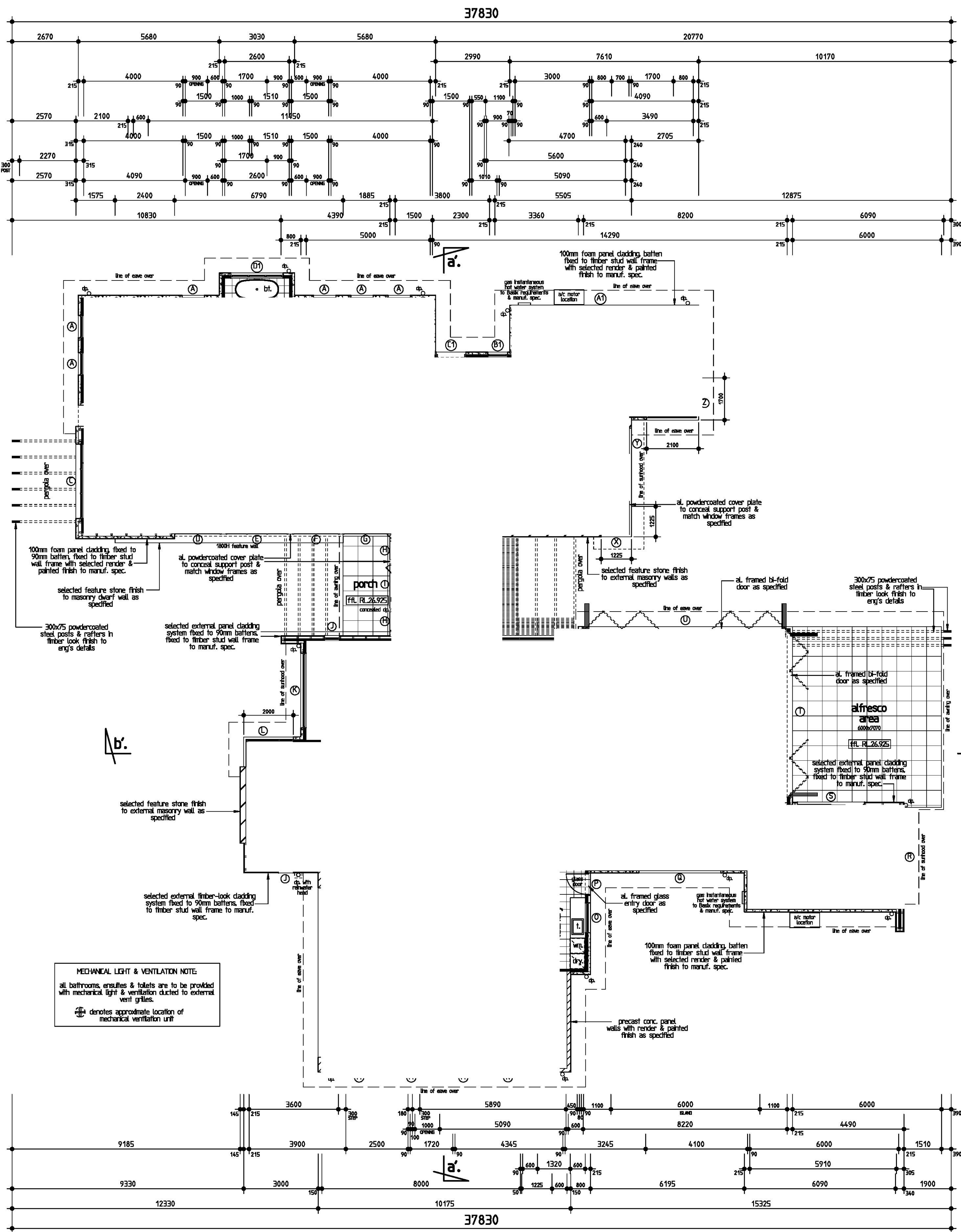
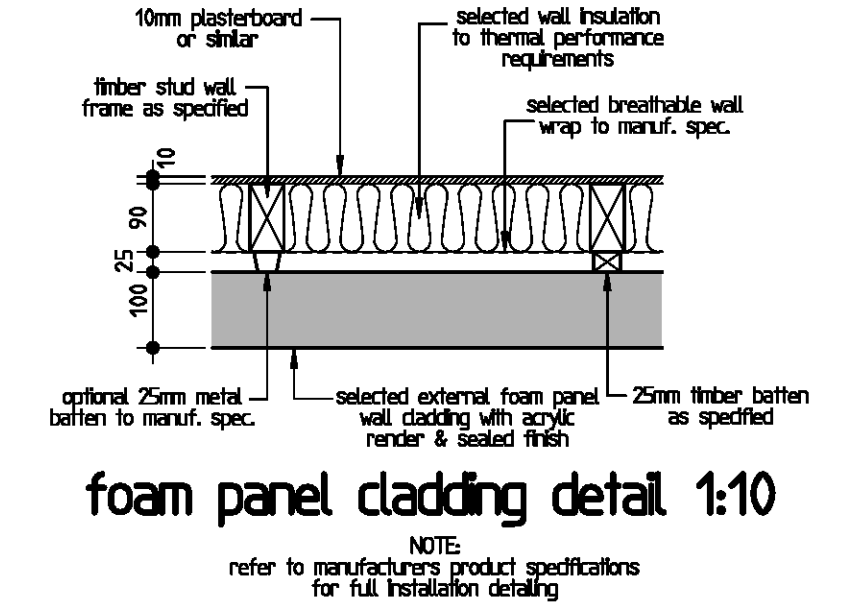
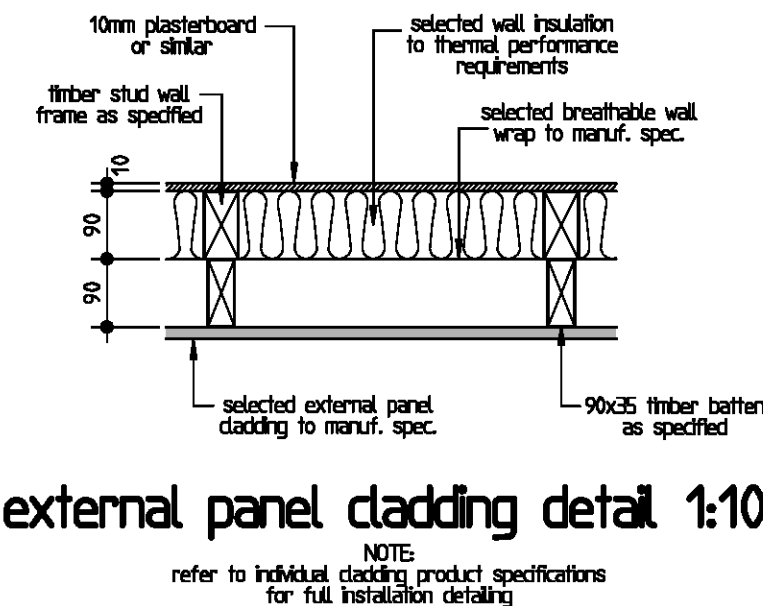
NOTE:
all window sizes are nominal and are to be verified on-site by the selected window manufacturer.
see appended NERS certificate for window frame and glazing requirements
sliding bi-fold window schedule indicates window that require either approved fixed glazing or reinforced concrete window frame in order to meet the requirements of BCA Clause 3.3.2.4 of Volume 2 of the BCA & AS1684.1-2002.

SPECIFICATION NOTES:

- The development will be completed in accordance with the requirements of Volume 2 of the National Construction Code series - Building Code of Australia (BCA) 2019.
- Chimneys (including box gutters) & gables are to be in accordance with Clause 3.3.3 of Volume 2 of the BCA. Chimneys are to be spaced at intervals not exceeding 12 metres and the guttering should be provided with a provision for overflow in located greater than 12m from a wall.
- All wall areas are to be provided with floor wastes in accordance with the BCA.
- Landings where required are to be in accordance with Clause 3.9.15 of the BCA.
- All windows are to be provided with an appropriate means of restriction in accordance with Part 3.9.2.6 of Volume 2 of the BCA.
- All stairs are to have a finish that will meet the requirements of Clause 3.9.14 of Volume 2 of the BCA.
- All walled stairs will be serviced by a handrail in accordance with the requirements of Clause 3.9.2.3 of Volume 2 of the BCA.
- All internal stairs are to be provided with a handrail to at least one side in accordance Clause 3.9.2.3 of Volume 2 of the BCA.
- All balustrades servicing the development will meet the requirements of Clause 3.9.2.3 of Volume 2 of the BCA.
- All glass balustrades must comply with Section 7 of AS1288-2006 - Engineer to certify.
- Brick parapet construction to be in accordance with Clause 3.3.1.2 of Volume 2 of the BCA.
- All parapet capping will be completed in accordance with the requirements of Part 3.5.4.8 of Volume 2 of the BCA.
- All roof cladding is to be in accordance with AS1562.1
- The swimming pool wastewater system is to be connected directly into sewer system.
- The swimming pool filtration system and skimmer box are to meet the requirements of Part 3.10.1.0 of Volume 2 of the BCA and AS1225.3-2010.
- All selected external cladding systems are to comply with Part 3.5 of Volume 2 of the BCA.
- All slab on ground construction is to be provided with a 0.2 micron high impact vapour membrane as per the requirements of Clause 3.2.2.5 (NSW variation) of Volume 2 of the BCA.
- Refer to the Engineers drawings for details of the articulation joints to be provided to the building in accordance with the requirements of Part 3.3.5.13 of Volume 2 of the BCA and associated standard AS4773.
- All timber framing will be completed in accordance with AS1684.2 or will utilise prefabricated units as per AS1720.5 in accordance with the requirements of Part 3.4.3.0 of Volume 2 of the BCA.
- The opening for any laundry chute provided to service each floor is to be located no less than 1 metre in height from the finished floor level.
- All mechanical ventilation systems are to have a flow rate of discharge that meets the requirements of Clause 3.8.7.3 & 3.8.7.4 of Volume 2 of the BCA.
- All smoke alarms are to be provided and installed in accordance with Part 3.7.5 of Volume 2 of the BCA.

STRUCTURAL ENGINEERING NOTE:
The development including the dwelling swimming pool, retaining wall, etc. is to be constructed in accordance with an appropriately certified structural engineers design details issued and approved prior to commencement of construction.

CONSTRUCTION WITHIN BOUNDARIES:
The development including but not limited to footings, walls, roof barge & guttering must be constructed wholly within the boundaries of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates are to be provided and installed in accordance with Part 3.7.5 of Volume 2 of the BCA.



MECHANICAL LIGHT & VENTILATION NOTE:
all bathrooms, ensuites & toilets are to be provided with mechanical light & ventilation ducted to external vent grilles.
⊕ denotes approximate location of mechanical ventilation unit

NOTE:
Figured dimensions are to take preference over scaling.
All construction practices are to be in accordance with the current issue of the BCA, & all other relevant codes.
All details are to be thoroughly checked by the builder prior to the commencement of any site works. Any discrepancies are to be brought to the attention of ADAN CREATIVE DESIGNS at that time.
All plans are to be read in conjunction with supporting report documentation & other consultants details.

issue	date	description
a	11-01-21	CONCEPTUAL DESIGN DRAFT
b	03-03-21	DA SUBMISSION ISSUE

postal: 13 silver gum ave,
glenmore park, 2745
phone: (02) 47 026 020
fax: (02) 47 026 021
email:
daniel@adandesigns.com
www.adandesigns.com

adan
CREATIVE DESIGNS

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membership number:1119-10

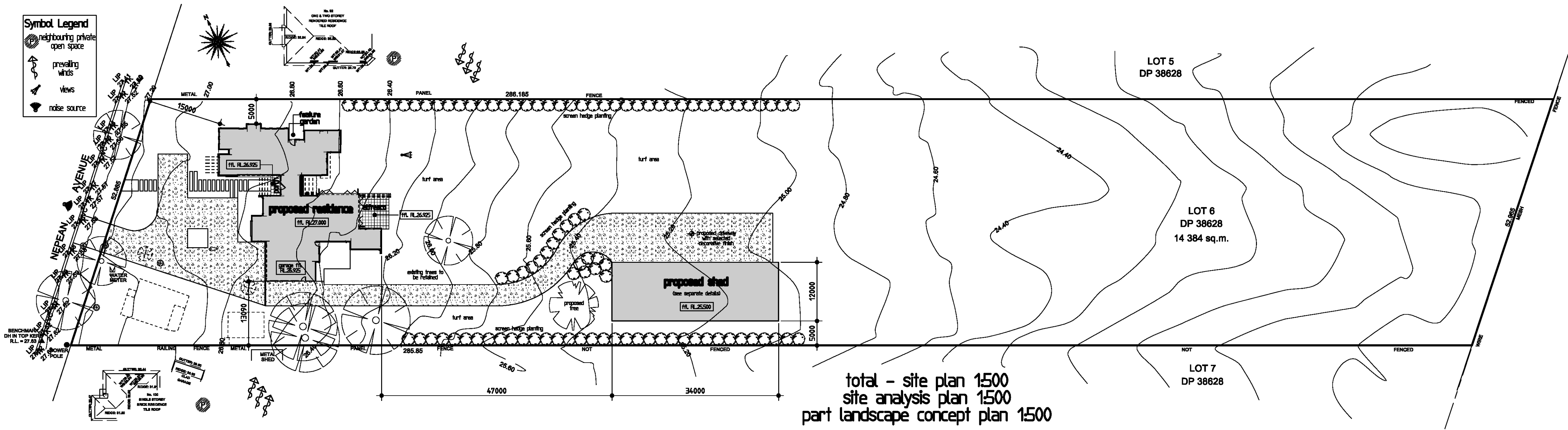
bdaa
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

client:
job address:
Lot 6 in dp.38628, No.94-98 Nepean Avenue, Penrith
builder:

project description:
Proposed Dwelling House
This drawing is the property of Adan Creative Designs. Reproduction, copying or use in part or whole without written permission is strictly prohibited. legal action will be taken against offenders.
Adan Creative Designs takes no responsibility for design similarities that may have been incurred.
sheet 2 of 4 drawing n. 2081-20Cb date: 03-03-2021

Symbol Legend

- neighbouring private open space
- prevailing winds
- views
- noise source



total - site plan 1500
 site analysis plan 1500
 part landscape concept plan 1500

SPECIFICATION NOTES:

- The development will be completed in accordance with the requirements of Volume 2 of the National Construction Code series - Building Code of Australia (BCA) 2019.
- Gutters (including box guttering) & downpipes are to be in accordance with Clause 3.5.3 of Volume 2 of the BCA. Downpipes are to be spaced at intervals not exceeding 12 metres and the guttering should be provided with a provision for overflow if located greater than 1.2m from a valley.
- All well areas are to be provided with floor wastes in accordance with the BCA.
- Landings where required are to be in accordance with Clause 3.9.1.5 of Volume 2 of the BCA.
- All windows are to be provided with an appropriate means of restriction in accordance with Part 3.9.2.2 of Volume 2 of the BCA.
- All stairs are to have a finish that will meet the requirements of Clause 3.9.1.4 of Volume 2 of the BCA.
- All wetted stairs will be serviced by a handrail in accordance with the requirements of Clause 3.9.2.3 of Volume 2 of the BCA.
- All internal stairs are to be provided with a handrail to at least one side in accordance with Clause 3.9.2.3 of Volume 2 of the BCA.
- All balustrades servicing the development will meet the requirements of Clause 3.9.2.3 of Volume 2 of the BCA.
- All glass balustrades must comply with Section 7 of AS1288-2006 - Engineer to certify.
- Brick parapet construction to be in accordance with Clause 3.3.1.2 of Volume 2 of the BCA.
- All parapet coping will be completed in accordance with the requirements of Part 3.3.4.8 of Volume 2 of the BCA.
- All roof cladding is to be in accordance with AS-1562.1.
- The swimming pool wastewater system is to backwash directly into sewer system.
- The swimming pool filtration system and skimmer box are to meet the requirements of Part 3.10.1.0 of Volume 2 of the BCA and AS-1926.3-2010.
- All selected external cladding systems are to comply with Part 3.5 of Volume 2 of the BCA.
- All slab on ground construction is to be provided with a 0.2 micron high impact repair membrane as per the requirements of Clause 3.2.2.6 (NSW variation) of Volume 2 of the BCA.
- Refer to the Engineers drawings for details of the articulation joints to be provided to the brickwork in accordance with the requirements of Part 3.3.5.13 of Volume 2 of the BCA and associated standard AS4773.
- All timber framing will be completed in accordance with AS-1694.2 or will utilize prefabricated units as per AS-1720.5 in accordance with the requirements of Part 3.4.3.0 of Volume 2 of the BCA.
- The opening for any laundry chute provided to service each floor is to be located no less than 1 metre in height from the finished floor level.
- All mechanical ventilation systems are to have a flow rate of discharge that meets the requirements of Clause 3.8.7.3 & 3.8.7.4 of Volume 2 of the BCA.
- All smoke alarms are to be provided and installed in accordance with Part 3.7.5 of Volume 2 of the BCA.

STRUCTURAL ENGINEERING NOTE

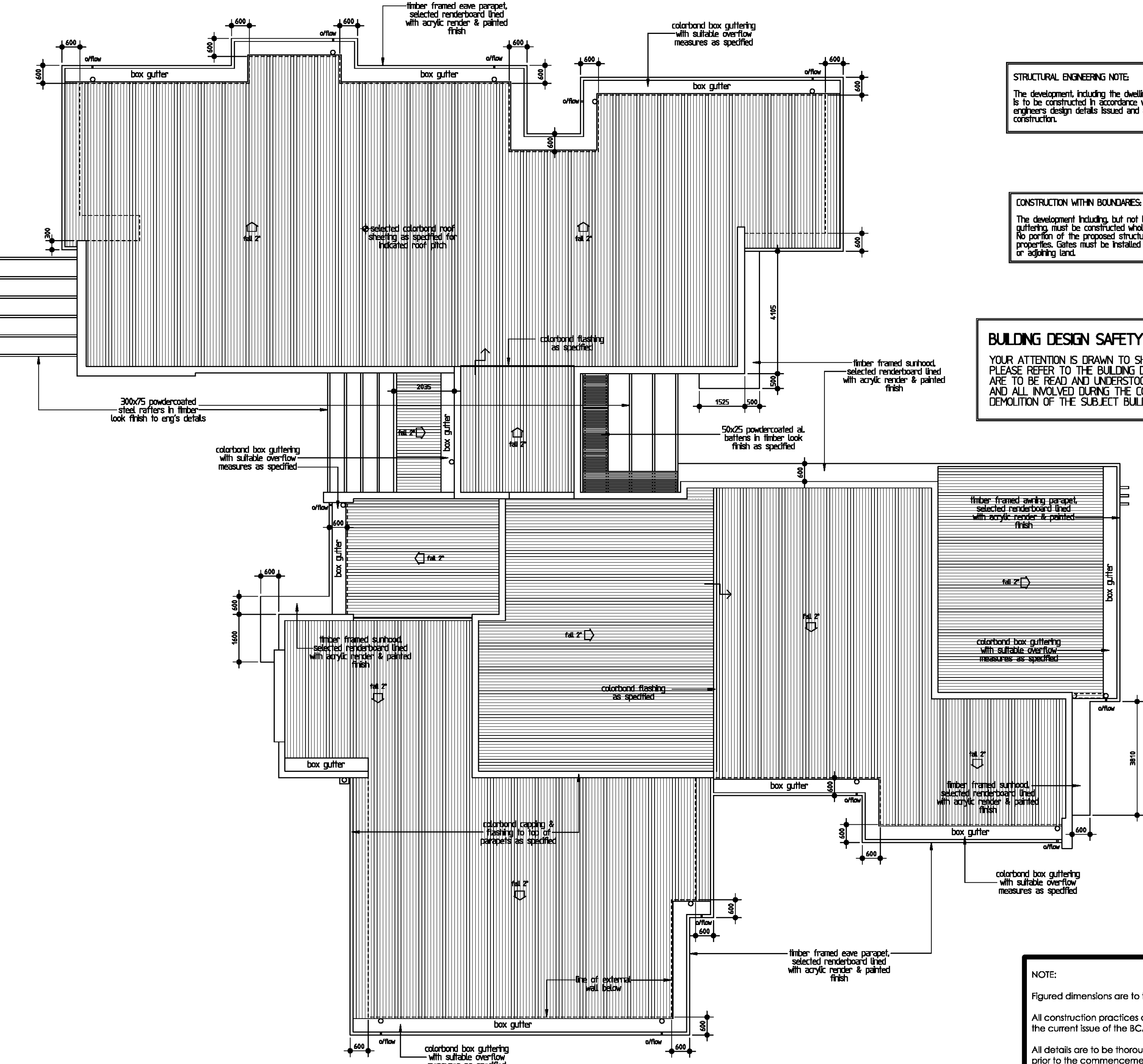
The development including the dwelling swimming pool, retaining wall, etc. is to be constructed in accordance with an appropriately certified structural engineers design details issued and approved prior to commencement of construction.

CONSTRUCTION WITHIN BOUNDARIES

The development including, but not limited to footings, walls, roof barge & gutters, must be constructed wholly within the boundaries of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

BUILDING DESIGN SAFETY REPORT REFERENCE NOTE:

YOUR ATTENTION IS DRAWN TO SHEET 1 OF THIS SET OF DRAWINGS. PLEASE REFER TO THE BUILDING DESIGN SAFETY REPORT. THESE NOTES ARE TO BE READ AND UNDERSTOOD BY THE OWNER OF THE DWELLING AND ALL INVOLVED DURING THE CONSTRUCTION, MAINTENANCE & DEMOLITION OF THE SUBJECT BUILDING.



roof plan 1:100



front perspective view nts.



rear perspective view nts.

NOTE:

Figured dimensions are to take preference over scaling.

All construction practices are to be in accordance with the current issue of the BCA, & all other relevant codes.

All details are to be thoroughly checked by the builder prior to the commencement of any site works. Any discrepancies are to be brought to the attention of ADAN CREATIVE DESIGNS at that time.

All plans are to be read in conjunction with supporting report documentation & other consultants details.

issue	date	description
a	11-01-21	CONCEPTUAL DESIGN DRAFT
b	03-03-21	DA SUBMISSION ISSUE

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 phone: (02) 47 026 020
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adan
 CREATIVE DESIGNS

adan creative designs is a member of:
 building designers association of australia.
 membership number: 1119-10

bdca
 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

client:
 job address:
**Lot 6 in dp.38628, No.94-98
 Nepean Avenue, Perth**
 builder:

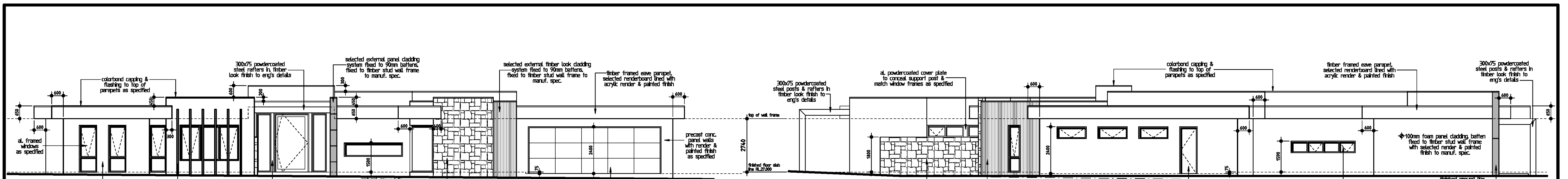
project description:
Proposed Dwelling House

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 Adan Creative Designs takes no responsibility for design similarities that may have been incurred.

sheet
4 of 4.

drawing n.
2081-20Cb

date:
03-03-2021

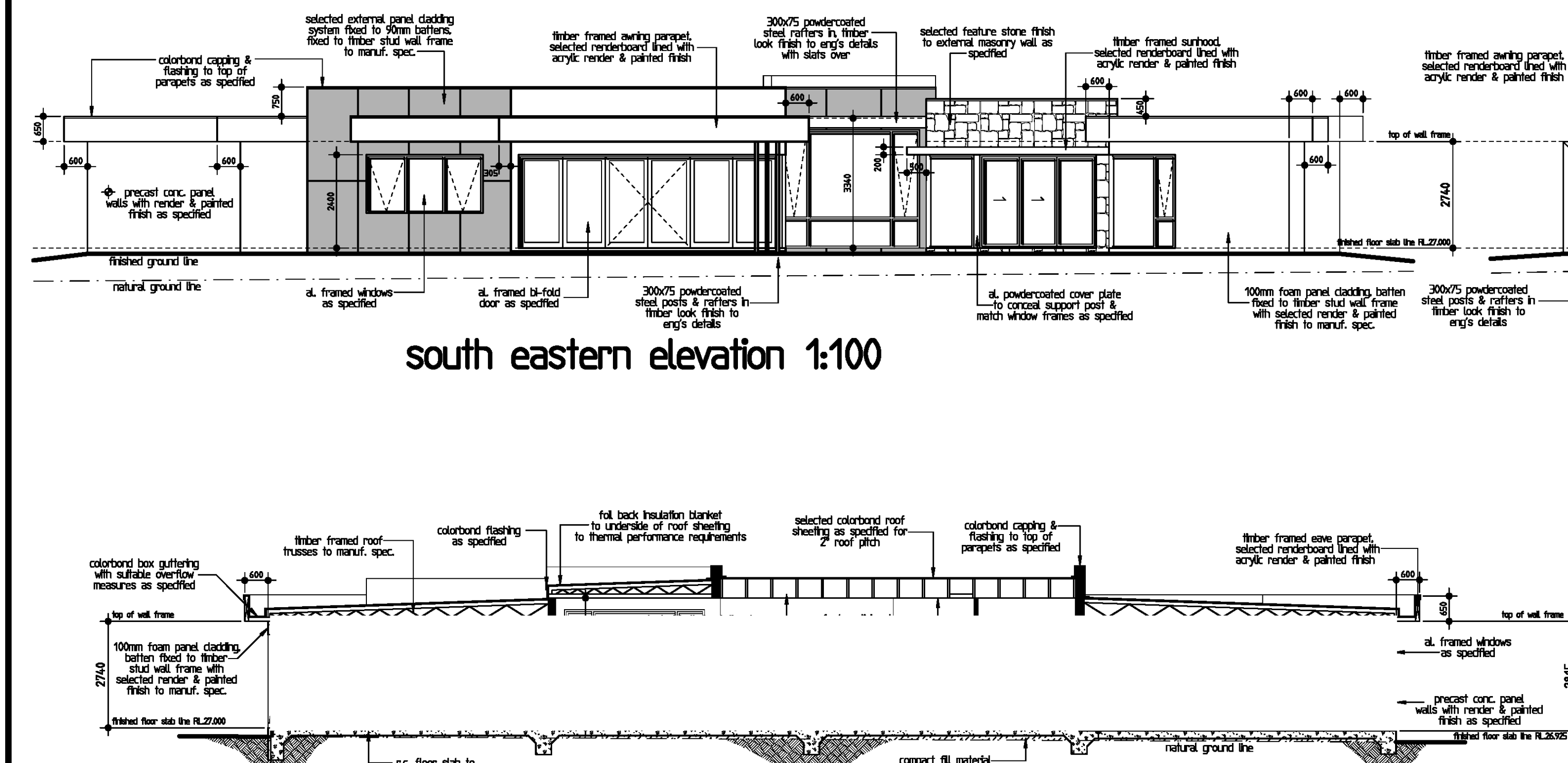


north western elevation 1:100

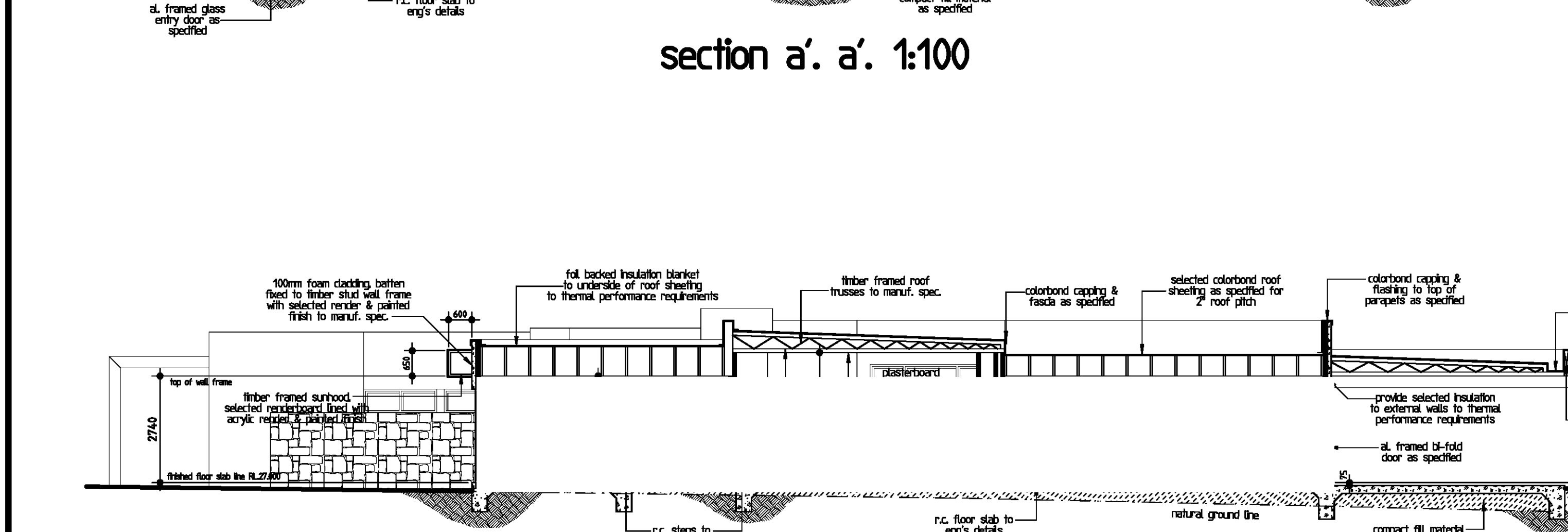
south western elevation 1:100

south eastern elevation 1:100

north eastern elevation 1:100



section a'. a'. 1:100



section b'. b'. 1:100

SPECIFICATION NOTES

- The development will be completed in accordance with the requirements of Volume 2 of the National Construction Code series - Building Code of Australia (BCA) 2019.
- Gutters (including box gutters) & downpipes are to be in accordance with Clause 3.5.3 of Volume 2 of the BCA. Downpipes are to be spaced at intervals not exceeding 12 metres and the guttering should be provided with a provision for overflow if located greater than 1.2m from a valley.
- All wall areas are to be provided with floor vesties in accordance with the BCA.
- Landings where required are to be in accordance with Clause 3.9.15 of the BCA.
- All windows are to be provided with an appropriate means of restriction in accordance with Part 3.9.2.6 of Volume 2 of the BCA.
- All stairs are to have a finish that will meet the requirements of Clause 3.9.14 of Volume 2 of the BCA.
- All walled stairs will be serviced by a handrail in accordance with the requirements of Clause 3.9.2.3 of Volume 2 of the BCA.
- All internal stairs are to be provided with a handrail to at least one side in accordance with Clause 3.9.2.3 of Volume 2 of the BCA.
- All balustrades servicing the development will meet the requirements of Clause 3.9.2.3 of Volume 2 of the BCA.
- All glass balustrades must comply with Section 7 of AS1288-2006 - Engineer to certify.
- Brick parapet construction to be in accordance with Clause 3.3.1.2 of Volume 2 of the BCA.
- All parapet capping will be completed in accordance with the requirements of Part 3.5.4.8 of Volume 2 of the BCA.
- All roof cladding is to be in accordance with AS1562.1.
- The swimming pool wastewater system is to backwash directly into sewer system.
- The swimming pool recirculation system and skimmer box are to meet the requirements of Part 3.10.10 of Volume 2 of the BCA and AS1926.3-2010.
- All selected external cladding systems are to comply with Part 3.5 of Volume 2 of the BCA.
- All slab on ground construction is to be provided with a 0.02 micron high impact vapour membrane as per the requirements of Clause 3.2.2.6 (NSW variation) of Volume 2 of the BCA.
- Refer to the Engineers drawings for details of the articulation joints to be provided to the brickwork in accordance with the requirements of Part 3.3.5.13 of Volume 2 of the BCA and associated standard AS4773.
- All timber framing will be completed in accordance with AS1684.2 or will utilize prefabricated units as per AS1720.5 in accordance with the requirements of Part 3.4.3.0 of Volume 2 of the BCA.
- The opening for any laundry chute provided to service each floor is to be located no less than 1 metre in height from the finished floor level.
- All mechanical ventilation systems are to have a flow rate of discharge that meets the requirements of Clause 3.8.7.3 & 3.8.7.4 of Volume 2 of the BCA.
- All smoke alarms are to be provided and installed in accordance with Part 3.7.5 of Volume 2 of the BCA.

BASIC/NEEDS Project Commitments

Proposed: Proposed Single Storey
Address: 84-88 Nepean Avenue, Penrith NSW
Lot No. / DP: 6/38623

Water	Specification
Shower Head Rating	4 star (3.0 bar to 6.0 l/min)
Toilet Rating	4 star
Kitchen Tap Rating	4 star
Bathroom Tap Rating	4 star
Alternative Water Details	
Medical Rehearsal Tank	20,000L
Thermal Comfort	20,000L
External Walls	Requirements
Rendered EPS	Wall Wrap, Glass fibre batt: R2.0
Lightweight Cladding	Wall Wrap, Glass fibre batt: R2.0
Stone Finish Masonry	Wall Wrap, Glass fibre batt: R2.0
Pre-Cast Concrete	NIL
Internal Walls	
Cavity Wall, Direct Fix Plasterboard	No insulation
Garage and Laundry Dividing Walls	Glass fibre batt: R2.0
Ceiling	
Plasterboard	Glass fibre batt: R4.1 (Excluding Garage and Laundry Ceiling)
Roof	
Sheet Metal Roof	Foil backed blanket under sheet metal roof
Fibres	
Waffle Pod Slab	NIL
Windows (Refer to BASINS Certificate for locations)	
Aluminium Frame - ALM-001-01 A	Single Glazed, Clear, U-value ≤ 6.7 and SHGC 0.58 - 0.60
Aluminium Frame - ALM-002-01 A	Single Glazed, Clear, U-value ≤ 6.7 and SHGC 0.66 - 0.74
Aluminium Frame - AWG-007-19 A	Single Glazed, 6.35mm Comfortplus Clear, U-value ≤ 4.9 and SHGC 0.50 - 0.56
Aluminium Frame - AWG-007-20 A	Single Glazed, Energy Tech Clear, U-value ≤ 4.92 and SHGC 0.51 - 0.57
Aluminium Frame - AWG-046-03 A	Single Glazed, 6.35mm Comfortplus Clear, U-value ≤ 5.91 and SHGC 0.59 - 0.65
Aluminium Frame - AWG-046-04 A	Single Glazed, Energy Tech Clear, U-value ≤ 4.97 and SHGC 0.57 - 0.63
Aluminium Frame - AWG-011-28 A	Single Glazed, 6.35mm Comfortplus Clear, U-value ≤ 4.66 and SHGC 0.47 - 0.51
Aluminium Frame - AWG-028-14 A	
Ceiling Fans	
900mm diameter	(1No.) To Theatre
1200mm diameter	(1No.) To Games
1200mm diameter	(1No.) To Family
1200mm diameter	(1No.) To Lounge
Downlights	
Sealed Downlight Covers	Sealed downlight covers to be used to all downlights where insulation is installed.
Energy	
Hot Water	Specification
Individual System	Gas instantaneous
Gas instantaneous	6 star
Ventilation	
Bathroom Ventilation System (Main Bathroom Only)	Individual fan, ducted to terrace or roof (manual switch on/off)
Kitchen Ventilation System	Individual fan, ducted to terrace or roof (manual switch on/off)
Laundry Ventilation System	Natural ventilation only
Laundry Ventilation System	
Heating	
Individual Systems - Living Areas	3-phase air conditioning
Individual Systems - Bedroom Areas	3-phase air conditioning
Individual Systems - Living Areas	3-phase air conditioning
Individual Systems - Bedroom Areas	3-phase air conditioning
Individual Systems - Living Areas	3-phase air conditioning
Individual Systems - Bedroom Areas	3-phase air conditioning
Artificial Lighting	
Bedrooms/Study	3 No. Rooms
Living/Dining	3 No. Rooms
Kitchen	3 No. Rooms
Hallways	3 No. Rooms
Alternative Energy	
Photovoltaic System	Capacity of producing a minimum of 1kW peak electricity

BUILDING DESIGN SAFETY REPORT REFERENCE NOTE

YOUR ATTENTION IS DRAWN TO SHEET 1 OF THIS SET OF DRAWINGS. PLEASE REFER TO THE BUILDING DESIGN SAFETY REPORT. THESE NOTES ARE TO BE READ AND UNDERSTOOD BY THE OWNER OF THE DWELLING AND ALL INVOLVED DURING THE CONSTRUCTION MAINTENANCE & DEMOLITION OF THE SUBJECT BUILDING.

CONSTRUCTION WITHIN BOUNDARIES

The development including but not limited to footings, walls, roof barge & guttering must be constructed wholly within the boundaries of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

STRUCTURAL ENGINEERING NOTE

The development including but not limited to the dwelling, swimming pool, retaining wall, etc. is to be constructed in accordance with an appropriately certified structural engineers design details issued and approved prior to commencement of construction.

NOTE:

Figured dimensions are to take preference over scaling.

All construction practices are to be in accordance with the current issue of the BCA, & all other relevant codes.

All details are to be thoroughly checked by the builder prior to the commencement of any site works. Any discrepancies are to be brought to the attention of ADAN CREATIVE DESIGNS at that time.

All plans are to be read in conjunction with supporting report documentation & other consultants details.

issue	date	description
a	11-01-21	CONCEPTUAL DESIGN DRAFT
b	03-03-21	DA SUBMISSION ISSUE

adan
CREATIVE DESIGNS

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builder:

project description:
Proposed Dwelling House

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sheet	drawing no.	date:
4 of 4.	2081-20Cb	03-03-2021