

Disclaimer: This Contour Plan must be used in conjunction with the photographs and the Site Survey Report.

No As constructed services information was received for this plan at time of survey. Service line location undetermined.

- (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
- (B) EASEMENT TO DRAIN WATER 2.0 WIDE

DATE	DESCRIPTION	AM'T
31.07.2013	CERTIFIER RE-ISSUE	D
23.07.2013	CERTIFIER ISSUE	C
11.06.2013	CONTRACT ISSUE	B
		A

REVISIONS

G.L 35.500
CUT 530
FILL 480
F.L 35.925

SITE COVER
SITE AREA 375 m²
DWELLING 195 m²
SITE AREA 52.0 %

CONTOUR SURVEY PLAN

CLIENT: I. SMITH
SITE ADDRESS:
 Lot 2316 Patanga Crescent
 JORDAN SPRINGS

REAL PROPERTY DESCRIPTION

Lot: 2316
on: DP 1168993
Parish of: Londonderry
County of: Cumberland
Area: 375 m²
UBD Ref: Map - Ref -
Local Authority: Penrith C. C.
Contour Interval: 0.10m
Datum: -

LEGEND

- | | | |
|-------|----------------------|---------------------------|
| ○ LP | LIGHT POLE | — FENCE |
| ○ OP | ORIGINAL PEG | — ROCK RETAINING WALL |
| ▲ TBM | TEMPORARY BENCH MARK | — TIMBER RETAINING WALL |
| ○ PP | POWER POLE | — STORM WATER PIPE |
| □ F | FIRE HYDRANT | — GAS SUPPLY |
| □ A | AIR VALVE | — BARRIER KERB LINE |
| ○ S | SEWER MANHOLE | — SURVEY CONTROL MARK |
| □ R | ROOFWATER PIT | — STORMWATER MANHOLE |
| □ P | POWER BOX | — PERMANENT SURVEY MARK |
| ○ T | TELSTRA PIT | — GULLY GRATE |
| — C | CROSS-COVER | — WATER TAP/WATER/VALVE |
| — H | HEADWALL | — SIGN (AS SHOWN) |
| — S | SEWER LINE | — SW — STORMWATER LINE |
| — TOP | Top of Bank | — E — ELECTRIC POWER LINE |
| — TCE | Bottom of Bank | |

Disclaimer:
 The position of Fence Lines, Retaining Walls and other detail is indicative only and should not be relied upon as depicting the Boundary Lines. This is a plan of VISIBLE SERVICES ONLY. The location of pegs found have NOT BEEN CHECKED and as such should not be relied on as marking the corners of the lot. An Identification Survey should be carried out prior to any construction works.

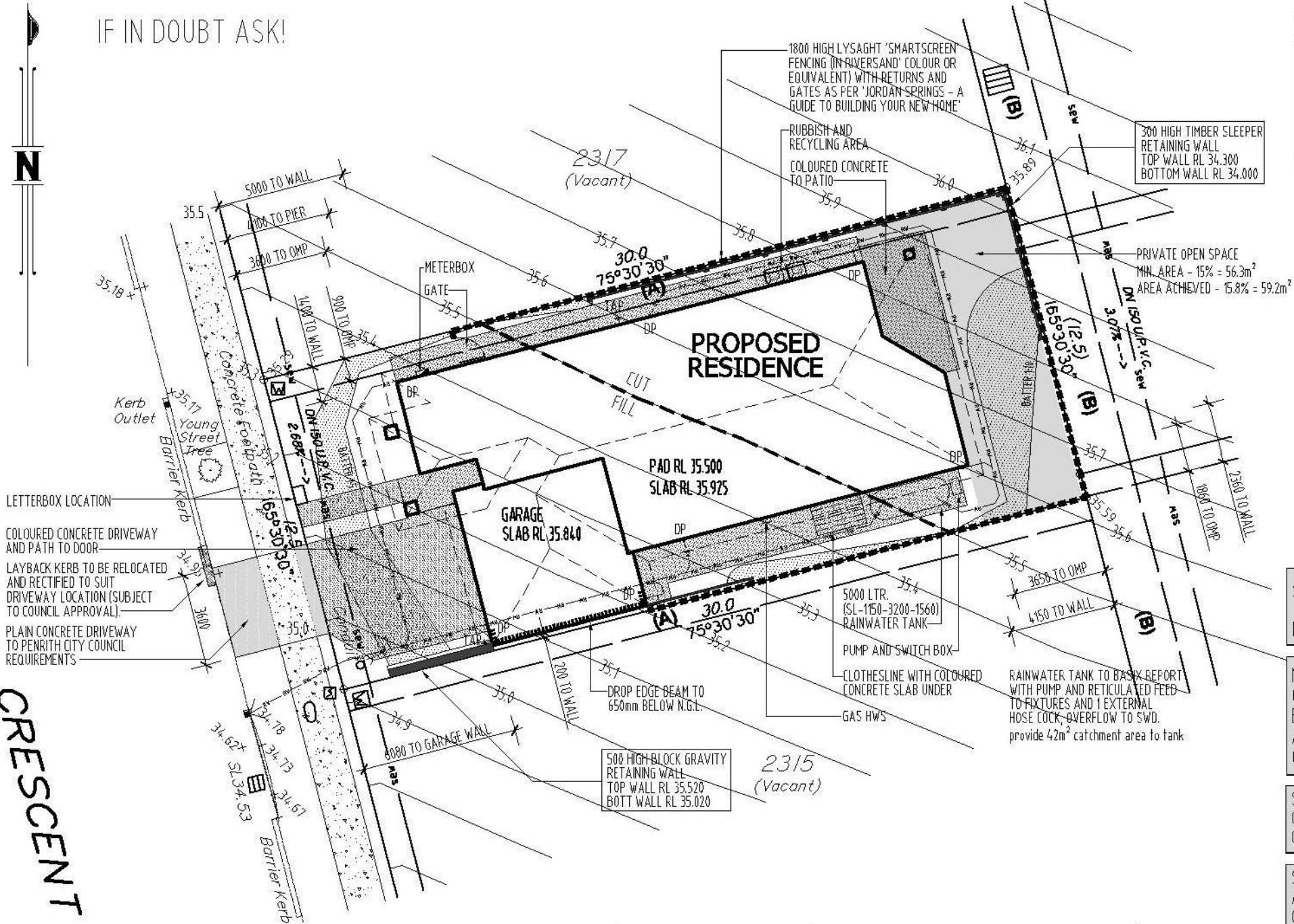


Level 1, 3350 Pacific Highway
 Springwood QLD 4127
 P. (07) 3290 1001 F. (07) 3290 1002
 E. admin@tribecahomes.com.au
 QBSA Lic. No. 1137696

A3 **SCALE: 1:200**
DATE DRAFTED: 12.07.2013

JOB NO. 2680C **PLAN NO. REV**
Sheet 1 of 10

IF IN DOUBT ASK!



SEWER LEVEL TBC
INVERT LEVEL TBC

NOTE: FINAL PAD LEVEL TO BE CONFIRMED ON SITE. SITE CUT & FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY DUE TO SITE AND SOIL CONDITIONS.

SEDIMENT CONTROL BARRIER AND CROSSOVER AS REQUIRED FOR CONSTRUCTION PURPOSES

STORMWATER TO FRONT KERB WITH APPROVED KERB ADAPTOR OR TO GULLY TRAP WHEN PROVIDED AT REAR

PROVIDE ABLE-FLEX OR SIMILAR APPROVED PRODUCT BETWEEN SLAB & ADJOINING SURFACE FINISH (TYP)

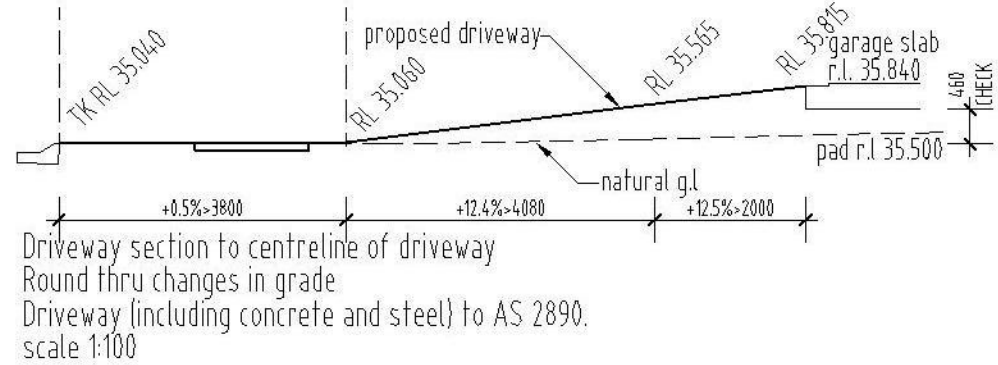
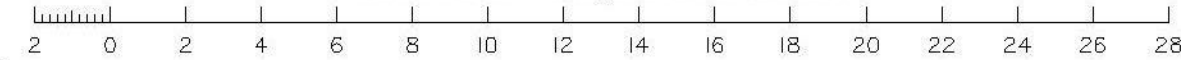
RAINWATER TANK/ STORMWATER NOTES:
 ALL STORMWATER PIPES TO BE CONNECTED IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS.

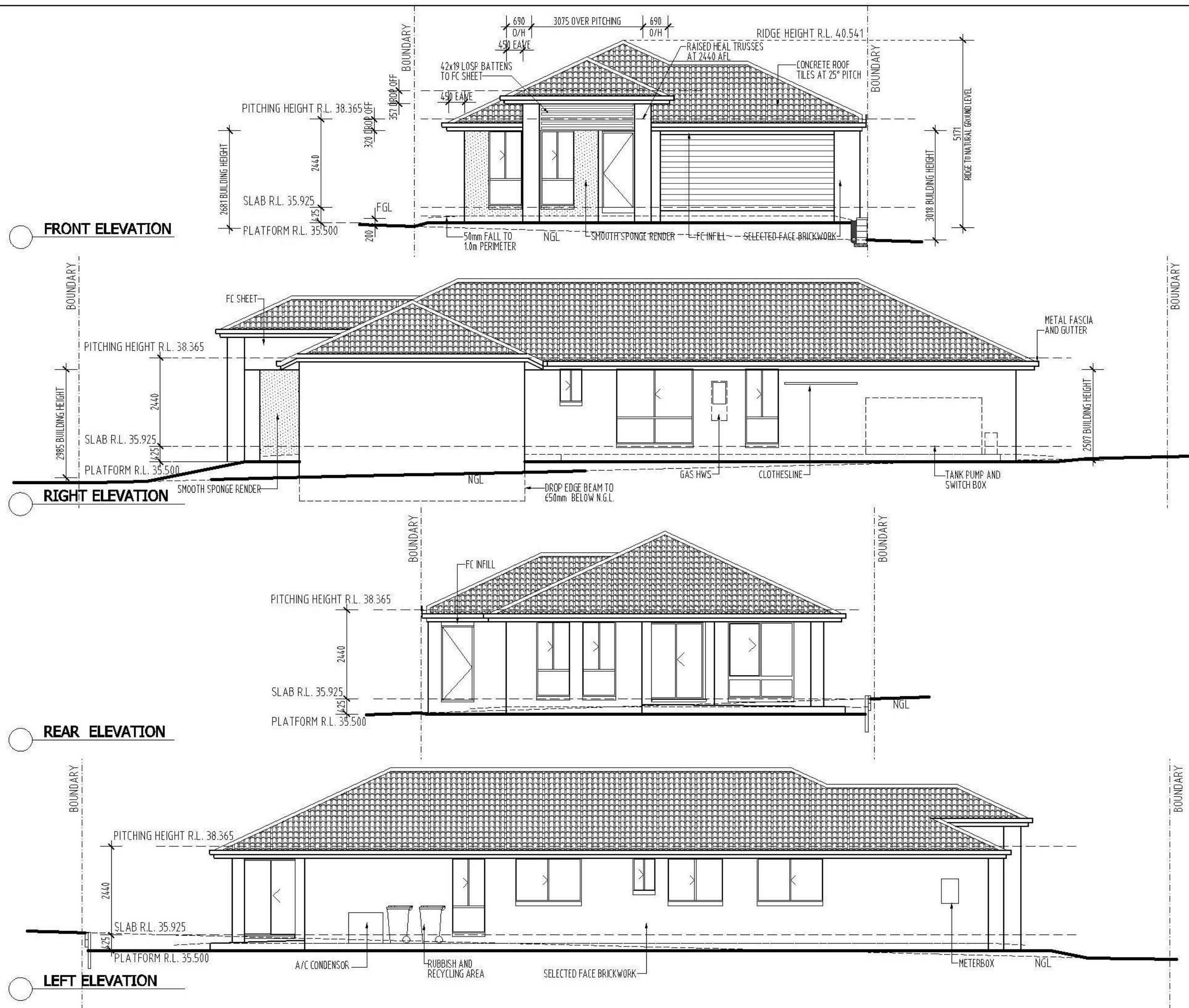
NOTE: TERMITE PROTECTION TO BE HOMEGUARD BLUE TERMITE SYSTEM AND PHYSICAL PROTECTION TO PENETRATIONS.

PATANGA CRESCENT

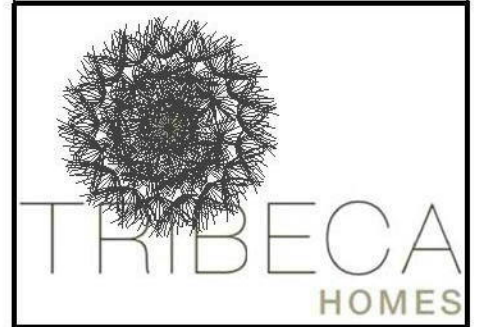
- RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND OVER ARE REQUIRED TO BE CONSTRUCTED OF, TEXTURED OR COLOURED MASONRY, BRICKS, BLOCKS OR CONCRETE INCLUDING RENDERING.
- ALL EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.
- GARDEN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF TEXTURED OR COLOURED MASONRY, BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED.

Scale 1:200 – Lengths are in Metres.





- GENERAL NOTES:
- CONCRETE CONSTRUCTION TO COMPLY WITH AS2870.1 AND AS3600.
 - TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF PART 3.1.3 OF THE NCC AND WITH AS3660.1
 - TIMBER CONSTRUCTION TO COMPLY WITH AS1684.
 - CONCRETE ROOFING TO COMPLY WITH AS1757 / AS2050
 - WET AREAS TO COMPLY WITH CLAUSE F17 OF THE NCC.
 - WEEPHOLES IN MASONRY WALLS AT 900 CTRS.
 - GLASS INSTALLATION TO COMPLY WITH AS1288 AND AS2047.
 - CONCRETE ROOF FIXED IN ACCORDANCE WITH THE MANUF'S SPECIFICATIONS FOR RELEVANT CONDITIONS.
 - PROVIDE ALCOR BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED.
 - VERTICAL ARTICULATION JOINTS TO COMPLY WITH THE PROVISIONS OF PART 3.3.1.8 OF THE NCC.



Level 1, 3350 Pacific Highway
 Springwood QLD 4127
 P. (07) 3290 1001 F. (07) 3290 1002
 E. admin@tribecahomes.com.au
 QBSA Lic. No. 1137696

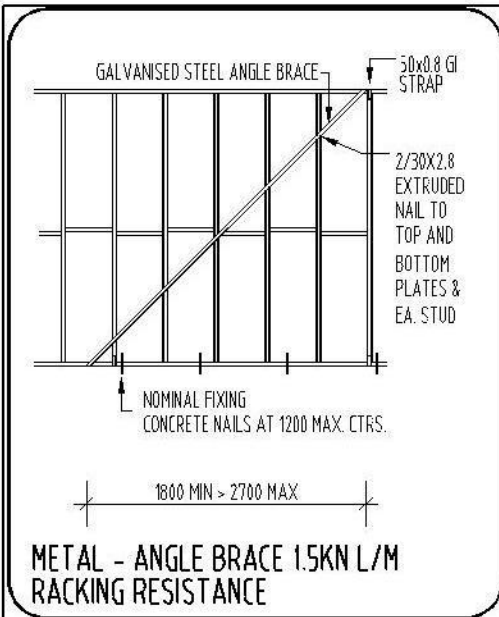
This design and/or print is the property of Tribeca Homes Pty Ltd and is protected by the Commonwealth Copyright Act 1968. It must not be used or reproduced in whole or in part without written permission. Any attempt to copy, use or reproduce the same, in part or in whole, will result in legal proceedings.

DESIGN
Noosa 195 H01 (Mod.)

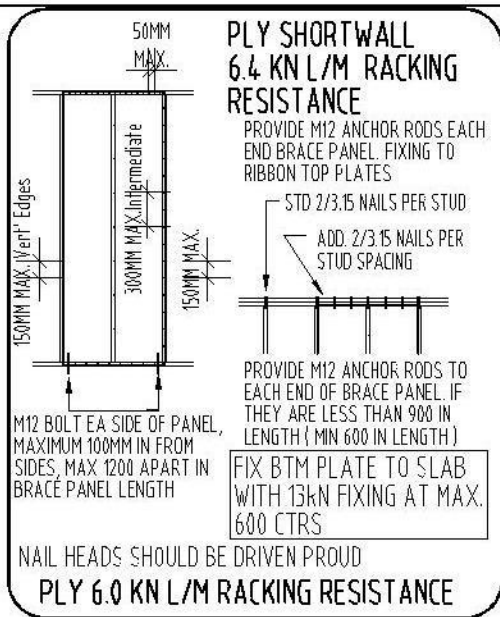
CLIENT
 I. SMITH

LOT 2316 PATANGA CRESCENT
 JORDAN SPRINGS ESTATE
 JORDAN SPRINGS

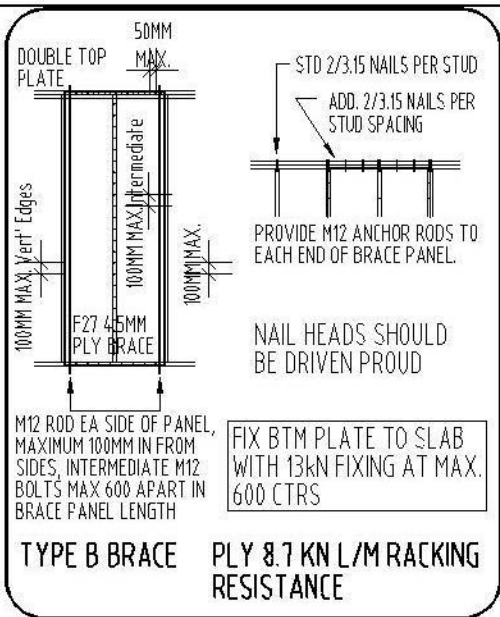
DRAWN	AS	DATE	23.07.2013
SCALE	1:100	WIND RATING	N2
JOB No.	2680C	SHEET	3 of 10



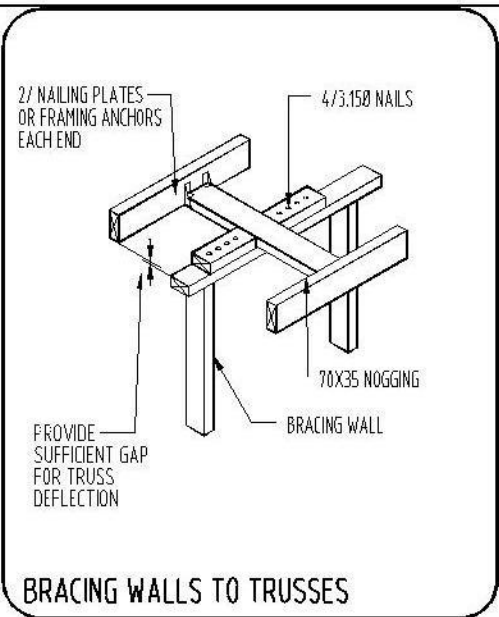
METAL - ANGLE BRACE 1.5KN L/M RACKING RESISTANCE



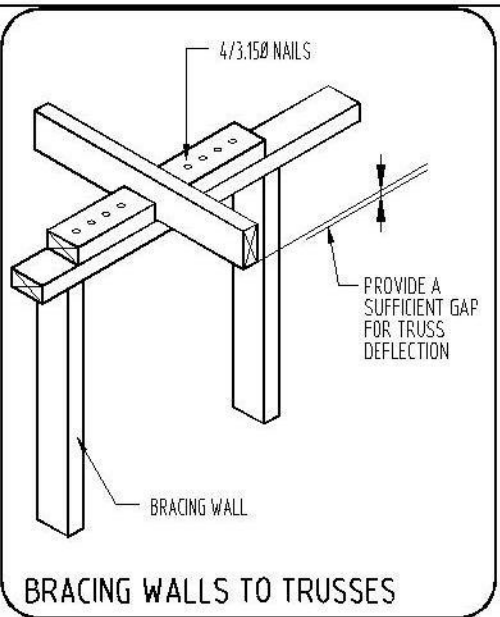
PLY SHORTWALL 6.4 KN L/M RACKING RESISTANCE



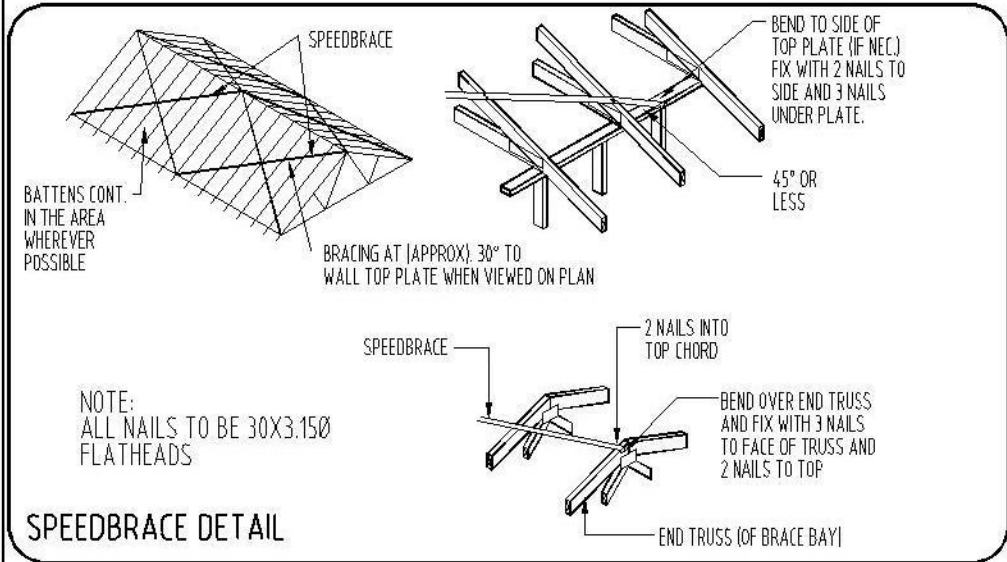
TYPE B BRACE 8.7 KN L/M RACKING RESISTANCE



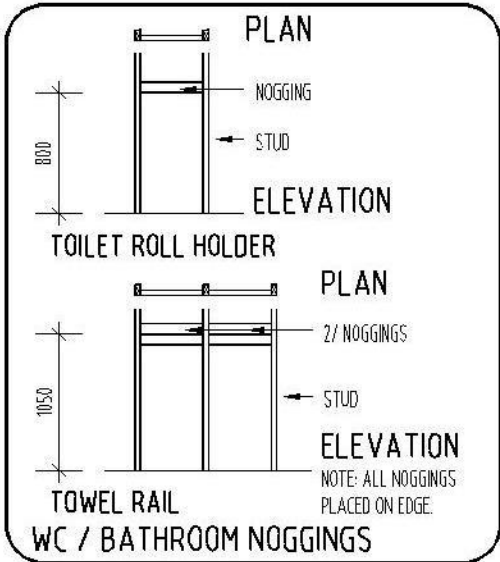
BRACING WALLS TO TRUSSES



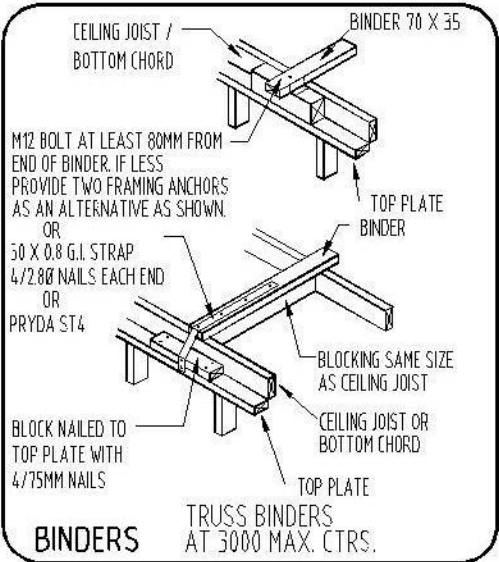
BRACING WALLS TO TRUSSES



SPEEDBRACE DETAIL



TOILET ROLL HOLDER WC / BATHROOM NOGGINGS



BINDERS TRUSS BINDERS AT 3000 MAX. CTRS.

- ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH- THE BUILDING CODE OF AUSTRALIA AND WITH AS 1684.
- TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF PART 3.1.3 OF THE NCC AND WITH AS3660.1.
- CONCRETE CONSTRUCTION TO COMPLY WITH AS2870.1 / AS3600.
- TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF PART 3.4.3 OF THE NCC AND AS1720.1 / AS1684.
- CONCRETE ROOFING TO COMPLY WITH AS1757, AS2050 AND BE FIXED TO MANUFACTURER'S SPECS FOR RELEVANT CONDITIONS.
- STEEL ROOFING TO COMPLY WITH AS1562.1.
- WEEPHOLES IN MASONRY WALLS AT 900 CTRS.
- VERTICAL ARTICULATION IN MASONRY WALLS TO COMPLY WITH THE PROVISIONS OF PART 3.3.18 OF THE NCC.
- WET AREAS TO COMPLY WITH THE PROV. OF PART 3.8.1 OF THE NCC
- SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART 3.7.2 OF THE NCC.
- WALL BRACING TO COMPLY WITH THE PROVISIONS OF PART 3.4.3.8 OF THE NCC. + AS 1684.
- ENSURE SHEAR BLOCKS ARE OF A SUFFICIENT LENGTH TO AVOID POSSIBLE SPLITTING.
- GLASS INSTALLATION TO COMPLY WITH AS1288, AND AS2047.

TIE DOWN CALCULATION - N2 NON- CYCLONIC (ULW=6000)		AS 1684	GENERAL NOTES
MEMBER CONNECTION - J04 TYP. u.n.o	UPLIFT REQ.	UPLIFT RESIST	ROOF FRAMING
ROOF TILES TO BATTENS: TO MANUFACTURER'S SPECIFICATIONS	Table 9.14	Table 9.25(a)	ROOF TILES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT
ROOF BATTENS TO TRUSSES: WITHIN 1200mm OF EDGES GENERAL AREA 1/65x2.8@ NAIL (40mm PENETRATION INTO RECEIVING MEMBER)	0.29kN 0.11kN	0.32kN	ROOF BATTENS SHALL BE 50x25 F14 HWD FIXED AS PER TIE DOWN SCHEDULE
ROOF TRUSSES TO TOP PLATE: @ 600 CRS 1 No. FRAMING ANCHOR WITH 4/2.8@ NAILS MIN. TO EACH LEG AT INTERFACE OR: MULTI GRIPS OR: CYCLONE STRAPS FIXED TO PL. WITH 3/2.8@ NAILS	Table 9.13 NOMINAL FIXING	Table 9.21(b) 3.50kN	ENTIRE ROOF SHALL BE TRUSS CONSTRUCTION AT 600 CTRS. MAX. DESIGNED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT N2 CONDITIONS UNLESS NOTED OTHERWISE ON PLANS
WALL FRAMING - GROUND FLOOR: TOP AND BOTTOM PLATES TO STUDS: @ 450 CRS PLATES UP TO 38mm THICK - 2/7.5mm NAILS PLATES 38-50mm THICK - 2/90mm NAILS NAILS THRU PLATE IN BOTH CASES. NOGGINGS TO STUDS: 2/7.5mm NAILS SKEW NAILED OR THRU NAILED. BOTTOM PLATES TO CONCRETE SLAB: NAILS AT MAX. 1200 CTRS. ST4 STUD TIES AT MAX. 3000 CTRS. OR CHEMICAL EXPANSION OR FIRED PROP. FASTENERS.	NOM. FIXING AS PER AS 1684.4 TABLE 9.7	4.20kN 4.70kN	CEILING BINDERS SHALL BE 70x35 F5 AT 3000 CTRS. MAXIMUM.
BOTTOM PLATE TO JOISTS: PLATES UP TO 38mm THICK - 2/7.5mm NAILS PLATES 38 - 50mm THICK - 2/90mm NAILS RIBBON PLATE TO TOP PLATE - REFER TO AS 1684.4	6.1kN	6.6kN REFER MANUF. SPECS.	CONCRETE
COMMON STUD SPACING (mm)	NUMBER OF COMMON STUDS AT SIDES OF OPENINGS OF WIDTH (mm)		REFER TO ENGINEER'S DETAILS. PROVIDE CONTINUOUS 200um POLYTHENE VAPOUR BARRIER LAPPED 200 MM. AND SEALED AT ALL JOINTS AND PENETRATIONS. PROVIDE TERMITE CONTROL IN ACCORDANCE WITH A.S. 3660.1
450	900	1200	BRICKWORK
600	1500	1800	APPROVED BRICK TIES AT 600 x 600 CTRS. MAX. STAGGERED. BRICKWORK SHALL HAVE APPROVED DAMP COURSE NOT LESS THAN 2 COURSES ABOVE GROUND LEVEL. PROVIDE APPROVED CAVITY FLASHING WITH WEEP HOLES AT 900mm CTRS. MAXIMUM.
	2100	2400	CEILING SHALL BE LINED WITH 10mm THICK SUP ACEIL LINING, FOR FRAME SPACING OF 600mm AND 10mm THICK PLASTERBOARD FOR FRAME SPACINGS OF 450mm (eg UNDERSIDE OF FIRST FLOOR JOISTS). WALLS SHALL BE LINED WITH 10mm THICK PLASTERBOARD OR 6mm THICK VILLABOARD TO WET AREAS. FIXED @ 300 CTRS OR 200 CTRS WHEN TILED, REFER TO BRACING PLANS FOR POSSIBLE VARIATIONS TO WALL LININGS OR FIXING METHODS. ALL ABOVE LININGS SHALL APPLY UNLESS NOTED OTHERWISE ON FLOOR PLANS.
	2700	3000	SOFFIT LININGS
	3300	3600	SOFFIT BEARERS @ EACH TRUSS TAIL WITH 4.5mm F.C SHEETS NAILED AT 225 CTRS WITHIN 1200 OF EXTERNAL BUILDING CORNERS AND AT 300 CTRS ELSEWHERE
			NOTE:- USE 2.0 X 30mm GALV FIBRE CEMENT NAILS
			WALL FRAMING
			MGP10 PINE FRAME TO LOAD BEARING WALLS 70 x 35 FRAME - STUDS AT MAX. 600 CTRS NOT NOTCHED - ONE ROW OF NOGGINGS
			TOP PLATES 70x35 MGP12 NOT NOTCHED ADD - RIBBON PLATE 70 x 35 MGP12
			MGP10 PINE FRAME TO NON LOAD BEARING WALLS AND PARTITIONS
			70 x 35 FRAME - STUDS AT 450 CTRS - ONE ROW NOGGINGS - TOP AND BOTTOM PLATES
			PROVIDE SOLID NOGGINGS SUPPORT BELOW FIRST FLOOR BOTTOM PLATE. WALL NOGGING AT 1550mm CTRS. MAXIMUM.
			PROVIDE ADDITIONAL NOGGING TO SUIT TOILET ROLL HOLDERS, TOWEL RAILS, ETC...SEE DETAILS ABOVE.
			STUDS TO BE SECURELY FIXED WITH BLOCKING AND NAILS
			STD CORNER DETAIL
			LINTELS SUPPORTING NON LOAD BEARING BRICKWORK OF WIDTH (mm)
	900	1200	1500
	1800	2100	2400
	2700	3000	
	75x10 FLAT BAR	100x100x6 ANGLE	100x100x6 ANGLE
		100x100x6 ANGLE	100x100x6 ANGLE
		100x100x6 ANGLE	100x100x6 ANGLE
		100x100x6 ANGLE	150x100x6 ANGLE



Level 1, 3350 Pacific Highway
Springwood QLD 4127
P. (07) 3290 1001 F. (07) 3290 1002
E. admin@tribecahomes.com.au
QBSA Lic. No. 1137696

This design and/or print is the property of Tribeca Homes Pty Ltd and is protected by the Commonwealth Copyright Act 1968. It must not be used or reproduced in whole or in part without written permission. Any attempt to copy, use or reproduce the same, in part or in whole, will result in legal proceedings.

DESIGN
Noosa 195 H01 (Mod.)

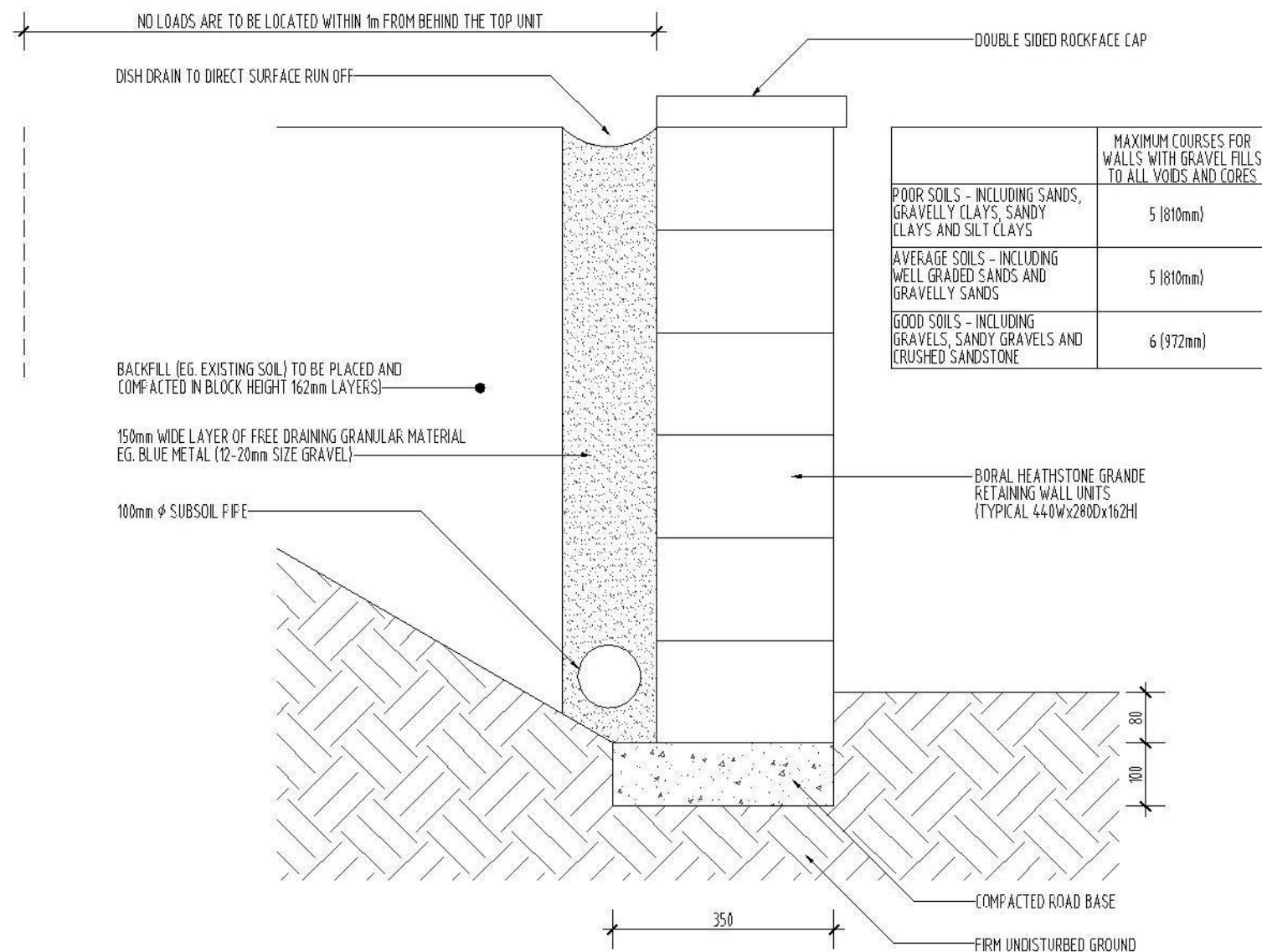
CLIENT
I. SMITH

LOT 2316 PATANGA CRESCENT
JORDAN SPRINGS ESTATE
JORDAN SPRINGS

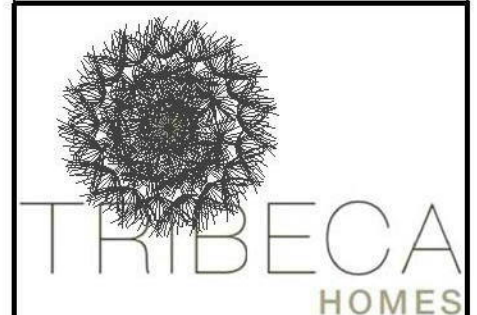
DRAWN AS DATE 23.07.2013

SCALE 1:100 WIND RATING N2

JOB No. 2680C SHEET 6 of 10



RETAINING WALL DETAIL
BORAL HEATHSTONE GRANDE 1:10



Level 1, 3350 Pacific Highway
Springwood QLD 4127
P. (07) 3290 1001 F. (07) 3290 1002
E. admin@tribecahomes.com.au
QBSA Lic. No. 1137696

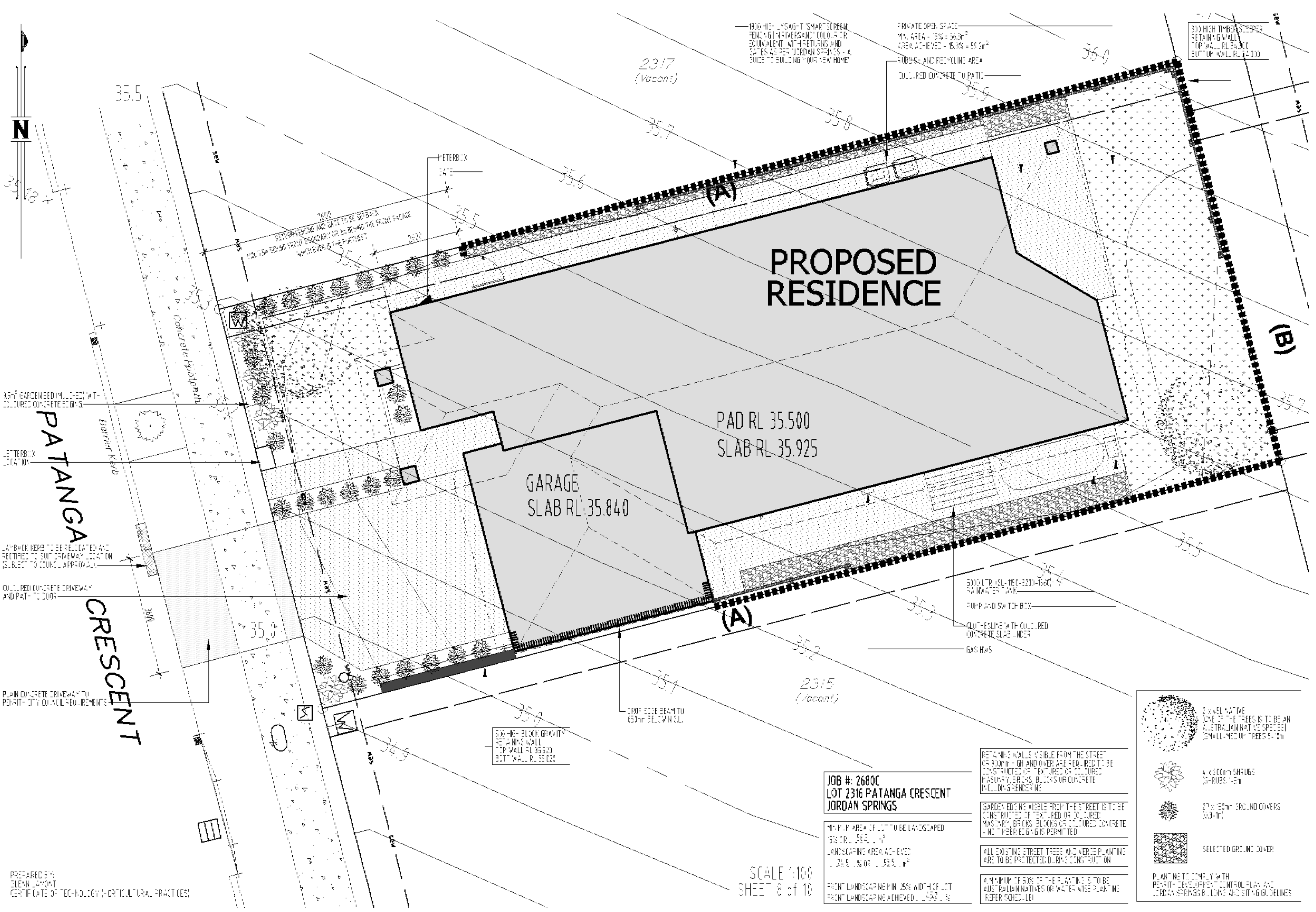
This design and/or print is the property of Tribeca Homes Pty Ltd and is protected by the Commonwealth Copyright Act 1968. It must not be used or reproduced in whole or in part without written permission. Any attempt to copy, use or reproduce the same, in part or in whole, will result in legal proceedings.

DESIGN
Noosa 195 H01 (Mod.)

CLIENT
I. SMITH

LOT 2316 PATANGA CRESCENT
JORDAN SPRINGS ESTATE
JORDAN SPRINGS

DRAWN	AS	DATE	23.07.2013
SCALE	1:50	WIND RATING	N2
JOB No.	2680C	SHEET	7 of 10



2317
(Vacant)

PROPOSED RESIDENCE

PAD RL 35.500
SLAB RL 35.925

GARAGE
SLAB RL: 35.840

2315
(vacant)

PATANGA
CRESCENT

JOB #: 2680C
LOT 2316 PATANGA CRESCENT
JORDAN SPRINGS

MINIMUM AREA OF LOT TO BE LANDSCAPED
50% OR L 562.4 m²
LANDSCAPING AREA ACHIEVED
L 245.18 OR L 535.1 m²

FRONT LANDSCAPING MIN 25% WIDTH OF LOT
FRONT LANDSCAPING ACHIEVED L 452.1 m²

SCALE 1:100
SHEET 8 of 10

RETAINING WALLS VISIBLE FROM THE STREET OR 400mm HIGH AND OVER ARE REQUIRED TO BE CONSTRUCTED OF TEXTURED OR COLOURED PAVING BRICKS, BLOCKS OR COLOURED CONCRETE (NO CLONING PERMITTED)

GARDEN EDGE NEARER FROM THE STREET IS TO BE CONSTRUCTED OF TEXTURED OR COLOURED PAVING BRICKS, BLOCKS OR COLOURED CONCRETE - NO TYPED EDGE IS PERMITTED

ALL EXISTING STREET TREES AND VEGETATION ARE TO BE PROTECTED DURING CONSTRUCTION

A MINIMUM OF 50% OF THE PLANTING IS TO BE AUSTRALIAN NATIVES OR WATER WISE PLANTING (REFER SCHEDULE)

300 HIGH TIMBER SLEEPER RETAINING WALL TOP WALL RL 35.000 BOTTOM WALL RL 35.000

4x 600mm SHRUBS 25-RIBS 15m

20x 60mm GROUND COVERS 103-117

SELECTED GROUND COVER

PLANTING TO COMPLY WITH PERMIT - SEVERE OPERATIONAL PLAN AND JORDAN SPRINGS BUILDING AND SITING GUIDELINES

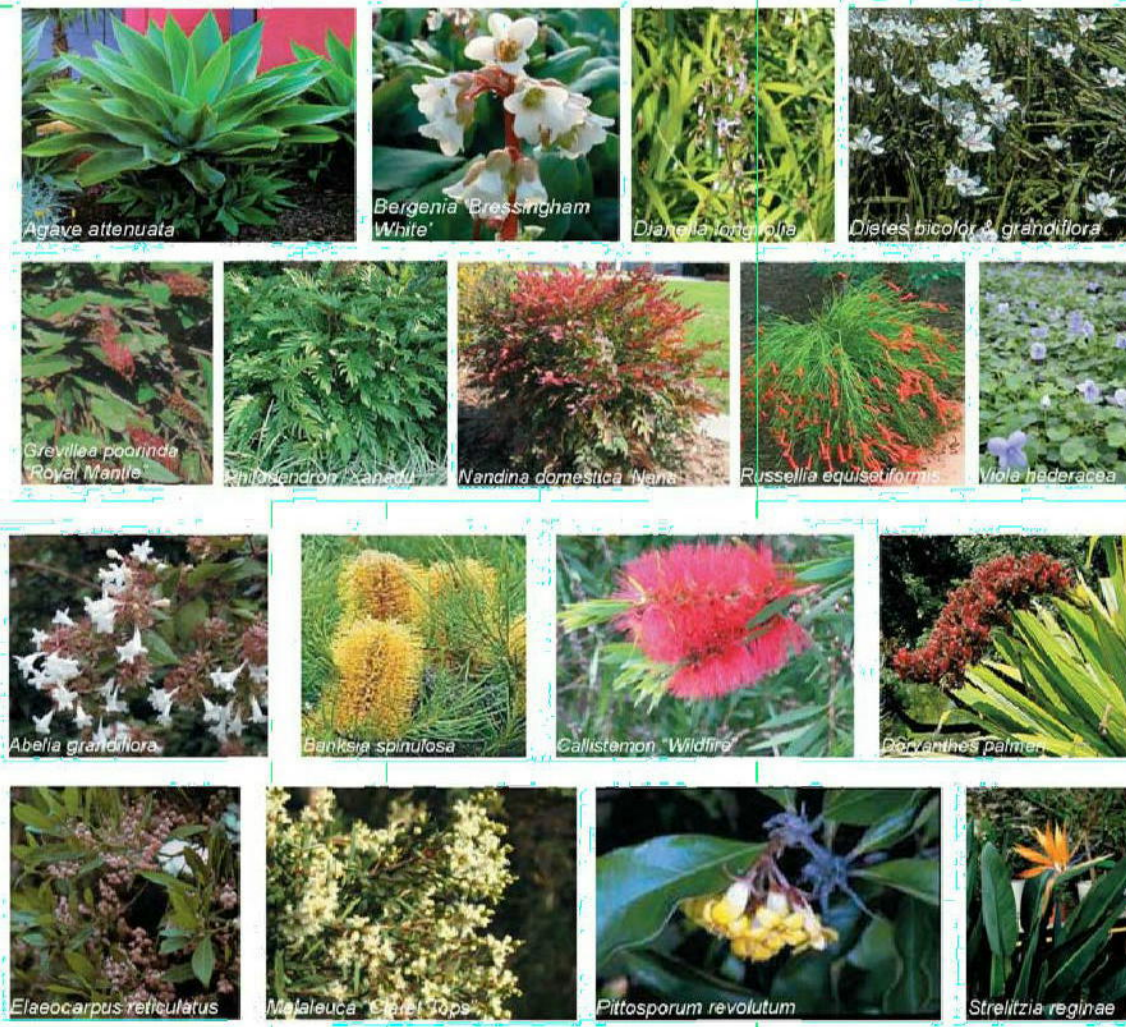
Small-Medium Trees (5-10m)

Common Name	Botanical Name (Exotic / Native)	Features
Lemon Scented Ironwood	<i>Backhousia citrodora</i> (N)	Grown for its masses of flowers and scented as a hedge or feature tree with attractive creamy white flowers.
Coastal banksia	<i>Banksia integrifolia</i> (N)	Bright flower arrangements contrast with its otherwise drab green colouration.
Ivory curl flower	<i>Buckinghamia celestissima</i> (N)	Attractive foliage and flowers, attracts birds.
Pink bottle brush	<i>Callistemon eureka</i> (N)	Hardy adaptable shrub that has beautiful long lasting bright red flowers with golden tips.
White bottle brush	<i>Callistemon salignus</i> (N)	Attractive small tree through flushes of new growth which are pink to reddish, pendulous growth habit, white papery bark and cream flowers during spring or early summer.
Native frangipani	<i>Hymenoporum flavum</i> (N)	Upright open tree fragrant yellow flowers in spring. Prefers well-drained site. Attracts insects.
Scrub cherry	<i>Syzygium australe</i> (N)	Popular screening plant, glossy foliage, white flowers followed by red fruits summer to autumn. Attracts birds, bats and possums.
Golden penda	<i>Xanthostemon chrysanthus</i> (N)	Excellent ornamental tree with golden yellow flower heads contrasting well with dark glossy green foliage when in flower during the winter months.



Recommended Plant Species

Common Name	Botanical Name (Exotic / Native)	Features
Ground Covers and Grasses (up to 1m)		
Agaves	<i>Agave attenuata</i> (E)	Sculptural succulent
Saxifrage, Pigeonbeak	<i>Bergenia 'Bressingham White'</i> (E)	Flowering in Winter - Spring
Blue Flax Lily	<i>Dianella longifolia</i> (N)	Small lily of open eucalypt forest, blue flowers, bright blue berries, suits rocky of foreground planting.
Wild Iris	<i>Diets bicolor & grandiflora</i> (E)	Flowers yellow, white/mauve.
Grevillea royal mantle	<i>Grevillea poorinda 'Royal Mantle'</i> (N)	Vigorous, evergreen groundcover with attractive lobed leaves attracts birds.
Philodendron	<i>Philodendron 'Xanadu'</i> (E)	Leaves are usually large and imposing, often lobed or deeply cut.
Dwarf Sacred Bamboo	<i>Nandina domestica 'Nana'</i> (E)	Red, yellow and green foliage.
Firecracker plant	<i>Russelia equisetiformis</i> (N)	Draping rush-like stems covered in tubular bright red flowers.
Native Violet	<i>Viola hederacea</i> (N)	Pretty creeping groundcover for shade, tiny violet flowers, attracts butterflies.
Shrubs (1-5m)		
Glossy abelia	<i>Abelia grandiflora</i> (N)	Thick mature foliage is golden to cream variegated with outer margins yellow-green.
Golden candlesticks	<i>Banksia spinulosa</i> (N)	Spiky foliage and showy golden flower spikes, favourite of nectar-eating birds and gliders.
Wildfire bottlebrush	<i>Callistemon 'Wildfire'</i> (N)	Tall growing shrub 4m+ with soft pale green new growth. The flowers are bright red bottlebrush mainly in spring.
Spear lily	<i>Doryanthes palmeri</i> (N)	Leaves are long in a large tussock and flowers on a tall stem are red.
Blueberry Ash	<i>Elaeocarpus reticulatus</i> (N)	Very attractive upright shrub, symmetrical shape, small leaves, white-pink flowers and blue fruit in spring. Attracts birds and insects.
Claret tops	<i>Melaleuca 'Claret Tops'</i> (N)	Bears white flowers, attractive profuse flowering rounded shrubs which are bird attracting.
Brisbane Laurel	<i>Pittosporum revolutum</i> (N)	Open shrub with cream flowers, evening fragrance, yellow fruit open to reveal red seeds, attracts birds.
Bird of Paradise	<i>Strelitzia reginae</i> (E)	Tropical looking evergreen perennial valued for its unique bird-like orange, blue and white flower heads.



GARDEN CHARACTER

Shall be predominately native shrub hedges to path / driveway edge punctuated by accent planting eg. feature tree specimens (note plant list). Garden area shall follow the structure above with a cohesive layout and selection of plant species from the suggested list. Plants of same species should be hedged or massed within designated planting beds to create a defined garden structure. Feature specimen trees in lawn shall be placed as focal points to the property frontage, suggested species are attached.

Consolidation

The landscaper shall consolidate the works and make good all defects for a period of 6 weeks after practical completion and shall leave the works in a clean and tidy condition. Grass and Plants shall be watered so as to ensure continuous healthy growth. Weeds and rubbish shall be regularly removed from planted areas. Replace all plants that are unhealthy or dead for any reason whatsoever. Replacements shall be of a similar size and quality and identical species or variety to the plant which has failed unless otherwise directed and replace immediately the plant is dead, all at the landscaper contractors own expense. Generally protect mulched and planted areas from damage, either malicious, irresponsible or accidental. Reinstall damaged areas to the original specifications.

GENERAL NOTES:-

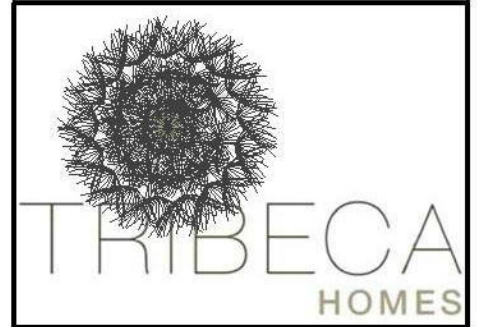
Planting Beds
Remove all unwanted building material from site. Cultivate ground to minimum depth of 100mm. Supply and spread minimum 200mm layer of organic soil mix to gardens. Crown beds at centre. Finalise soil level 100mm below raised kerb areas where applicable. Mulch gardens with minimum 75mm 'Forest Blend' organic mulch. Supply and place plants according to Plant Schedule and location on drawing. Ensure slow release pellet type fertilizer to manufacturers specification.

Turfing

Remove all unwanted materials from site. Cultivate ground to a minimum depth of 100mm. Supply and spread premium grade topsoil (AS2223) to a minimum depth of 50mm fill depressions and rake smooth. Finished turf surface shall be flush with all adjacent finish surfaces.

Garden / Lawn Edges

Continuous concrete edging



Level 1, 3350 Pacific Highway
Springwood QLD 4127
P. (07) 3290 1001 F. (07) 3290 1002
E. admin@tribecahomes.com.au
QBSA Lic. No. 1137696

This design and/or print is the property of Tribeca Homes Pty Ltd and is protected by the Commonwealth Copyright Act 1968. It must not be used or reproduced in whole or in part without written permission. Any attempt to copy, use or reproduce the same, in part or in whole, will result in legal proceedings.

DESIGN
Noosa 195 H01 (Mod.)

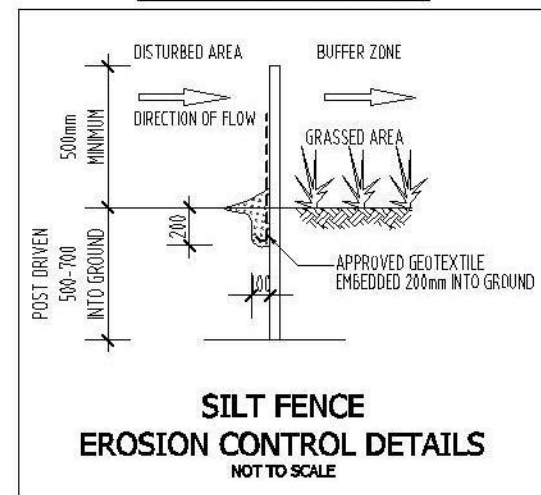
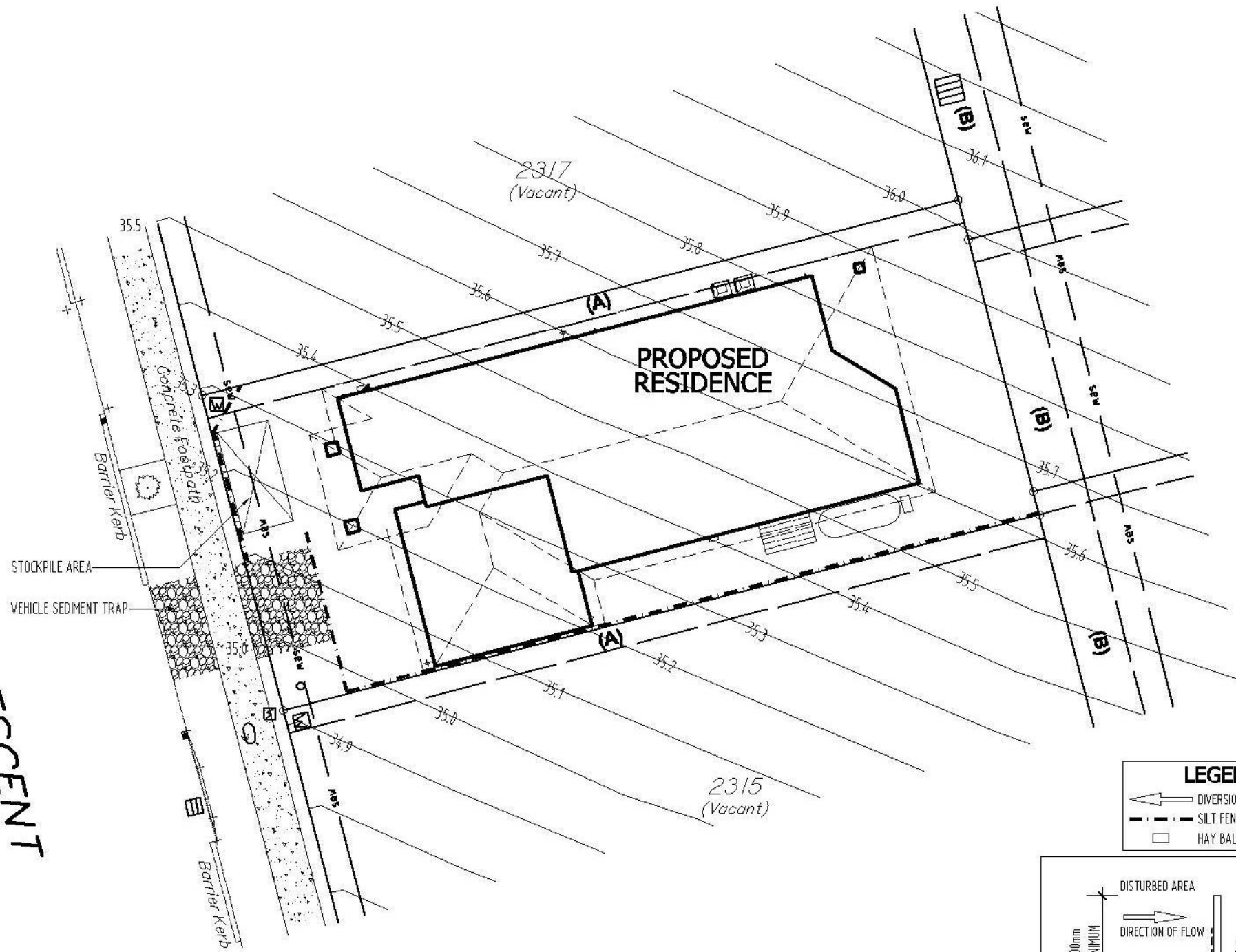
CLIENT
I. SMITH

LOT 2316 PATANGA CRESCENT
JORDAN SPRINGS ESTATE
JORDAN SPRINGS

DRAWN	AS	DATE	23.07.2013
SCALE	1:200	WIND RATING	N2
JOB No.	2680C	SHEET	9 of 10



PATANGA CRESCENT



Level 1, 3350 Pacific Highway
Springwood QLD 4127
P. (07) 3290 1001 F. (07) 3290 1002
E. admin@tribecahomes.com.au
QBSA Lic. No. 1137696

This design and/or print is the property of Tribeca Homes Pty Ltd and is protected by the Commonwealth Copyright Act 1968. It must not be used or reproduced in whole or in part without written permission. Any attempt to copy, use or reproduce the same, in part or in whole, will result in legal proceedings.

DESIGN
Noosa 195 H01 (Mod.)

CLIENT
I. SMITH

LOT 2316 PATANGA CRESCENT
JORDAN SPRINGS ESTATE
JORDAN SPRINGS

DRAWN	AS	DATE	23.07.2013
SCALE	1:200	WIND RATING	N2
JOB No.	2680C	SHEET	10 of 10