

BASIX

= 35.79m² of roof area to discharge to water tank.
= 125.21m² stormwater and overflow to discharge to existing street channel.
o/a = 161m² of roof area.

LEGEND:

● = SURFACE INLETS AS REQUIRED
○ = SURFACE INLETS LINE
--- = STORMWATER LINE

EARTHWORKS TO AHD

HOUSE: FFL 27.080 AHD
(LIVING) FGL 26.680 AHD

GARAGE: FFL 26.860 AHD
FGL 26.535 AHD

NOTE:
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

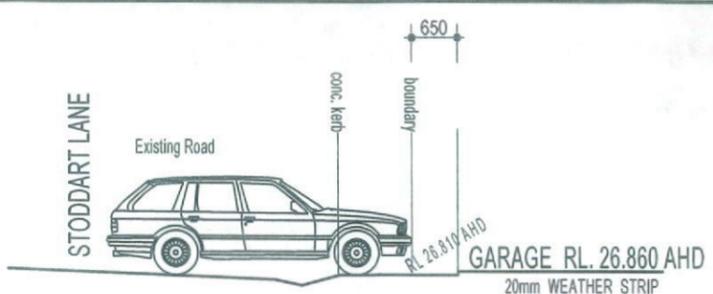
1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA.(Min) at 1 deg. Grade (Min) to AS 3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:**
EAVES O/H TO ENCRACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9

NOTE
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

FIBRE OPTIC WIRING PACKAGE

NOTE:
ALL COMPONENTS SUCH AS; APPLIANCES;
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Version: 11, Version Date: 20/03/2015



DRIVEWAY GRADIENT
SCALE 1:100

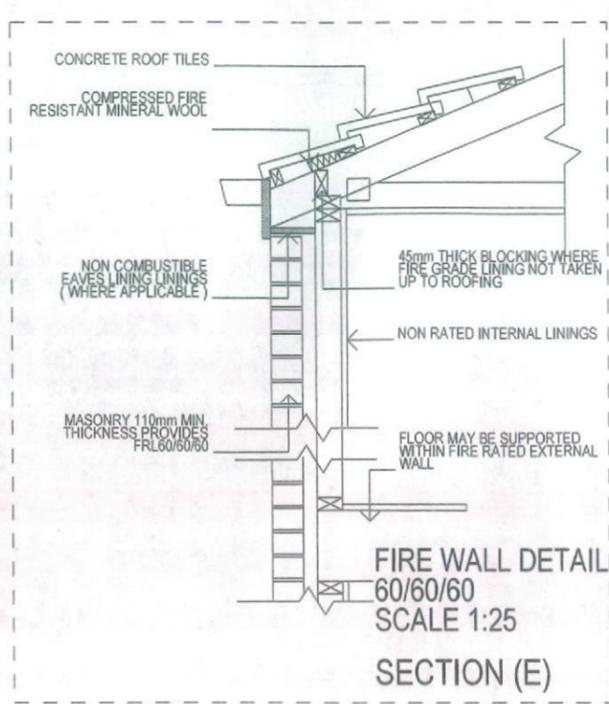
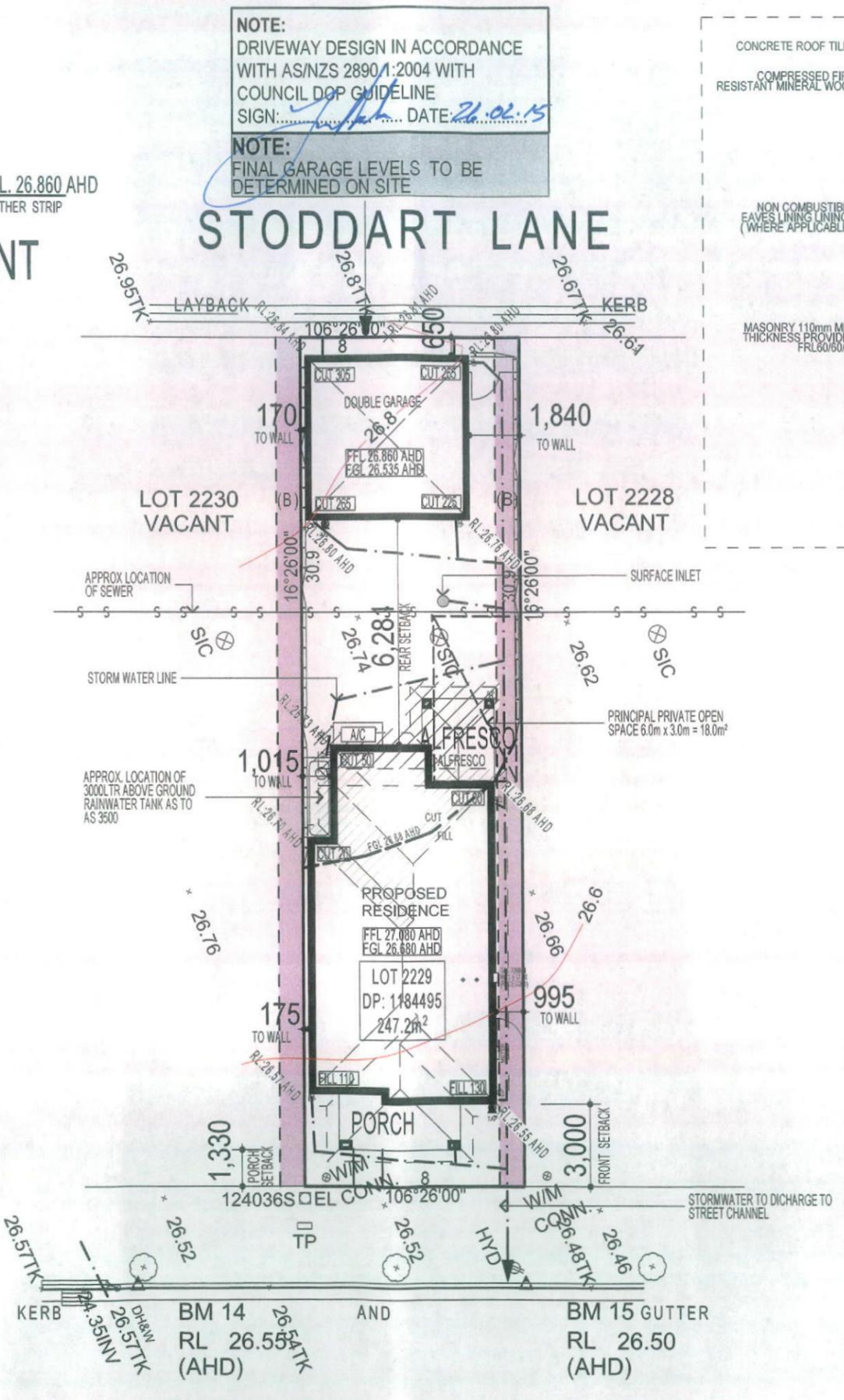
SYMBOLS & ABBREVIATIONS:

GP	GULLY PIT	-E-	OVERHEAD ELEC LINE
HYD	HYDRANT	-S-	SEWER LINE
SIP	SURFACE INLET PIT	GM	GAS METER
SIC	SEWER INSPECTION COVER	LP	LIGHT POLE
SMH	SEWER MANHOLE	EC	ELECTRICITY CONDUIT
WM	WATER METER	ECT	ELEC & TELE CONDUIT
EL	ELECTRICITY BOX	TC	TELECOM CONDUIT
TP	TELECOM PIT	WC	WATER CONDUIT
VC	VEHICLE CROSSING	INV	INVERT
SV	STOP VALVE	KO	KERB OUTLET
SWMH	STORMWATER MANHOLE	TK	TOP OF KERB

LOCALITY SKETCH

UBD AREA: SYD REVISION: 49
MAP: 163 REF: Appr.
GPS
S
E

(B) PROPOSED EASEMENT FOR ACCESS,
MAINTENANCE AND OVERHANG 0.9 WIDE (B1)



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DEVELOPMENT CALCULATIONS

LOT: 2229 SITE AREA: 247.2m²

Itemised Floor Areas:	Totals:
living ground floor:	82.52m ²
first floor: (excl. void 72.81m ²)	76.6m ²
garage: (excess 00.000m ²)	35.88m ²
alfresco:	7.43m ²
porch:	7.96m ²
balcony:	7.96m ²
total floor area:	218.35m ²

FLOOR SPACE RATIO CALCULATION:

gross floor areas:	Totals:
living ground floor: (internal area)	72.82m ²
first floor excl. void: (internal area)	64.78m ²
total gross floor area:	137.6m ²
floor space ratio:	0.56:1

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	82.52m ²
garage:	35.88m ²
porch/alfresco:	15.39m ²
driveway/paved area:	4.55m ²
site coverage Area:	133.79m ² (54.1%)
landscape area:	113.41m ² (45.9%)
pervious areas (soft)	108.96m ² (44.1%)
impervious areas (hard)	138.24m ² (55.9%)
front yard landscape area	15.64m ² (6.3%)
front yard hard paved area	1.43m ² (0.5%)
private open space o/a:	49.85m ²
principal private open space:	18m ²
total car space incl. carstand:	2 carspace

COUNCIL ZONE: R1

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
G. S. PILLON

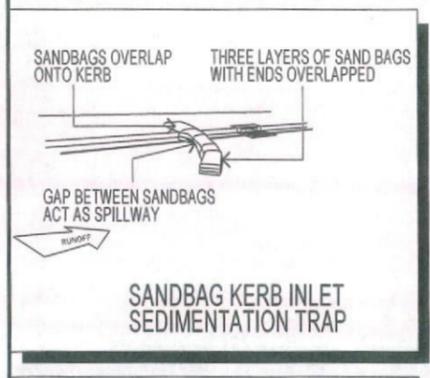
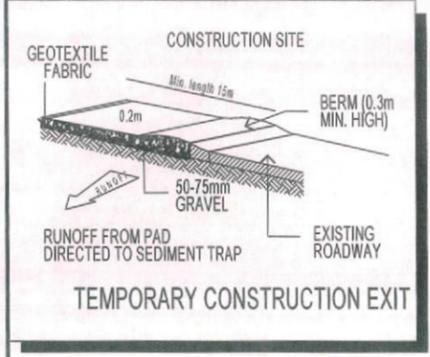
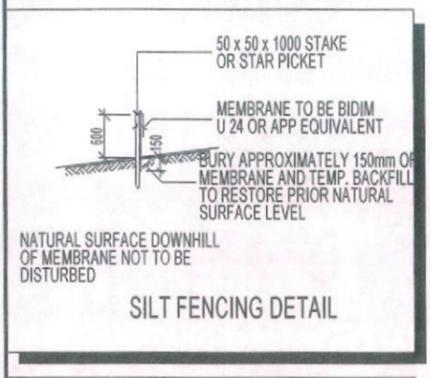
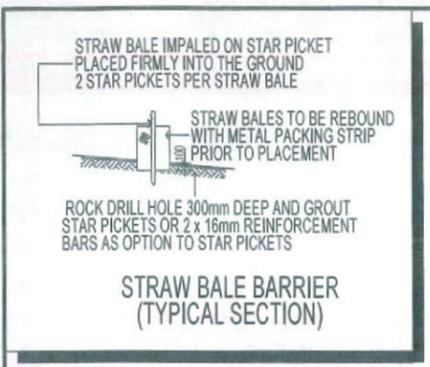
LOCATION:
**LOT 2229
WILLIAM HART CRESCENT
PENRITH NSW 2750**

DP: 1184495	council: PENRITH
model: CHESTER 23	facade: AUGUSTINE
date: 10/02/2015	position assessment: QA1
Sheet: 1 of 14	drawn: GP/LDS/SW
checked: P.D	scale: 1:200
769-14	

WILLIAM HART CRESCENT

SITE PLAN & STORMWATER CONCEPT PLAN





DUST CONTROL MEASURES:

IF THE SITE BECOMES DUSTY DURING HOTTER MONTHS (CLIENT) WILL SPRINKLE WATER ON THE DUST

ANY AREA OF ROAD BASE WILL BE POSITIONED FOR HEAVY VEHICLES TO REDUCE & PROVIDE AN AREA TO WASH TRUCKS OFF (IF REQUIRED)

NOISE & VIBRATION MEASURES:

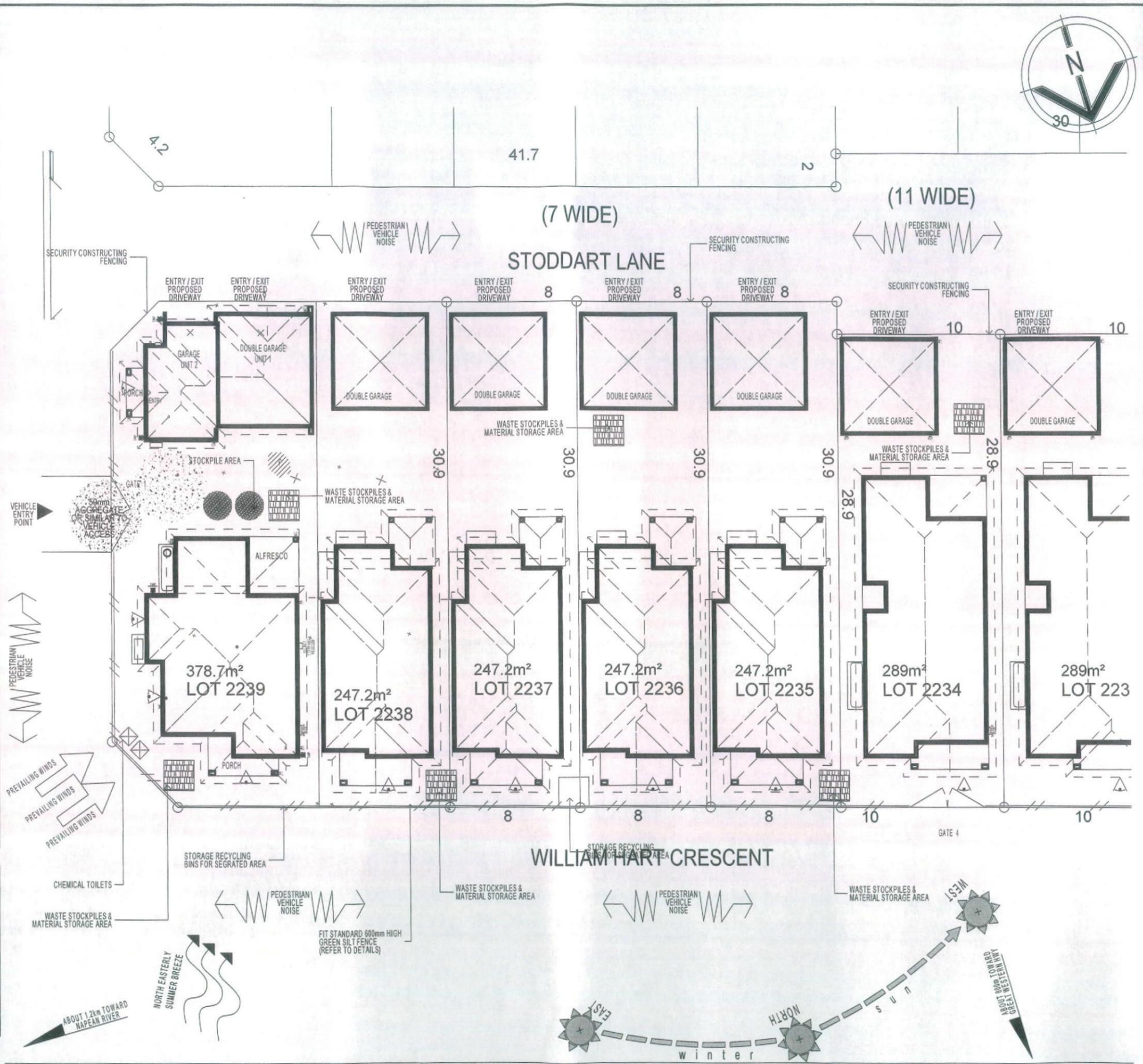
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MACHINERY SIZE WILL BE KEPT TO A MINIMUM REQUIRED FOR THE JOB

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Lic No. 113412C
ACN 087 713 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9601 0111
FAX: (02) 9601 0711
EMAIL: design@firststyle.com.au

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KEY	
	SOLAR ACCESS
	NUMBER OF STOREY'S
	PREVAILING WINDS
	EXISTING TREES
	TREES TO BE REMOVED
	DIRECTION & DISTANCES
	NOISE
	VEHICULAR SITE ENTRY
	HWS
	VIEWS
	PRIVATE OPEN SPACE
	OVERLOOKING
	RAINWATER TANK (Underground)
	A/C UNIT (if required)

PROMOTION: **LIVING/STYLE COLLECTION**

CLIENT: **G. S. PILLON**

LOCATION: **LOT 2229 WILLIAM HART CRESCENT PENRITH NSW 2750**

DP: 1184495 council: PENRITH

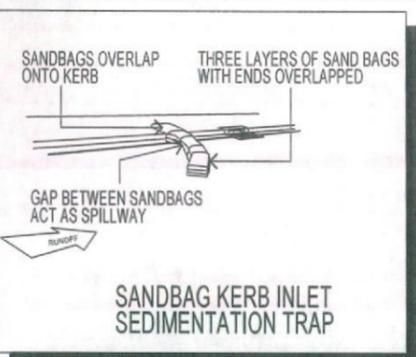
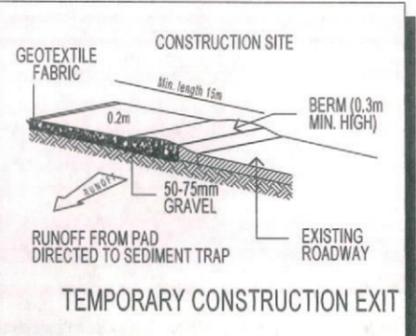
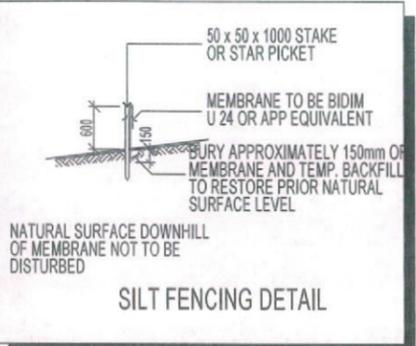
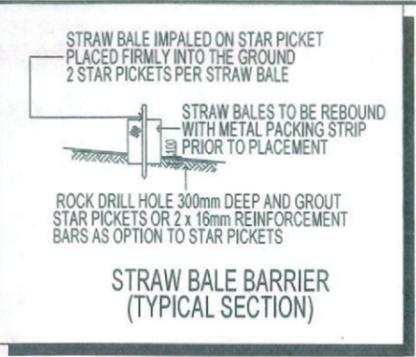
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Sheet: 2 of 14 draw: GP/LDS/SW checked: P.D scale: 1:250

769-14

CLIENT'S SIGNATURE: _____ DATE: _____ S.P. 02

WASTE MANAGEMENT / SITE ANALYSIS



DUST CONTROL MEASURES:

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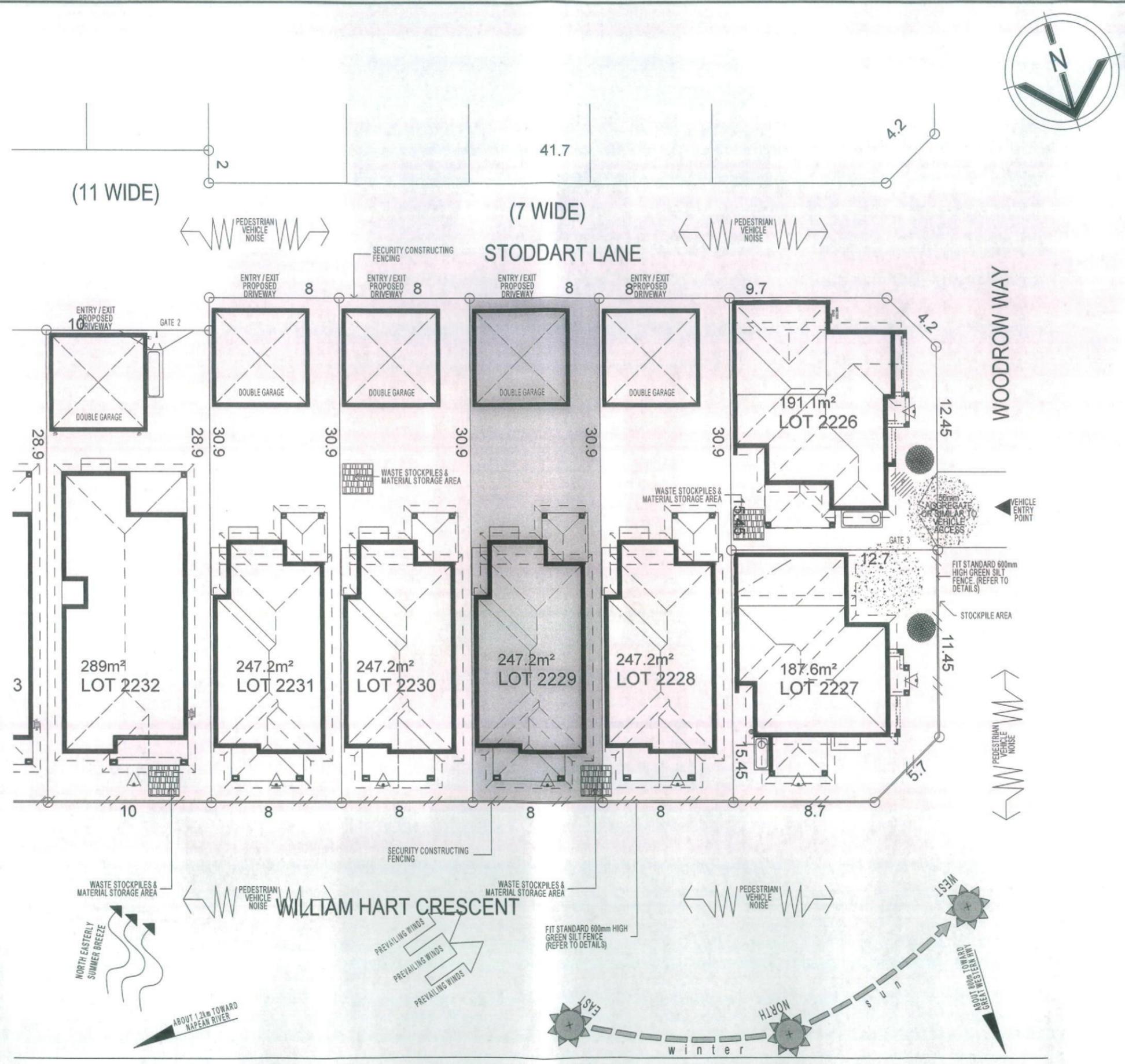
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PO BOX 171, HOXTON PARK 2171

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FAX: (02) 9601 0111
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	EXISTING TREES
	TREES TO BE REMOVED
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	PRIVATE OPEN SPACE
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	RAINWATER TANK (Underground)
	A/C UNIT (if required)

PROMOTION: **LIVING/STYLE COLLECTION**

CLIENT: **G. S. PILLON**

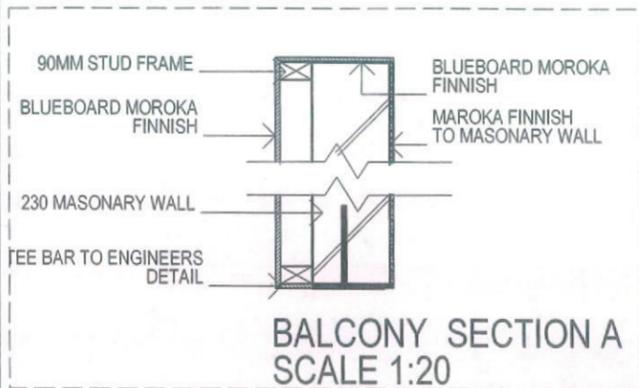
LOCATION: **LOT 2229 WILLIAM HART CRESCENT PENRITH NSW 2750**

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model: CHESTER 23	facade: AUGUSTINE
date: 10/02/2015	provision assessment: QA1
Sheet: 3 of 14	drawn: GP/LDS/SW P.D
scale: 1:250	checked: 769-14

CLIENT'S SIGNATURE _____ DATE _____ S.P. 08

WASTE MANAGEMENT / SITE ANALYSIS (2)

	FACE BRICK (AS SELECTED)
	MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	CEMINTEL (ASPECT) PLANK 300 - SMOOTH PAINT FINISH



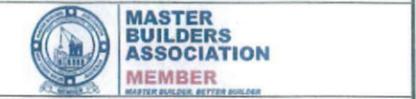
NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

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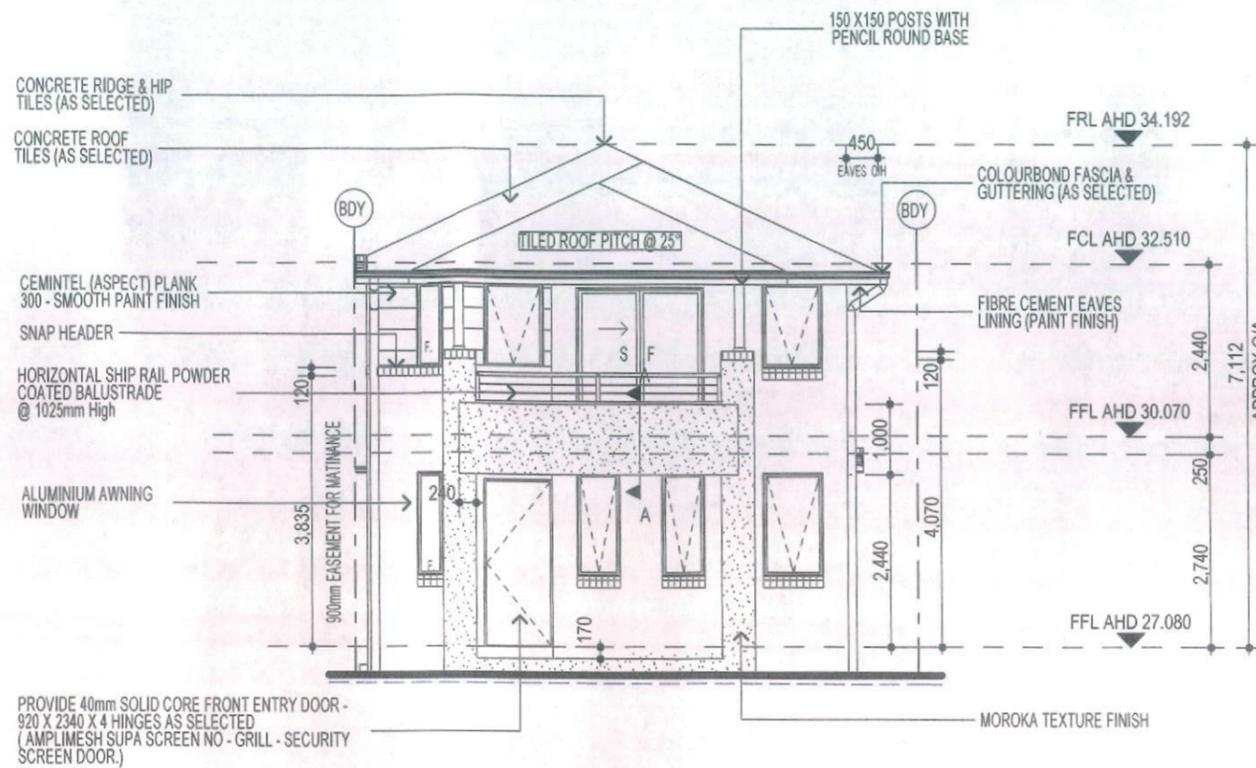
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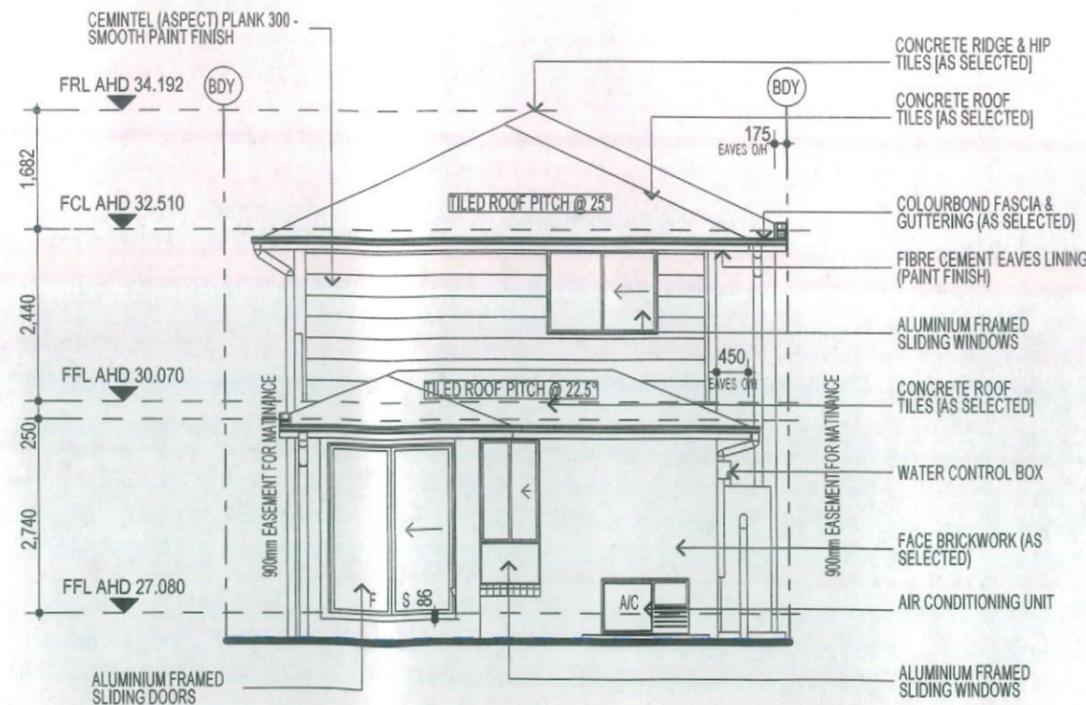
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ELEVATION A



ELEVATION C

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE
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3-PHASE POWER

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LIVING/STYLE COLLECTION

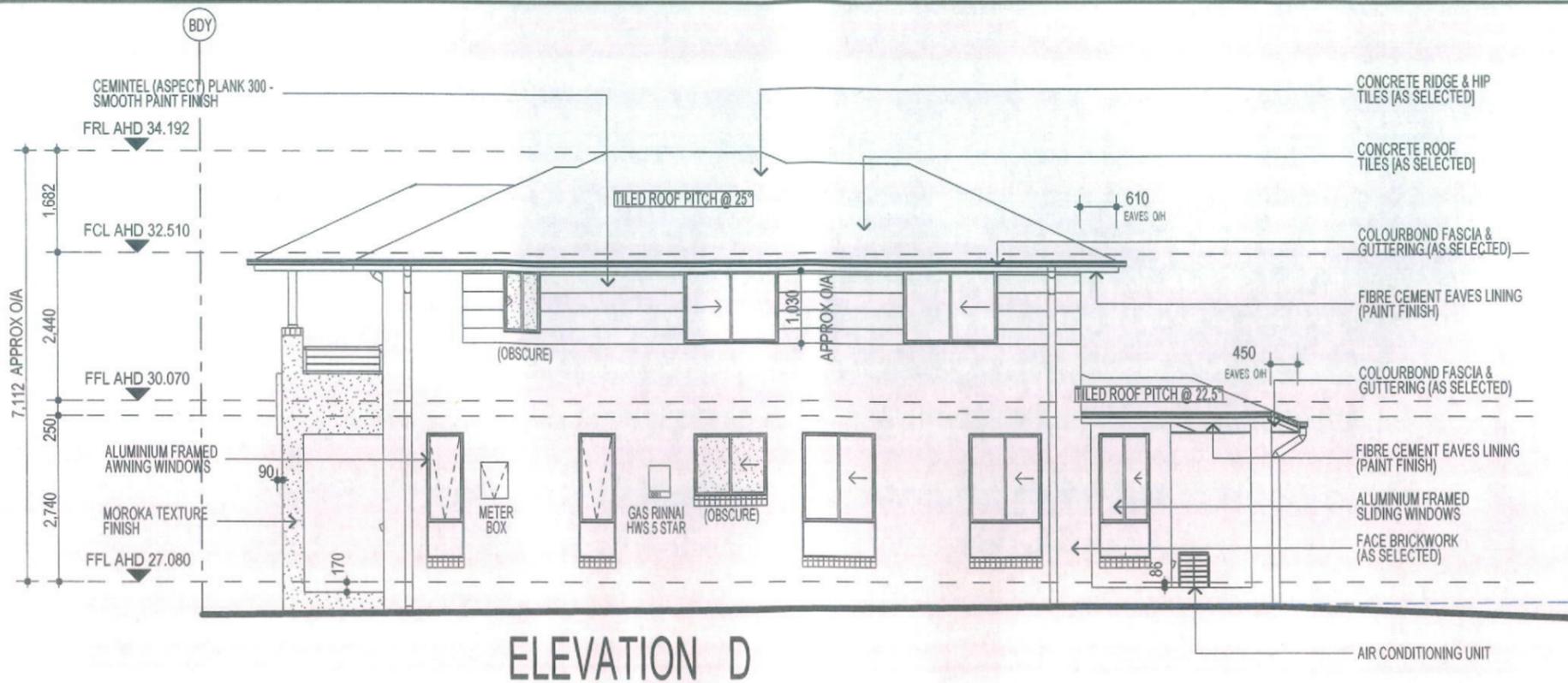
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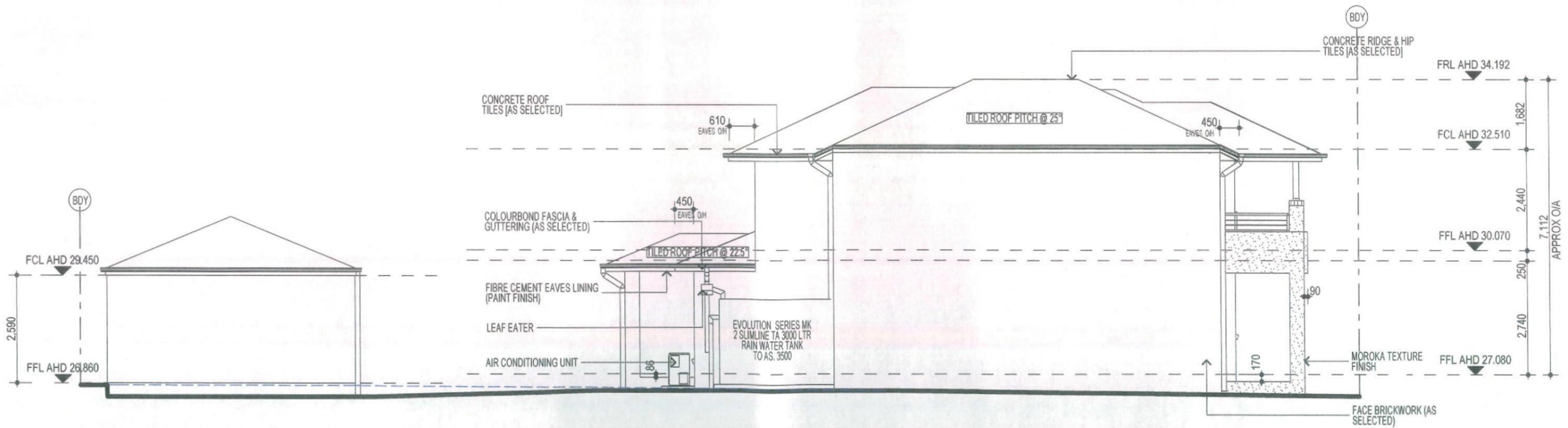
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model: CHESTER 23	facade: AUGUSTINE
date: 10/02/2015	provision assessment: QA1
Sheet: 6 of 14	drawn: GP/LDS/SW checked: P.D. scale: 1:100
769-14	

ELEVATIONS

	FACE BRICK (AS SELECTED)
	MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	CEMINTEL (ASPECT) PLANK 300 - SMOOTH PAINT FINISH



ELEVATION D



ELEVATION B

FIBRE OPTIC WIRING PACKAGE

NOTE
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(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE
3.9.2.5 OF VOLUME 2 OF THE BCA.

NOTE:
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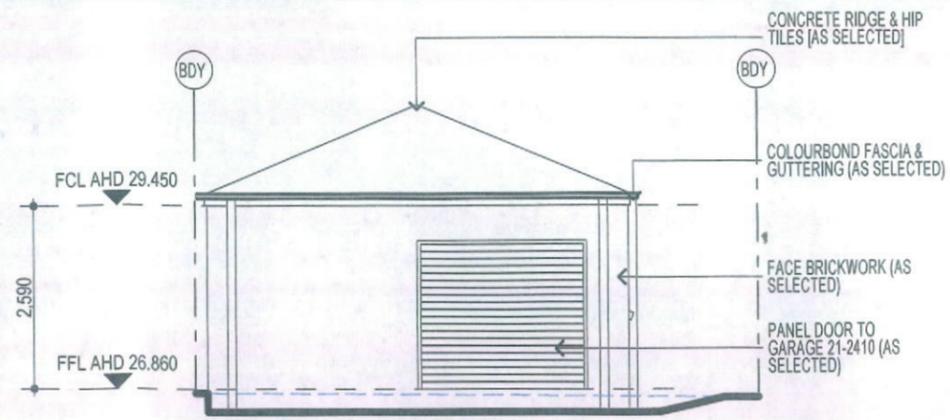
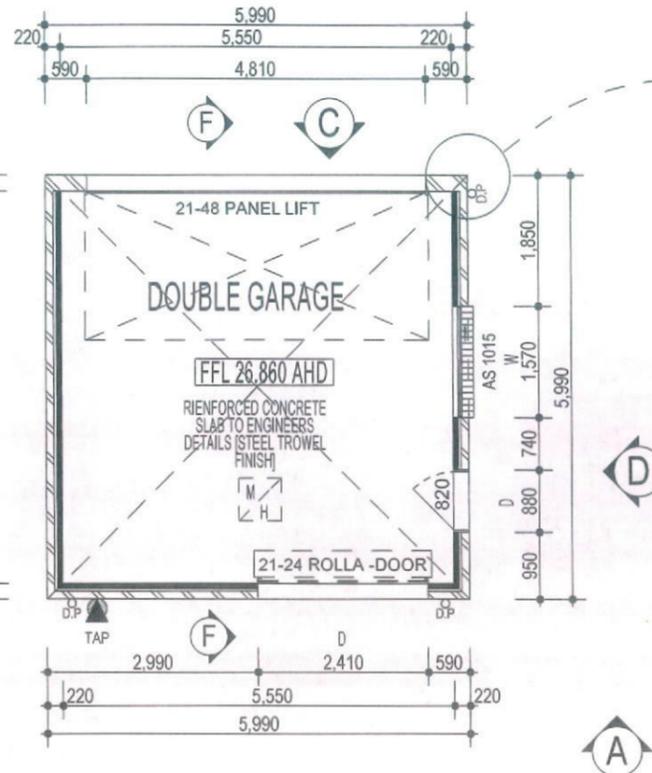
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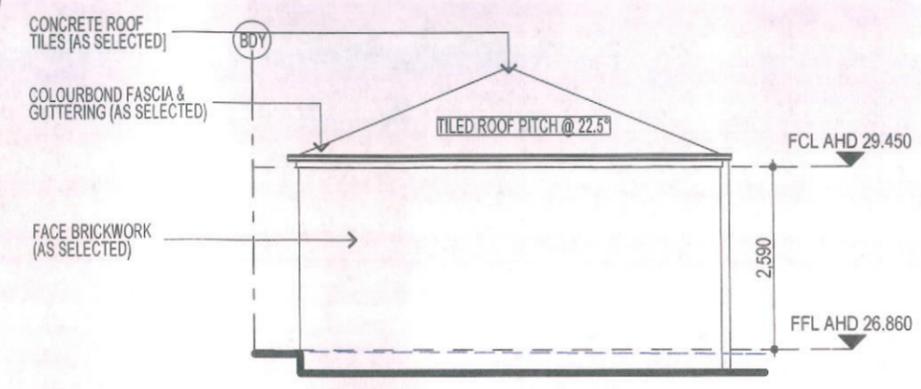
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scale: 1:100	7 of 14		769-14
CLIENT'S SIGNATURE: _____		DATE: _____ S.P. 9/0	

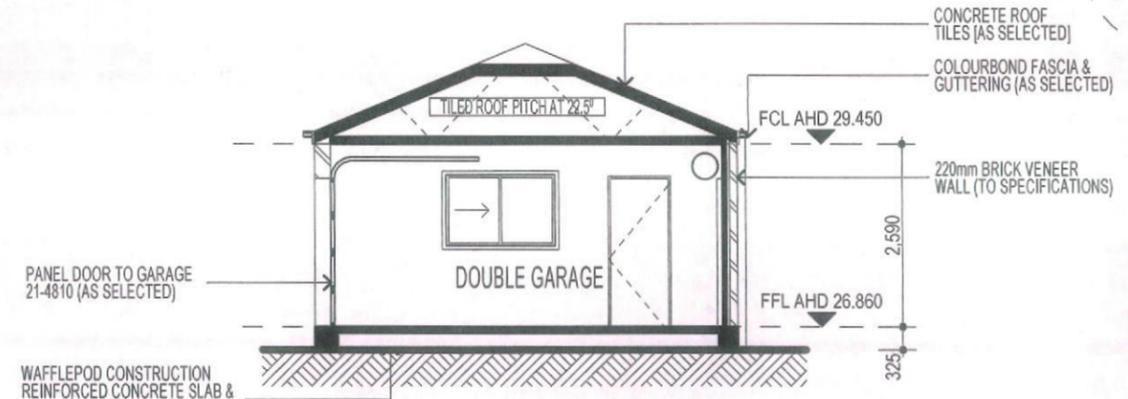
ELEVATIONS



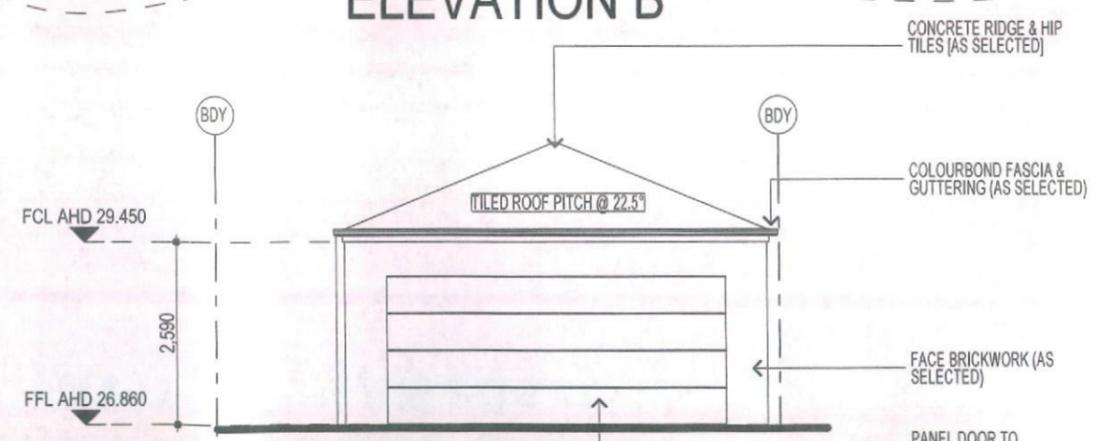
ELEVATION A



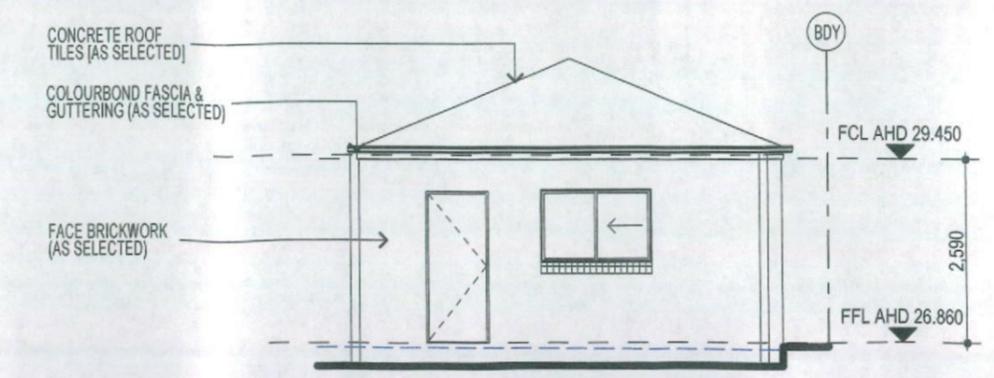
ELEVATION B



SECTION F-F



ELEVATION C



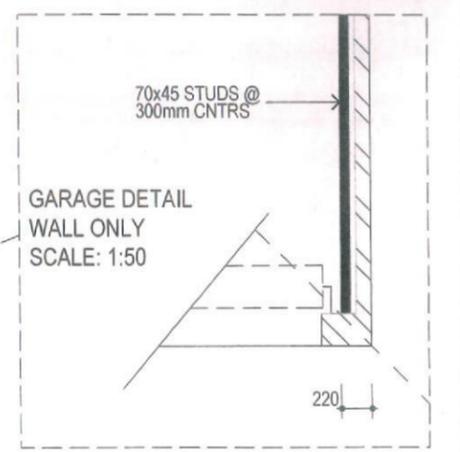
ELEVATION D

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 Lic No. 113412C
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- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
- ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
- ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
- ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
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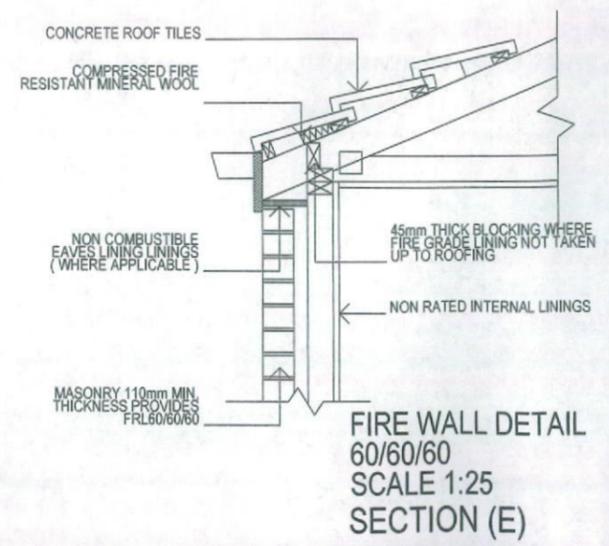
GARAGE DETAIL WALL ONLY
 SCALE: 1:50

FIBRE OPTIC WIRING PACKAGE

NOTE
 AIR CONDITIONING ONLY
 (EER 2.5-3.0 OR GREATER)
 3-PHASE POWER

NOTE:
 PROVIDE GRANITGARD
 TERMITE TREATMENT

NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES;
 PLUMBING FITTINGS & FIXTURES; DOORS;
 CABINETS; HANDLES; PC ITEMS; ARE SHOWN
 ON THE PLANS & ELEVATIONS FOR
 ILLUSTRATION PURPOSES ONLY & TO
 SHOW APPROX SIZES. PLEASE REFER
 TO SPECIFICATIONS FOR YOUR RELEVANT
 ITEMS.



FIRE WALL DETAIL
 60/60/60
 SCALE 1:25
 SECTION (E)

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
G. S. PILLON

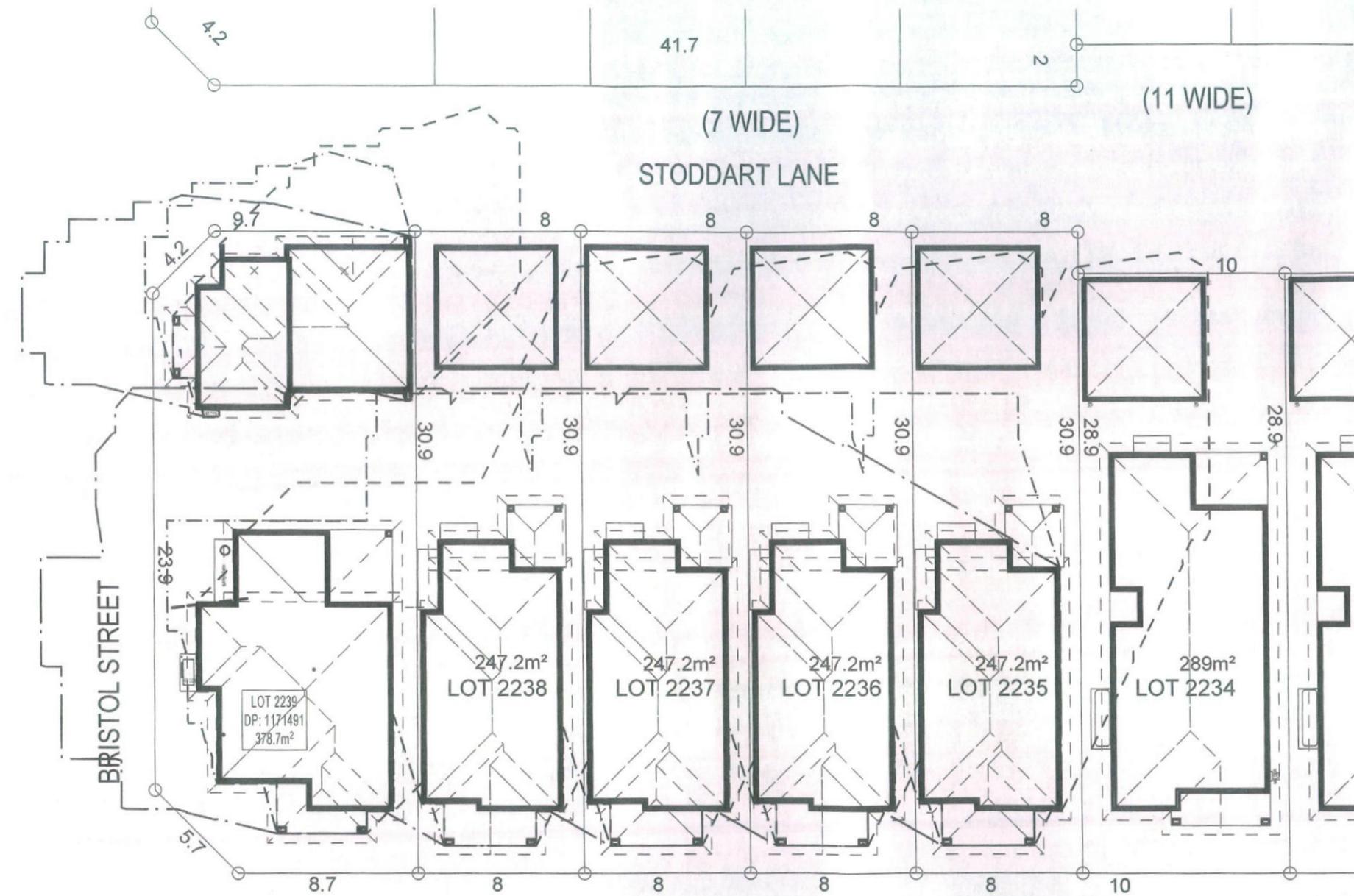
LOCATION:
 LOT 2229
 WILLIAM HART CRESCENT
 PENRITH NSW 2750

DP: 1184495	model: CHESTER 23	facade: AUGUSTINE	date: 10/02/2015	council: PENRITH	option assessment: QA1
8 of 14	drawn: GP/LDS/SW	checked: P.D	scale: 1:100	769-14	

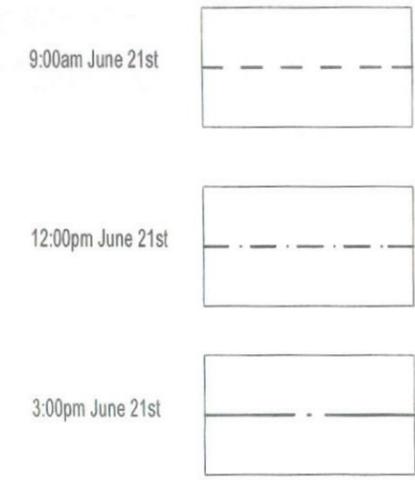
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SHADOW DIAGRAM



WILLIAM HART CRESCENT

NOTE:
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SHADOW DIAGRAM

PROMOTION: LIVING/STYLE COLLECTION			
CLIENT: G. S. PILLON			
LOCATION: LOT 2229 WILLIAM HART CRESCENT PENRITH NSW 2750			
DP: 1184495	model: CHESTER 23	facade: AUGUSTINE	council: PENRITH
Sheet: 12 of 14	drawn: GP/LDS/SW	checked: P.D	date: 10/02/2015
scale: 1:250			application assessment: QA1
769-14			
CLIENT'S SIGNATURE		DATE	S.P. DR.

