

New Residence

Lot 4 HN 24-30 DP: 25981
Reynolds Road
Londonderry
0111-20

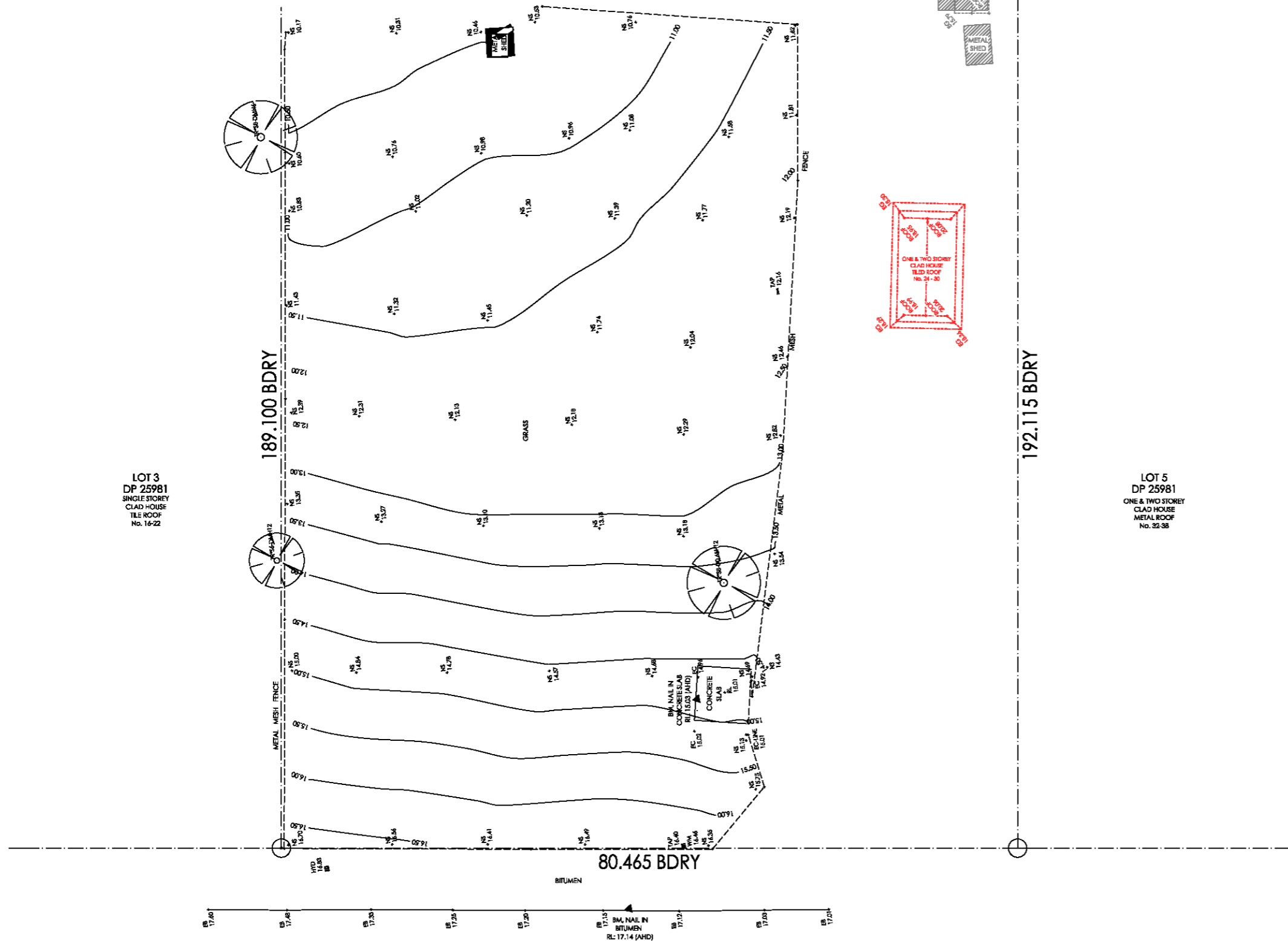


Signature
DESIGN & DRAFTING

Page	Drawing
01	COVER PAGE
02	DEMOLITION PLAN
03	SITE PLAN
04	LOCATION PLAN
05	FLOOR PLAN
06	ELEVATIONS
07	ELEVATIONS
08	ROOF LAYOUT PLAN
09	BASIX COMMITMENTS
10	
11	

EXISTING DWELLING SHOWN IN DASHED RED TO BE DEMOLISHED

ALL DEMOLITION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH APPLICABLE PROVISIONS OF AUSTRALIAN STANDARD AS2601-2001 - DEMOLITION OF STRUCTURES



REVISION SCHEDULE			
ISSUE	DESCRIPTION	BY	DATE
A-5	PRELIM PLANS	TE	02.02.21
B-1	LODGEMENT PLANS	TE	07.04.21

COPYRIGHT
 THIS PLAN IS THE PROPERTY OF SIGNATURE DESIGN AND DRAFTING AND MAY NOT BE USED IN WHOLE OR PART. LEGAL ACTION WILL BE TAKEN AGAINST ANY PERSON WHO INFRINGES THE COPYRIGHT

- GENERAL BUILDING NOTES**
1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.
 2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDERS TENDER/CONTRACT DOCUMENTATION
 3. FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
 4. LEVELS SHOWN ARE APPROXIMATE AND TO BE CONFIRMED ON SITE BY SURVEYOR.
 5. DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENCED DRAINER AND/OR HYDRAULIC ENG PRIOR TO WORK COMMENCING.
 6. IF ENGINEERS DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE TO THESE DRAWINGS.
 7. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF BUILDING WORKS BY REGISTERED SURVEYOR.
 8. BUILDING WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS.
 9. BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT BUILDING CODE OF AUSTRALIA CONSTRUCTION REQUIREMENTS AND AUSTRALIAN STANDARDS.
 10. IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY TE DESIGNS IMMEDIATELY.



PROPOSED:
New Residence

CLIENT:
 [REDACTED]

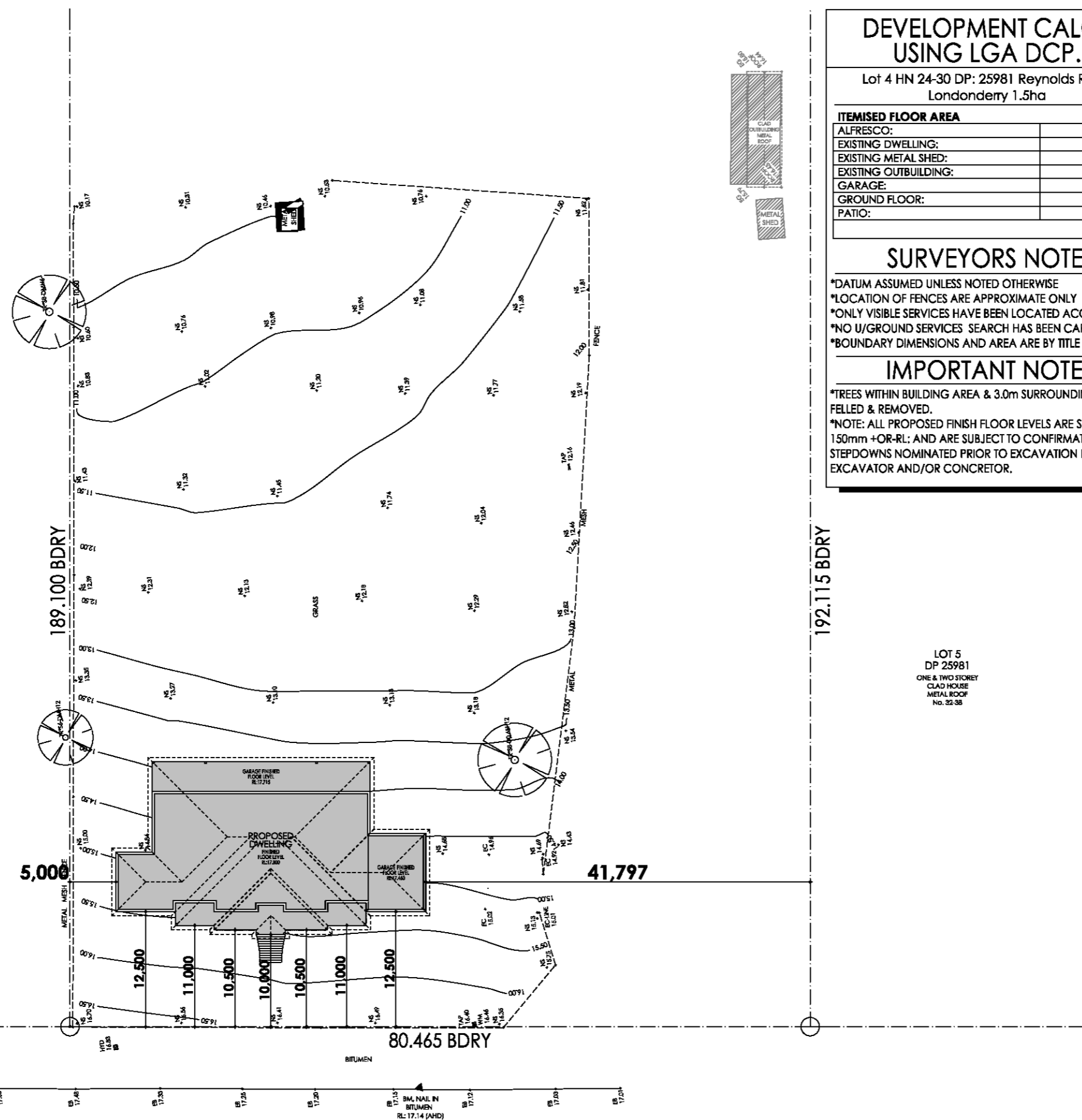
LOCATION:
Lot 4 HN 24-30 DP: 25981
Reynolds Road
Londonderry

COUNCIL: **Penrith** SHEET: **02 of 09**

DATE DRAWN: **03.07.20** HOUSE DESCRIPTION: **Custom Design Custom Facade** REFERENCE: **0111-20**

DESIGNED: **TE** DRAWN BY: **TE**

Demolition Plan
 Scale 1:500



LOT 3
DP 25981
SINGLE STOREY
CLAD HOUSE
TILE ROOF
No. 16-22

LOT 5
DP 25981
ONE & TWO STOREY
CLAD HOUSE
METAL ROOF
No. 32-38

DEVELOPMENT CALCS USING LGA DCP.

Lot 4 HN 24-30 DP: 25981 Reynolds Road
Londonderry 1.5ha

ITEMISED FLOOR AREA	
ALFRESCO:	76.83
EXISTING DWELLING:	77.06
EXISTING METAL SHED:	281.13
EXISTING OUTBUILDING:	63.98
GARAGE:	53.25
GROUND FLOOR:	322.83
PATIO:	48.81
923.89 m²	

SURVEYORS NOTE:

- *DATUM ASSUMED UNLESS NOTED OTHERWISE
- *LOCATION OF FENCES ARE APPROXIMATE ONLY
- *ONLY VISIBLE SERVICES HAVE BEEN LOCATED ACCURATELY
- *NO U/GROUND SERVICES SEARCH HAS BEEN CARRIED OUT
- *BOUNDARY DIMENSIONS AND AREA ARE BY TITLE ONLY.

IMPORTANT NOTE:

- *TREES WITHIN BUILDING AREA & 3.0m SURROUNDING TO BE FELLED & REMOVED.
- *NOTE: ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO A 150mm +OR-RL: AND ARE SUBJECT TO CONFIRMATION WITH STEPDOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.

REVISION SCHEDULE

ISSUE	DESCRIPTION	BY	DATE
A-5	PRELIM PLANS	TE	02.02.21
B-1	LODGEMENT PLANS	TE	07.04.21

COPYRIGHT

THIS PLAN IS THE PROPERTY OF SIGNATURE DESIGN AND DRAFTING AND MAY NOT BE USED IN WHOLE OR PART. LEGAL ACTION WILL BE TAKEN AGAINST ANY PERSON WHO INFRINGES THE COPYRIGHT

GENERAL BUILDING NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDERS TENDER/CONTRACT DOCUMENTATION
- FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
- LEVELS SHOWN ARE APPROXIMATE AND TO BE CONFIRMED ON SITE BY SURVEYOR.
- DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENCED DRAINER AND/OR HYDRAULIC ENG PRIOR TO WORK COMMENCING.
- IF ENGINEERS DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE TO THESE DRAWINGS.
- ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF BUILDING WORKS BY REGISTERED SURVEYOR.
- BUILDING WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS.
- BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT BUILDING CODE OF AUSTRALIA CONSTRUCTION REQUIREMENTS AND AUSTRALIAN STANDARDS.
- IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY TE DESIGNS IMMEDIATELY.



PROPOSED:
New Residence

CLIENT:
[REDACTED]

LOCATION:
**Lot 4 HN 24-30 DP: 25981
Reynolds Road
Londonderry**

COUNCIL:
Penrith

SHEET:
03 of 09

DATE DRAWN:
03.07.20

HOUSE DESCRIPTION:
Custom Design
Custom Facade

REFERENCE:
0111-20

DESIGNED:
TE

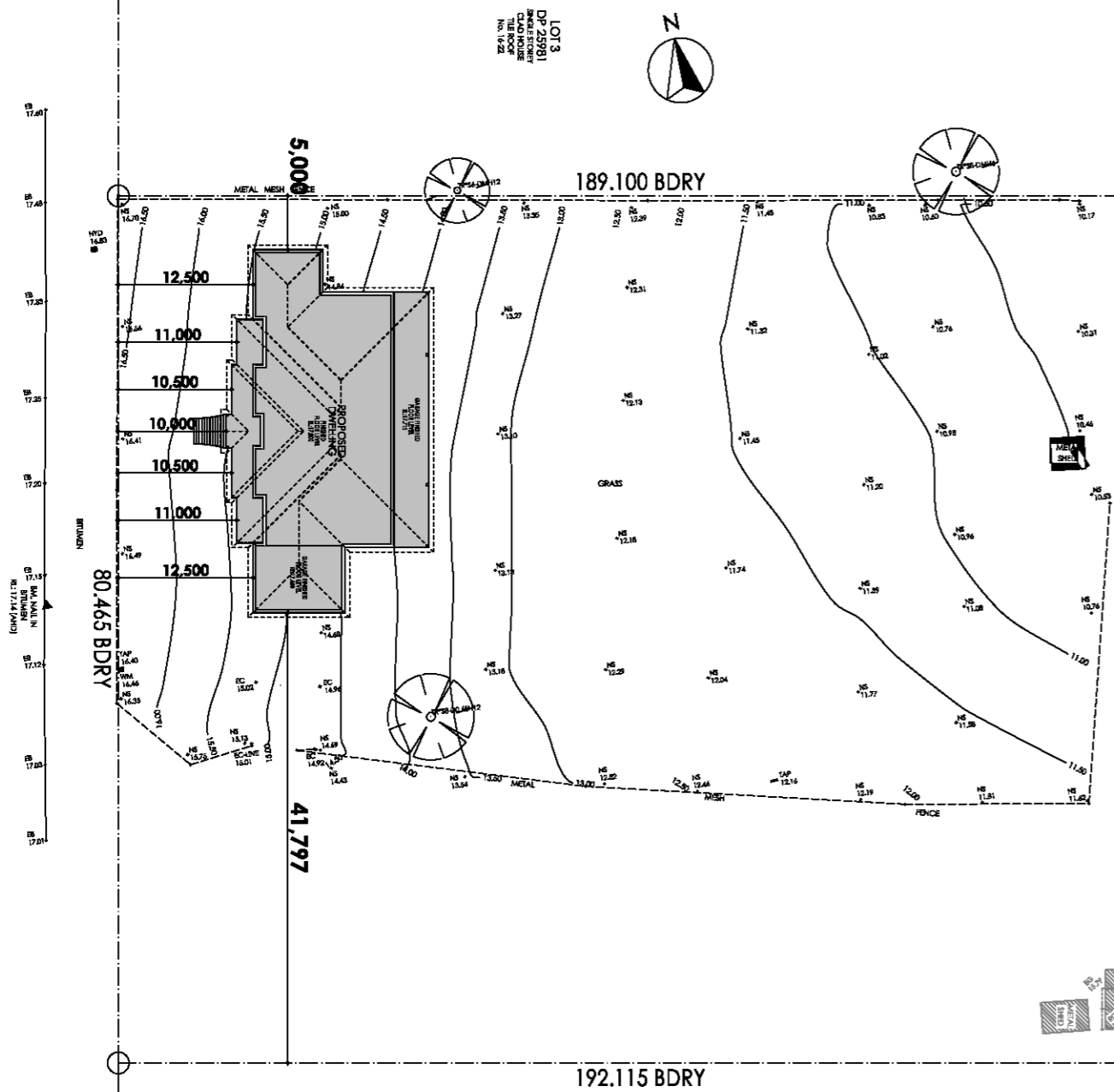
DRAWN BY:
TE

Site Plan
Scale 1:500

RICKABYS CREEK

WMHM

Location Plan
Scale 1:600



LOT 3
DP 25781
SHEED AND
CALDWELL
METAL SHED
No. 2583

LOT 5
DP 25781
SHEED AND
CALDWELL
METAL SHED
No. 2583

REYNOLDS ROAD



COPYRIGHT
THIS PLAN IS THE PROPERTY OF SIGNATURE DESIGN AND DRAFTING AND
MAY NOT BE USED IN WHOLE OR PART. LEGAL ACTION WILL BE TAKEN
AGAINST ANY PERSON WHO INFRINGES THE COPYRIGHT

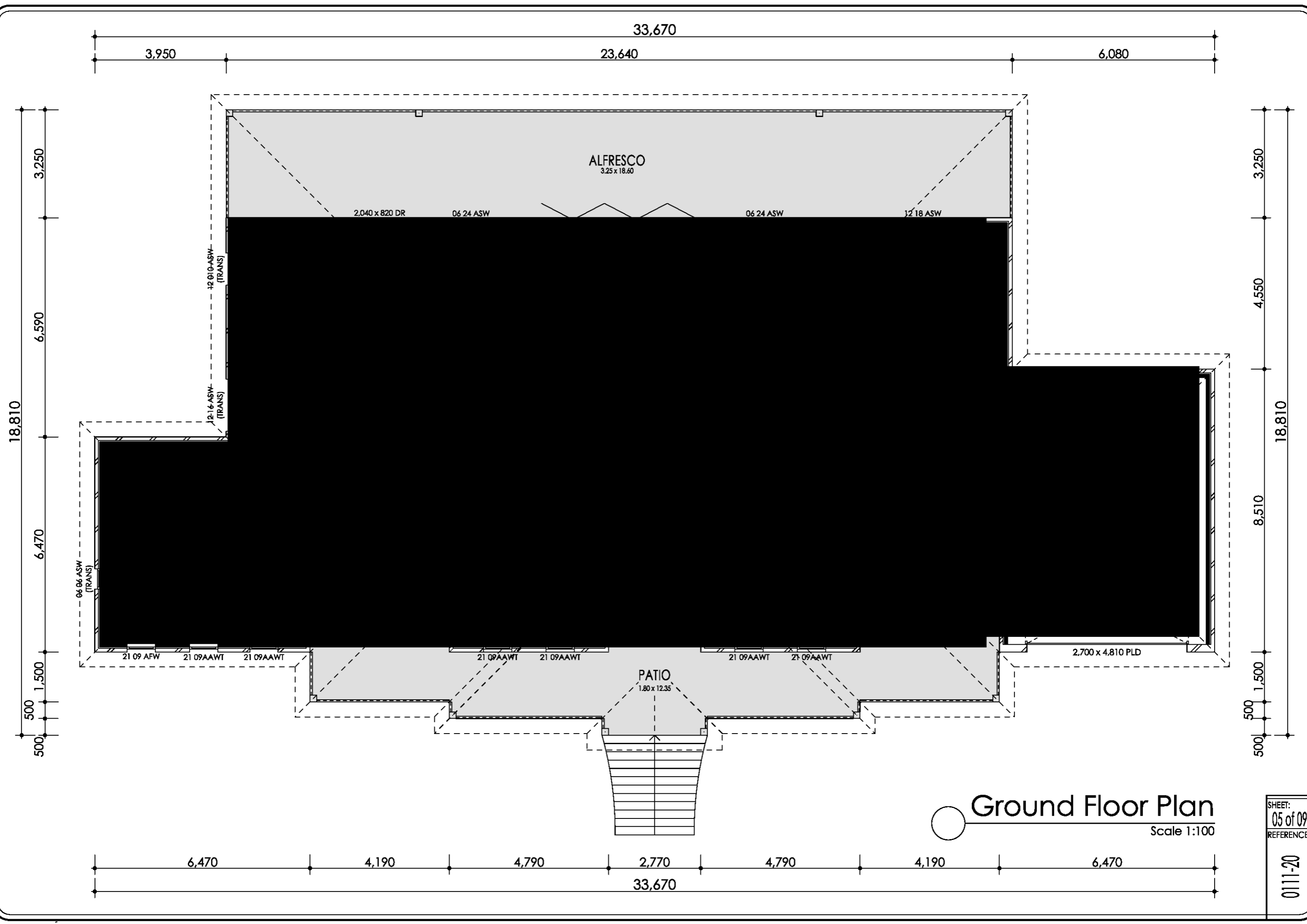
SHEET:
04 of 09
REFERENCE:
02-1110

REVISION SCHEDULE			
ISSUE	DESCRIPTION	BY	DATE
A-5	PRELIM PLANS	TE	02.02.21
B-1	LODGEMENT PLANS	TE	07.04.21

DESIGNED: TE
DATE DRAWN: 03.07.20
DRAWN BY: TE

PROPOSED: **New Residence**
CLIENT: [REDACTED]
LOCATION: **Lot 4 HN 24-30 DP: 25981
Reynolds Road Londonderry**

HOUSE DESCRIPTION:
Custom Design
Custom Facade
COUNCIL:
Penrith

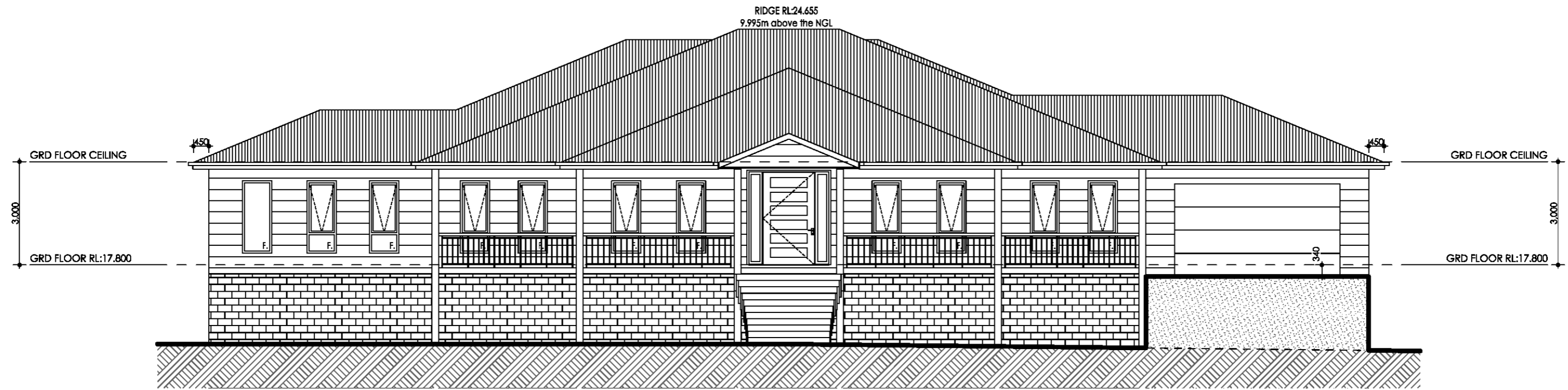


Ground Floor Plan

Scale 1:100

SHEET:
05 of 09
REFERENCE:


0111-20



○ Front-Elevation (West)
Scale 1:120



○ Rear-Elevation (East)
Scale 1:120

REVISION SCHEDULE				DESIGNED: TE	PROPOSED: New Residence	HOUSE DESCRIPTION: Custom Design Custom Facade		<p>COPYRIGHT</p> <p>THIS PLAN IS THE PROPERTY OF SIGNATURE DESIGN AND DRAFTING AND MAY NOT BE USED IN WHOLE OR PART. LEGAL ACTION WILL BE TAKEN AGAINST ANY PERSON WHO INFRINGES THE COPYRIGHT</p>	SHEET: 06 of 09
ISSUE	DESCRIPTION	BY	DATE	DATE DRAWN: 03.07.20	CLIENT: [REDACTED]	COUNCIL: Penrith			REFERENCE:
A-5	PRELIM PLANS	TE	02.02.21	DRAWN BY: TE	LOCATION: Lot 4 HN 24-30 DP: 25981 Reynolds Road Londonderry				
B-1	LODGEMENT PLANS	TE	07.04.21						

REVISION SCHEDULE			
ISSUE	DESCRIPTION	BY	DATE
A-5	PRELIM PLANS	TE	02.02.21
B-1	LODGEMENT PLANS	TE	07.04.21

COPYRIGHT

THIS PLAN IS THE PROPERTY OF SIGNATURE DESIGN AND DRAFTING AND MAY NOT BE USED IN WHOLE OR PART. LEGAL ACTION WILL BE TAKEN AGAINST ANY PERSON WHO INFRINGES THE COPYRIGHT

GENERAL BUILDING NOTES

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDERS TENDER/CONTRACT DOCUMENTATION
3. FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
4. LEVELS SHOWN ARE APPROXIMATE AND TO BE CONFIRMED ON SITE BY SURVEYOR.
5. DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENCED DRAINER AND/OR HYDRAULIC ENG PRIOR TO WORK COMMENCING.
6. IF ENGINEERS DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE TO THESE DRAWINGS.
7. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF BUILDING WORKS BY REGISTERED SURVEYOR.
8. BUILDING WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS.
9. BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT BUILDING CODE OF AUSTRALIA CONSTRUCTION REQUIREMENTS AND AUSTRALIAN STANDARDS.
10. IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY TE DESIGNS IMMEDIATELY.



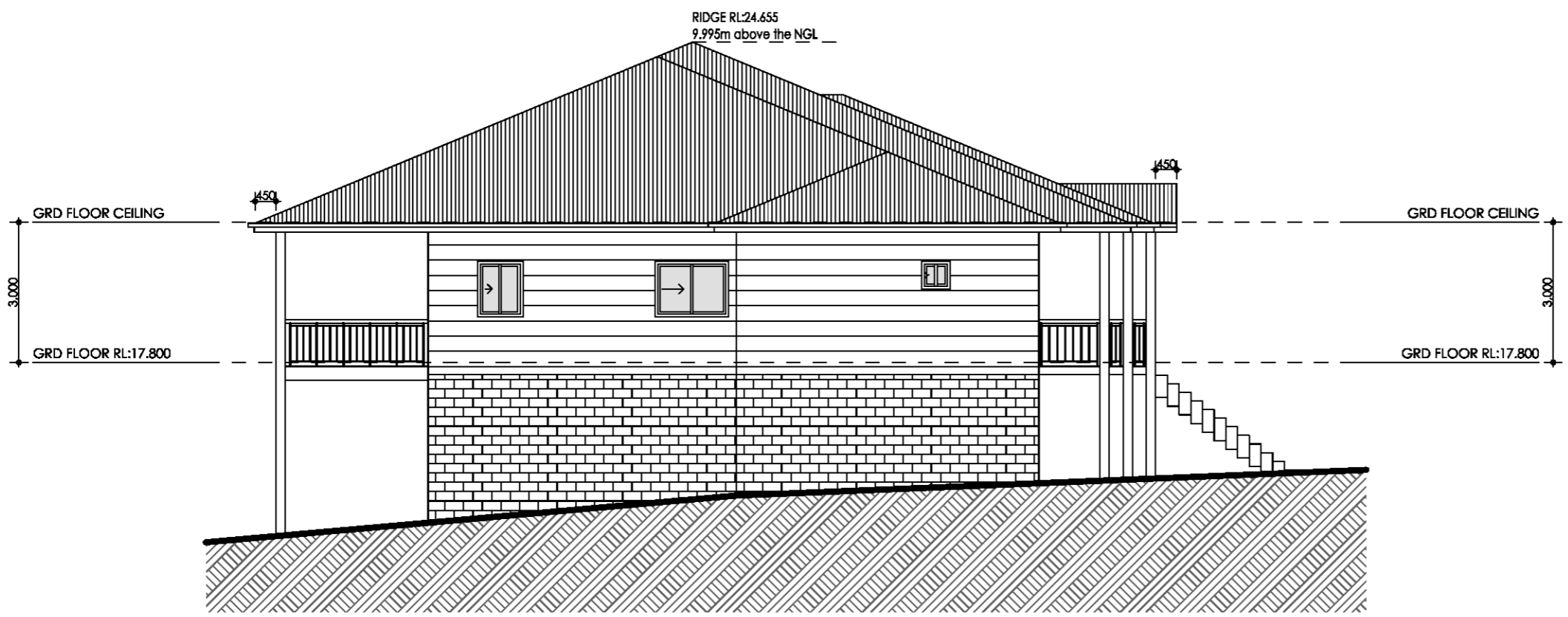
PROPOSED:
New Residence

CLIENT:
[REDACTED]

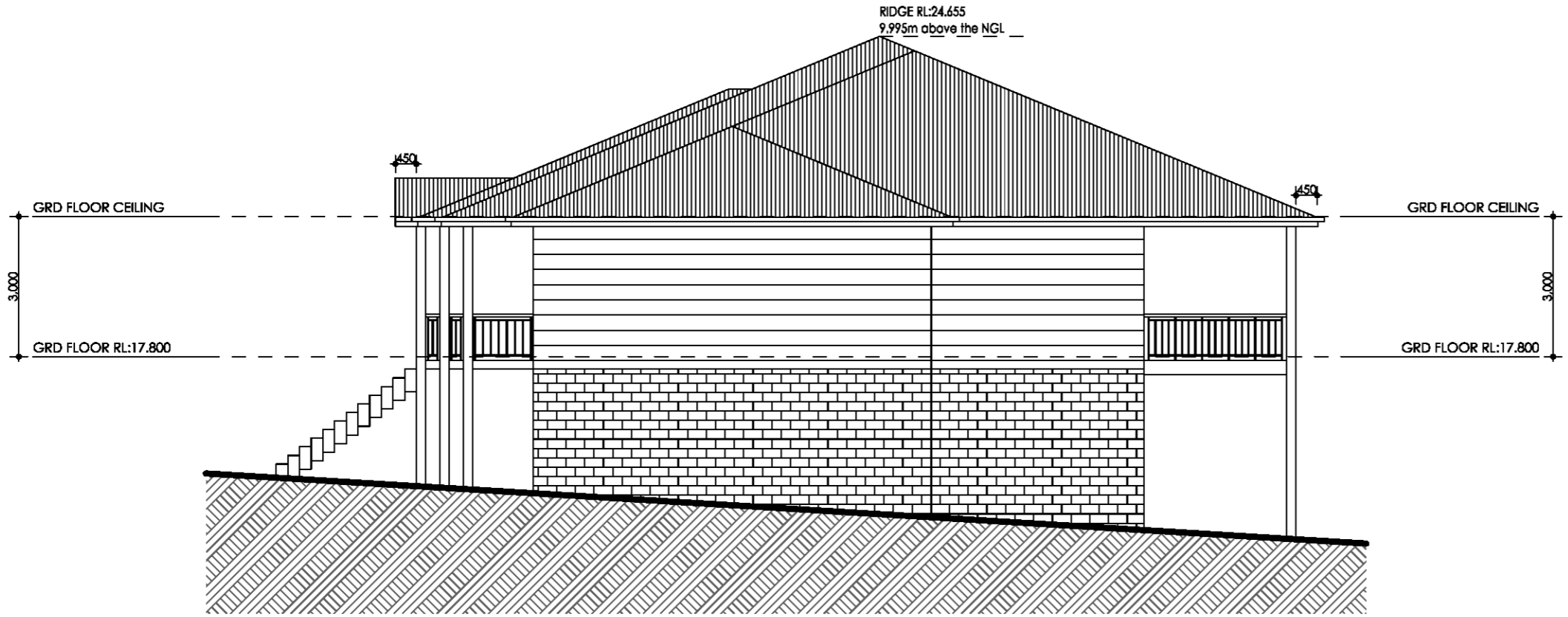
LOCATION:
**Lot 4 HN 24-30 DP: 25981
Reynolds Road
Londonderry**

COUNCIL: **Penrith** SHEET: **07 of 09**

DATE DRAWN: 03.07.20	HOUSE DESCRIPTION: Custom Design Custom Facade	REFERENCE: 0111-20
DESIGNED: TE	DRAWN BY: TE	



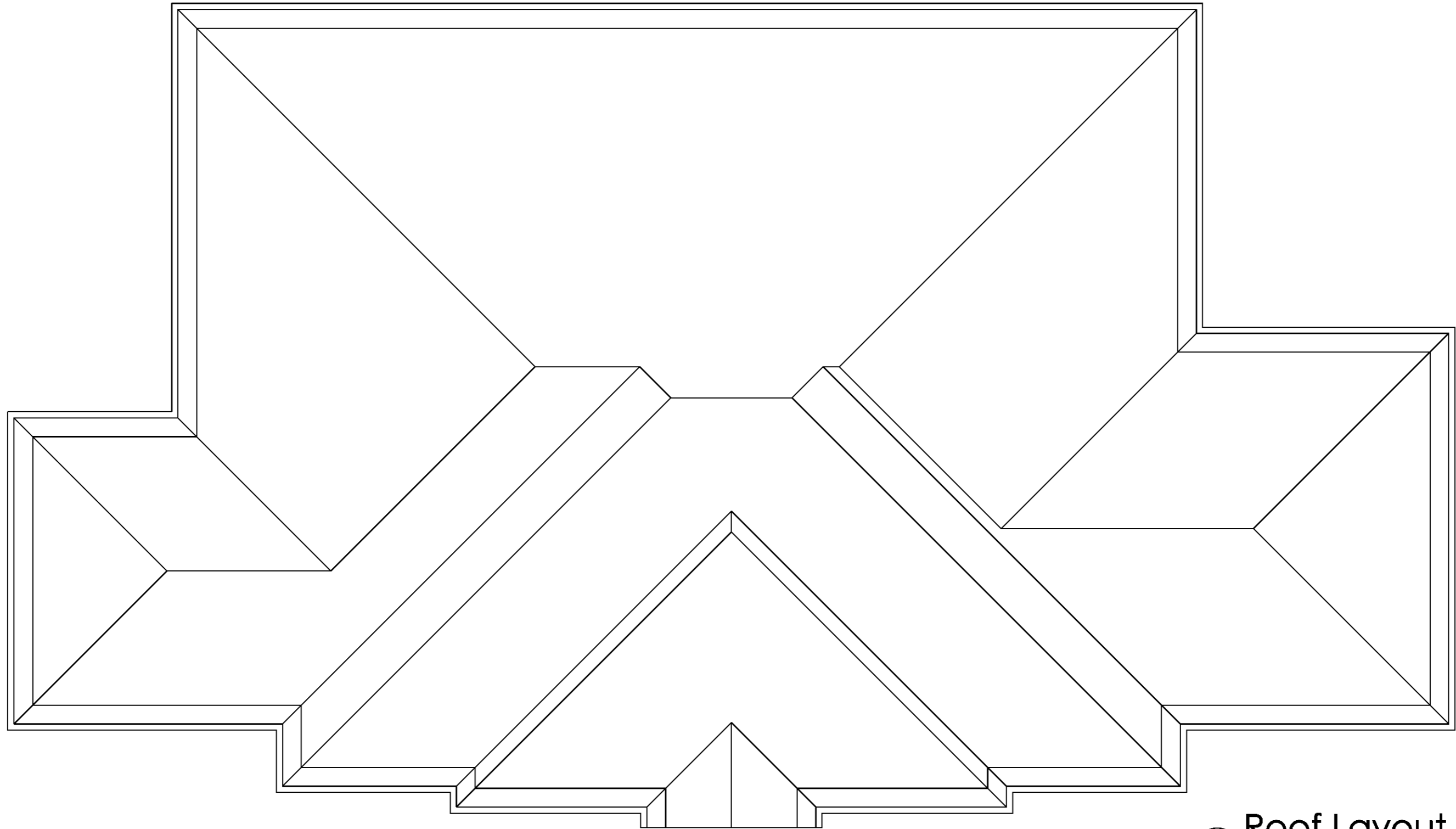
○ Side 1-Elevation (North)
Scale 1:120




○ Side 2-Elevation (South)
Scale 1:120

ROOF AREA:

A: 549.76 m²



Roof Layout Plan
Scale 1:100

REVISION SCHEDULE				DESIGNED: TE	PROPOSED: New Residence	HOUSE DESCRIPTION: Custom Design Custom Facade		<p>COPYRIGHT THIS PLAN IS THE PROPERTY OF SIGNATURE DESIGN AND DRAFTING AND MAY NOT BE USED IN WHOLE OR PART. LEGAL ACTION WILL BE TAKEN AGAINST ANY PERSON WHO INFRINGES THE COPYRIGHT</p>	SHEET: 08 of 09
ISSUE	DESCRIPTION	BY	DATE	DATE DRAWN: 03.07.20	CLIENT: [REDACTED]	COUNCIL: Penrith			REFERENCE:
A-5	PRELIM PLANS	TE	02.02.21	DRAWN BY: TE	<p>Lot 4 HN 24-30 DP: 25981 Reynolds Road Londonderry</p>				0111-20
B-1	LODGEMENT PLANS	TE	07.04.21						

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1180048

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. It is in full in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Commitment" dated 10/06/2022 published by the Department. This document is available at www.basix.nsw.gov.au

Validity:
Date of issue: Tuesday, 02 April 2021
To be valid, this certificate must be signed within 2 months of the date of issue.



Project summary			
Project name	24-30 Reynolds Rd, Londonderry		
Street address	24-30 Reynolds Road Londonderry 2705		
Local Government Area	Penrith City Council		
Plan type and plan number	Deposited 20081		
Lot no.	4		
Builder no.	-		
Project type	residential dwelling house		
No. of bedrooms	4		
Project scores			
Water	40	Target 40	
Thermal Comfort	Pass	Target Pass	
Energy	60	Target 60	

Certificate Prepared by
Name / Company Name: Signature Enterprise
ASN (if applicable): 709181801

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DAV/BN/A_3_0_1 Certificate No.: 1180048 Tuesday, 02 April 2021 page 9/10

Description of project

Project address		Assessor details and thermal loads	
Project name	24-30 Reynolds Rd, Londonderry	Assessor number	ale
Street address	24-30 Reynolds Road Londonderry 2705	Certificate number	ale
Local Government Area	Penrith City Council	Climate zone	ale
Plan type and plan number	Deposited Plan 20081	Area adjusted cooling load (MJ/m ² /year)	ale
Lot no.	4	Area adjusted heating load (MJ/m ² /year)	ale
Builder no.	-	Cooling fan to be used on bedroom	ale
Project type	residential dwelling house	Cooling fan to be used on living room or other conditioned area	ale
Project scores		Project scores	
Water	40	Target 40	
Thermal Comfort	Pass	Target Pass	
Energy	60	Target 60	

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DAV/BN/A_3_0_1 Certificate No.: 1180048 Tuesday, 02 April 2021 page 9/10

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on COCDO plans & specs	Certifier check
Features			
The applicant must install showerheads with a maximum rating of 9 star (> 6.8 lit/1 - < 0 Lit/1) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a maximum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a maximum rating of 4 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a maximum rating of 4 star in each bathroom in the development.		✓	✓
Alternative water			
Refrigerator tank			
The applicant must install a refrigerator tank of at least 2000 litres on the site. The refrigerator tank must meet, and be installed in accordance with, the requirements of an applicable registered installation.	✓	✓	✓
The applicant must configure the refrigerator tank to collect rain runoff from at least 200 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or water tank).		✓	✓
The applicant must connect the refrigerator tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DAV/BN/A_3_0_1 Certificate No.: 1180048 Tuesday, 02 April 2021 page 9/10

Thermal Comfort Commitments	Show on DA plans	Show on COCDO plans & specs	Certifier check
General features			
The ceiling must not have more than 2 stripes.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open masonry in an area exceeding 35 square metres.	✓	✓	✓
The dwelling must not contain free level habitat structure.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications	
Floor - suspended floor above external wall/door, concrete	1.00 (or 2.00 including construction) (stone)		
external wall - cavity slab	1.00 (or 1.57 including construction)		
internal wall shared with garage - plasterboard	all		
ceiling and roof - flat ceiling / pitched roof	see table(s) below (see also table(s) 0.478-0.71)		
Notes	<ul style="list-style-type: none"> Insulation specified in this Certificate must be installed in accordance with Part 3.10.1.1 of the Building Code of Australia. In some climate zones, insulation should be installed with due consideration of condensation and associated mould risk by adding building external. 		

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DAV/BN/A_3_0_1 Certificate No.: 1180048 Tuesday, 02 April 2021 page 9/10

Thermal Comfort Commitments	Show on DA plans	Show on COCDO plans & specs	Certifier check		
Windows, glazed doors and skylights					
The applicant must install the windows, glazed doors and skylight devices described in the table below, in accordance with the specifications listed in the table. Relevant construction specifications must be satisfied for each window and glazed door.	✓	✓	✓		
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:					
• For the following glass and frame types, the certifier check can be performed by visual inspection:					
- Aluminium double glaze		✓	✓		
- Aluminium double (or) clear		✓	✓		
- Timber/PVC/Aluminium single glaze		✓	✓		
• For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed next to a glass type. Certification (COCDO) covers the range of frame types. Total system U values and CEC must be submitted in accordance with National Performance Rating Council (NPRC) conditions. Frame and glass types across in the table below are for reference only.		✓	✓		
Windows/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Maximum width (mm))	Overhead shading
W12	800	870	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 600 mm, 300 mm above head of window or glazed door	not overheaded
W13	1200	1070	U-value: 2.2, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 600 mm, 300 mm above head of window or glazed door	not overheaded
W14	1200	870	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 600 mm, 300 mm above head of window or glazed door	not overheaded

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DAV/BN/A_3_0_1 Certificate No.: 1180048 Tuesday, 02 April 2021 page 9/10

Windows/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Maximum width (mm))	Overhead shading
W15	810	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
W16	810	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
W17	810	1200	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
D01	2400	2470	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
West Facing					
W02	2100	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
W03	2100	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
W04	2100	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
W05	2100	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
W06	2100	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
W07	2100	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DAV/BN/A_3_0_1 Certificate No.: 1180048 Tuesday, 02 April 2021 page 9/10

Windows/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Maximum width (mm))	Overhead shading
W08	2100	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
W09	2100	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
W10	2100	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded
W11	2100	800	U-value: 2.3, SHGC: 0.361 - 0.428 (comparable, double (argon), Lo-Tint Low-E-glass)	none 500 mm, 300 mm above head of window or glazed door	not overheaded

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DAV/BN/A_3_0_1 Certificate No.: 1180048 Tuesday, 02 April 2021 page 9/10

Energy Commitments	Show on DA plans	Show on COCDO plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of more than 40 BTU/kWh.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: air conditioning (split only); Energy rating: 60.	✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: air conditioning (split only); Energy rating: 60.	✓	✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: air conditioning (split only); Energy rating: 60.	✓	✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: air conditioning (split only); Energy rating: 60.	✓	✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 bathroom: individual fan, ducted to outside or roof; Operation control: manual switch on/off	✓	✓	✓
Kitchen: individual fan, ducted to outside or roof; Operation control: manual switch on/off	✓	✓	✓
Laundry: individual fan, ducted to outside or roof; Operation control: manual switch on/off	✓	✓	✓
Artificial Lighting			
The applicant must ensure that the following types of artificial lighting in basement or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the LEDs for these lights must only be capable of occupying basement or light emitting diode (LED) lamps:			
• at least 4 of the bedrooms / study; dedicated	✓	✓	✓
• the kitchen;	✓	✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DAV/BN/A_3_0_1 Certificate No.: 1180048 Tuesday, 02 April 2021 page 9/10

Energy Commitments	Show on DA plans	Show on COCDO plans & specs	Certifier check
at bedrooms/hallways			
• the laundry;	✓	✓	✓
• all hallways;	✓	✓	✓
Natural lighting			
The applicant must install a window or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window or skylight in 3 bedrooms/hallways in the development for natural lighting.	✓	✓	✓
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.	✓	✓	✓
The applicant must install a heat exchanger or clothes drying line as part of the development.	✓	✓	✓
The applicant must install a heat exchanger or clothes drying line as part of the development.	✓	✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DAV/BN/A_3_0_1 Certificate No.: 1180048 Tuesday, 02 April 2021 page 9/10

REVISION SCHEDULE

ISSUE	DESCRIPTION	BY	DATE
A-5	PRELIM PLANS	TE	02.02.21
B-1	LODGEMENT PLANS	TE	07.04.21

COPYRIGHT

THIS PLAN IS THE PROPERTY OF SIGNATURE DESIGN AND DRAFTING AND MAY NOT BE USED IN WHOLE OR PART. LEGAL ACTION WILL BE TAKEN AGAINST ANY PERSON WHO INFRINGES THE COPYRIGHT

GENERAL BUILDING NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDERS TENDER/CONTRACT DOCUMENTATION
- FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
- LEVELS SHOWN ARE APPROXIMATE AND TO BE CONFIRMED ON SITE BY SURVEYOR.
- DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENCED DRAINER AND/OR HYDRAULIC ENG PRIOR TO WORK COMMENCING.
- IF ENGINEERS DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE TO THESE DRAWINGS.
- ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF BUILDING WORKS BY REGISTERED SURVEYOR.
- BUILDING WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS.
- BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT BUILDING CODE OF AUSTRALIA CONSTRUCTION REQUIREMENTS AND AUSTRALIAN STANDARDS.
- IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY TE DESIGNS IMMEDIATELY.



PROPOSED:
New Residence

CLIENT:

LOCATION:
Lot 4 HN 24-30 DP: 25981
Reynolds Road
Londonderry

COUNCIL: Penrith SHEET: 09 of 09

DATE DRAWN: 03.07.20 HOUSE DESCRIPTION: Custom Design Custom Facade REFERENCE: 0111-20

DESIGNED: TE DRAWN BY: TE

Basix Commitments
Scale 1:1