

GENERAL NOTES

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY.

THE OWNER/BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA 2006, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS, REPORT ANY DISCREPANCIES TO THIS OFFICE.

ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE BUILDING CODE OF AUSTRALIA AND THE AUSTRALIAN STANDARDS LISTED IN NOTE 4.

AS1288-2006 GLASS IN BUILDINGS – SELECTION AND INSTALLATION
AS1562-1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
AS1684-2010 NATIONAL TIMBER FRAMING CODE
AS2049-2002 ROOF TILES
AS2050-2002 INSTALLATION OF ROOF TILES
AS2870-1996 RESIDENTIAL SLAB AND FOOTINGS – CONSTRUCTION
AS/NZ2904-1995 DAMP-PROOF COURSES AND FLASHINGS
AS3600-2000 CONCRETE STRUCTURES
AS3660 – 2000 BARRIERS FOR SUBTERRANEAN TERMITES
AS3700-2001 MASONRY IN BUILDINGS
AS3740-2004 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
AS3786-1993 SMOKE ALARMS
AS4005-2006 WIND LOADING FOR HOUSING
AS4100-1998 STEEL STRUCTURES

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL AND CIVIL
ENGINEERING COMPACTIONS AND DRAWINGS.

ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS3660.1.AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS.

SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES-

- ALL ROOMS-WITHIN 500mm VERTICAL OF THE FLOOR
- BATHROOMS-WITHIN 1500mm VERTICAL OF THE BATH BASE
- FULLY GLAZED DOORS
- SHOWER SCREENS
- WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL
- WINDOW SIZES ARE NOMINAL ONLY ACTUAL SIZES WILL VARY

GUTTERS WILL BE AS PER SPECIFICATION WITH MIN.100 X 75 RECTANGULAR OR 90mm DIA, DOWNPIPES, EACH DOWN PIPES SHALL SERVICE A MAXIMUM ROOF AREA OF 36 SQ.M. OR SHALL BE POSITIONED AS PER AS 3500.3, 2003, SECTION 3.

STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT AUTHORITY.

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS, IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENSED SURVEYOR. ALL WET AREAS TO COMPLY WITH BCA 3.8.1.2 AND AS 3740 . SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF THE WALL.

THERMAL INSULATION AS PER ENERGY RATING REPORT.

STAIR REQUIREMENTS: MIN. TREAD 240mm. RISER 115mm. MAX. RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON SLIP SURFACE. BALUSTRADES: MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm. AND IN ACCORDANCE WITH BCA 3.9.2. FOR STAINLESS STEEL BALUSTRADES REFER TO TABLE 3.9.2.1. (WIRE BALUSTRADE CONSTRUCTION – REQUIRED WIRE TENSION AND MAXIMUM PERMISSIBLE DEFLECTION) OF THE BCA.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGH-OUT CONSTRUCTION.

G.J. Gardner. HOMES

LEGEND

CJ	CONSTRUCTION JOINT
DP	DOWNPIPE
FP	FIRE PLACE
FW	FLOOR WASTE
HWS	HOT WATER SYSTEM
AC	AIR CONDITIONING
PS	PLUMBING STACK/DUCT
SP	STEEL POST
TBC	TO BE CONFIRMED
RL	RELATIVE LEVEL
AHD	AUSTRALIAN HEIGHT DATUM
CSD	CAVITY SLIDING DOOR
OHC	OVER HEAD CUPBOARD
FG	FIXED GLASS
FSR	FLOOR SPACE RATIO
LB	LOAD BEARING
NGL	NATURAL GROUND LINE
UBO	UNDER BENCH OVEN
WO	WALL OVEN
DW	DISHWASHER
MW	MICROWAVE
WM	WASHING MACHINE
WIR	WALK-IN ROBE
SD	SLIDING GLASS DOOR
AAW	ALUMINIUM AWNING WINDOW
ADH	ALUMINIUM DOUBLE HUNG WINDOW
AAW	ALUMINIUM AWNING WINDOW
ALW	ALUMINIUM LOUVRE WINDOW
BCA	BUILDING CODE OF AUSTRALIA
AS	AUSTRALIAN STANDARDS

SITE NOTES

ALL STORMWATER AND DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2.&3.5.2 AS WELL AS/NZ8 3600

A MINIMUM HEIGHT OF 150mm SHALL BE MAINTAINED BETWEEN THE TOP OF THE OVERFLOW GULLY RISER & THE LOWEST FIXTURE CONNECTED TO THE DRAIN. THE OVERFLOW GULLY RISER SHALL BE LOCATED AT 75mm ABOVE SURROUNDING GROUND LEVEL OR SHALL BE FINISHED AT A HEIGHT TO PREVENT THE INGRESS OF WATER WHEN LOCATED IN A PATH OR PAVED AREA.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100, DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

ALL STORMWATER DRAINAGE BELOW GROUND SHALL BE SEWER GRADE WITH NO JOINTS UNDER SLAB INSTALLED TO AS3500:3,2003. MINIMUM PIPE SIZE 100mm MINIMUM GRADE 1:100.

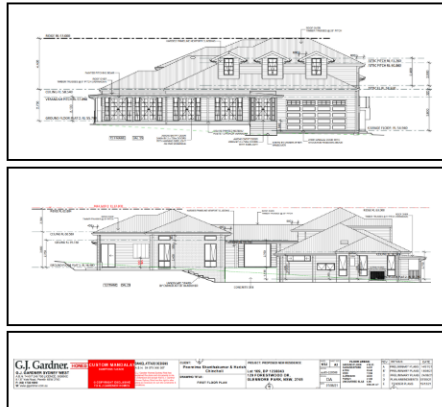
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<h1>G.J. Gardner.</h1> <p>HOMES</p> <p>G.J. GARDNER SYDNEY WEST A.B.N: 74 617 249 706 LICENCE: 309650C 8 / 37 York Road, Penrith NSW 2750 P: (02) 4732 4600 W: www.gjgardner.com.au GUMPTON, NSW 2750</p>	<p>CUSTOM MANDALA HAMPTONS FACADE</p> <p>© COPYRIGHT EXCLUSIVE TO G.J.GARDNER HOMES</p>	<p>DANIEL ATTARD DESIGNS A.B.N: 54 079 006 387</p> <p>G.J. Gardner Homes Sydney West has explained the plans and documents to me. I understand and accept that G.J. Gardner Homes Sydney West has the right to alter plans as necessary to suit site constraints & conditions.</p>	<p>CLIENT:</p> <p>[REDACTED]</p> <p>DRAWING TITLE:</p> <p>TITLE PAGE</p>	<p>PROJECT: PROPOSED NEW RESIDENCE:</p> <p>Lot 109, DP 1238043 120 FORESTWOOD DR, GLENMORE PARK, NSW, 2745</p>	<table border="1"> <tr> <td>PAGES:</td> <td>1/22</td> <td>SHEET SIZE:</td> <td>A3</td> </tr> <tr> <td>JOB NO:</td> <td colspan="3">au65-220588</td> </tr> <tr> <td>DRAWN:</td> <td colspan="3">DA</td> </tr> <tr> <td>DATE:</td> <td colspan="3">07/08/21</td> </tr> </table>	PAGES:	1/22	SHEET SIZE:	A3	JOB NO:	au65-220588			DRAWN:	DA			DATE:	07/08/21			<table border="1"> <tr> <th colspan="2">FLOOR AREAS:</th> </tr> <tr> <td>GROUND FLOOR</td> <td>418.35</td> </tr> <tr> <td>GARAGE/STORE</td> <td>54.51</td> </tr> <tr> <td>ATTIC</td> <td>93.42</td> </tr> <tr> <td>VOID</td> <td>13.94</td> </tr> <tr> <td>ALFRESCO</td> <td>40.91</td> </tr> <tr> <td>PORCH</td> <td>31.05</td> </tr> <tr> <td>UNCOVERED SLAB</td> <td>6.06</td> </tr> <tr> <td></td> <td>656.24 m²</td> </tr> </table>	FLOOR AREAS:		GROUND FLOOR	418.35	GARAGE/STORE	54.51	ATTIC	93.42	VOID	13.94	ALFRESCO	40.91	PORCH	31.05	UNCOVERED SLAB	6.06		656.24 m²	<table border="1"> <tr> <th>REV</th> <th>DETAILS:</th> <th>DATE</th> </tr> <tr> <td>C</td> <td>PRELIMINARY PLANS</td> <td>24/08/21</td> </tr> <tr> <td>D</td> <td>PLAN AMENDMENTS</td> <td>07/09/21</td> </tr> <tr> <td>E</td> <td>TENDER PLANS</td> <td>5/12/21</td> </tr> <tr> <td>F</td> <td>ENCROACHMENT AREA</td> <td>22/03/22</td> </tr> <tr> <td>G</td> <td>VARIATION 3</td> <td>24/03/22</td> </tr> <tr> <td>H</td> <td>NATHERS</td> <td>28/03/22</td> </tr> </table>	REV	DETAILS:	DATE	C	PRELIMINARY PLANS	24/08/21	D	PLAN AMENDMENTS	07/09/21	E	TENDER PLANS	5/12/21	F	ENCROACHMENT AREA	22/03/22	G	VARIATION 3	24/03/22	H	NATHERS	28/03/22
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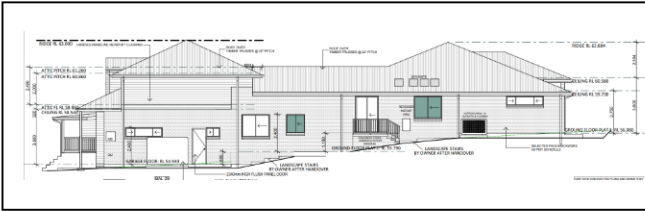
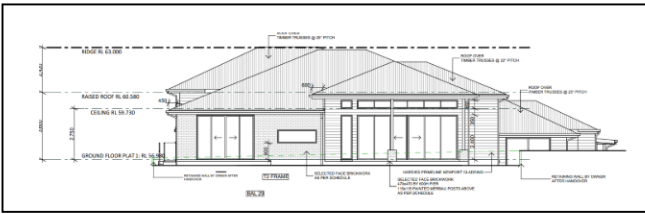
PROJECT INFORMATION			
DATE OF ISSUE	:	07/08/21	
PROJECT NUMBER	:	au65-220588	
DESIGN NAME	:	CUSTOM MANDALAY	
PROJECT NAME	:	Poornima Shanthakumar & Harish Chincholi	
LOCATION	:	GLENMORE PARK, NSW, 2745	
STREET NUMBER	:	120 FORESTWOOD DR,	
ZONING	:	R2 - LOW RESIDENTIAL	
SITE AREA	:	1254m2	
LOT & DP NUMBER	:	Lot 109, DP 1238043	
SURVEY BY	:	FREEBURN	
SITE COVERAGE	:	PROVIDED: 599.48m2 (47.8%) - MAX 627m2 (50%)	
LANDSCAPED AREA	:	PROVIDED: 685.38m2 (54.6%) - MIN 627m2 (50%)	
PROPOSED BAL RATING	:	BAL19	
TOTAL ROOF AREA	:	614.36m2	
ROOF AREA COLLECTED	:	100%	
RAINWATER TANK CAPACITY	:	3000 LITRE	
SLAB TYPE	:	H1	
SITE CLASSIFICATION	:	P	
SOIL CLASSIFICATION	:	H1 - SL92	
WIND CLASSIFICATION	:	N2	
D.A. NUMBER	:	NA	

COLOUR SELECTIONS

EXTERNAL COLOUR PLAN



BRICKWORKS BRICKWORKS BRICKWORKS	BRICKWORKS BRICKWORKS BRICKWORKS
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HOUSE DETAILS			
BRICK SUPPLIER:	Austral		
BRICK RANGE:	Wilderness		
BRICK COLOUR:	Silver Birch		
MORTAR:	Off White		
JOINTS:	Imperial		
FRATURE BRICKS:	N/A		
MORTAR:	N/A		
JOINTS:	N/A		
ROOF SUPPLIER:	Metal		
ROOF PROFILE:	Custom Orb		
COLOUR:	Surfmat		
PARAPET ROOF:	N/A	RANGE:	Colorbond Surfmat
PARAPET CAPPING:	N/A	RANGE CAPPING:	Colorbond Surfmat
FASCIA:	Colorbond Surfmat		
GUTTER:	Colorbond Surfmat		
RAINWATER TANK:	Colorbond Surfmat		
BALCONY RAIL:	Aluminium Powder Coated Handrail - Pearl White		
WINDOWS:	SUPPLIER: Bradco	COLOUR: Pearl White	
PRIVACY SCREENS: (if applicable)	Aluminium Powder Coated Finish N/A	COLOUR: N/A	
GARAGE DOORS:	SUPPLIER: B & D Doors	PROFILES: Grange (Woodgrain) with Stockton Window	
FRONT GARAGE:	COLOUR: Surfmat	COLOUR: N/A	
DRIVEWAY:	SUPPLIER: TBC with builder	FINISH: TBC with builder	
	COLOUR: TBC with builder		

EXTERNAL PAINT		COLOUR SELECTION	
FRONT DOOR & FRAME:		Dulux Black Cavalier	
VERANDAH DOORS TO BED 2, BED 3 & LIVING ROOM:		Dulux Lendoo	
LAUNDRY DOOR:		Aluminium Sliding - Pearl White	
GARAGE HINGED DOOR:		Dulux Lendoo	
PVC DOWNPIPES:		Dulux Surfmat	
MISER BOX:		Dulux Surfmat	
EAVES/VERANDAH GUTTERS:		Dulux Lendoo	
CLADDING TO ENTRY DWELLING INCLUDING DOWNER GABLES:		Dulux M1 Aspiring	
TIMBER POSTS:		Dulux Lendoo	
GLAZING			
FRONT DOOR:	PROFILE: Corinthian Doors - AWO40	GLAZING: Clear	
LAUNDRY DOOR:	PROFILE: Aluminium Sliding	GLAZING: Clear	
VERANDAH DOORS TO BED 2, BED 3 & LIVING ROOM:	PROFILE: Corinthian Doors - AWO40	GLAZING: Clear	
GARAGE HINGED DOOR:	PROFILE: Corinthian Doors - Flush Door		

G.J. Gardner



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BRICKWORKS

G.J. Gardner. HOMES

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G.J. Gardner. HOMES
G.J. GARDNER SYDNEY WEST
A.B.N: 74 617 249 706 LICENCE: 309650C
8 / 37 York Road, Penrith NSW 2750
P: (02) 4732 4600
W: www.gjgardner.com.au

CUSTOM MANDALAY
HAMPTONS FACADE
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TO G.J.GARDNER HOMES

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CLIENT:
DRAWING TITLE:
PROJECT INFO & COLOURS

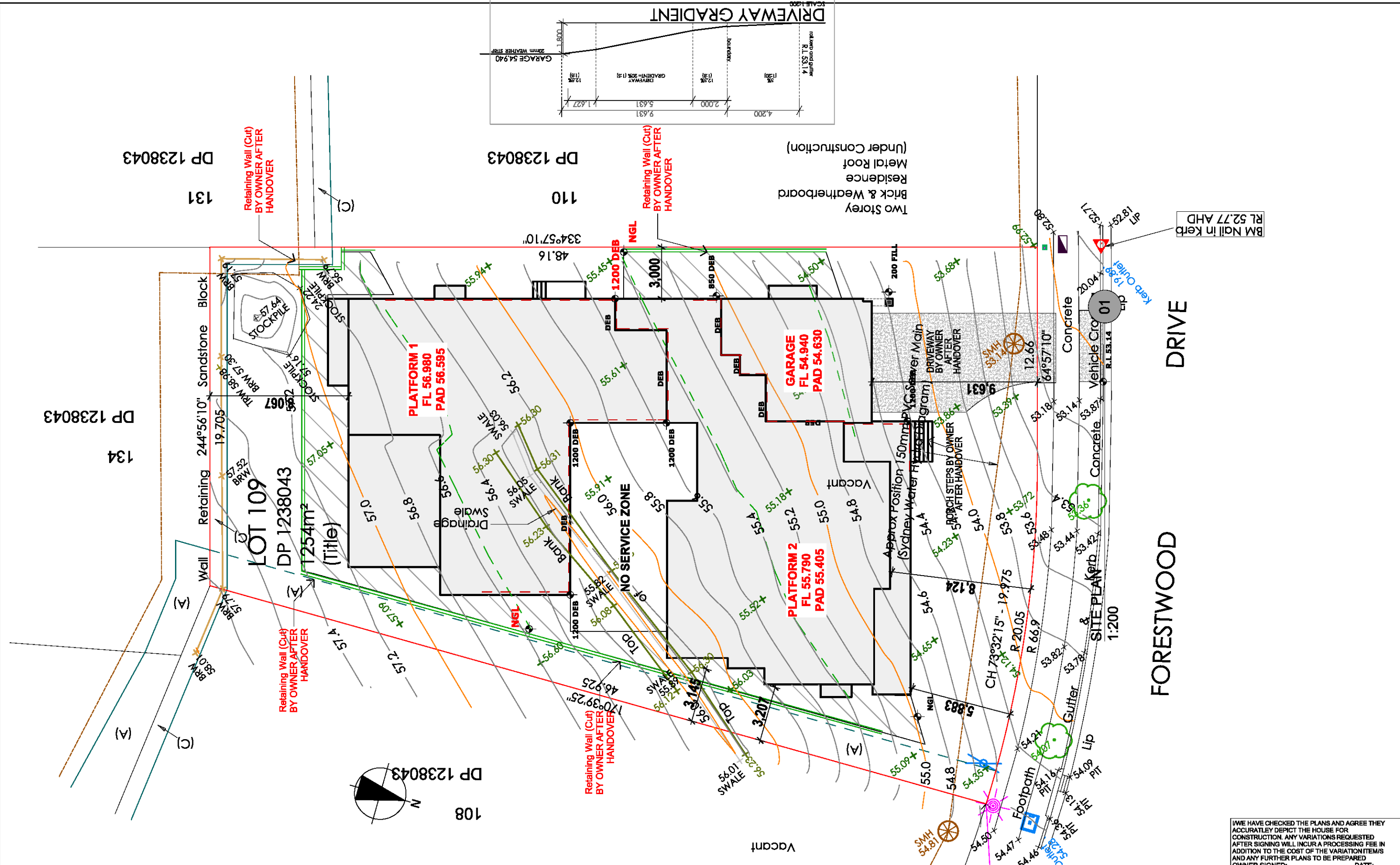
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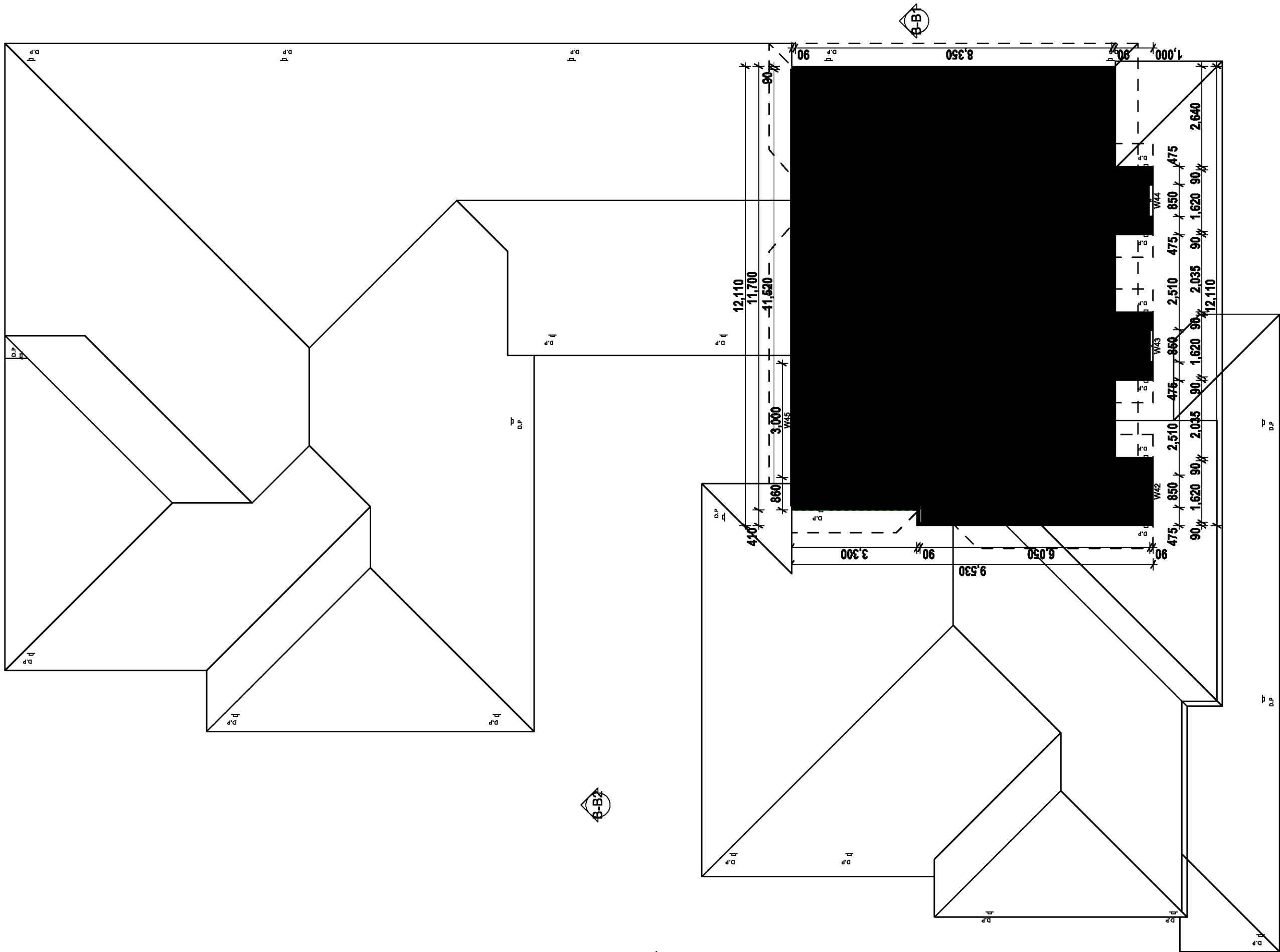
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H	NATHERS	28/03/22

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATLEY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED
OWNER SIGNED:.....DATE:.....
BUILDER SIGNED:.....DATE:.....



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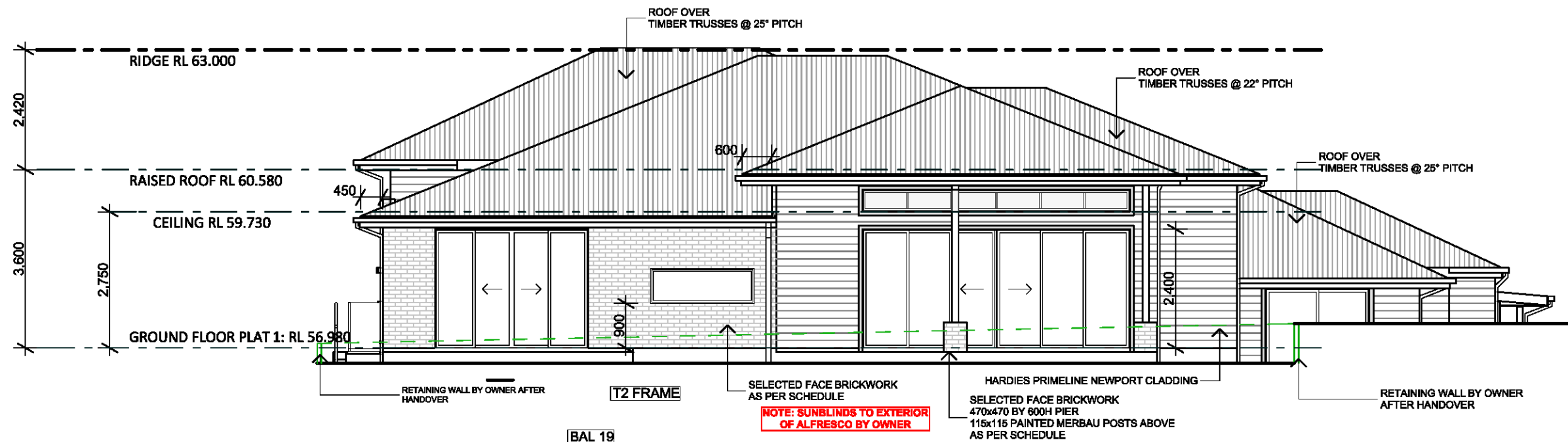


01
FIRST FLOOR PLAN
1:100

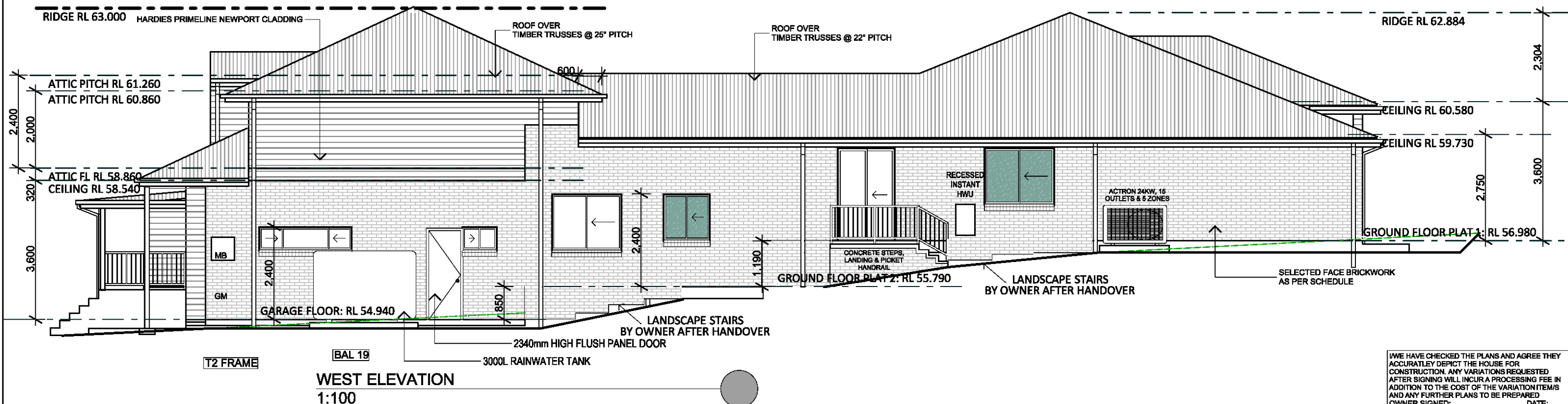
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SOUTH ELEVATION
1:100



WEST ELEVATION
1:100

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3D VIEWS - INDICATIVE ONLY. REFER TO COLOUR SELECTIONS SHEET FOR ACTUAL COLOURS & TEXTURES

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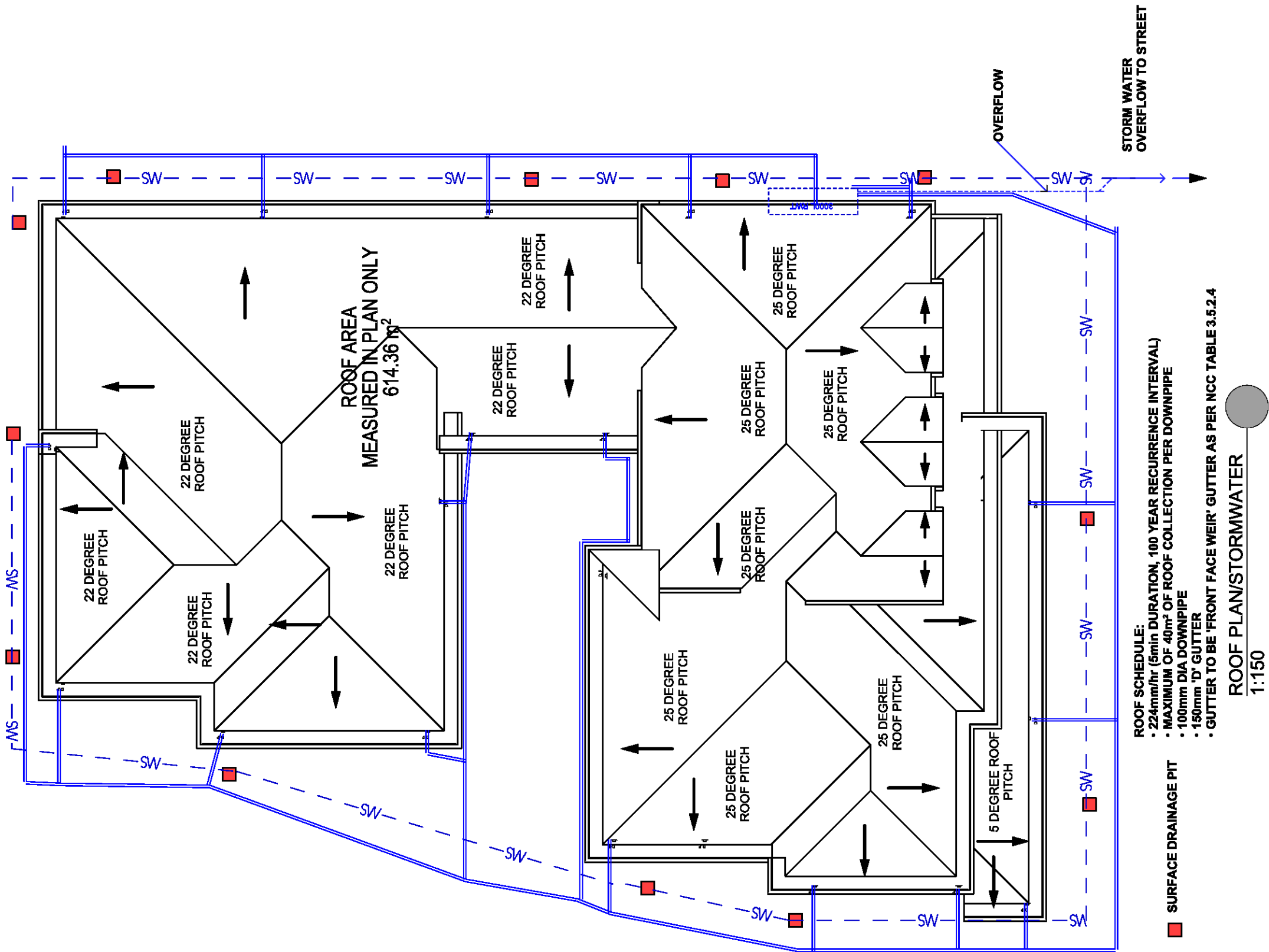
CLIENT:
[REDACTED]
DRAWING TITLE:
3D VIEWS

PROJECT: PROPOSED NEW RESIDENCE:
Lot 109, DP 1238043
120 FORESTWOOD DR,
GLENMORE PARK, NSW, 2745

PAGES: 10/22
JOB NO: au65-220588
DRAWN: DA
DATE: 07/08/21

SHEET SIZE: A3
FLOOR AREAS:
GROUND FLOOR 416.35
GARAGE/STORE 54.51
ATTIC 93.42
VOID 13.94
ALFRESCO 40.91
PORCH 31.05
UNCOVERED SLAB 6.06
656.24 m²

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OWNER SIGNED:.....	DATE:.....	
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REV	DETAILS:	DATE
C	PRELIMINARY PLANS	24/08/21
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E	TENDER PLANS	15/12/21
F	ENCROACHMENT AREA	22/03/22
G	VARIATION 3	24/03/22
H	NATHERS	28/03/22



ROOF SCHEDULE:

- 224mm/hr (5min DURATION, 100 YEAR RECURRENCE INTERVAL)
- MAXIMUM OF 40m² OF ROOF COLLECTION PER DOWNPIPE
- 100mm DIA DOWNPIPE
- 150mm 'D' GUTTER
- GUTTER TO BE 'FRONT FACE WEIR' GUTTER AS PER NCC TABLE 3.5.2.4

ROOF PLAN/STORMWATER
1:150

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ROOF PLAN

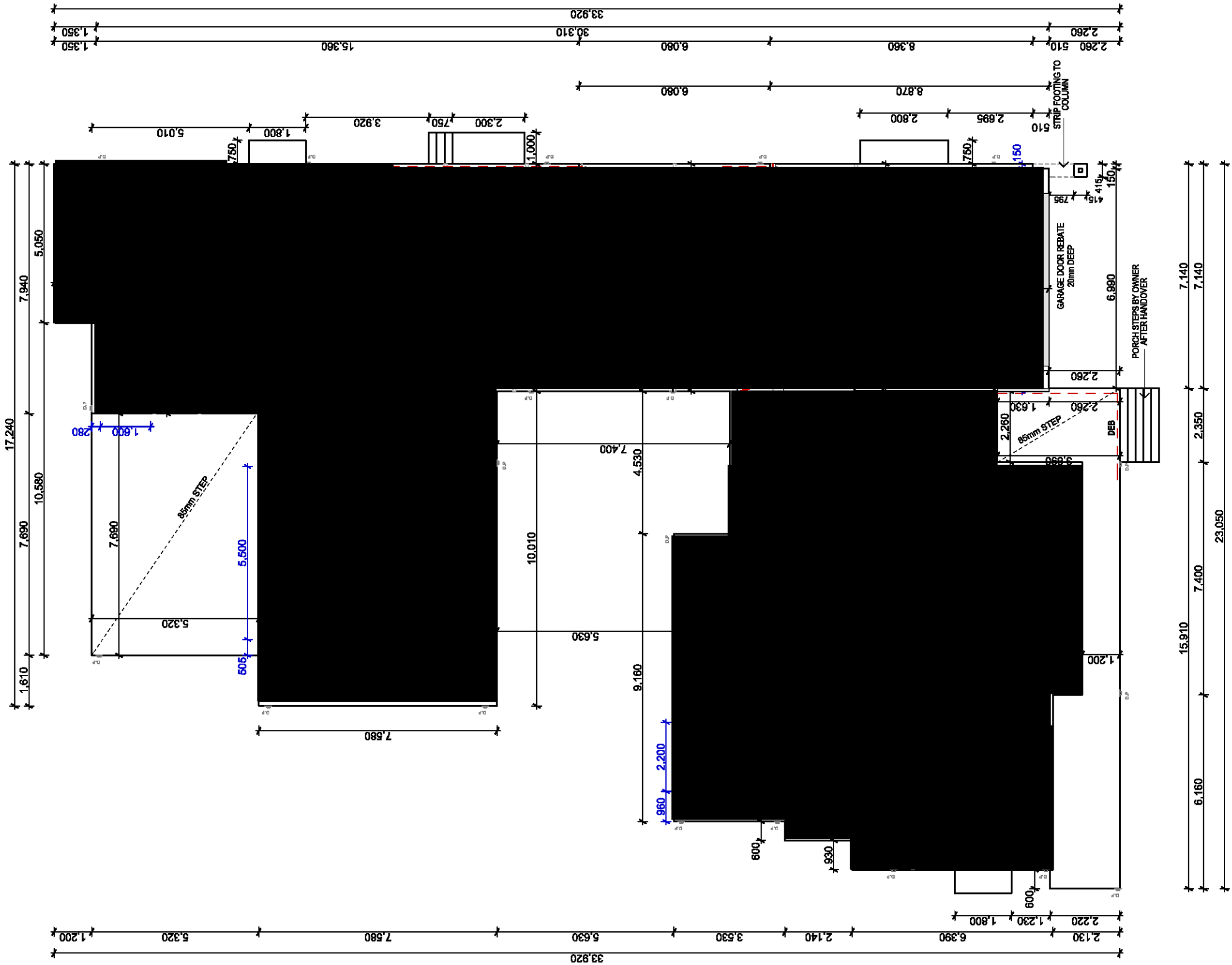
PROJECT: PROPOSED NEW RESIDENCE:
**Lot 109, DP 1238043
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CONCRETE SETOUT PLAN
1:150

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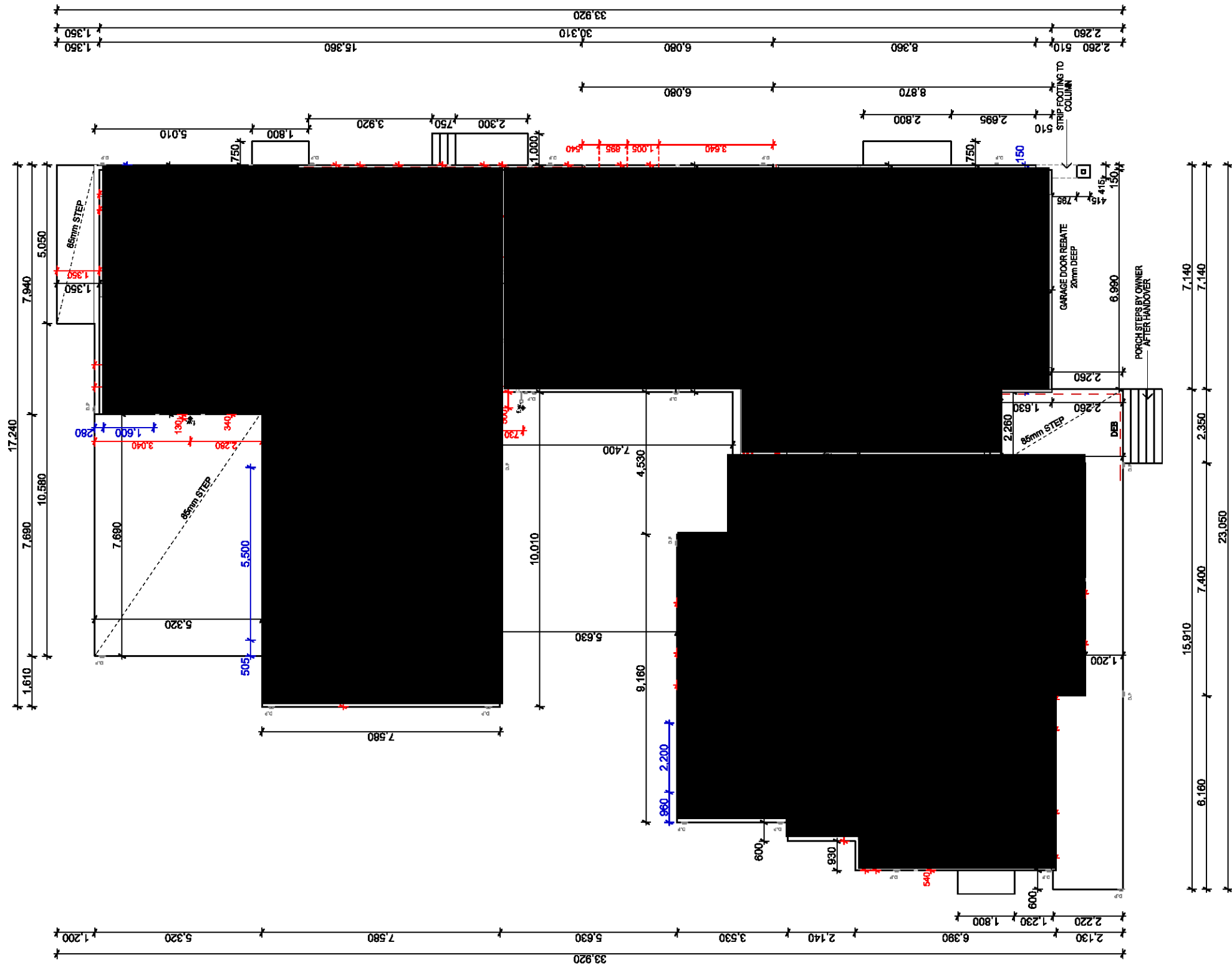
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SLAB PENETRATIONS
1:150

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SLAB PENETRATIONS

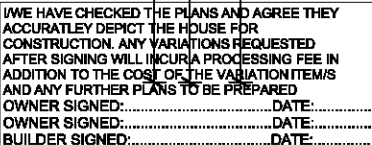
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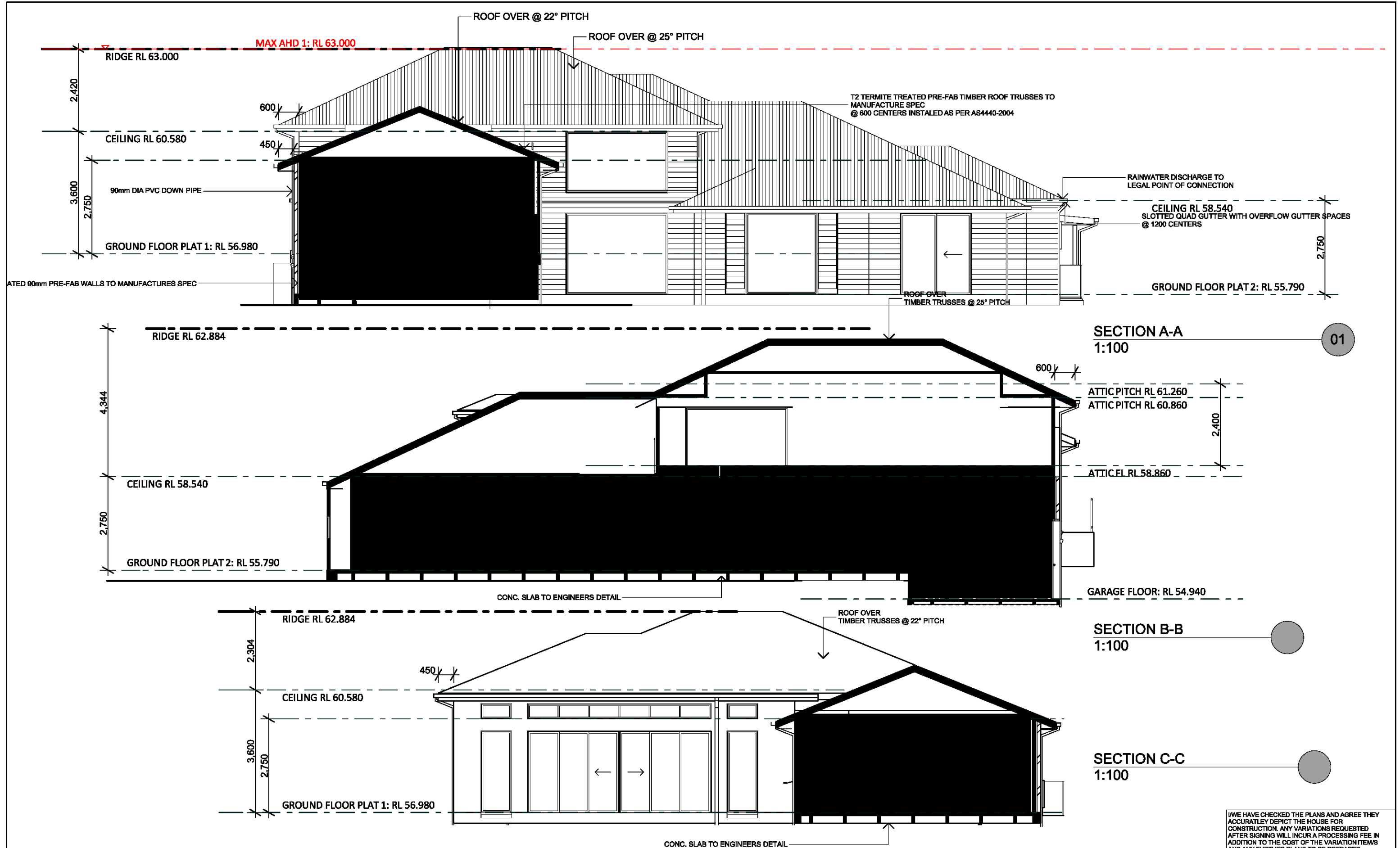
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SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL & TOP SOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL THE DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AREA AREAS WHERE WATER MAY CONCENTRATE.
- STOCKPILE TOPSOIL SEPARATELY FROM SUBSOIL.
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

BOUNDARY NOTES:

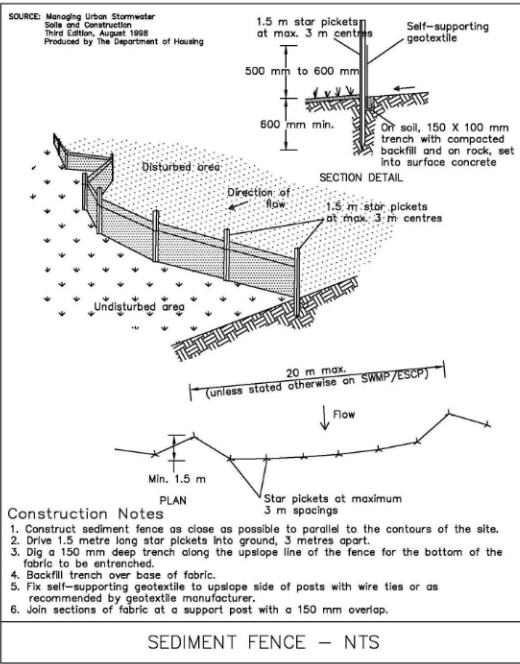
- BOUNDARY INFORMATION SUPPLIED BY OWNER
- CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

SETOUT NOTES:

- BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.

NOTES:

1. All work to be carried out in accordance with Council's standard specifications.
2. Erosion and sediment controls shall be constructed as shown on this plan and / or where directed by Council's Engineer.
3. Sedimentation and erosion control devices shall be implemented prior to or in conjunction with the first phase of earthworks and shall be removed only when the areas above it have been stabilised.
4. Each sedimentation and erosion control device shall be inspected after each storm for structural damage or clogging by silt and other debris and promptly repaired or replaced if required.
5. Where site regrading or filling is being undertaken, surface water shall be directed away from the face of batters.
6. All areas not subject to construction works shall be retained free from disturbance or damage during the currency of the works.
7. Revegetate all disturbed areas as soon as possible.
8. Diversion channels, silt / sedimentation fences etc. to be constructed as specified on Soil Conservation Service of NSW details as shown.



- Construction Notes
1. Construct sediment fence as close as possible to parallel to the contours of the site.
 2. Drive 1.5 metre long star pickets into ground, 3 metres apart.
 3. Dig a 150 mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
 4. Backfill trench over base of fabric.
 5. Fix self-supporting geotextile to upslope side of posts with wire ties or as recommended by geotextile manufacturer.
 6. Join sections of fabric at a support post with a 150 mm overlap.

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






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ELECTRICAL LEGEND

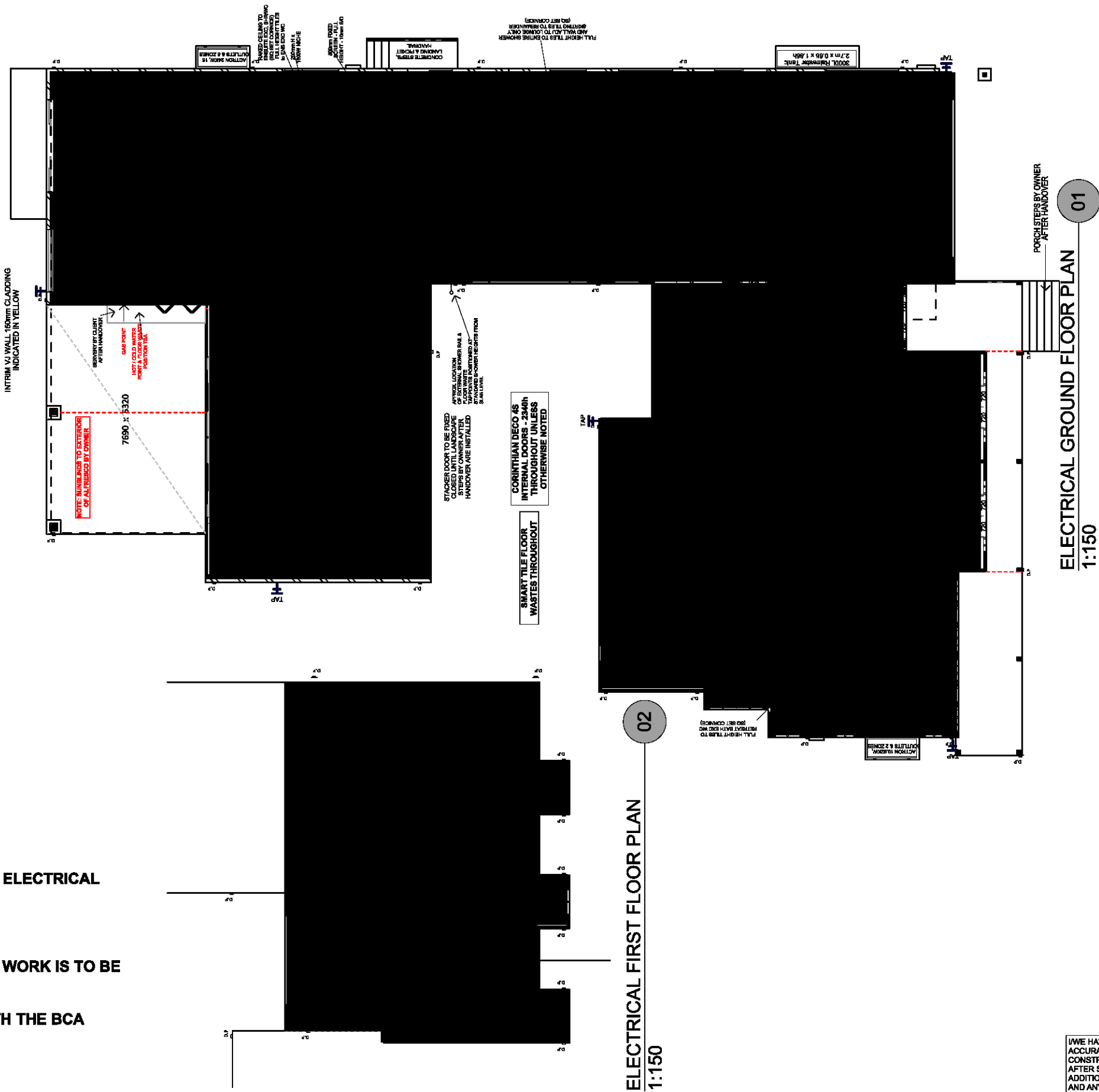
- DOUBLE GPO -
- WATER PROOF DOUBLE GPO -
- CEILING MOUNTED PENDANT LIGHT -
- CEILING MOUNTED BATTEN LIGHT -
- 

SINGLE GPO -
- 

CEILING POWER POINT -
- 

WATER PROOF SINGLE GPO -
- LED LIGHTS -
- LIGHT IN ROOF -
- EXTRACTION FANS -
- DOUBLE TUBE LED LIGHT -
- HARD WIRED SMOKE ALARM -
- TELEVISION POINT -
- TELEPHONE POINT -
- DATA -
- HEAT/LIGHT/FAN -
- EXTERNAL LIGHT PROVISION LED -
- SPOT LIGHT -
- CEILING FAN WITH LIGHT -
- CEILING FAN WITHOUT LIGHT

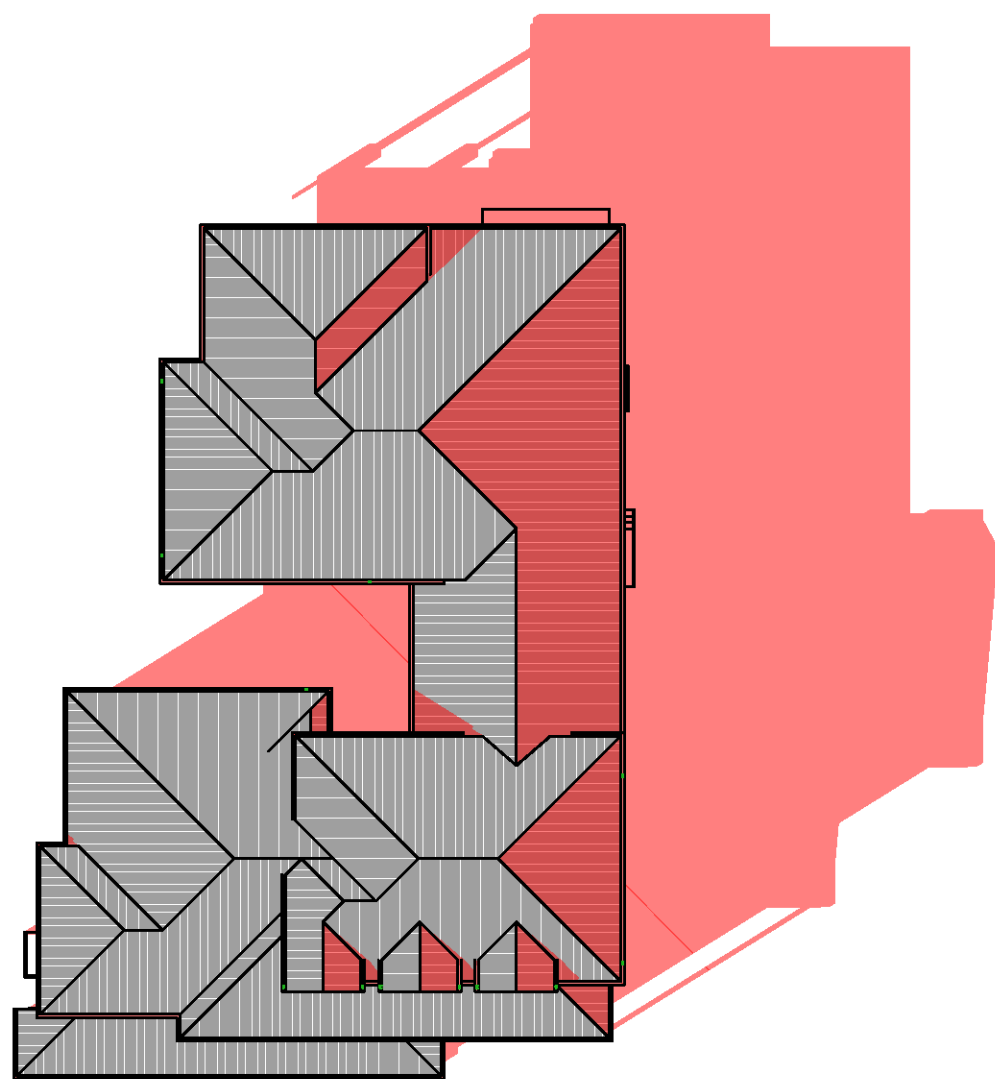
GENERAL NOTES:
METERBOX LOCATION TO BE CONFIRMED. THE POSITIONING OF ELECTRICAL OUTLETS & LIGHT SWITCHES, AS SHOWN, ARE INDICATIVE. LIMITATIONS IE. STUD POSITIONS.
ALL ELECTRICAL OUTLETS & LIGHT SWITCH POSITIONS SHOULD BE CONFIRMED BY CLIENT. ALL WIRING & ELECTRICAL WORK IS TO BE IN ACCORDANCE WITH AS 3000
AS3786-2014 SMOKE ALARMS TO BE HARWIRED & INTERLINKED
THE RANGEHOOD HAS AN AIRFLOW OF 350M3/H TO COMPLY WITH THE BCA



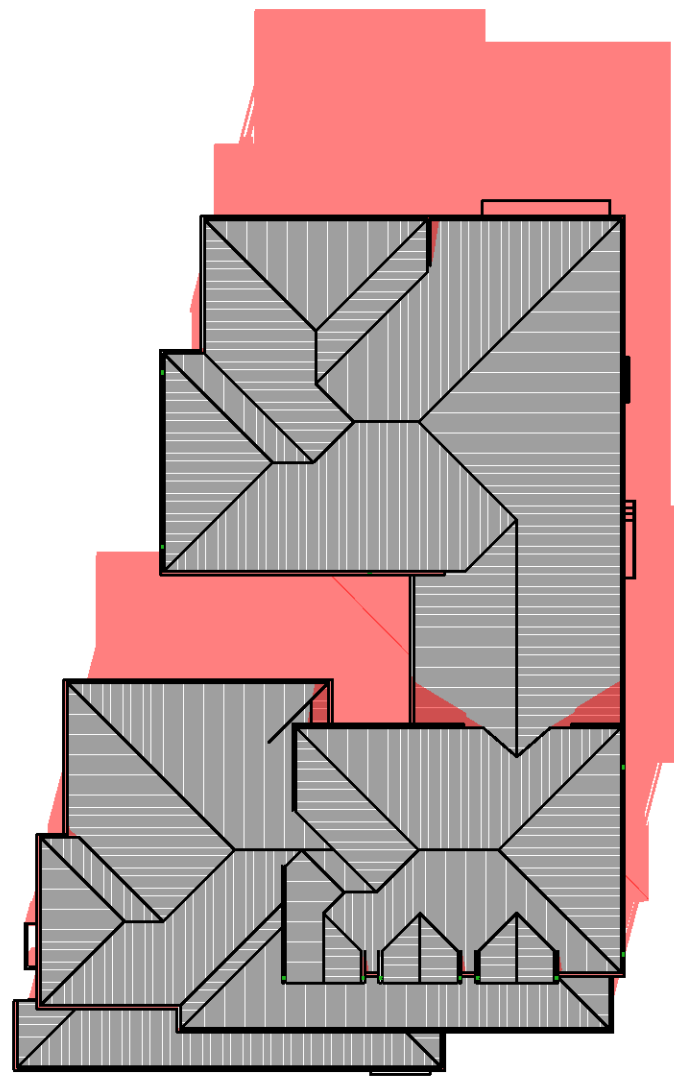
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BUILDER SIGNED:.....DATE:.....

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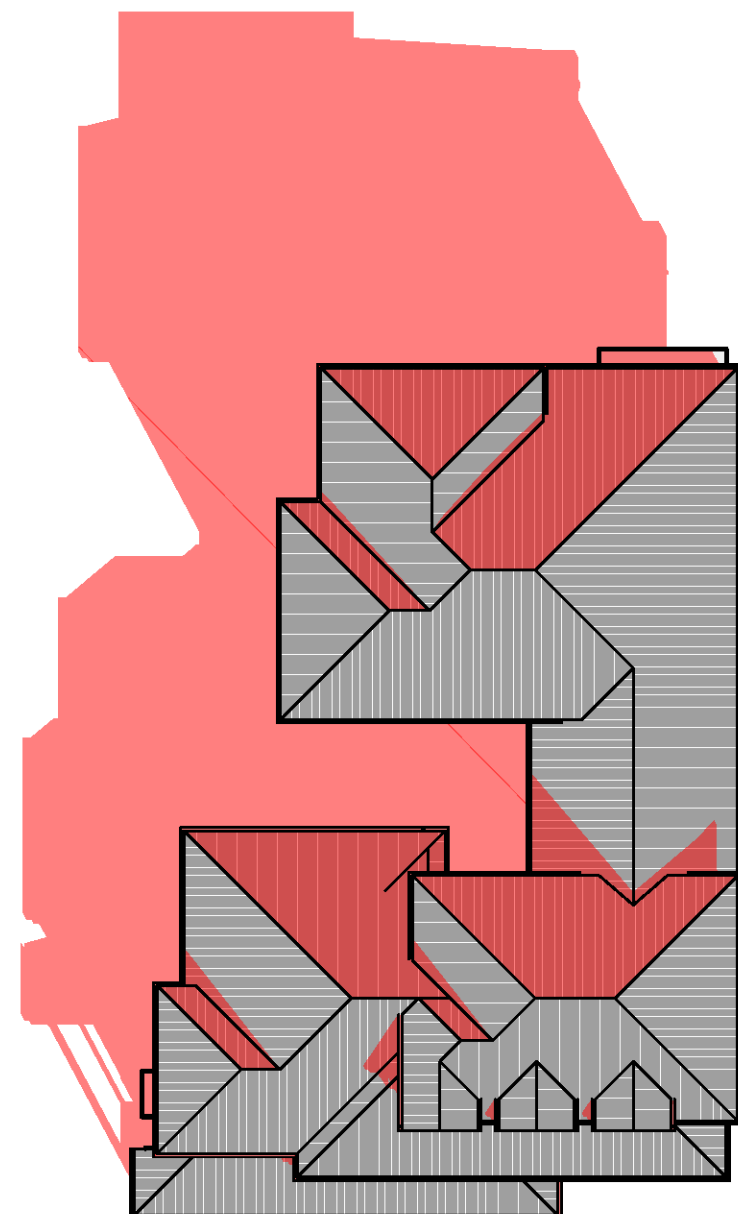
<div><div>G.J. Gardner.</div><div>HOMES</div><div>G.J. GARDNER SYDNEY WEST</div><div>A.B.N: 74 617 249 706 LICENCE: 309650C</div><div>8 / 37 York Road, Penrith NSW 2750</div><div>P: (02) 4732 4600</div><div>W: www.gjgardner.com.au</div></div>	<div><div>CUSTOM MANDALAY</div><div>HAMPTONS FACADE</div><div>© COPYRIGHT EXCLUSIVE TO G.J.GARDNER HOMES</div></div>	<div><div>DANIEL ATTARD DESIGNS</div><div>A.B.N: 54 079 006 387</div><div>G.J. Gardner Homes Sydney West has explained the plans and documents to me. I understand and accept that G.J. Gardner Homes Sydney West has the right to alter plans as necessary to suit site constraints & conditions.</div></div>	<div><div>CLIENT:</div><div></div><div>DRAWING TITLE:</div><div>ELECTRICAL PLAN</div></div>	<div><div>PROJECT: PROPOSED NEW RESIDENCE:</div><div>Lot 109, DP 1238043</div><div>120 FORESTWOOD DR,</div><div>GLENMORE PARK, NSW, 2745</div></div>	<div><div>PAGES: 17/22</div><div>JOB NO: au65-220588</div><div>DRAWN: DA</div><div>DATE: 07/08/21</div></div>	<div><div>SHEET SIZE: A3</div></div>	<table><tr><th colspan="2">FLOOR AREAS:</th></tr><tr><td>GROUND FLOOR</td><td>416.35</td></tr><tr><td>GARAGE/STORE</td><td>54.51</td></tr><tr><td>ATTIC</td><td>93.42</td></tr><tr><td>VOID</td><td>13.94</td></tr><tr><td>ALFRESCO</td><td>40.91</td></tr><tr><td>PORCH</td><td>31.05</td></tr><tr><td>UNCOVERED SLAB</td><td>6.06</td></tr><tr><td></td><td>656.24 m²</td></tr></table>	FLOOR AREAS:		GROUND FLOOR	416.35	GARAGE/STORE	54.51	ATTIC	93.42	VOID	13.94	ALFRESCO	40.91	PORCH	31.05	UNCOVERED SLAB	6.06		656.24 m²	<table><tr><th>REV</th><th>DETAILS:</th><th>DATE</th></tr><tr><td>C</td><td>PRELIMINARY PLANS</td><td>24/08/21</td></tr><tr><td>D</td><td>PLAN AMENDMENTS</td><td>07/09/21</td></tr><tr><td>E</td><td>TENDER PLANS</td><td>15/12/21</td></tr><tr><td>F</td><td>ENCROACHMENT AREA</td><td>22/03/22</td></tr><tr><td>G</td><td>VARIATION 3</td><td>24/03/22</td></tr><tr><td>H</td><td>NATHERS</td><td>28/03/22</td></tr></table>	REV	DETAILS:	DATE	C	PRELIMINARY PLANS	24/08/21	D	PLAN AMENDMENTS	07/09/21	E	TENDER PLANS	15/12/21	F	ENCROACHMENT AREA	22/03/22	G	VARIATION 3	24/03/22	H	NATHERS	28/03/22
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SUN SHADOW 21st JUNE 9am
1:300



SUN SHADOW 21st JUNE 12pm
1:300



SUN SHADOW 21st JUNE 3pm
1:300

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G.J. Gardner. HOMES
G.J. GARDNER SYDNEY WEST
A.B.N: 74 617 249 706 LICENCE: 309650C
8 / 37 York Road, Penrith NSW 2750
P: (02) 4732 4600
W: www.gjgardner.com.au

CUSTOM MANDALAY
HAMPTONS FACADE
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TO G.J.GARDNER HOMES

DANIEL ATTARD DESIGNS
A.B.N: 54 079 006 387
G.J. Gardner Homes Sydney West has explained the plans and documents to me. I understand and accept that G.J. Gardner Homes Sydney West has the right to alter plans as necessary to suit site constraints & conditions.

CLIENT:
[REDACTED]
DRAWING TITLE:
SUN SHADING DIAGRAM

PROJECT: PROPOSED NEW RESIDENCE:
**Lot 109, DP 1238043
120 FORESTWOOD DR,
GLENMORE PARK, NSW, 2745**

PAGES: 20/22
JOB NO: au65-220588
DRAWN: DA
DATE: 07/08/21

SHEET SIZE: A3
FLOOR AREAS:
GROUND FLOOR 416.35
GARAGE/STORE 54.51
ATTIC 93.42
VOID 13.94
ALFRESCO 40.91
PORCH 31.05
UNCOVERED SLAB 6.06
656.24 m²

REV	DETAILS:	DATE
C	PRELIMINARY PLANS	24/08/21
D	PLAN AMENDMENTS	07/09/21
E	TENDER PLANS	15/12/21
F	ENCROACHMENT AREA	22/03/22
G	VARIATION 3	24/03/22
H	NATHERS	28/03/22

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED
OWNER SIGNED:.....DATE:.....
BUILDER SIGNED:.....DATE:.....

DEMOLITION PHASE - IF APPLICABLE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Green waste		Chip and compost for landscaping and new gardens	-	Nil to landfill
Bricks		Clean good bricks and use for internal walls	Unbroken bricks cleaned and sold offsite; used other site; Waste Management centre for recycling	Nil to landfill
Concrete			Waste Management centre for recycling	Nil to landfill
Timber		Used for formwork and studwork, site shed or temporary fence	Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling	Nil to landfill
Plasterboard		Crush and combine with soil and fertilizer for landscaping and new gardens	Waste Management centre	Taken to landfill
Roof tiles			Good tiles to Waste Management centre for recycling; sell to second hand building supplies	Nil to landfill
Metals			Waste Management centre for recycling	Nil to landfill
Asbestos			Cart to licensed asbestos tip	Taken to landfill

CONSTRUCTION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Excavation Material	10	Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping	-	
Green waste	NIL			
Bricks	1		Unbroken bricks cleaned returned to supplier. Broken bricks to Waste Management centre for recycling.	Nil to landfill
Concrete	2		Excess concrete returned to supplier	Nil to landfill
Timber	2		Excess timber returned to supplier	Nil to landfill
Plasterboard	0.5	Crush and combine with soil and fertilizer for landscaping and new gardens	Excess plasterboard returned to supplier	Nil to landfill
Roof tiles	0.2		Good tiles returned to supplier. Broken tiles to Waste Management centre for recycling	Nil to landfill
Metals	0.1		Waste Management centre for recycling	Nil to landfill

USE OF PREMISES			
Type of Waste to be Generated	Expected volume per week (m3)	On-Site Specify proposed reuse or on-site recycling method	Destination
Food, general domestic waste	0.4	Bins located on site	Disposal via council rubbish removal
Paper, Cardboard	0.1	Bins located on site	Disposal via council recycling collection
Glass, Bottles	0.1	Bins located on site	Disposal via council recycling collection

WASTE MANAGEMENT
1:1

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