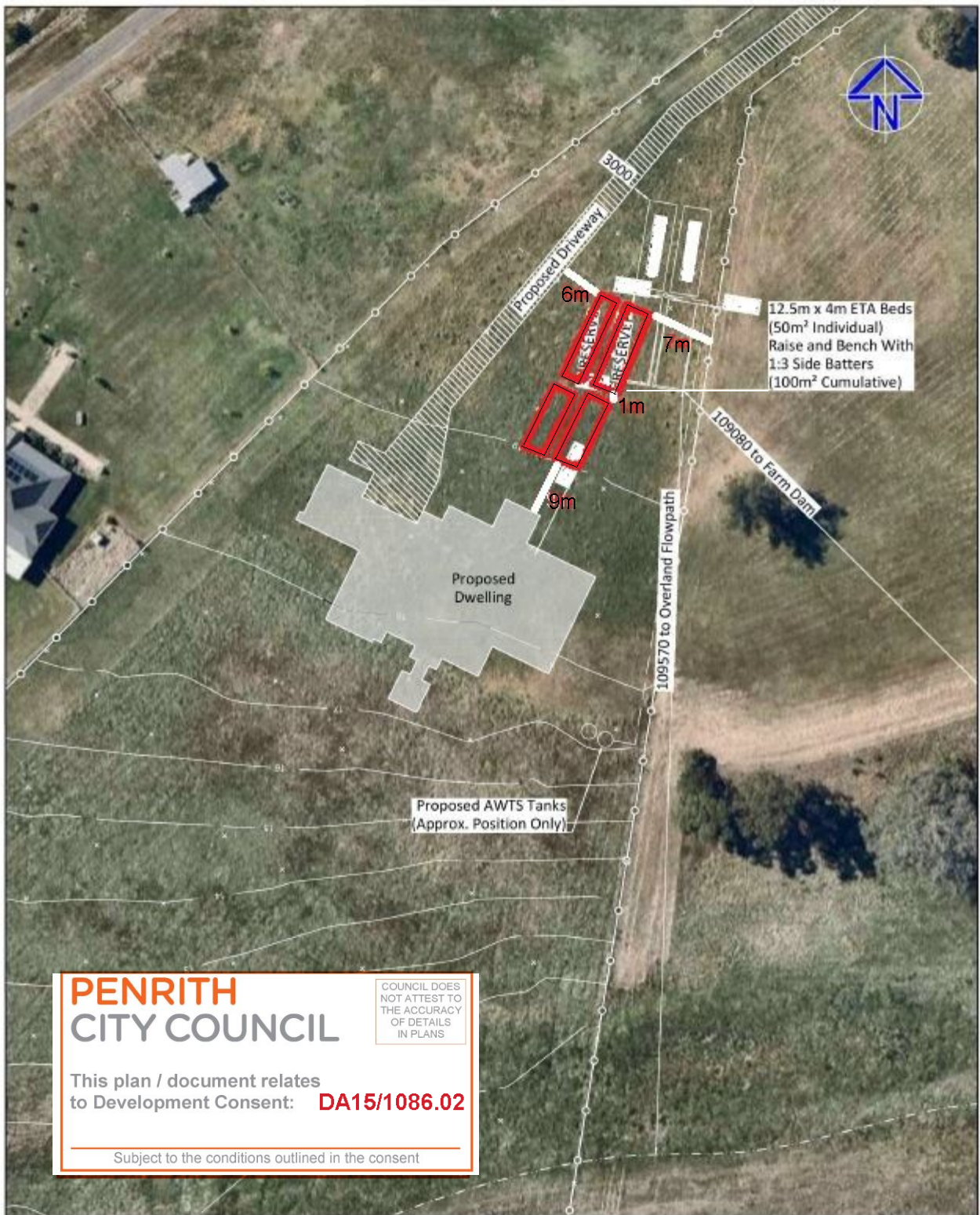




PENRITH CITY COUNCIL

COUNCIL DOES
NOT ATTEST TO
THE ACCURACY
OF DETAILS
IN PLANS

This plan / document relates
to Development Consent: **DA15/1086.02**

Subject to the conditions outlined in the consent

envirotech
Environmental and Engineering
Consultancy Services

LEGEND: Site Boundary
Other Fences
Landform Element
Watercourses, Dams
Overland Flow Path
Surface Spray Sprinkler
Irrigation Pipework
Soil Borehole
Photo Location
Building Area
Land App. Area
Paved Area

A: Unit 1, 21 Rowland Road,
Prospect NSW 2148
P: PO Box 3086,
EAST BLADLAND NSW 2774
E: info@envirotech.com.au
F: (02) 8834 0790
T: 1300 880 324 | (02) 9896 1560

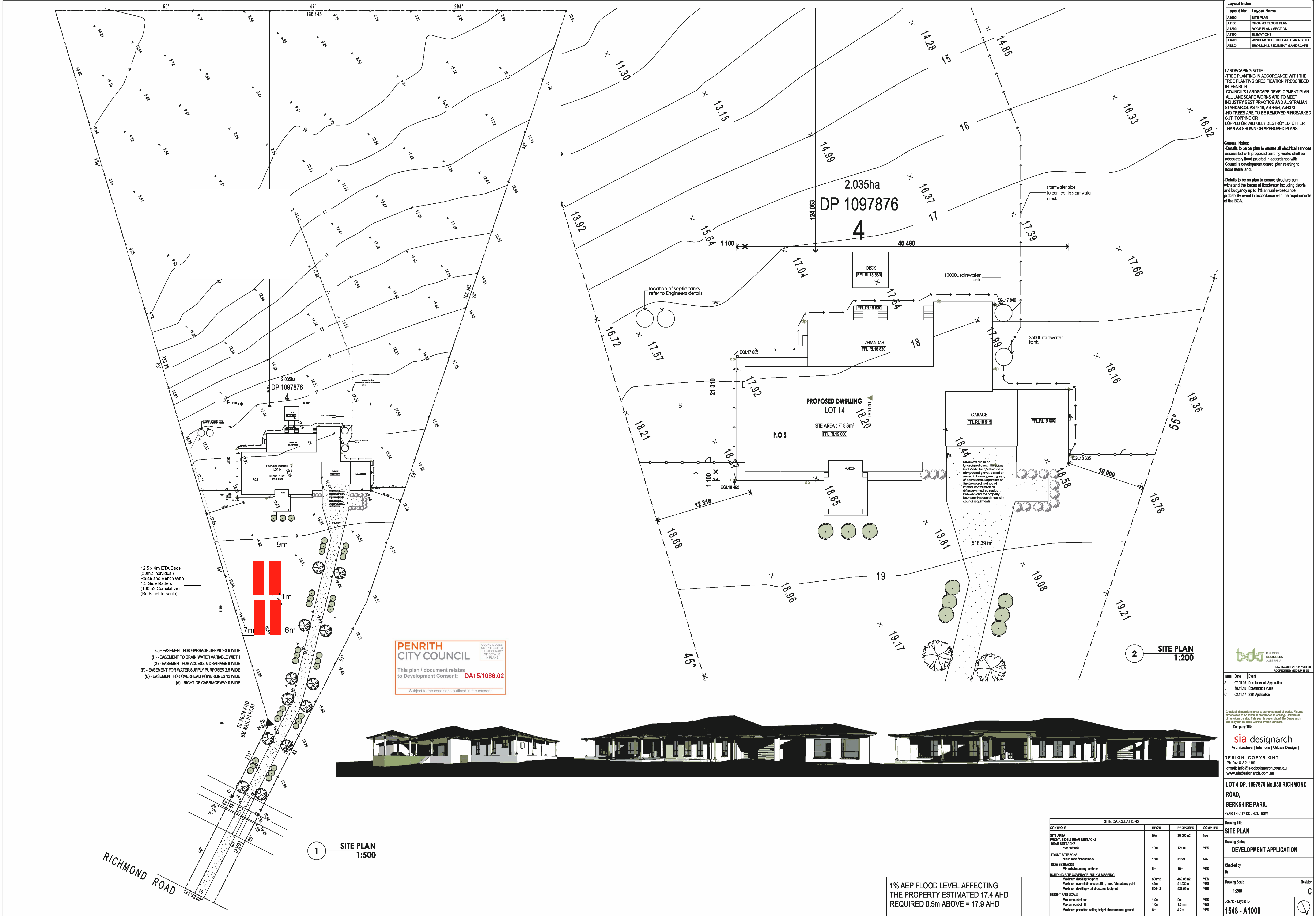
TITLE:
AWTS + ABSORPTION BEDS

Revision B

CLIENT:
Narain

PROJECT:
850 Richmond Road,
Berkshire Park, NSW
(Penrith LGA)

SHEET SIZE:
A4
SCALE:
1:700 @ A4
SHEET:
1/1
DATE:
15/11/2017
PROJECT REF / DRAWING NUMBER:
DWG-15-2586-C2



Layout No.	Layout Name
A1000	SITE PLAN
A1100	GROUND FLOOR PLAN
A1200	ROOF PLAN / SECTION
A1300	ELEVATIONS
A1600	WINDOW SCHEDULE/SITE ANALYSIS
A1801	EROSION & SEDIMENT LANDSCAPE

LANDSCAPING NOTE:
-TREE PLANTING IN ACCORDANCE WITH THE TREE PLANTING SPECIFICATION PRESCRIBED IN PENRITH COUNCIL'S LANDSCAPE DEVELOPMENT PLAN. ALL LANDSCAPE WORKS ARE TO MEET INDUSTRY BEST PRACTICE AND AUSTRALIAN STANDARDS, AS 4119, AS 4454, AS4373
-NO TREES ARE TO BE REMOVED/RINGSARKED CUT, TOPPING OR LOPPED OR WILFULLY DESTROYED. OTHER THAN AS SHOWN ON APPROVED PLANS.

General Notes:
-Details to be on plan to ensure all electrical services associated with proposed building works shall be adequately flood proofed in accordance with Council's development control plan relating to flood liable land.

-Details to be on plan to ensure structure can withstand the forces of floodwater including debris and buoyancy up to 1% annual exceedance probability event in accordance with the requirements of the BCA.

bda BUILDING DESIGNERS AUSTRALIA
FULL REGISTRATION 1020-09
ACCREDITED MEDIUM RISE

Issue	Date	Event
A	07.08.15	Development Application
B	16.11.16	Conservation Plans
C	02.11.17	S18 Application

Check all dimensions prior to commencement of works. Figure dimensions to be taken in preference to scaling. Confirm all dimensions on site. This plan is copyright of SIA Designarch and may not be used without written consent.

Company Title
sia designarch
| Architecture | Interiors | Urban Design |

DESIGN COPYRIGHT
| Pty 0410 321189
| email: info@sia designarch.com.au
| www.sia designarch.com.au

LOT 4 DP. 1097876 No.850 RICHMOND ROAD, BERKSHIRE PARK, PENRITH CITY COUNCIL, NSW

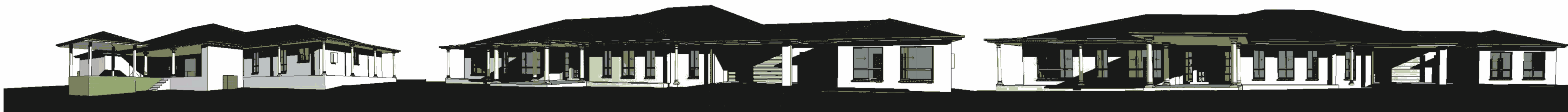
SITE CALCULATIONS			
CONTROLS	REQD	PROPOSED	COMPLIES
SITE AREA	NA	20 000m ²	NA
FRONT, SIDE & REAR SETBACKS			
REAR SETBACKS			
near setback	10m	124 m	YES
FRONT SETBACKS			
public road front setback	15m	>15m	NA
SIDE SETBACKS			
Min 1m boundary setback	6m	10m	YES
BUILDING SITE COVERAGE, BULK & MASSING			
Maximum dwelling footprint	600m ²	459.0m ²	YES
Maximum overall dimension 45m, max. 18m at any point	45m	41.435m	YES
Maximum dwelling + all structures footprint	600m ²	521.36m	YES
WEIGHT AND SCALE			
Max amount of cut	1.0m	0m	YES
Max amount of fill	1.0m	1.0m	YES
Maximum permitted ceiling height above natural ground	6m	4.2m	YES

Drawing Title	Revision
SITE PLAN	
Drawing Status	
DEVELOPMENT APPLICATION	
Checked by	
IA	
Drawing Scale	Revision
1:200	C
Job No - Layout ID	
1548 - A1000	

1% AEP FLOOD LEVEL AFFECTING THE PROPERTY ESTIMATED 17.4 AHD REQUIRED 0.5m ABOVE = 17.9 AHD

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1 SITE PLAN 1:500

2 SITE PLAN 1:200

RICHMOND ROAD