

Proposed Unit 1 & Unit 2 & Strata Subdivision

Mr. Medhat NABIH ATTIA

6 ASSISI CLOSE, CRANEBROOK 2749

NOTES:

It is the contractors responsibility to ensure all work complys with the Building Code of Australia, SAA codes and relevant australian standards, and conditions of the DA and other council requirements.

All mesurements are in millimetres and are to be verified on site prior to commencement of work. Do not scale from these drawings - use figured dimensions only. All wall dimensions are to structure.

All structural work to Structural Engineers detail drawings.

The Contractor/Manufacturer shall check and verify all dimensions, RL groundlines and construction methods prior to commencement of any work on site

All structural elements are diagramatic only and to be verified by suitably qualified engineer to detail plans and specifications.

All storm water drainage details to hydraulic engineer's specifications.

All sewer works to sydney water conditions.

New termite protection to AS 3660- note all pre-treated structural timbers cut on-site to receive further treatment. All services that penetrate slab or footings to have a physical or chemical barrier installed.

Wet areas (bathrooms + laundries) to receive waterproofing to AS 3740.

All timber framing works to comply with the nsw timber framing manual and AS 1684.

All electrical works to comply with the BCA & AS/NZS3000:2000.

All plumbing works to comply with the BCA & AS/NZS3500. Selected hot water system to have minimum seda score of 3.5. All selected plumbing fittings to be aaa rated.

All doors and windows to AS 1288 and all glazing (to be 6.38mm laminated) to as/nzs2208:1996.

All doors & windows installed to AS 2048. All doors & windows to have weather seals fitted.

Roofing membrane to as/nzs4200-1 and installed to AS/NZS 4200-2.

Thermal insulation to AS 2627.

All balustrades to BCA clause d2.16.

Smoke alarms to be connected to mains power and installed to AS 3786.

Air exhaust fans to be fitted to bathrooms/laundrys; allow for return air source.

On-site contractors + sub-contractors to meet all workcover conditions and AS 1470.

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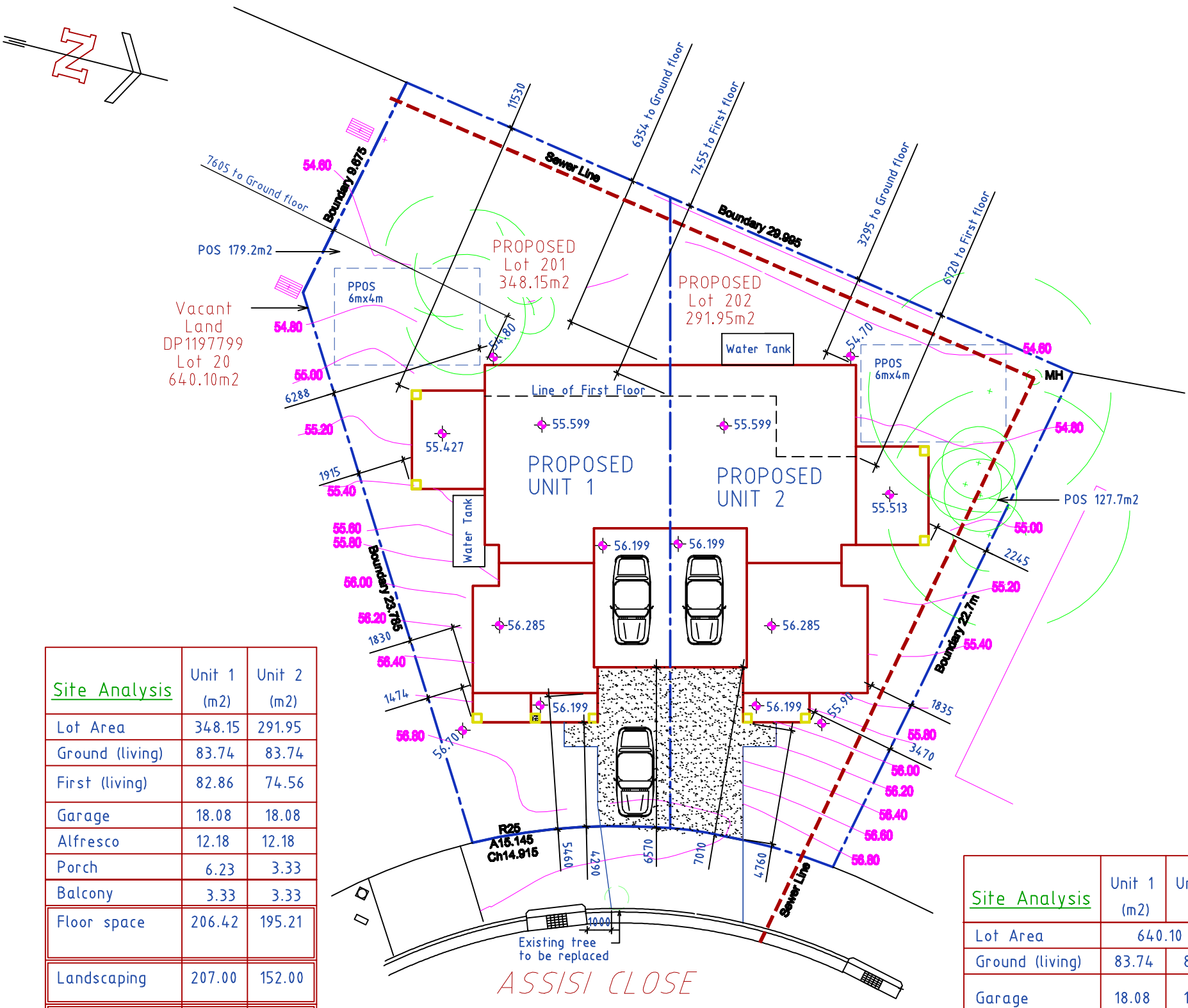
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TM
DIAL BEFORE YOU DIG SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION ON SITE

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- ◆ NGL 00.00 - Denotes Natural Ground Level
- ◆ GL 00.00 - Denotes Reduced Ground Level
- ◆ RL 00.00 - Denotes Finished Level

CONTRACTORS ARE RESPONSIBLE FOR ALL SITE LEVELS AND DIMENSIONS AND MUST VERIFY THESE AT THE JOB BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. IF ANY DISCREPANCIES ARISE, THEY ARE TO BE REPORTED TO THE BUILDER PRIOR TO COMMENCEMENT OF WORK. BUILDER IS RESPONSIBLE FOR CHECKING THESE PROPOSED DRAWINGS AND TO PREPARE AND VERIFY ANY SHOP DRAWINGS.



Site Analysis	Unit 1 (m ²)	Unit 2 (m ²)
Lot Area	348.15	291.95
Ground (living)	83.74	83.74
First (living)	82.86	74.56
Garage	18.08	18.08
Alfresco	12.18	12.18
Porch	6.23	3.33
Balcony	3.33	3.33
Floor space	206.42	195.21
Landscaping	207.00	152.00
Open Space	179.20	124.7
Roof	136.30	133.60
SQUARE	22.15	21.00

Site Analysis	Unit 1 (m ²)	Unit 2 (m ²)
Lot Area	640.10	
Ground (living)	83.74	83.74
Garage	18.08	18.08
TOTAL FLOOR	203.64	
Site Coverage	31.81%	
Gross floor	300.20	
FSR	46.90	

Less Garage & Patio & Alfresco Internal Area

Site Plan Site Analysis

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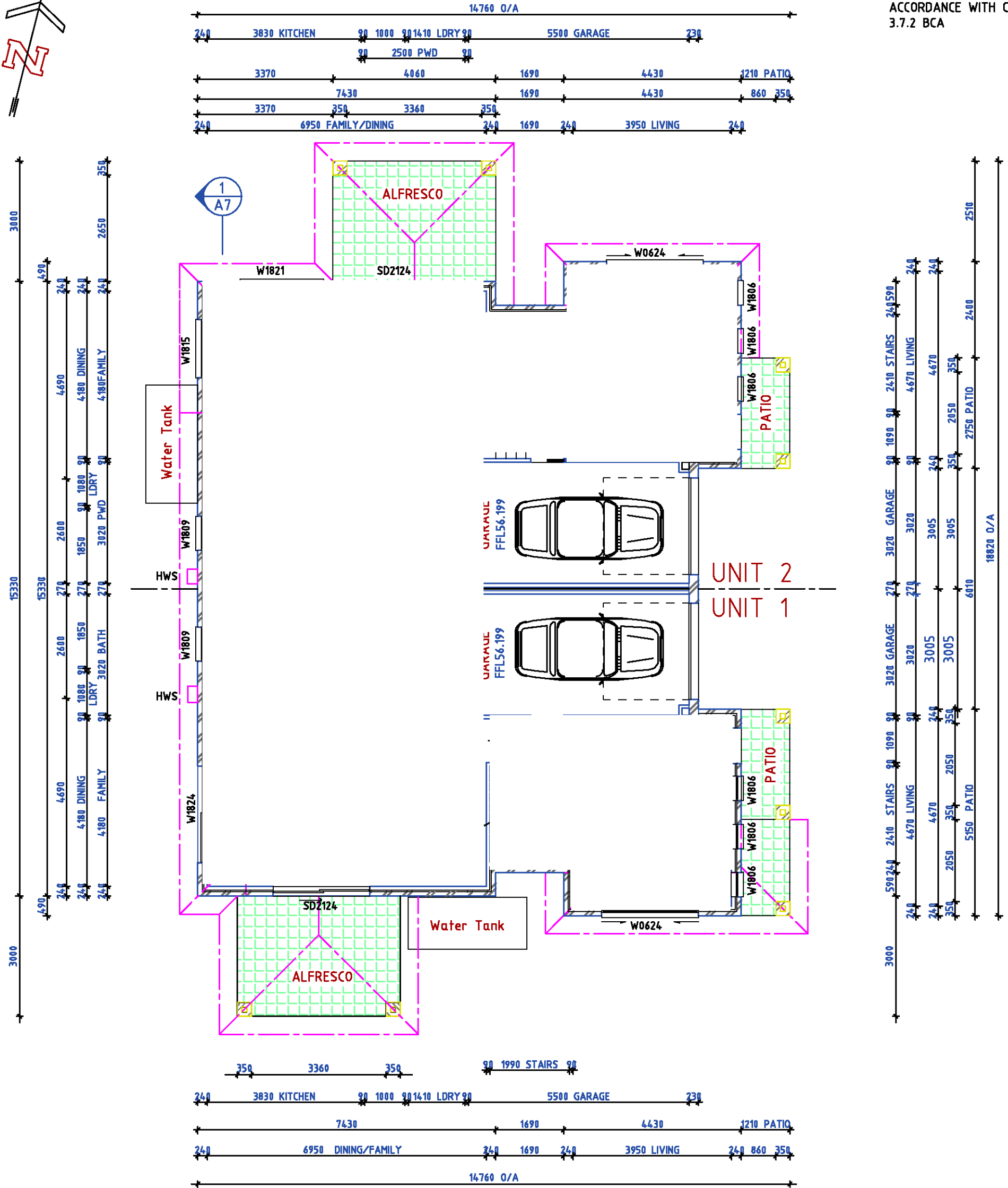
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Proposed Unit 1 & Unit 2 & Strata Subdivision
Mr. Medhat NABIH ATTIA
6 ASSISI CLOSE, CRANE BROOK 2749

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☉ Smoke alarm - HARD WIRED INTERCONNECTED IN ACCORDANCE WITH CLAUSE 3.7.2 BCA



Ground Floor Plan

WINDOW SIZES ARE APPROXIMATE. PLEASE MEASURE ON SITE. STANDARD SIZES BY WINDOW MANUFACTURER TO BE USED

- ◆ NGL 00.00 - Denotes Natural Ground Level
- ◆ GL 00.00 - Denotes Reduced Ground Level
- ◆ RL 00.00 - Denotes Finished Level

LEGEND
 W 1218
 W= WINDOW
 12= 1200 HEIGHT
 18= 1800 WIDTH
 ST, SD DOORS

Legend
 DP Down pipe
 WR Wardrobe
 F Fridge
 ☉ Smoke alarm
 A/C Aircondition unit
 W/T Water tank
 G.L. Ground Level
 R.L. Floor Level

GENERAL NOTES
 THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND NOTIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT PRIOR TO COMMENCING ANY WORK.
 DO NOT SCALE THE DRAWINGS.

BRICK VENEER CONSTRUCTION

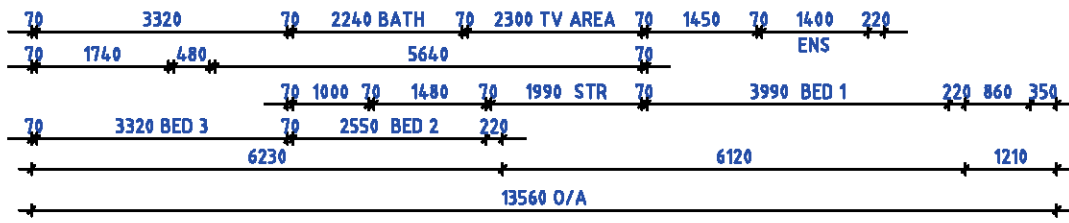
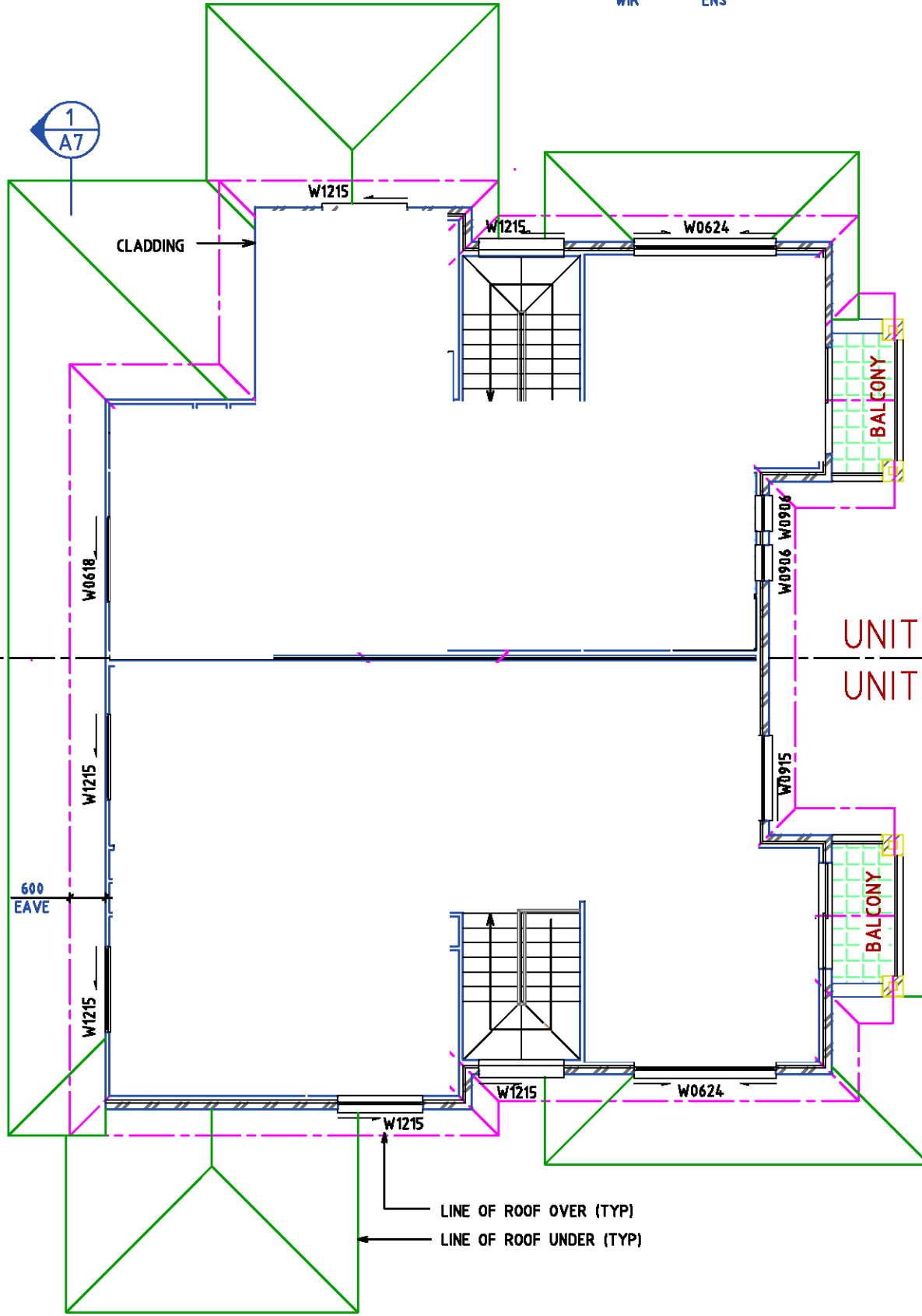
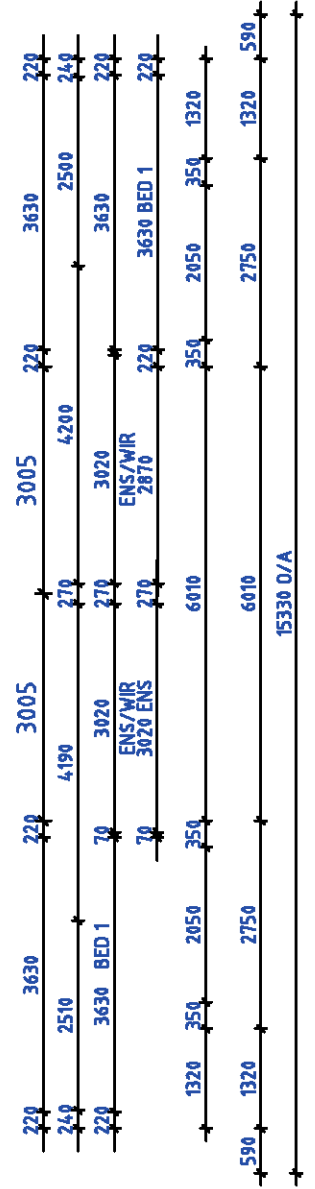
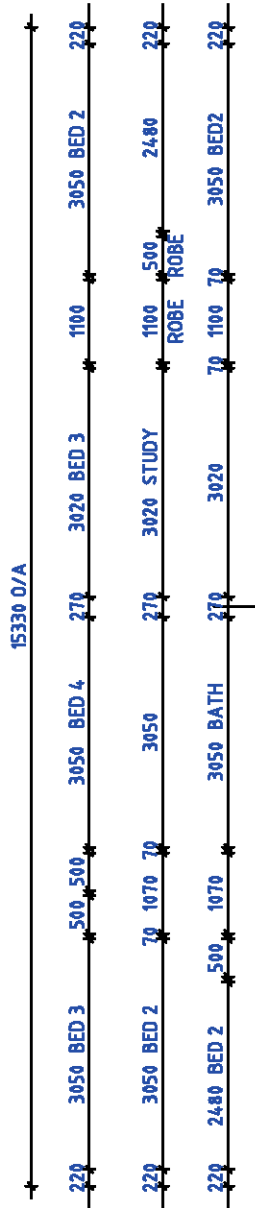
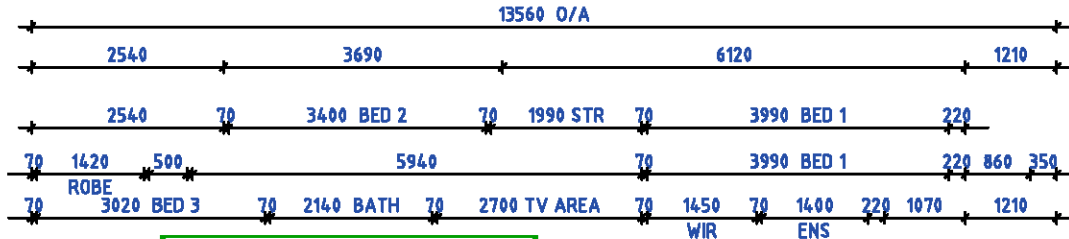
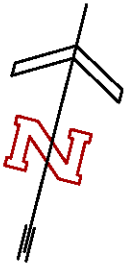
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Smoke alarm - HARD WIRED INTERCONNECTED IN ACCORDANCE WITH CLAUSE 3.7.2 BCA



First Floor Plan

Note:
All first floor bedroom & living windows to be fitted with a restricting device compliant with part 3.9.2.5 of the B.C.A. protection of openable windows

WINDOW SIZES ARE APPROXIMATE. PLEASE MEASURE ON SITE. STANDARD SIZES BY WINDOW MANUFACTURER TO BE USED

LEGEND
W 1218
W= WINDOW
12= 1200 HEIGHT
18= 1800 WIDTH
ST, SD DOORS

Legend
DP Down pipe
WR Wardrobe
F Fridge
Smoke alarm (Symbol)
A/C Aircondition unit
W/T Water tank
G.L. Ground Level
R.L. Floor Level

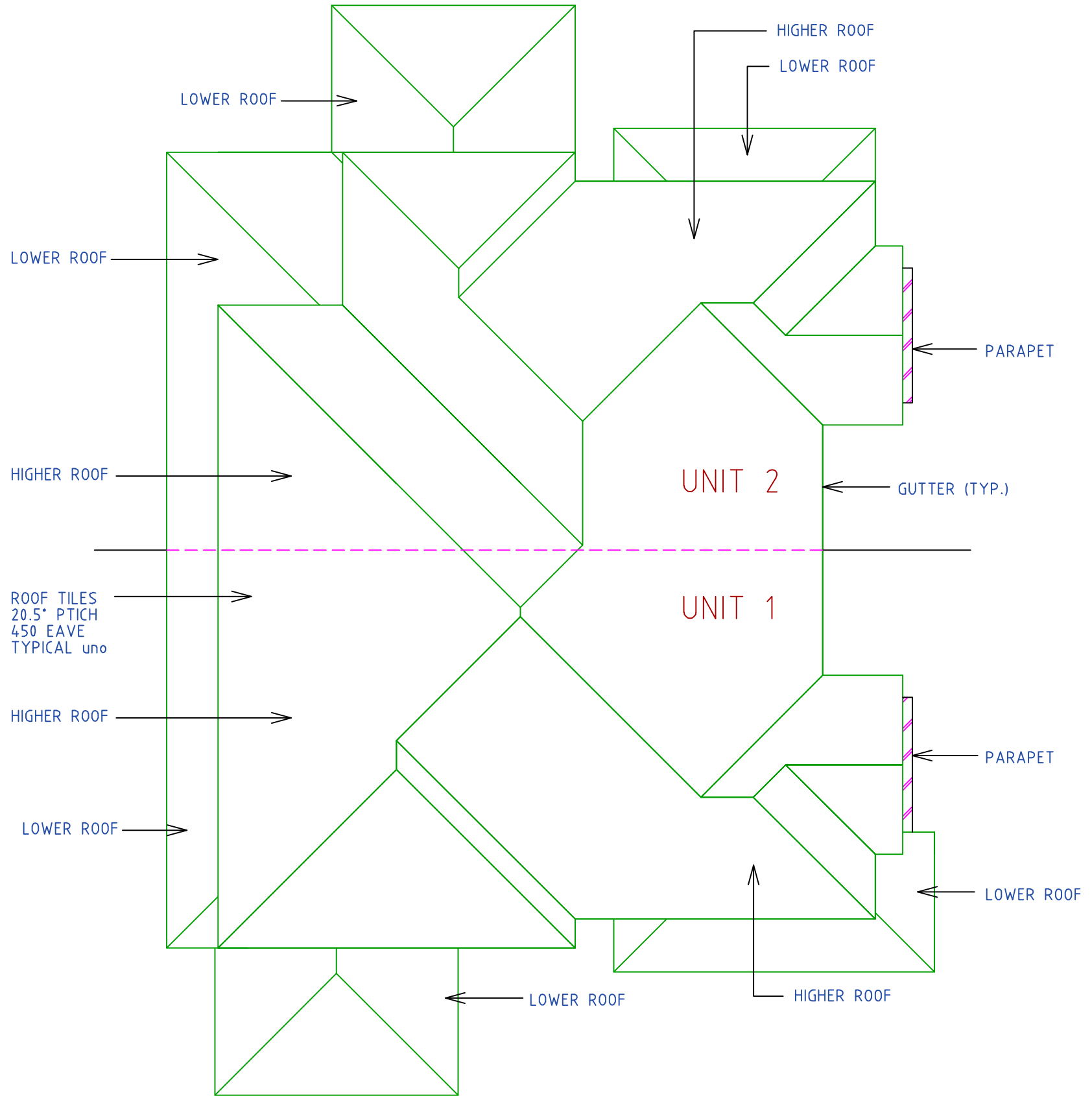
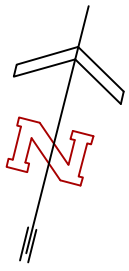
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Roof Plan

BRICK VENEER
CONSTRUCTION

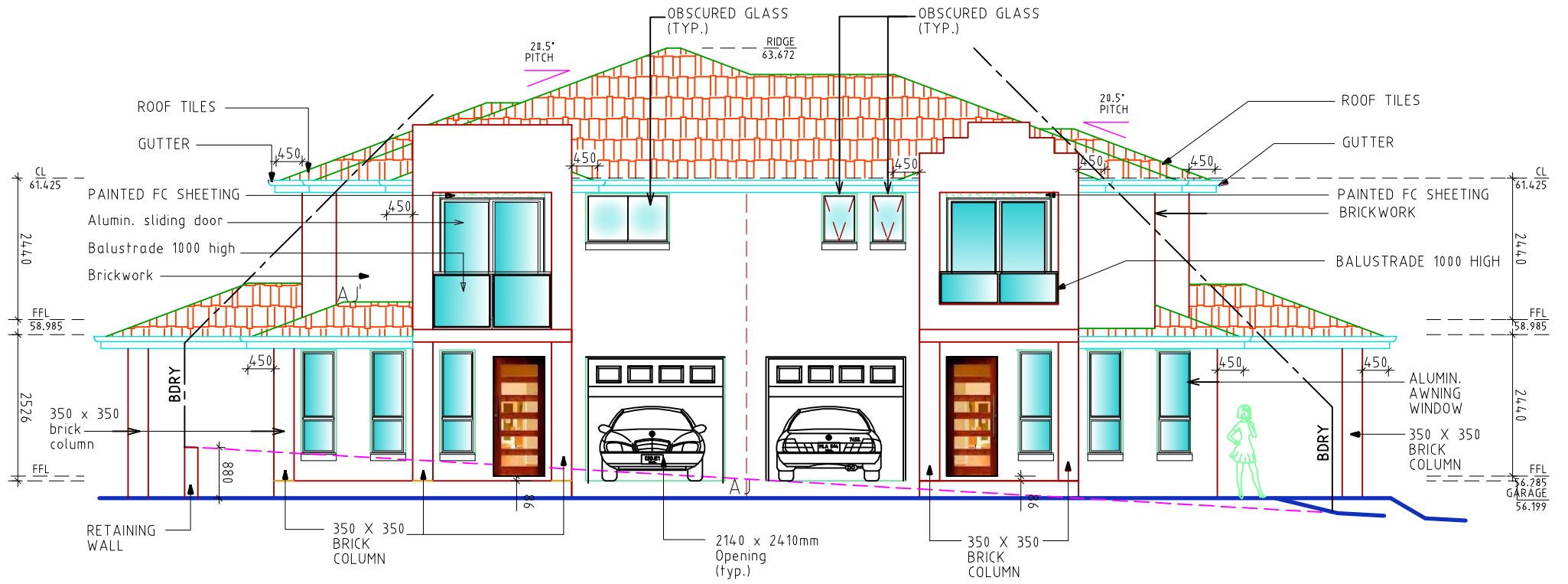
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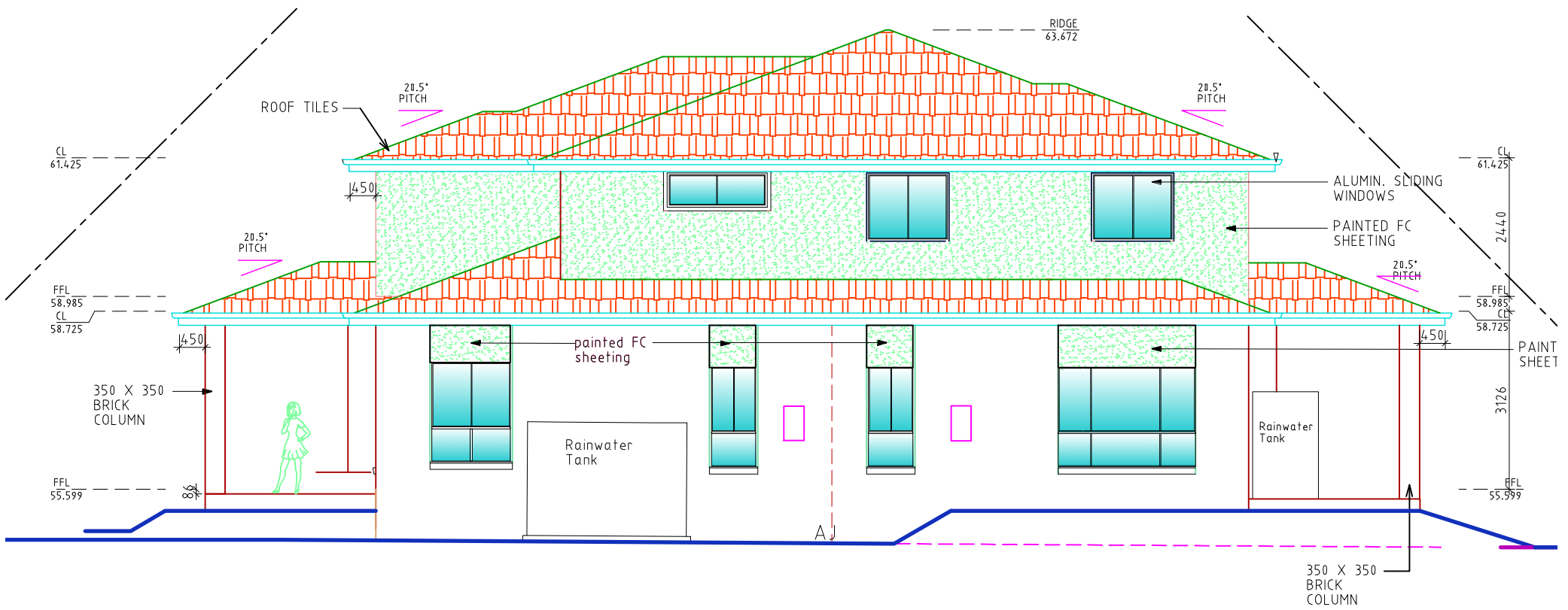
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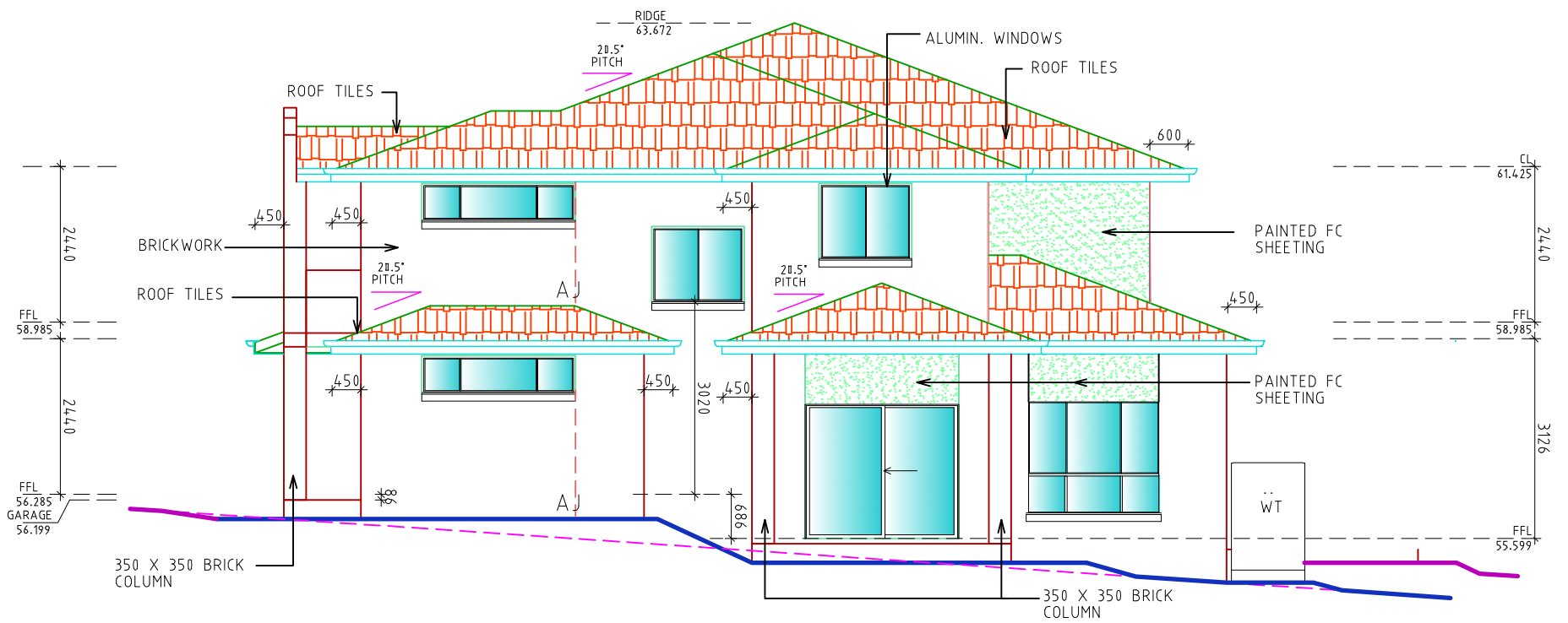


Front Elevation
ASSISI CLOSE VIEW

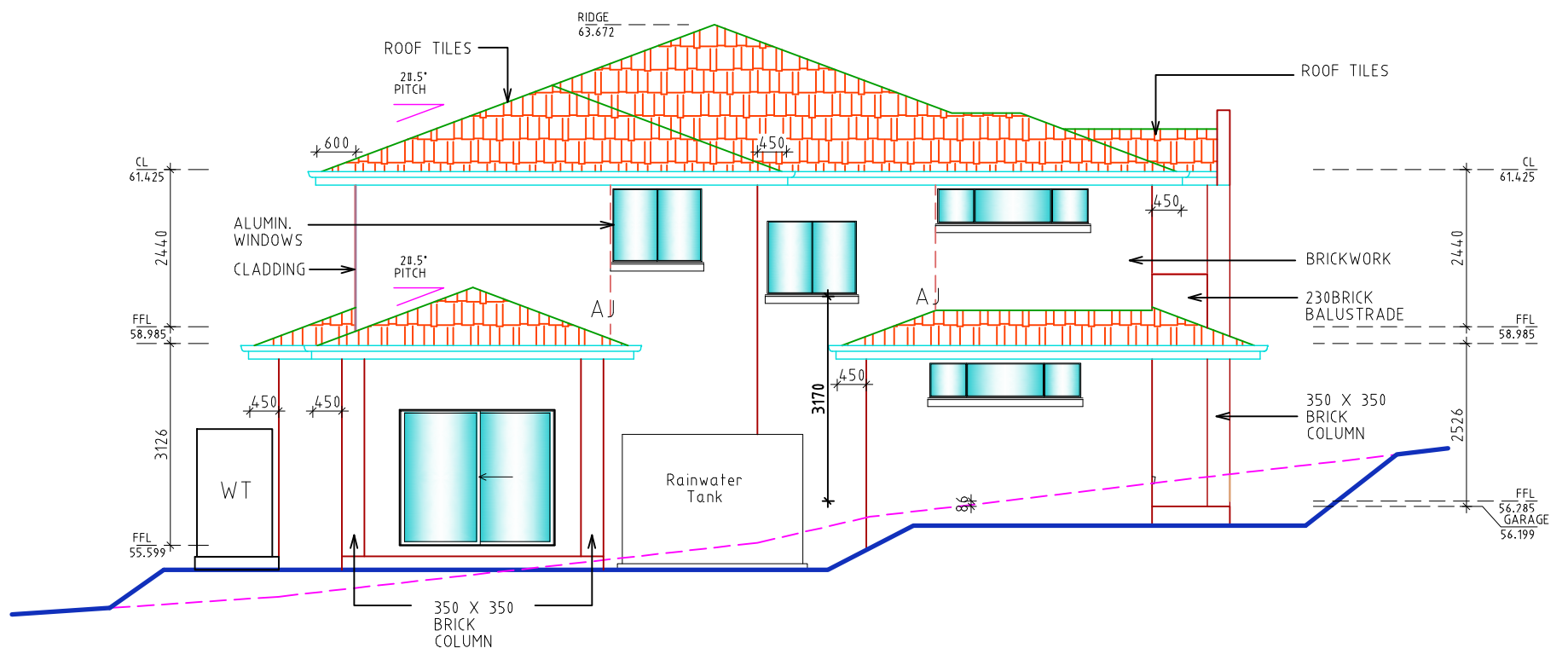


Rear Elevation

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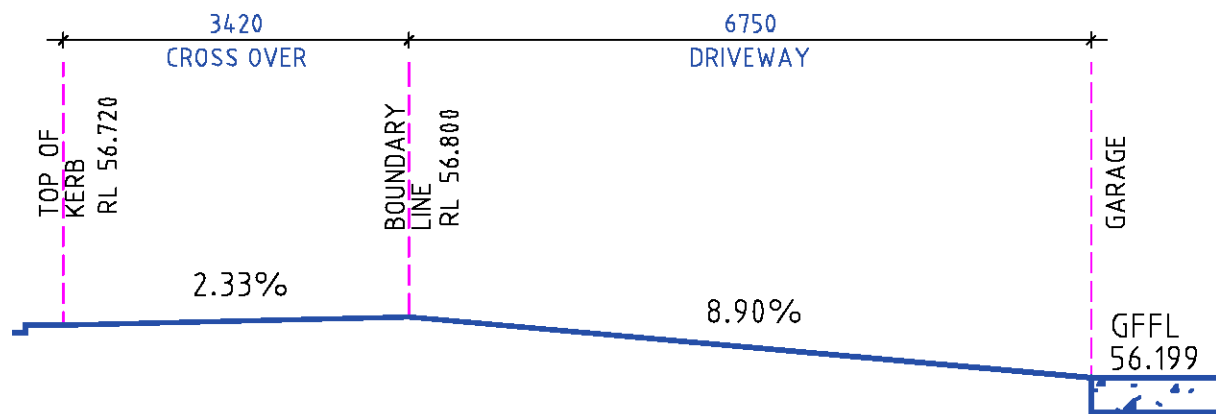
North Elevation



South Elevation

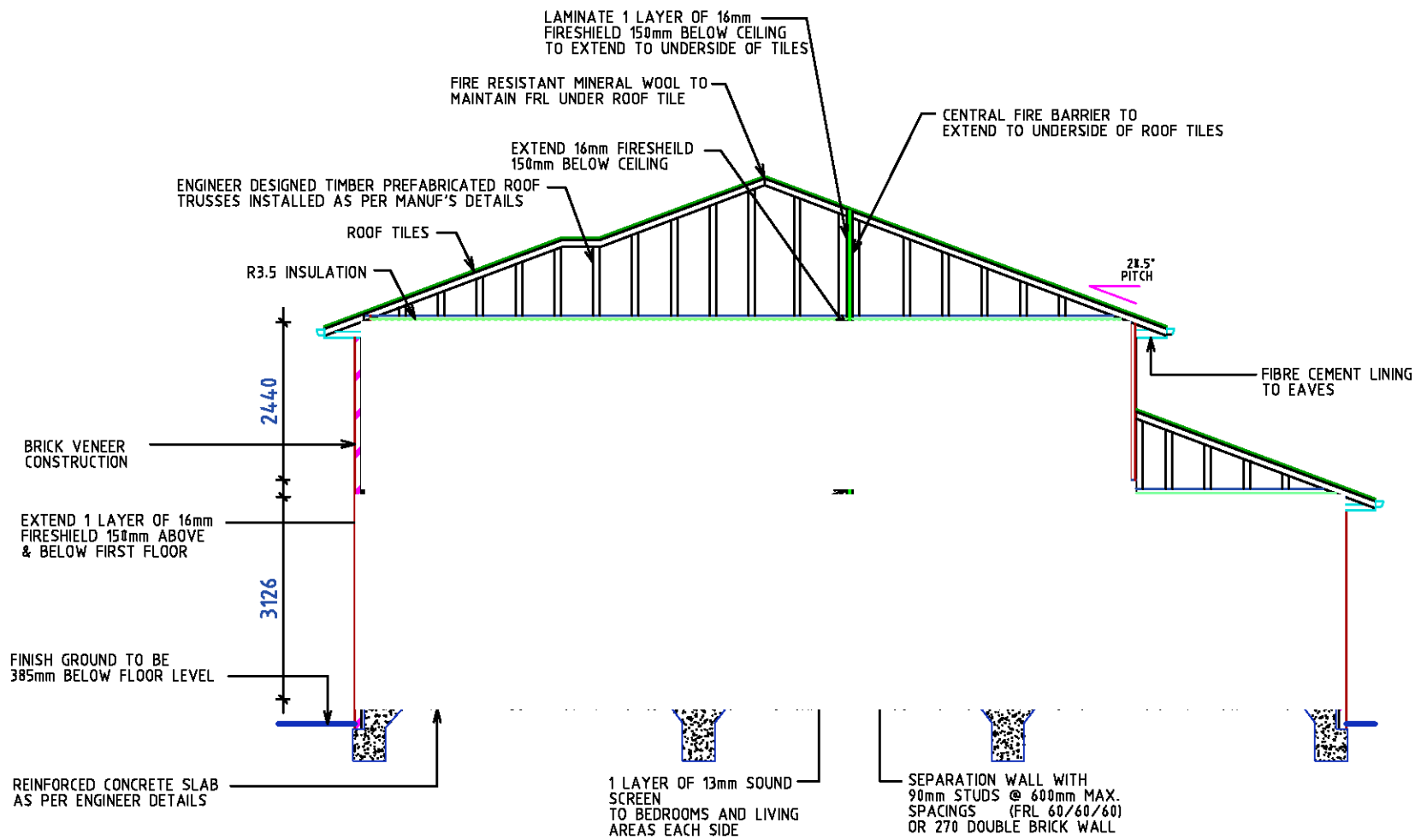
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SCHEDULE OF FINISHES & COLOURS	
ITEM	COLOUR
Ground Floor Walls	Rendered brick & Paint (White)
First Floor Walls	Painted Cladding (White)
Column	Rendered brick & Paint (Dark Grey)
Garage Door	Dulux Shale (Grey)
Main Door	Stained Wood
Fascia	Dulux Monument
Gutters	Dulux Monument
Down Pipes	Dulux Monument
Aluminium Windows Frame	Aluminium (Black)
Driveway	Stencil Concrete (Charcoal)



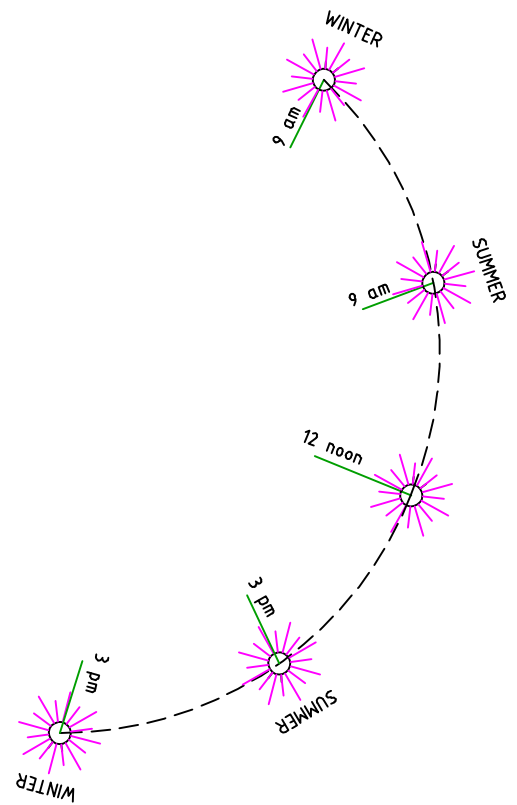
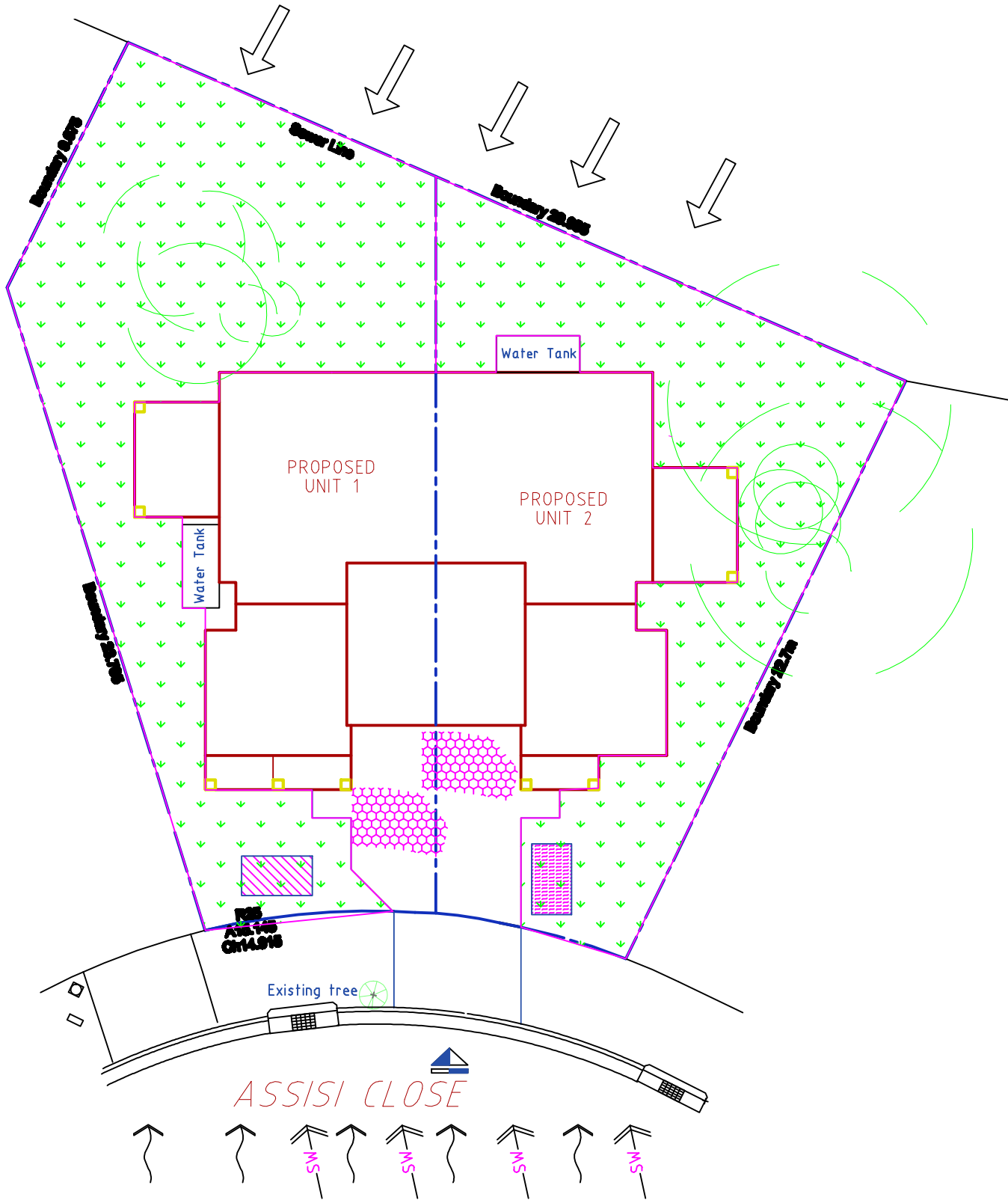
Driveway Section

NTS



Section Elevation Section -1

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Site Analysis & Waste Management Plan

LEGEND:

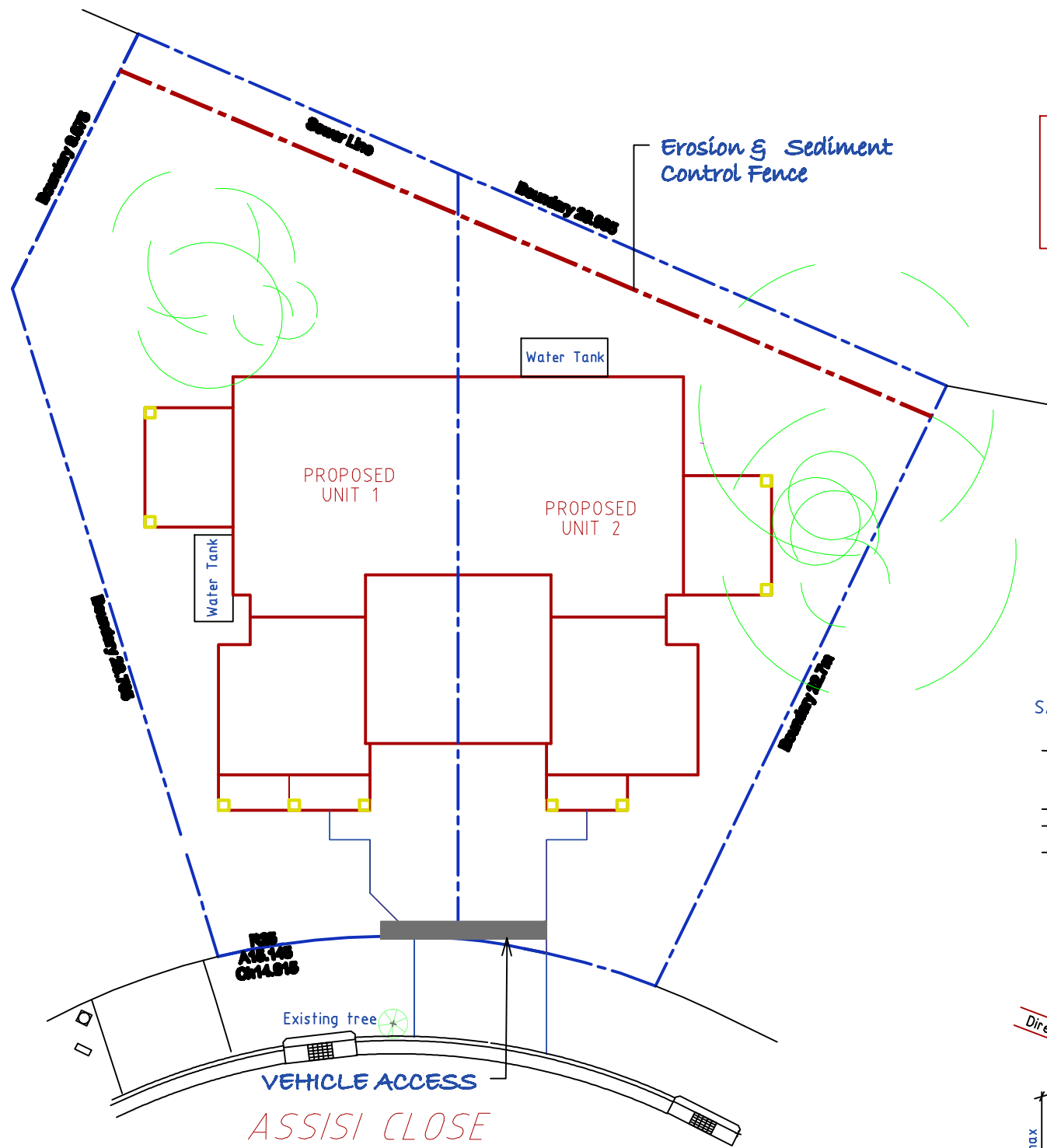
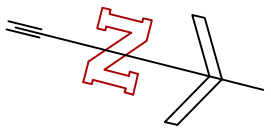
-  TREES TO BE REMOVED
-  TREES TO BE RETAINED
-  DIRECTION OF SHADOW
-  WINTER WESTERLY PREVAILING WIND
-  VEHICLE SITE ENTRY
-  NOISE
-  SITE BOUNDARY
-  PRIVATE OPEN SPACE
-  CONCRETE DRIVEWAY / FOOTPATH
-  STOCKPILES
-  WASTE BIN
-  SUMMER NE PREVAILING WIND

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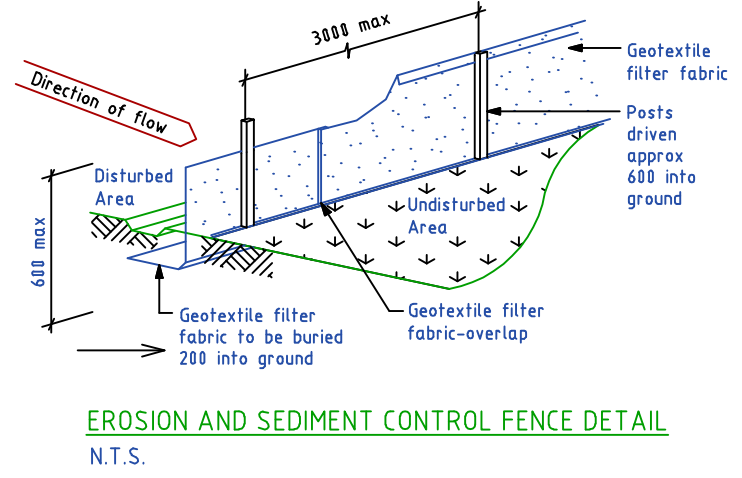
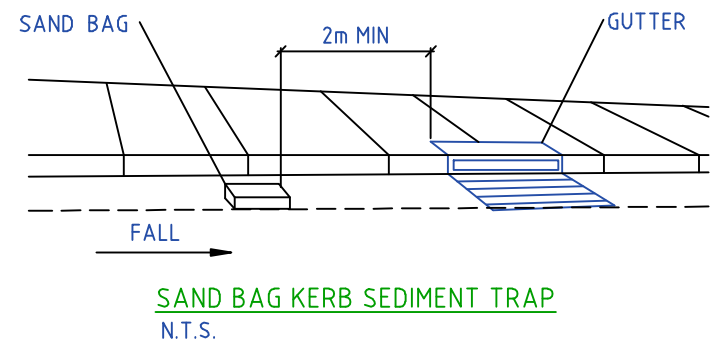
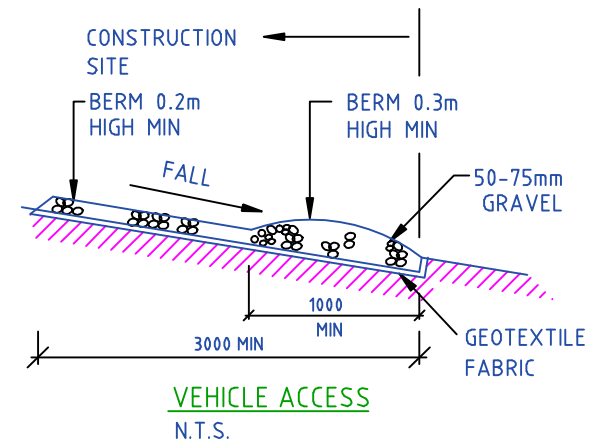
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THE BUILDER SHALL NOTIFY ALL SUBCONTRACTORS AND ENSURE COMPLIANCE WITH ALL CONDITIONS OF COUNCIL APPROVAL IN PARTICULAR EROSION AND SEDIMENT CONTROL.



Erosion & Sediment Control Plan

Sediment Fence Construction Notes

1. Construct sediment fence as close as possible to be parallel to the contours of the site
2. Drive 1.5 metre long start pickets into ground 3 meters apart
3. Dig a 150 deep trench along upslope line of the fence for bottom of fabric to be entrenched
4. Backfill trench over base of fabric
5. Fix self-supporting geotextile to upslope side of posts with wire ties or as recommended by geotextile manufacturer
6. Join sections of fabric at a support post with a 150 overlap or as recommended by geotextile manufacturer

Legend

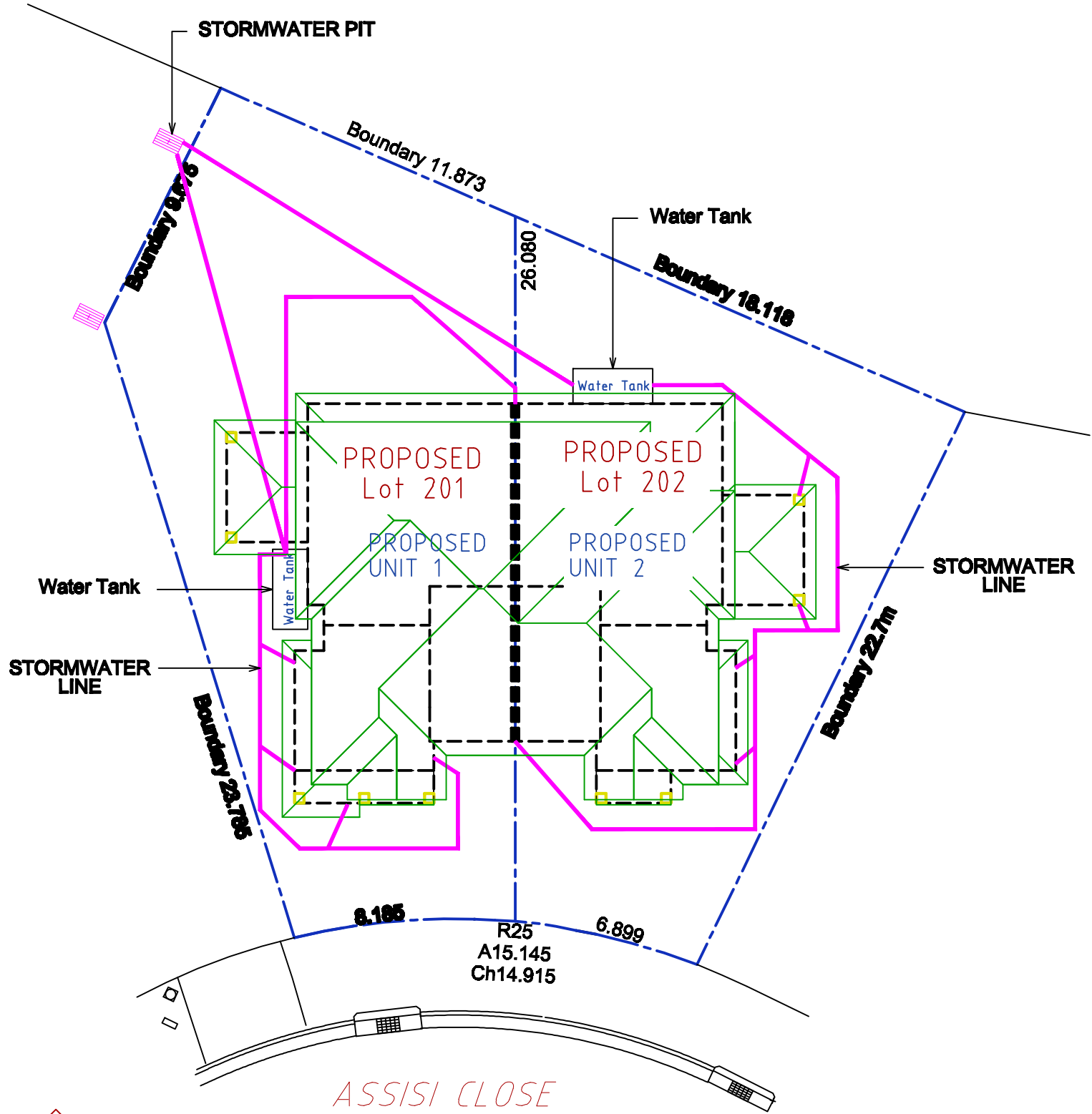
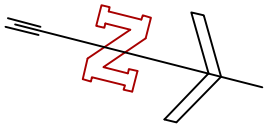
- Erosion & Sediment Control Fence
- █ VEHICLE ACCESS

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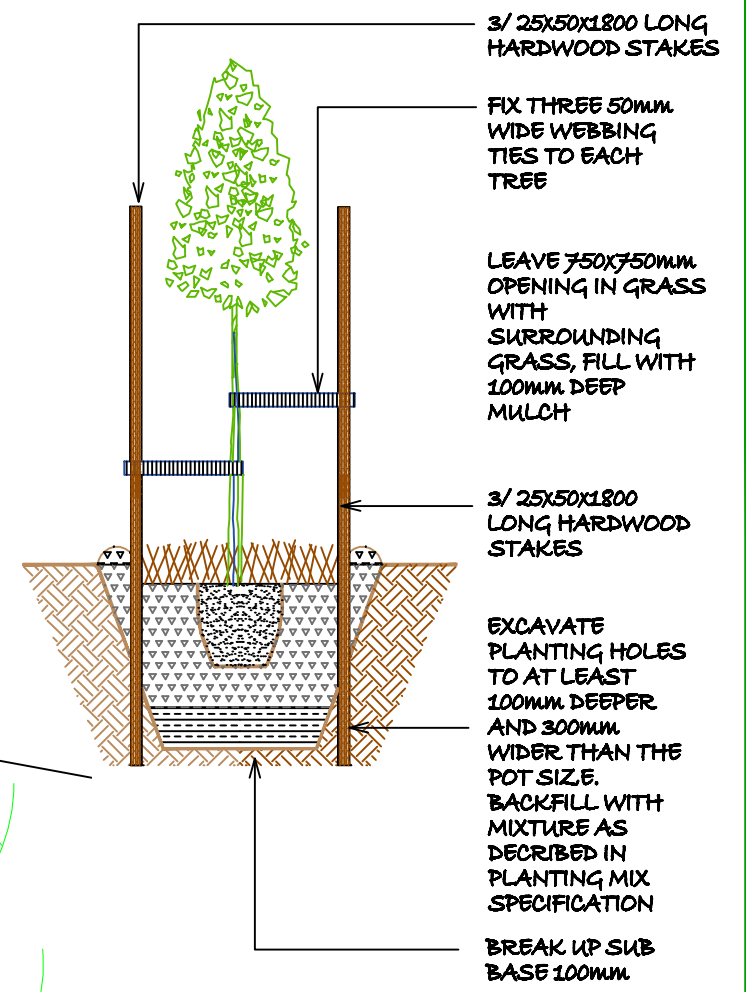
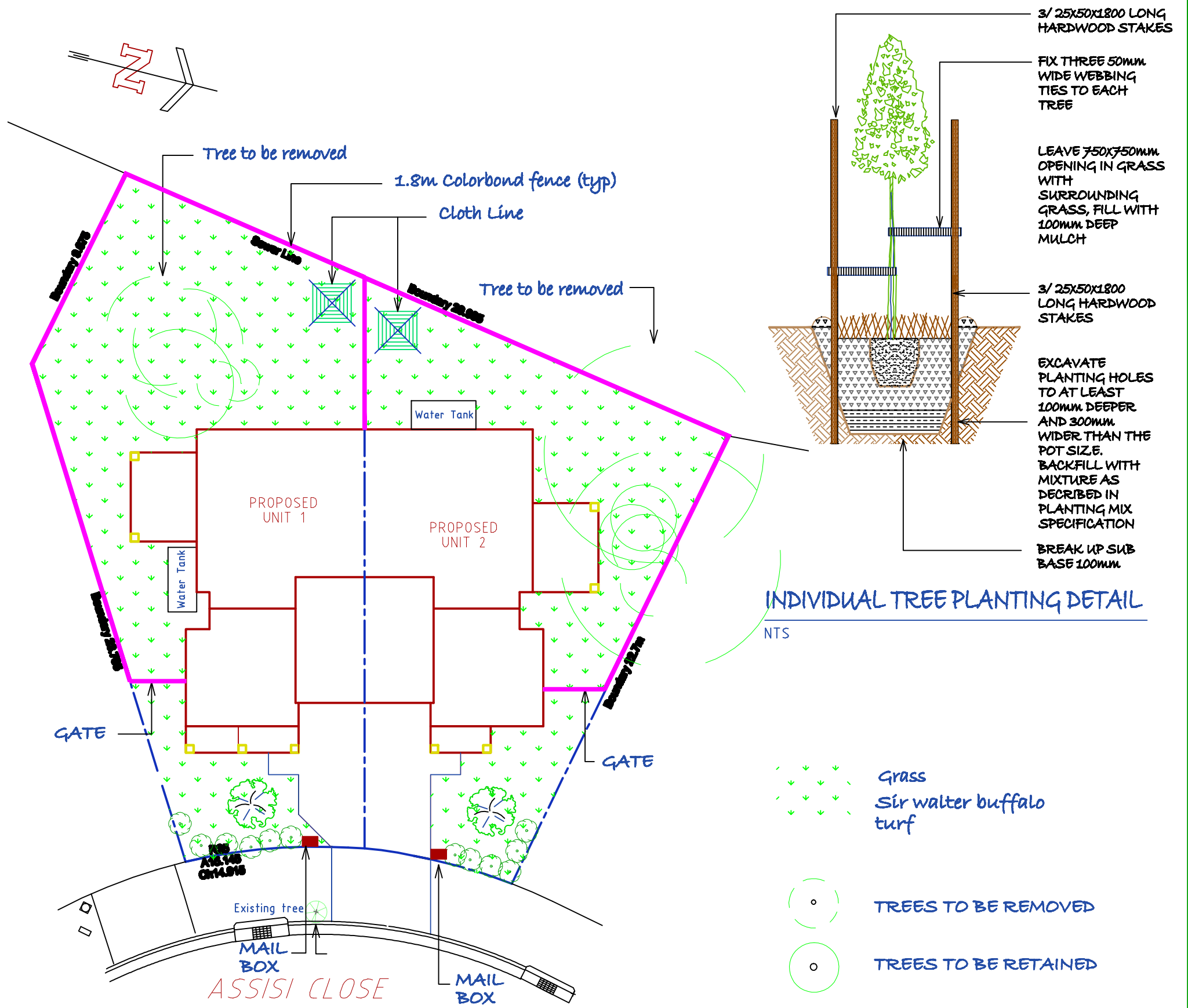
Stormwater line to be connected to existing hydraulic engineer details

Stormwater Plan

--- Stormwater Line Water Tank

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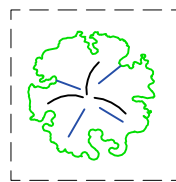


INDIVIDUAL TREE PLANTING DETAIL
NTS

- Grass Sir walter buffalo turf
- TREES TO BE REMOVED
- TREES TO BE RETAINED

Landscaping Plan

TREE



3MX3M UNENCUMBERED AREA FOR A DEEP ROOTED TREE

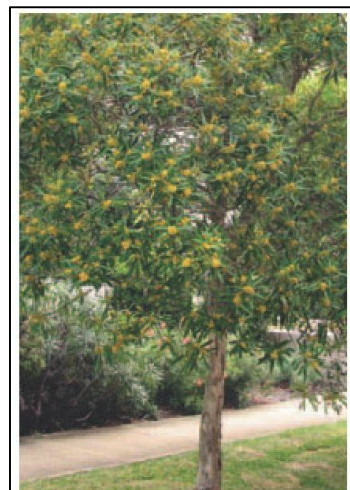


Murraya paniculata (Murrays)

Shrubs



Murraya Paniculata



Tristaniaopsis laurina 'Luscious' (Water Gum)

Tristaniaopsis Laurina Luscious (water gum)

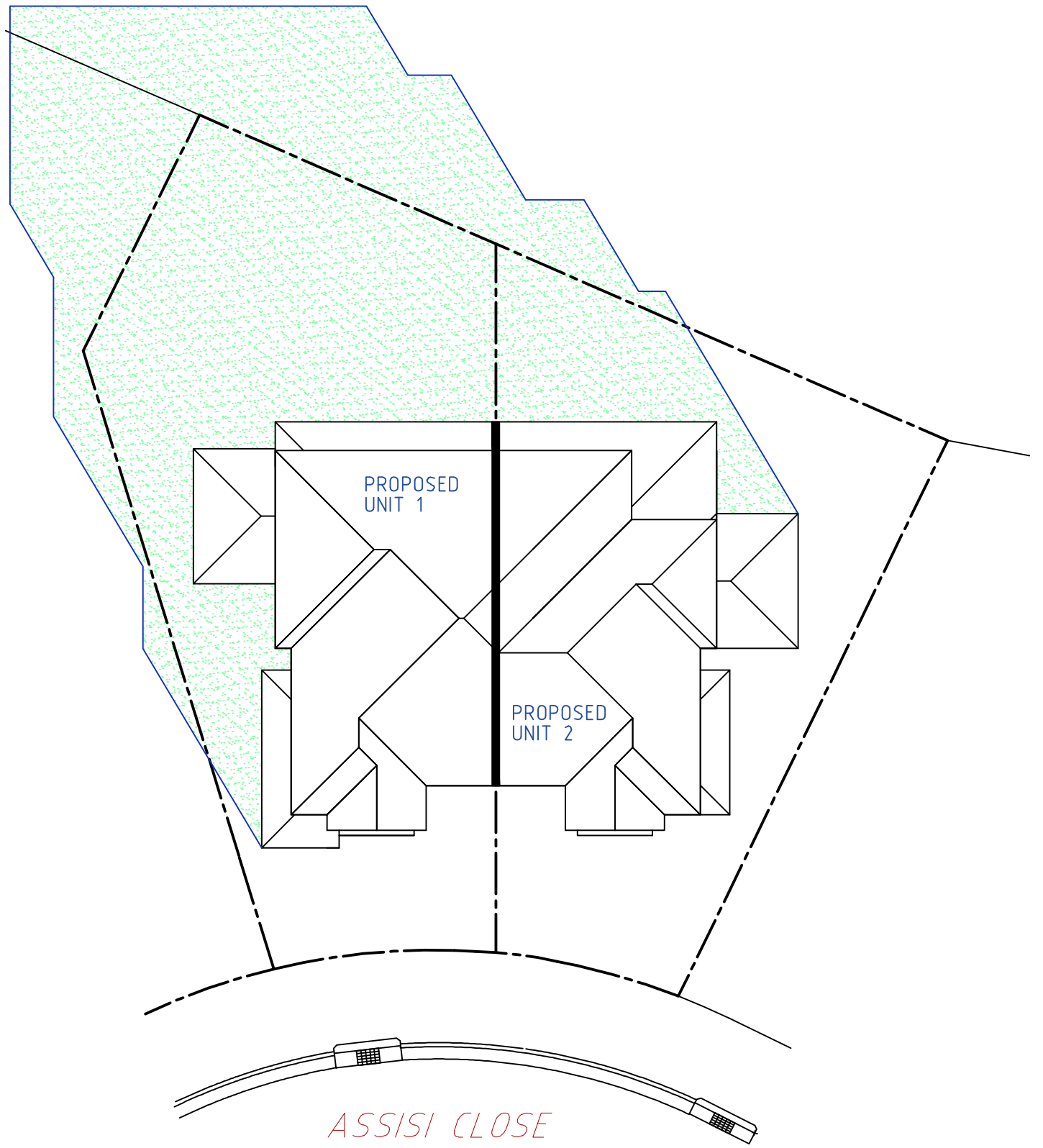
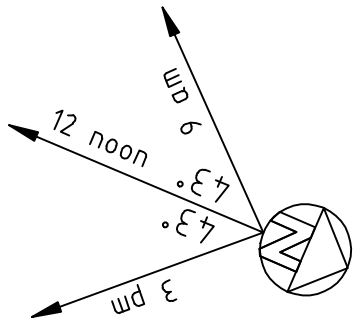
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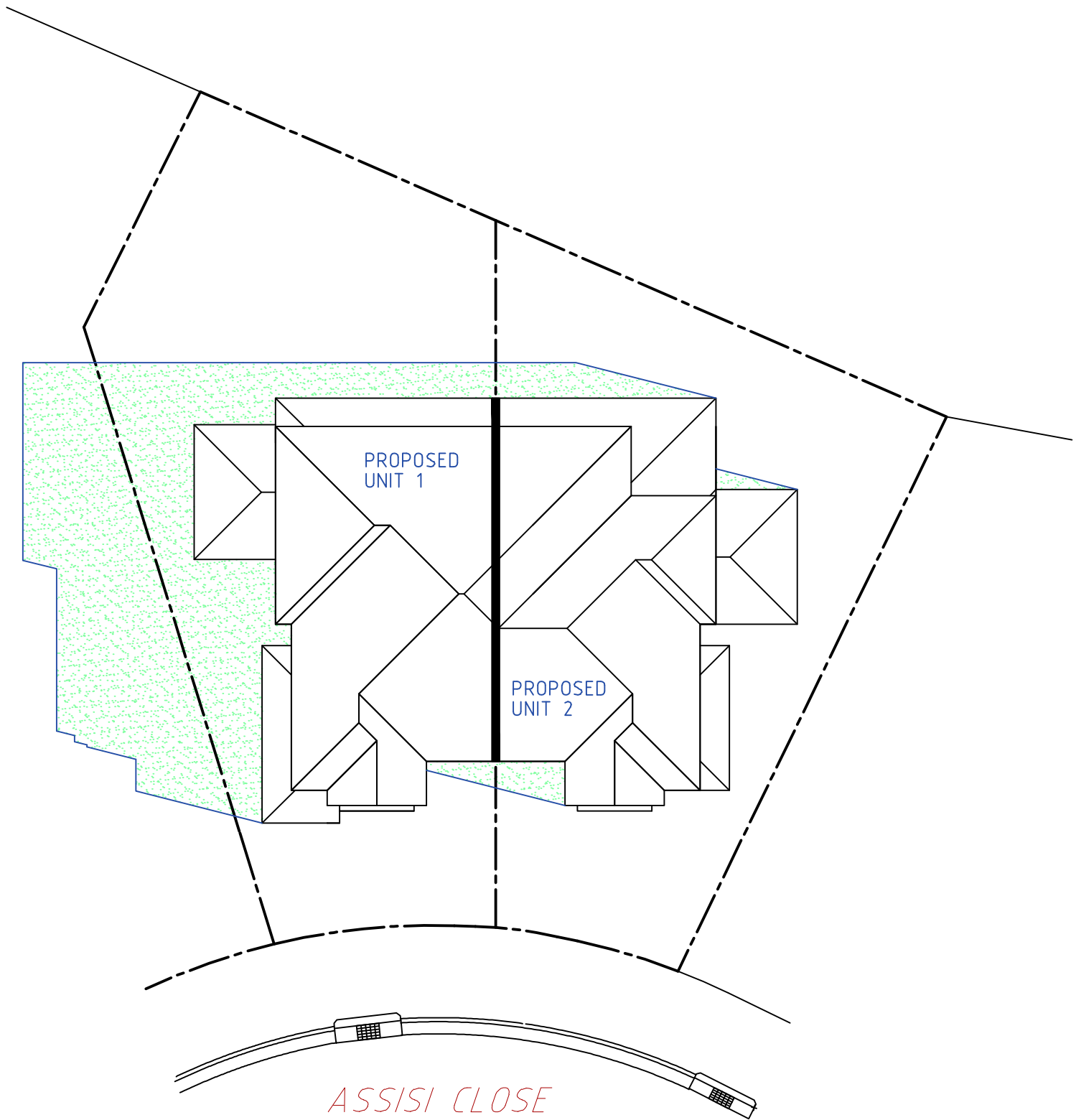
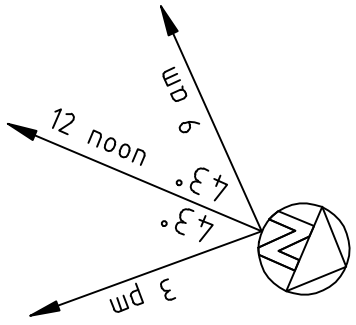
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Shadow Diagram (21st June)
9AM

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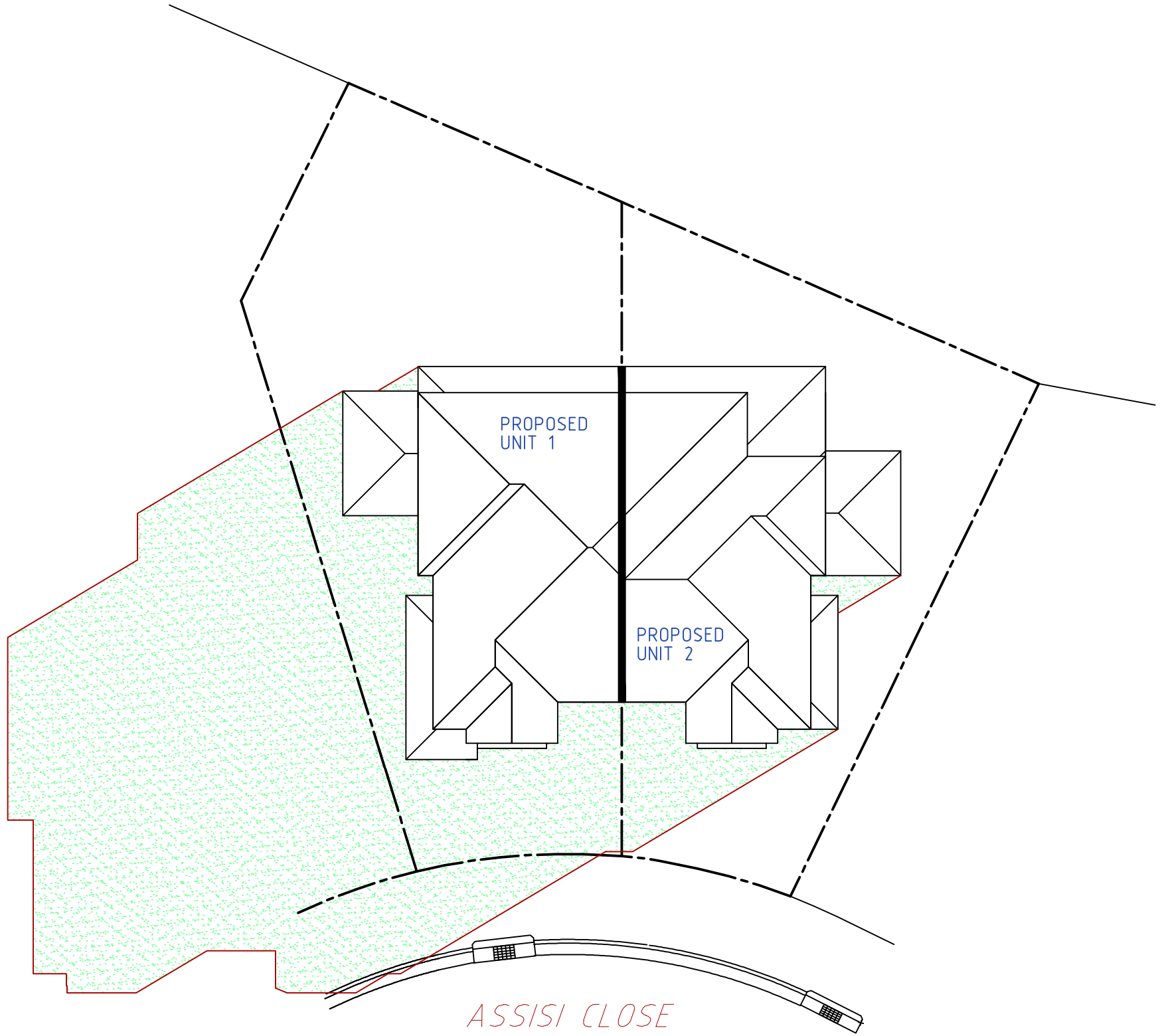
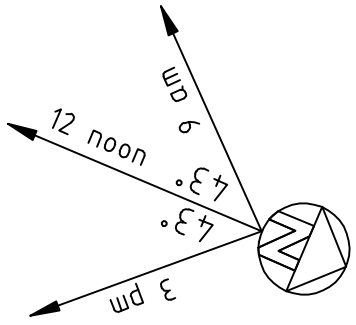
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Shadow Diagram (21st June)
12PM

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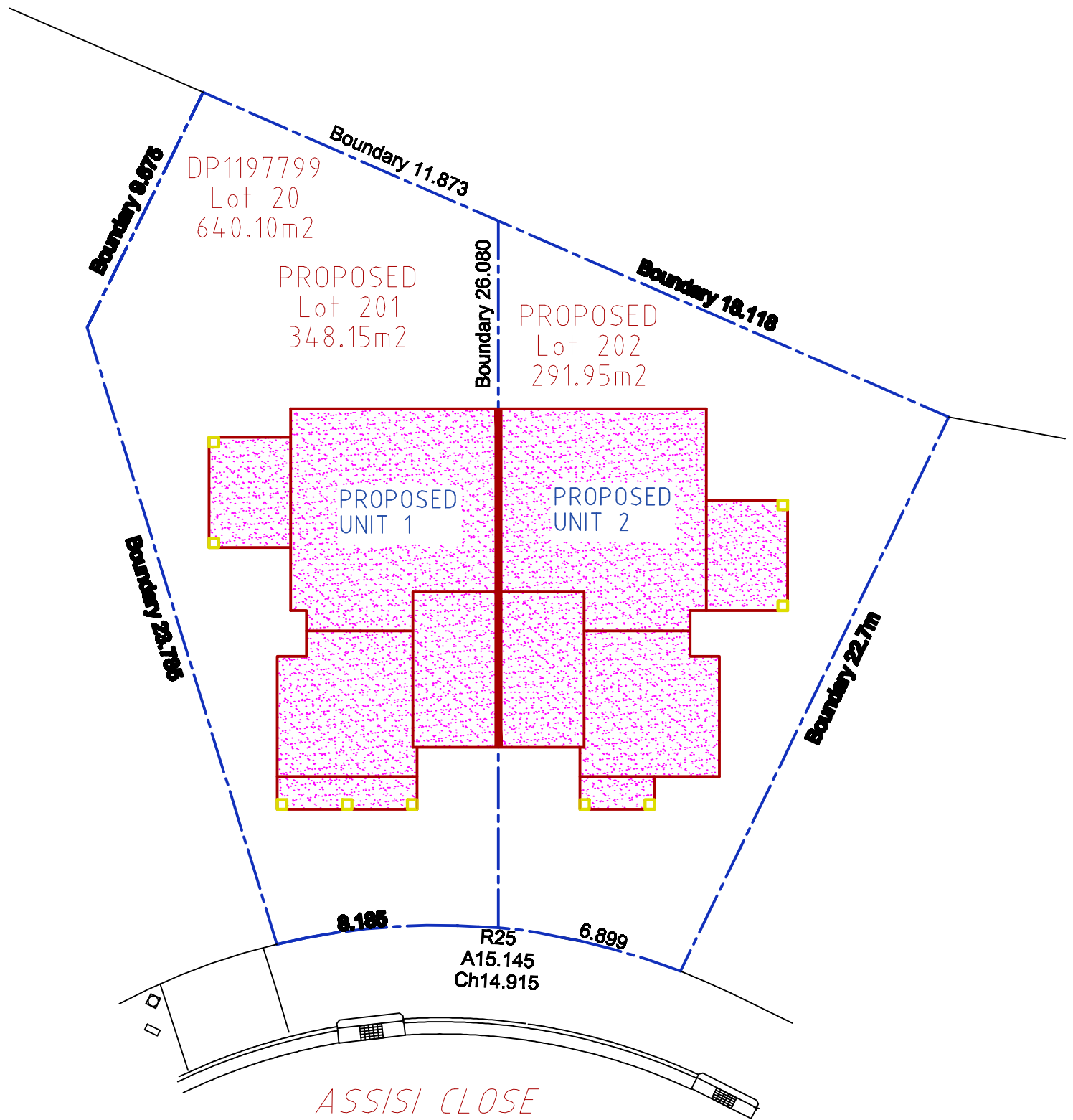
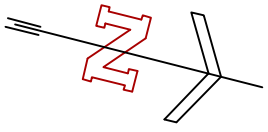
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Shadow Diagram (21st June)
3PM

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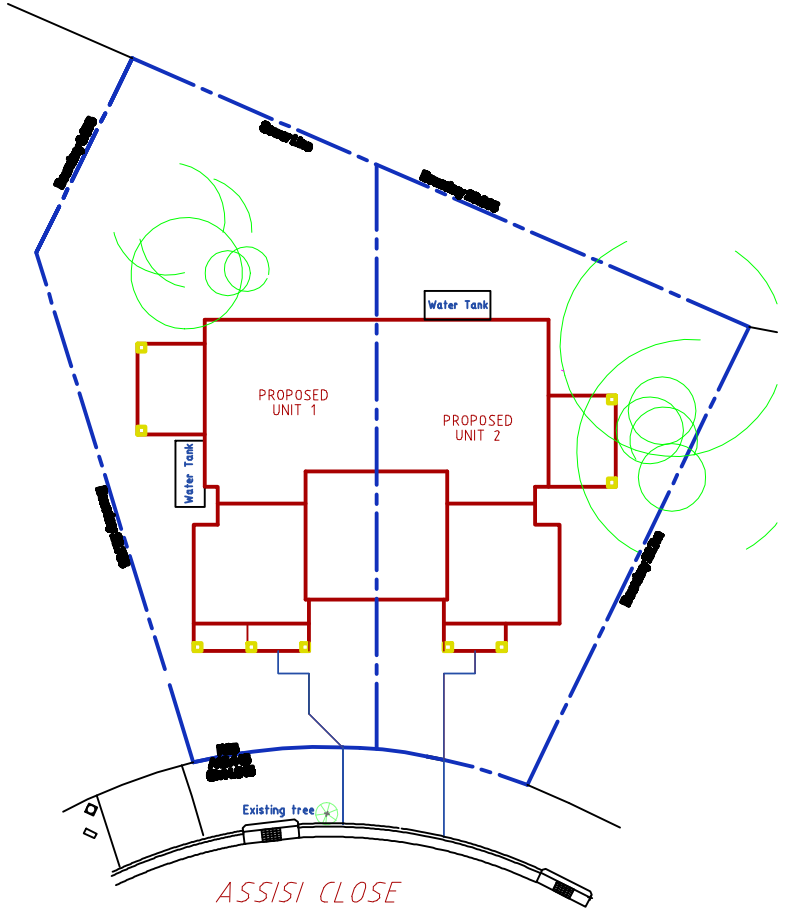
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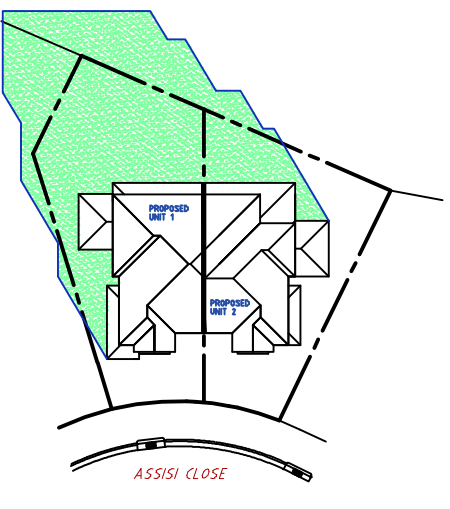
Subdivision Plan

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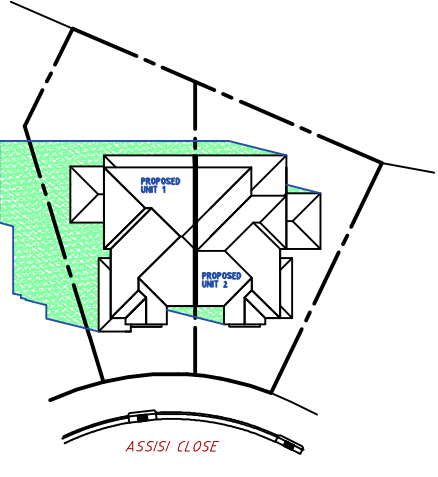
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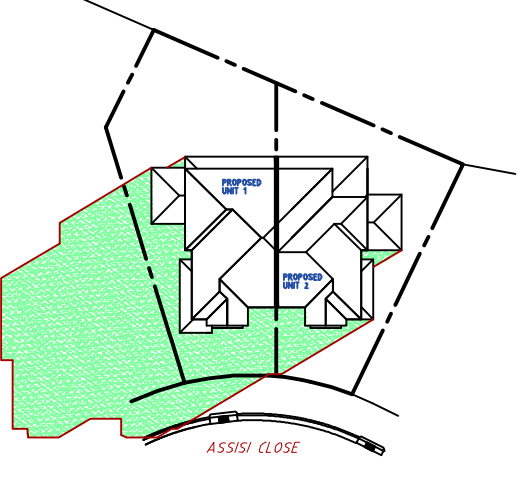
ASSISI CLOSE



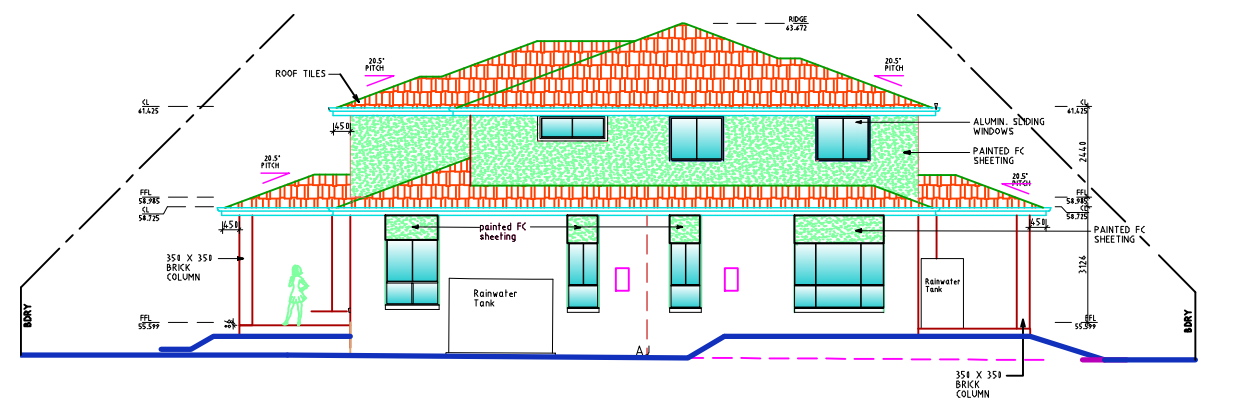
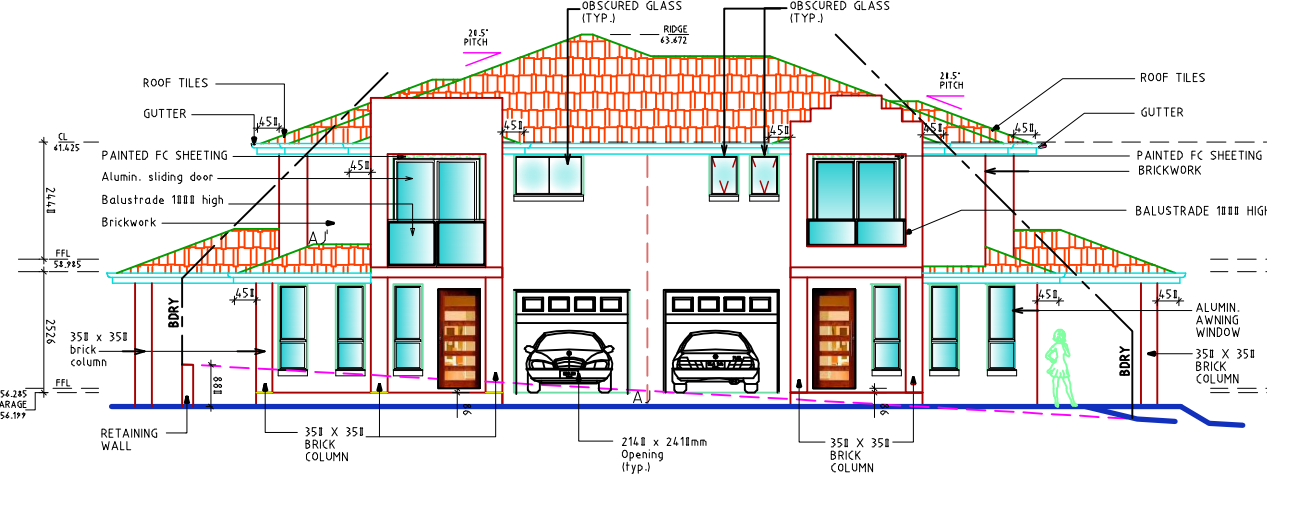
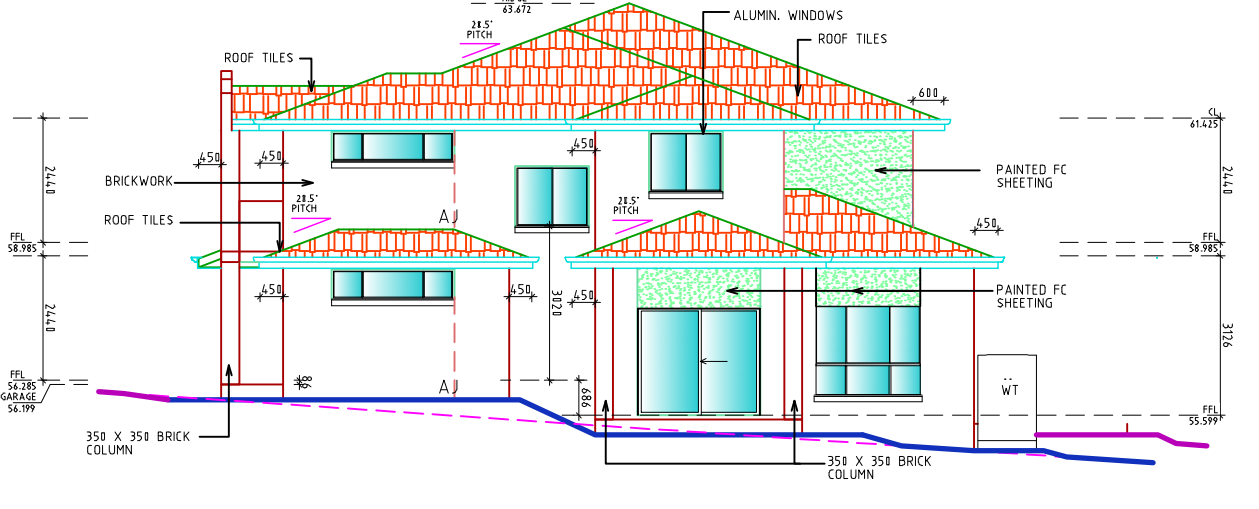
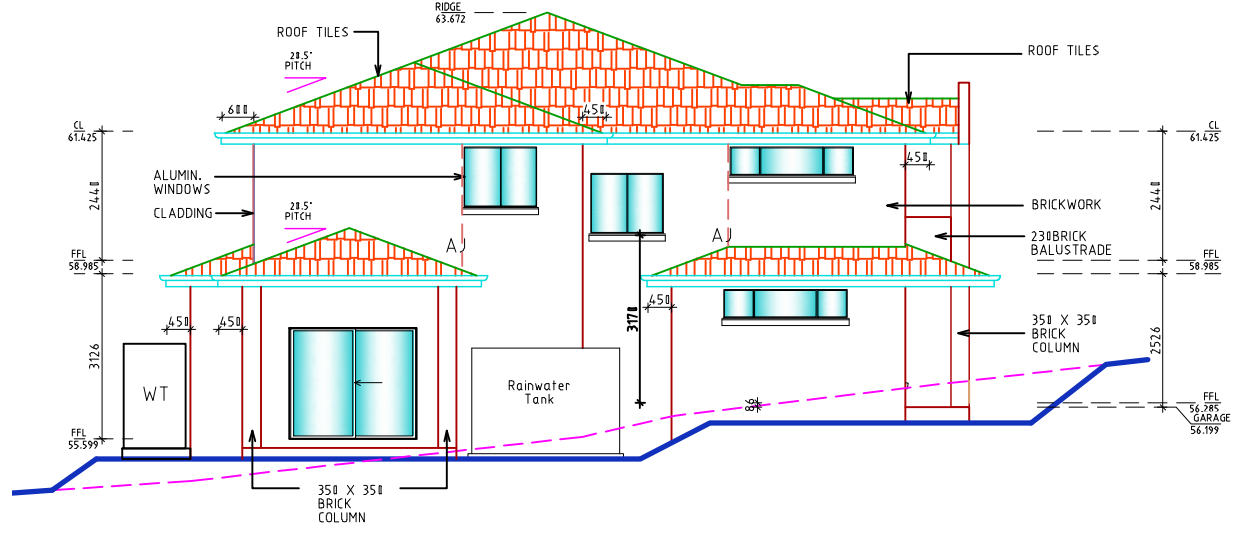
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Notification Plans

REV.	DATE	REMARKS
A	02-11-21	ISSUED FOR DA APPROVAL

Proposed Unit 1 & Unit 2 & Strata Subdivision
Mr. Medhat NABIH ATTIA
6 ASSISI CLOSE, CRANE BROOK 2749

SCALE:	NTS	DRAWING	REV.
DATE:	OCT. 2021	A16	A
PROJECT No.:	2146		

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1257151M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020, published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Saturday, 06 November 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	6 Assisi Close, Cranebrook		
Street address	6 ASSISI CLOSE CRANE BROOK 2749		
Local Government Area	Penrith City Council		
Plan type and plan number	deposited 1197799		
Lot no.	20		
Section no.	-		
No. of residential flat buildings	0		
No. of units in residential flat buildings	0		
No. of multi-dwelling houses	2		
No. of single dwelling houses	0		
Project score			
Water	40	Target	40
Thermal Comfort	Pass	Target	Pass
Energy	51	Target	50

Certificate Prepared by	
Name / Company Name:	plan for tomorrow
ABN (if applicable):	31622692516

Description of project

Project address	
Project name	6 Assisi Close, Cranebrook
Street address	6 ASSISI CLOSE CRANE BROOK 2749
Local Government Area	Penrith City Council
Plan type and plan number	deposited 1197799
Lot no.	20
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0
Site details	
Site area (m ²)	640.10
Roof area (m ²)	269
Non-residential floor area (m ²)	-
Residential car spaces	2
Non-residential car spaces	-

Common area landscape	
Common area lawn (m ²)	0.0
Common area garden (m ²)	0.0
Area of indigenous or low water use species (m ²)	-
Assessor details	
Assessor number	DMN21/2023
Certificate number	S9QEJKWBHT
Climate zone	28
Ceiling fan in at least one bedroom	No
Ceiling fan in at least one living room or other conditioned area	No
Project score	
Water	40 Target 40
Thermal Comfort	Pass Target Pass
Energy	51 Target 50

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	Min. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min. area m ²)	Dwelling no.	Min. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min. area m ²)
U1	4 or more bedrooms	142.9	0.0	207.0	-	U2	3	136.4	0.0	152.0	0.0

No common areas specified.

Schedule of BASIX commitments

- Commitments for multi-dwelling houses
 - Dwellings
 - Water
 - Energy
 - Thermal Comfort
- Commitments for single dwelling houses
- Commitments for common areas and central systems/facilities for the development (non-building specific)
 - Water
 - Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/DCG plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ol style="list-style-type: none"> a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. 		✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓	✓	
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool			Individual spa			
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water supply systems		Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
	Size	Configuration						
U1	individual water tank (no. 1)	Tank size (min) 2500.0 litres	To collect run-off from at least: 136.0 square metres of roof area;	yes	yes	yes	no	no
All other dwellings	individual water tank (no. 1)	Tank size (min) 2500.0 litres	To collect run-off from at least: 133.0 square metres of roof area;	yes	yes	yes	no	no

(ii) Energy	Show on DA plans	Show on CC/DCG plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating systems specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓

BASIX Information UNIT-1

REV.	DATE	REMARKS	Proposed Unit 1 & Unit 2 & Strata Subdivision		SCALE:	NTS	DRAWING	REV.
A	02-11-21	ISSUED FOR DA APPROVAL	Mr. Medhat NABIH ATTIA 6 ASSISI CLOSE, CRANE BROOK 2749		DATE:	OCT. 2021	A17	A
THIS DRAWING HAS BEEN DESIGNED BY THE OWNER OF THE PROPERTY					PROJECT No.:	2146		

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: <ul style="list-style-type: none"> (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump, and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump. 		✓	✓
(h) The applicant must install in the dwelling: <ul style="list-style-type: none"> (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table. 		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	✓
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Dwelling no.	Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control	
All dwellings	gas instantaneous 6 star	individual fan, ducted to facade or roof	manual switch on/off	individual fan, ducted to facade or roof	manual switch on/off	individual fan, ducted to facade or roof	manual switch on/off	

Dwelling no.	Cooling		Heating		Artificial lighting					Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bedrooms &/or toilets	Main kitchen
U1	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	3 (dedicated)	3 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes
All other dwellings	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	4 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	no	yes

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: <ul style="list-style-type: none"> (aa) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab. 	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
U1	52.8	34.3
All other dwellings	38.2	32.6

Dwelling no.	Construction of floors and walls				
	Concrete slab on ground (m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
All dwellings	76	-	-	16	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	✓
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	✓
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

- In these commitments, "applicant" means the person carrying out the development.
- The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
- This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
- If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
- If a star or other rating is specified in a commitment, this is a minimum rating.
- All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

- Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
- Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
- Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillment it is required to monitor in relation to the building or part, has been fulfilled).

BASIX Information UNIT-2

REV.	DATE	REMARKS	Proposed Unit 1 & Unit 2 & Strata Subdivision		SCALE:	NTS	DRAWING	REV.
A	02-11-21	ISSUED FOR DA APPROVAL	Mr. Medhat NABIH ATTIA		DATE:	OCT. 2021	A18	A
THIS DRAWING HAS BEEN DESIGNED BY THE OWNER OF THE PROPERTY			6 ASSISI CLOSE, CRANE BROOK 2749		PROJECT No.:	2146		