PROPOSED MIXED USE DEVELOPMENT

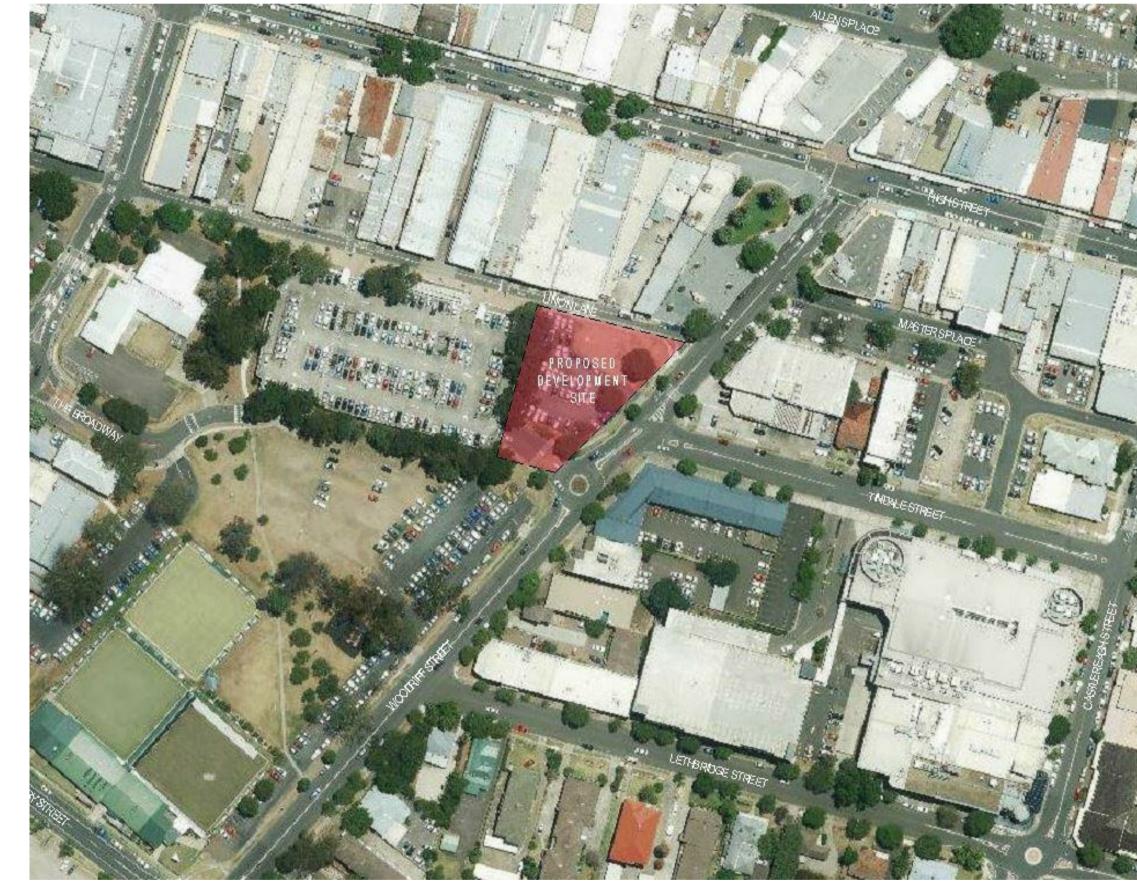
21-25 WOODRIFF STREET, PENRITH NSW 2750



VISUALISATION - FROM WOODRIFF ST. LOOKING SOUTH-WEST



VISUALISATION - FROM TINDALE ST. LOOKING WEST



AERIAL VIEW - SURROUNDING CONTEXT

Apartment	Mix
1BR	1
2BR	53
3BR	4
TOTAL APARTMENTS	58

Parking Sche	edule
BASEMENT B2	
Disabled Car Space	4
Standard Car Space	46
	50
BASEMENT B1	
Disabled Car Space	4
Standard Car Space	46
	50
TOTAL CARSPACES	100

TOTAL CARSPACES REQUIRED 84

Develo	pment Details	
Site Area		2732m²
Gross Floor Area (GFA)		8391m²
Zoning		B4 Mixed Used
	Allowable	Proposed
Floor Space Ratio (FSR)*	3:1	3.07:1
Building Height*	24	27.4m
Total Stories		8

ISSUE DATE	AMENDMENT		PROJECT			D 4 0 4
A 13-10-2016	DA SUBMISSION		PROPOSED MIXED USE DEVELOPMENT	NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 www.morsongroup.com	SHEET SIZE: A1 SHEET NAME DEVELOPMENT DETAILS	SHEET NO. DA01
		TRUE/	ADDRESS CLIENT	GROUP www.morsongroup.com (02) 9380 4946	SCALE DATE	DE//101011
		SCALE BAR NORTH	21-25 WOODRIFE STREET PENRITH NSW 2750	PO Box 170, Potts Point, NSW 1335	JAN 2016	REVISION A



VISUALISATION 1 FROM WOODRIFF ST. LOOKING SOUTH-WEST



VISUALISATION 2 FROM TINDALE ST. LOOKING WEST



VISUALISATION 3
FROM WOODRIFF ST. LOOKING NORTH

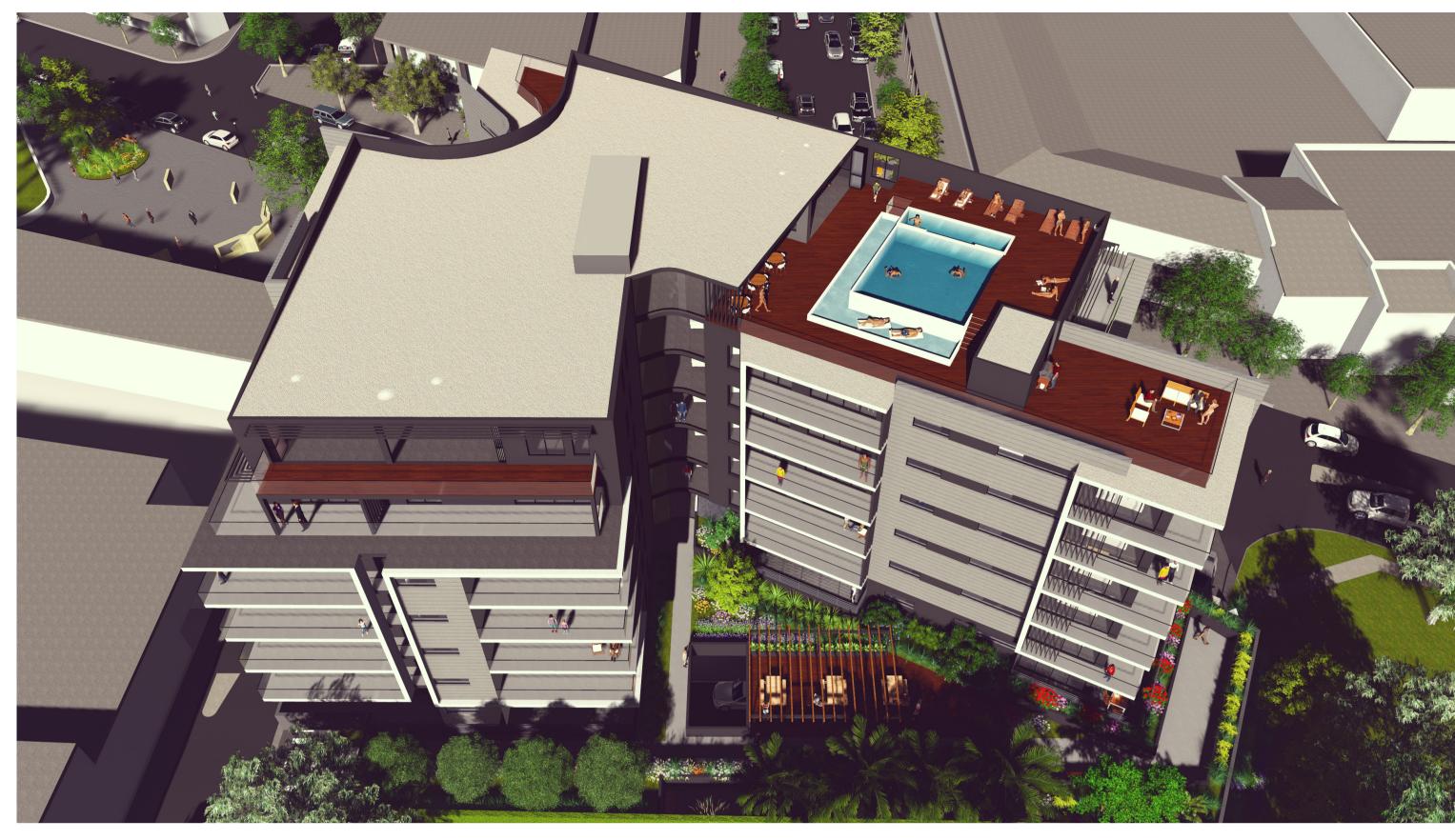


VISUALISATION 4
FROM JUDGES CAR PARK LOOKING EAST

ISSUE DATE AMENDMENT A 13-10-2016 DA SUBMISSION	PROPOSED MIXED	D USE DEVELOPMENT	NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 www.morsongroup.com (02) 830 4946 PO Box 170, Potts Point, NSW 1335	SHEET NAME VISUALISATIONS - SHEET NAME	
	ADDRESS 21-25 WOODRIFF STE	REET, PENRITH NSW 2750 CLIENT ASTINA	GROUP (02) 9380 4946 PO Box 170, Potits Point, NSW 1335	SCALE DATE JAN 2016	ISSUE NO.



VISUALISATION 5 FROM WOODRIFF ST. LOOKING SOUTH-WEST



VISUALISATION 6
BIRDS EYE VIEW LOOKING OVER ROOFTOP



VISUALISATION 7
FROM TINDALE ST. LOOKING WEST



VISUALISATION 8 FROM MEMORY PARK LOOKING SOUTH

ISSUE DATE AMENDMENT A 13-10-2016 DA SUBMISSION	PROPOSED MIXED USE DEVELOPMENT	MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 www.morsongroup.com (02) 9380 4946 PO Box 170, Potts Point, NSW 1335	SHEET VISUALISATIONS - SHEET 2	DRAWING NUMBER DA03
	ADDRESS 21-25 WOODRIFF STREET, PENRITH NSW 2750	CLIENT ASTINA Www.morsongroup.com (02) 9380 4946 PO Box 170, Potts Point, NSW 1335 SCALE	DATE OCT 2016	ISSUE NO.



VIEW FROM UNION LANE LOOKING SOUTH-WEST



VIEW FROM WOODRIFF STREET LOOKING NORTH-WEST



VIEW FROM WOODRIFF STREET LOOKING WEST



VIEW FROM HIGH STREET LOOKING SOUTH



VIEW FROM TINDALE STREET LOOKING WEST



VIEW FROM WOODRIFF STREET LOOKING SOUTH- WEST



VIEW FROM TINDALE STREET LOOKING WEST



VIEW FROM WOODRIFF STREET LOOKING SOUTH



VIEW FROM UNION LANE LOOKING EAST

	ISSUE	DATE	AMENDMENI
Ī	Α	13-10-2016	DA SUBMISSION

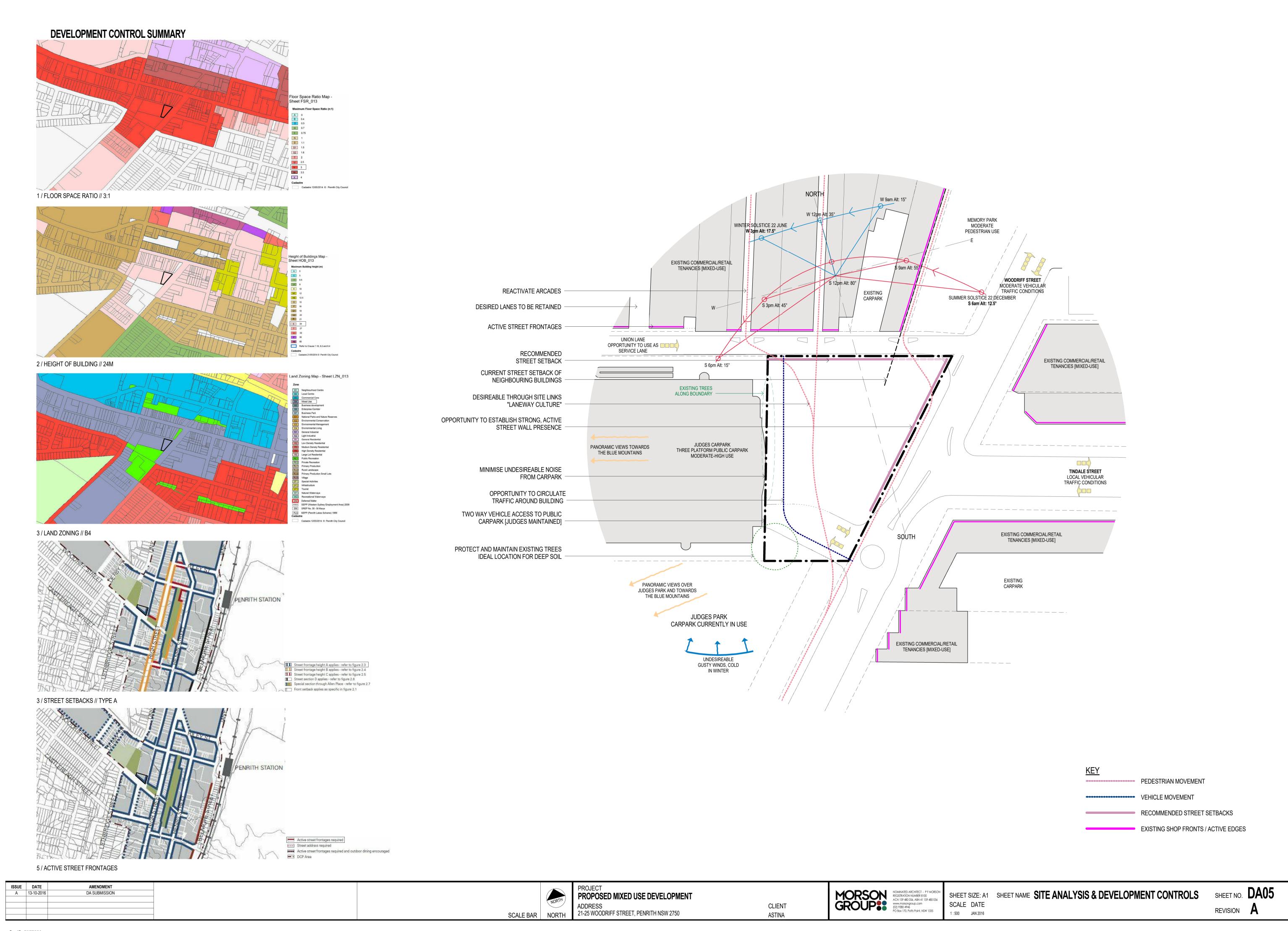
PROJECT
PROPOSED MIXED USE DEVELOPMENT

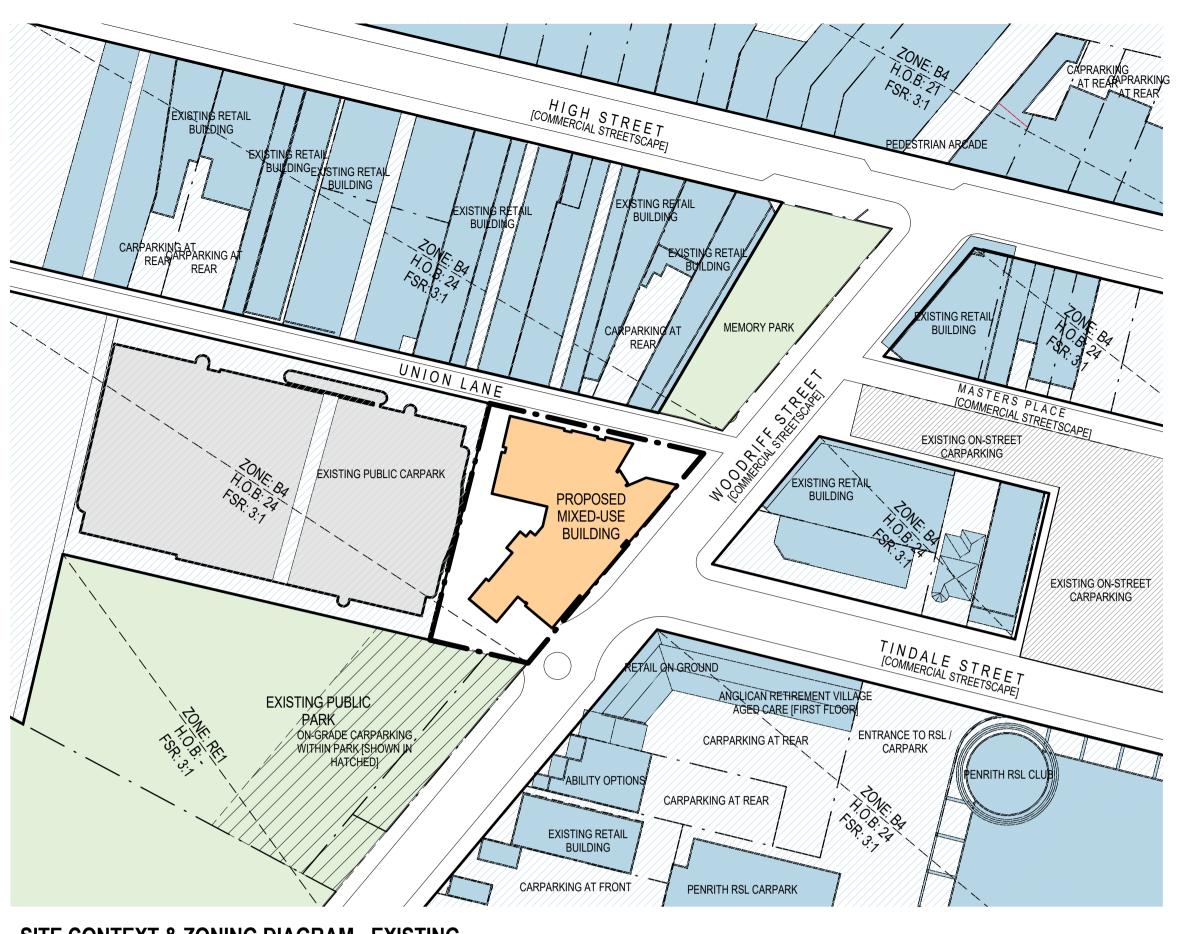
ADDRESS
21-25 WOODRIFF STREET, PENRITH NSW 2750

MORSON NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056 www.morsongroup.com (02) 9380 4946
PO Box 170, Potts Point, NSW 1335

SHEET NAME EXISTING PHOTOGRAPHS

DA04
ISSUE NO.





SITE CONTEXT & ZONING DIAGRAM - EXISTING
1:1000

DESRELIASE DESCRIPTION FOR PLANT AND STREET CONTROL STREET S

SITE CONTEXT & ZONING DIAGRAM - FUTURE
1: 1000

EXISTING & DESIRED LINKS



Existing lanes to be retained

Desired new lanes

Existing pedestrian links to be retained

Desired new pedestrian links

DCP Area

EXISTING CONTEXT



IMAGE A.1 - VIEW FROM MEMORY PARK



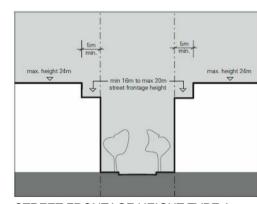
IMAGE B.1 - VIEW FROM WOODRIFF ST. SOUTH



IMAGE C.1 - VIEW FROM TINDALE ST.



IMAGE D.1 - VIEW FROM HIGH ST.



STREET FRONTAGES - PENRITH DCP

STREET FRONTAGE HEIGHT TYPE A

FUTURE CONTEXT

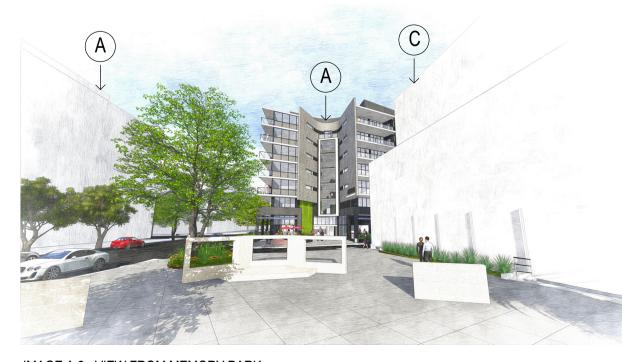


IMAGE A.2 - VIEW FROM MEMORY PARK



IMAGE B.2 - VIEW FROM WOODRIFF ST. SOUTH

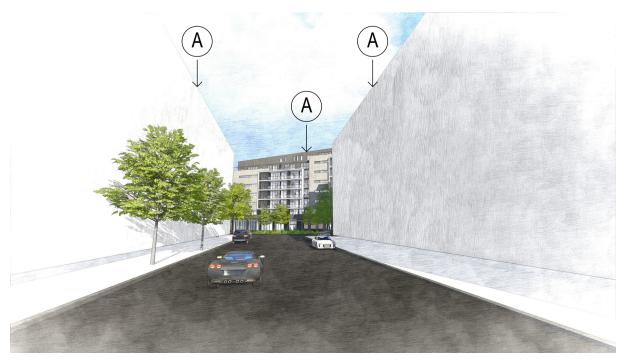
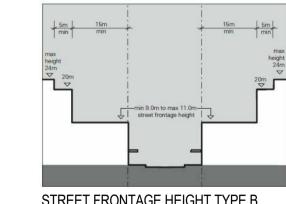


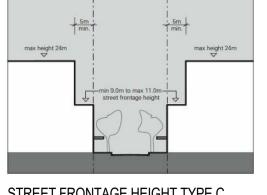
IMAGE C.2 - VIEW FROM TINDALE ST.



IMAGE D.2 - VIEW FROM HIGH ST.

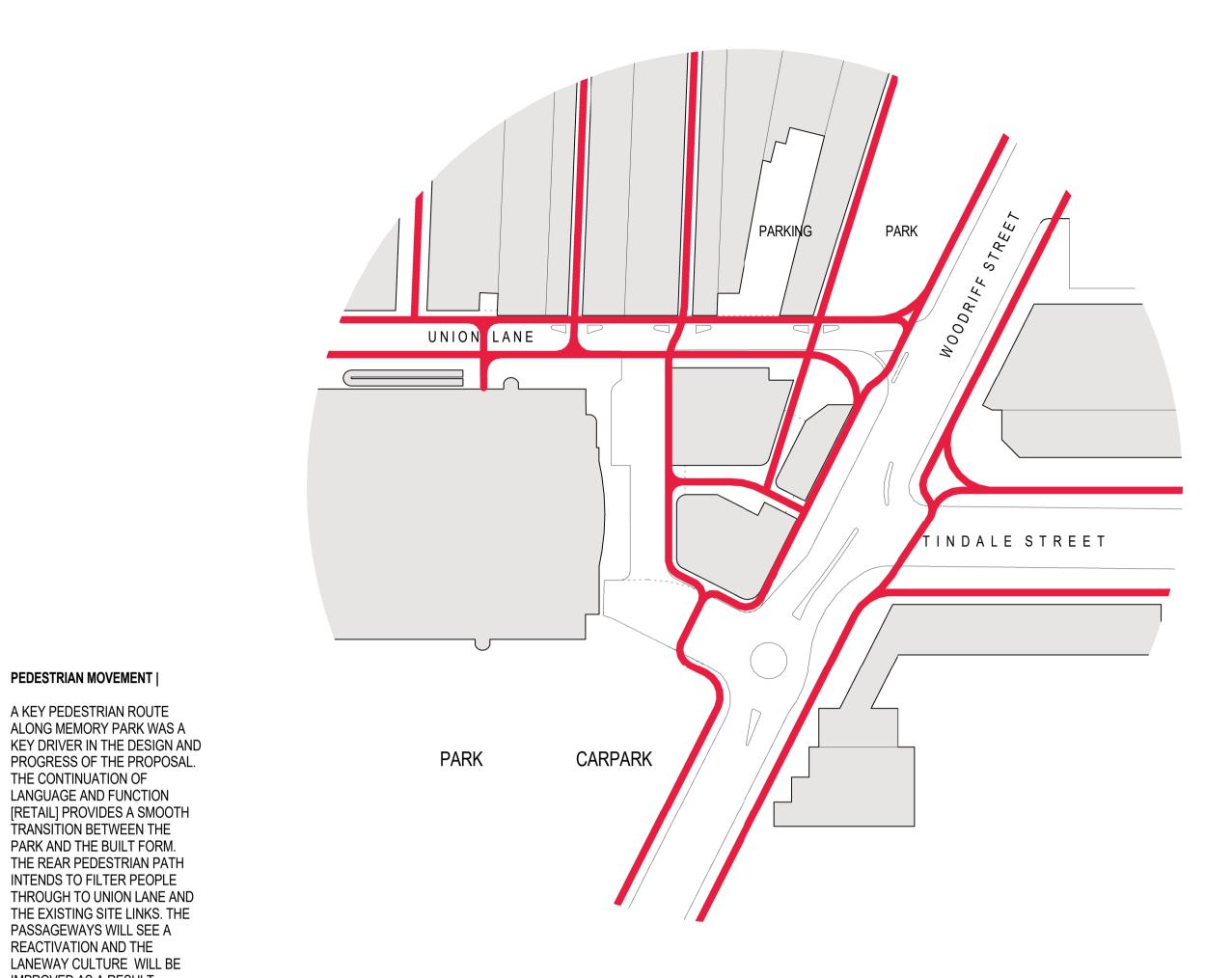


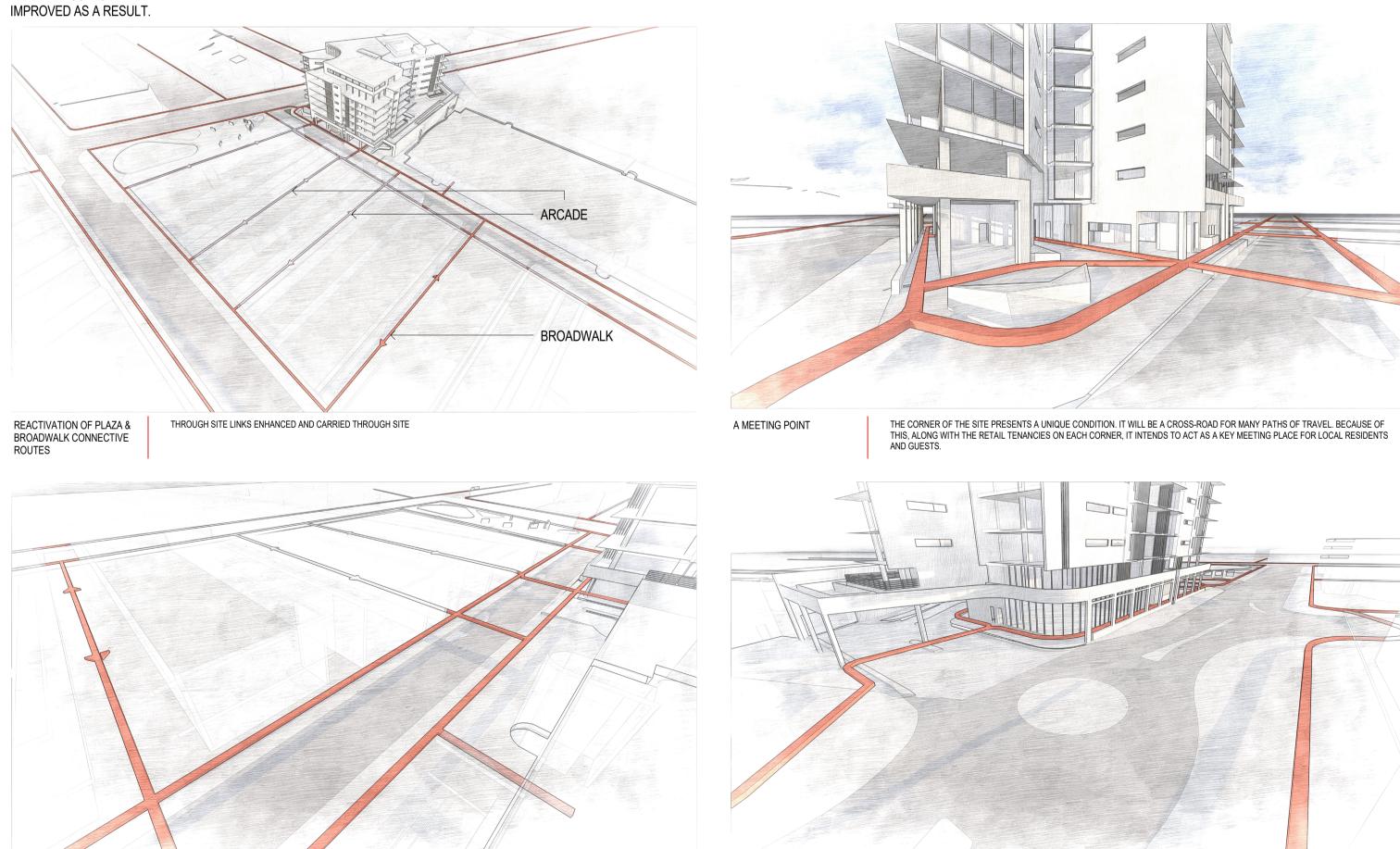
STREET FRONTAGE HEIGHT TYPE B



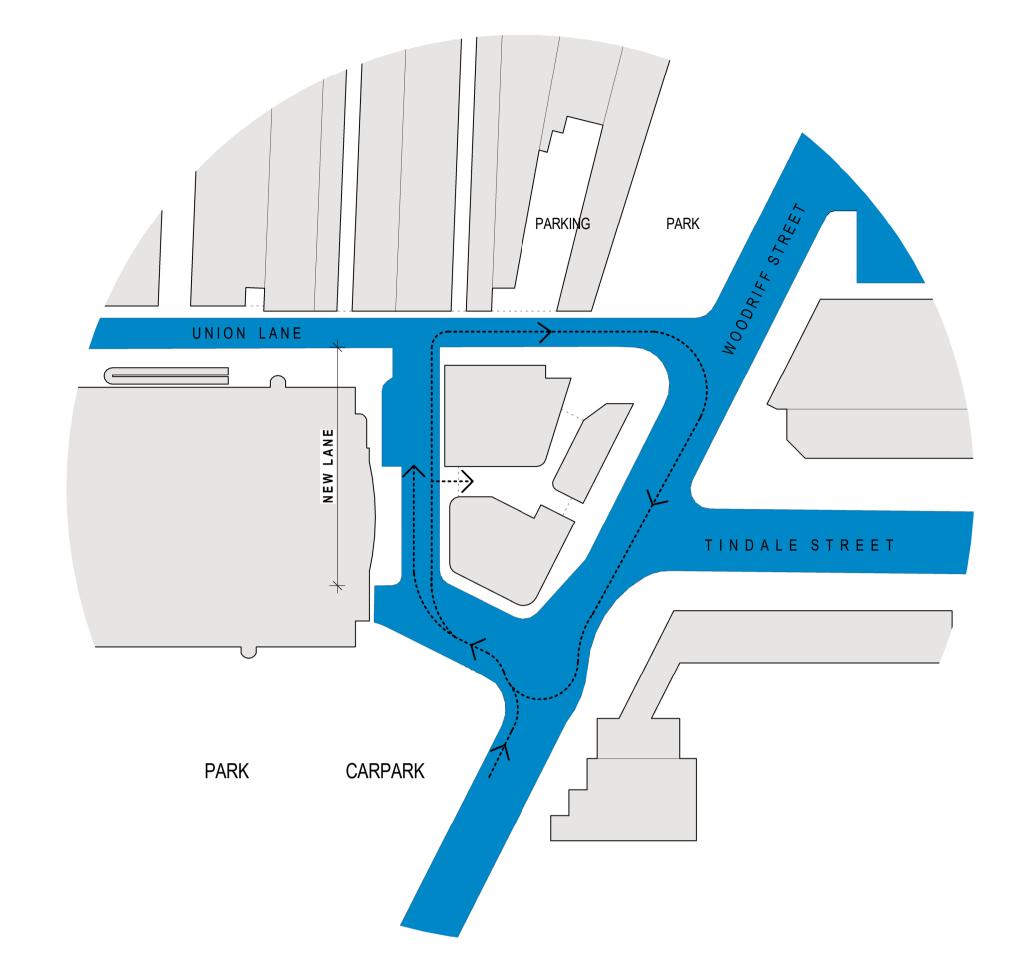
STREET FRONTAGE HEIGHT TYPE C

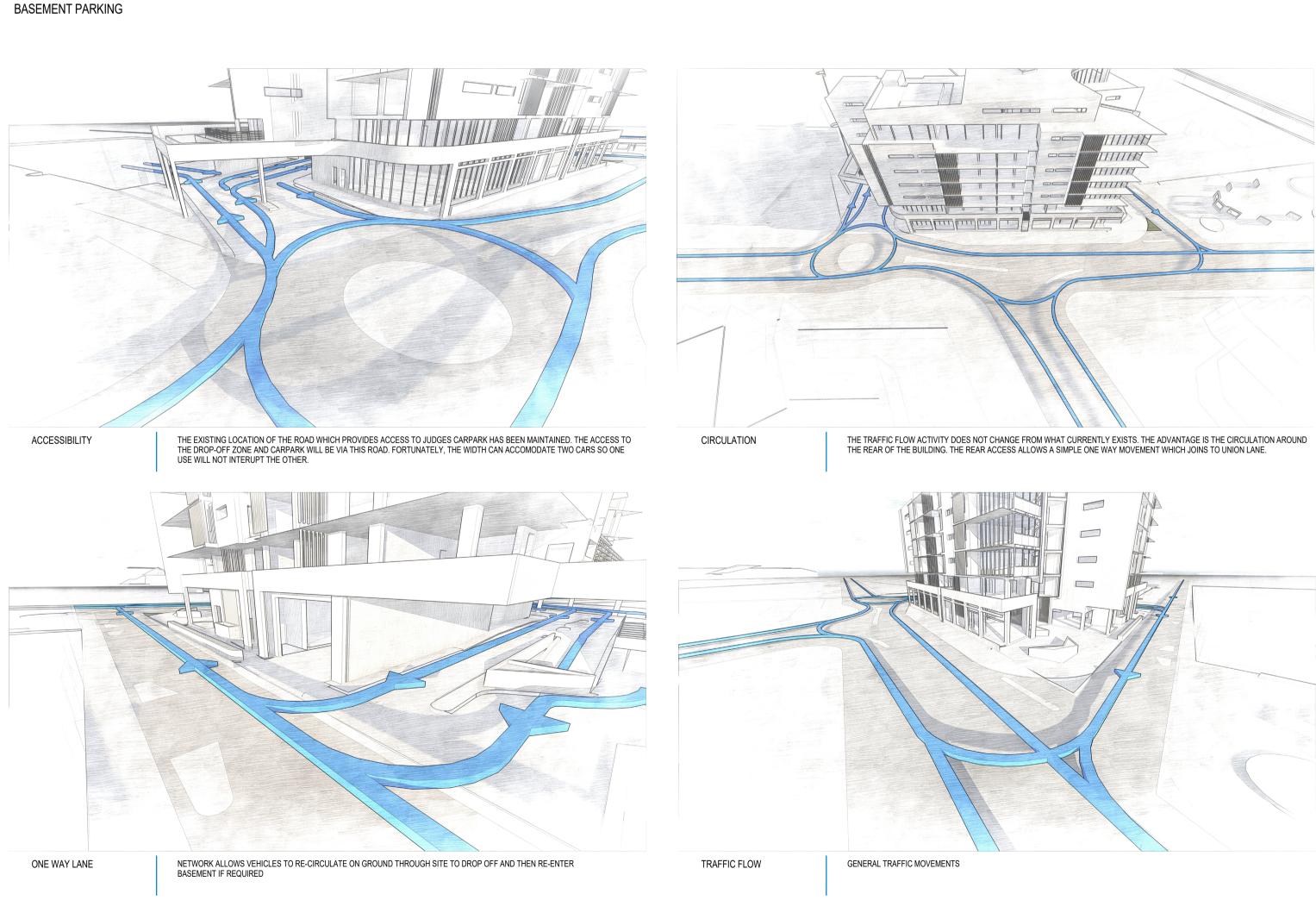
ISSUE DATE AMENDMENT			PROPOSED MIXED USE DEVELOPMENT	MORSON NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 WWW.morsongroup.com	SHEET SIZE: A1	PROPOSED & FUTURE CONTEXTUAL ANALYSIS	DA06
	SCALE BAR NO	NORTH POINT	ADDRESS 21-25 WOODRIFF STREET, PENRITH NSW 2750 CLIENT ASTINA	GROUP (02) 9380 4946 PO Box 170, Potts Point, NSW 1335	SCALE DATE 1:1000 JAN 2016		ISSUE NO.





A LANEWAY CAN OFTEN BE AVOIDED DUE TO IT'S NATURE AND REPUTATION AS A PLACE WHICH LACKS SECURITY AND SAFETY. THROUGH THE ADDITIONAL ACITIVATION BROUGHT UPON BY THE PROPOSAL, WE INTEND TO CREATE A LANEWAY CULTURE FOR PEDESTRIANS; A PLACE IN WHICH





PEDESTRIANS DECIDE WHETHER TO THE REAR OR STREET FRONT OF THE BUILDING. IT BRINGS LIFE AND ACTIVITY TO THE GROUND LEVEL, WHILST ALLOWING A CLEAR, SAFE SHORTCUT TO THEIR DESTINATION.

ADDITION TO ROAD

AS WE INTENDED TO

MAINTAIN THE ACCESS ROAD TO JUDGES CARPARK, IT PROVIDED A FANTASTIC

OPPORTUNITY CREATE CIRCULATION PATH AROUND

THE REAR OF THE BUILDING. IT WILL ALLOW GUESTS TO

DROP OFF AND CONTINUE

THROUGH TO UNION LANE

THE BUILDING INTO THE

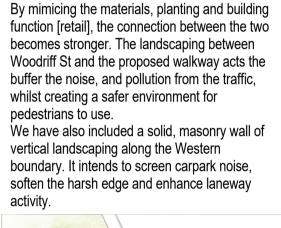
AND RE-CIRCULATE AROUND

NETWORK |

LANEWAY CULTURE

THEY CAN EMBRACE AND FEEL COMFORTABLE.





GREEN OPEN SPACE |

The creation of 'green strips' within the city is a

highly desirable outcome. It provides breathing

opportunities and enhances air quality in city

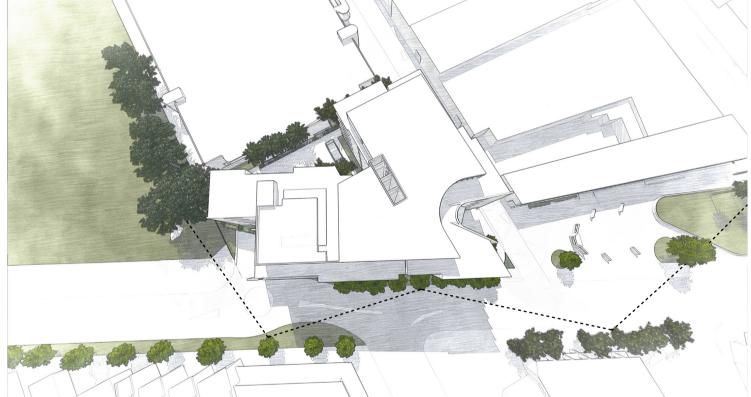
local residents and business people. Although

link between memory park and judges park, we

have strived to make this transition as seamless

centres. It acts as a fundamental aspect to

space, passive and active recreational



TO ENHANCE AND CONTINUE THE EXISTING STREET TREE PLANTING, THE EXISTING FOOTPATH AREA WILL BE LANDSCAPED TO INCLUDE TREES SIMILAR TO THOSE ON SURROUNDING STREETS.



MEMORY PARK IS HOME TO A NUMBER OF PALM TREES TOWARDS THE NORTHERN END. WE WANTED TO CONTINUE THIS PLANTING LANGUAGE INTO OUR SITE SO THEY CAN CONNECT TO ONE ANOTHER IN MORE WAYS THAN ONE.



DUE TO THE LOCATION OF THE NEIGHBOURING CARPARK, WE HAVE CREATED A LAYERED LANDSCAPED DESIGN WHICH WILL INTEND TO PROVIDE BOTH VISUAL AND SOUND BARRIERS FOR THE GUESTS.





Outlined in the Penrith Development control plan [DCP], building form, street setbacks and alignment all contribute considerably to achieve a desired level of scale, form and building separation in the city centre. Active street frontages provide comfortable street environments for pedestrians in terms of daylight, scale, sense of enclosure and protection from elements. The Woodriff Street frontage achieves both a physical and visual connection with the surrounding buildings and adjacent parks. Two separate retail premises located at the north end of the building continue to language and function of memory park. It will aim to become a common meeting ground for the local residents. The proposed newfootpath travels underneath the podium level; protected from the elements. The curtain wall glazing along the cafe and office space visually connects the outside to the in, whilst providing a high level



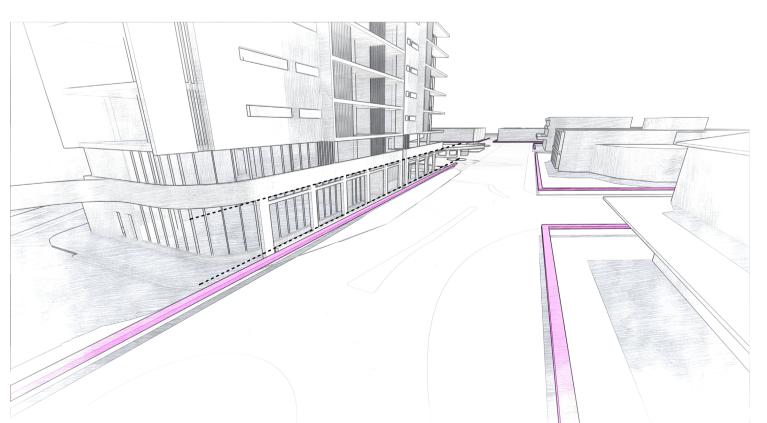
ACTIVATION THROUGH FUNCTION

ONE TECHNIQUE OF ACTIVATING THE WOODRIFF STREET FACADE IS THROUGH LOCATION OF FUNCTION. A RETAIL TENANCY AND OFFICE SPACE SIT DIRECTLY ALONGSIDE THE FOOTPATH, ALONG WITH THE ENTRY INTO THE LOBBY AREA. THE CONSTANT OCCUPATION AND PEDESTRIAN FLOW IN AND OUT OF THESE AREAS, ALONG WITH THE ACTIVITY WITHIN, WILL CREATE ATMOSPEHERE

UNION LANE

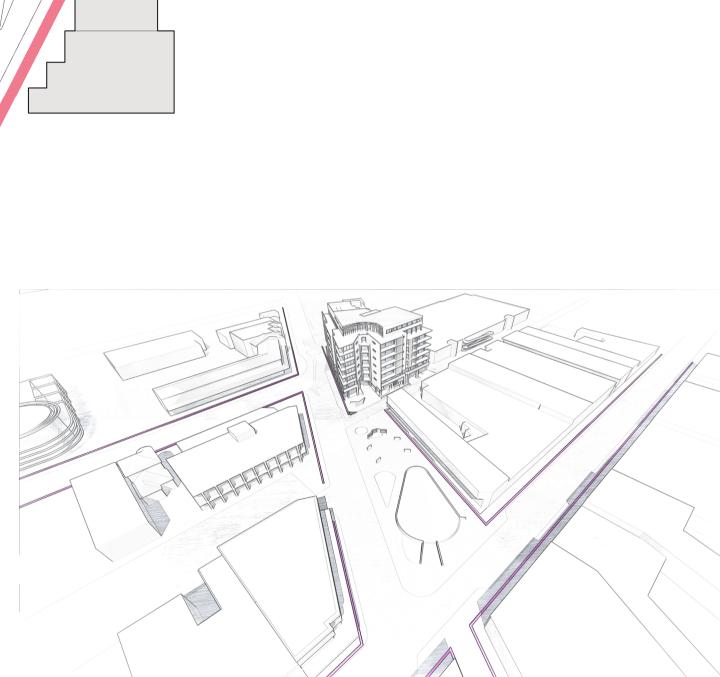
PARK

CARPARK



ADJUSTED PATHWAYS

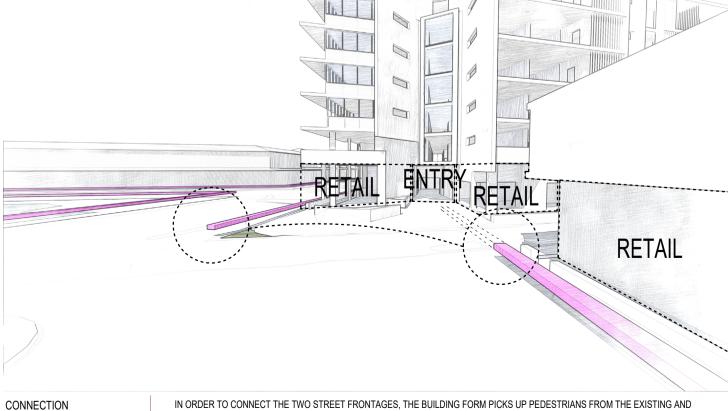
THE RELOCATION OF THE EXISTING FOOTPATH WILL BRING PEDESTRIANS IN CLOSER TO THE BUILDING; FURTHER ACTIVATING THE STREET FRONTAGE. IT PROVIDES BETTER SAFETY AGAINST VEHICLES, PROTECTION FROM THE ELEMENTS AND ALSO PASSIVE SURVEILLANCE THROUGH INTELLIGENT MATERIAL CHOICES.



STAFE

TINDALE STREET

DESIREABLE ACTIVE THE DCP HIGHLIGHTS THE DESIRE TO CREATE ACTIVE STREET FRONTAGES ALONG SPECIFIC LOCATIONS OF THE CITY CENTRE. STREET FRONTAGES

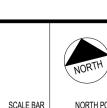


IN ORDER TO CONNECT THE TWO STREET FRONTAGES, THE BUILDING FORM PICKS UP PEDESTRIANS FROM THE EXISTING AND BRINGS THEM INTO THE LOBBY AREA WHICH IS FLANKED BY RESTAURANT & CAFE OFFERINGS. AT THE SAME TIME, THE OPENESS AND LANDSCAPING DESIGN PROVIDES A PLATFORM OF TRANSITION AND CONTINUATION TO THE NEWLY LOCATED FOOTPATH.

AMENDMENT A 13-10-2016 DA SUBMISSION

SOLID MASONRY WALL WITH VERTICAL PLANTING TO SCREEN FOR PRIVACY, IMPROVE UNWANTED

NOISE AND ENHANCE LANDSCAPING



PROPOSED MIXED USE DEVELOPMENT 21-25 WOODRIFF STREET, PENRITH NSW 2750

SHEET SIZE: A1 SCALE DATE As indicated JAN 2016 SHEET CONTEXTUAL ANALYSIS

CONTINUATION OF

LANUAGE

CONNECTIVE PLANTING

ENVIRONMENTALLY SUSTAINABLE DEVELOPMENT



A large part of sustainability revolves around the life span of the building. The build demands a considerable amount of energy and materials, so in order to ensure that this process is taking place less often, the building must be 'future proofed'. It will be a concrete framed building with non loading bearing wall systems. By doing so, it creates a flexible shell which allows the function, design and use of the building to change in the future if need be. By doing so, the building is not limited to one use it's entire life span and has the ability to adapt to any future demands.

Although the State Environmental Planning Policy 65 [SEPP] does not apply to this building, we have strived to achieve some of the outcomes listed which revolve around building performance and amenity. Focusing on cross ventilation firstly, it demands a minimum of 60% of apartments that are too be cross ventilated. In our Proposal, we have a total of 39/69 [66%] which are cross ventilated. As the occupiers have the ability to open their windows and allow the natural air flow to cool down the apartments, it will mean the demand for air-conditioning in rooms will be less and in turn, reducing the amount of energy consumed. Also, we intend to include read switches on the windows, which will mean the air-conditioning automatically switches off when a window is opened. The SEPP 65 similarly outlines that a minimum of 70% of apartments are to recieve 2 hours direct sunlight between the hours of 9am-3pm on winter solistice. In our proposal, 40/59 [68%] apartments adhere to these conditions. Although it lies ever so slightly below the minimum, it is a direct cause of the building form requirements to form a street wall to Woodriff Street which runs South-West to North-East. By maximising the amount of natural daylight, the demand of artificial lighting is reduced and in turn, energy consumption is reduced. To further minimise energy use, LED lighting will be installed in each serviced apartment. With the nature of the corridor design, creating three large window openings, it will also mean that common areas throughout the building will require less artificial lighting.

Along with these active measures, there are also passive tools which have been consciously designed into the proposal to maximise social amenity and safety. The active street frontages along Woodriff Street and Union Lane provide passive surviellance for pedestrians. As the pedestrians walk under the podium level and along the new footpath, they are covered and protected from the hot sun in the summer and also the rain.

Environmentally Sustainable Development is evident within the proposal. Reducing the consumption of energy is critical, however it is also important to consider all other factors which can reduce the impact on the environment. We have actively taken measures to minimise, manage and reduce the overall impact the development will have on the environment.



Ī	ISSUE	DATE	AMENDMENT
	Α	13-10-2016	DA SUBMISSION
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The Royal Australian Institute of Architects states that "the goal of sustainable architecture is to

Sustainability can be measured in a number of ways. Whether it is the management and minimisation of energy consumption, or

sustainable. With this is mind, the following measures have been put in place, either actively or passively, in order to make Penrith a

perhaps the improvement of social conditions, there are a plethora or actions which has been taken make development more

Water management has also been considered. By the creation of a large, sloping roof feature, it will allow the catchment

compliment, enhance and connect the two. There will an abundance of planting in deep soil zones as well as on the podium

On the ground level, there are two tenant occupancies indicated as retail. Although we are still unsure what will occupy them, they will inevitably create waste of some sort. We have not only allocated a separate waste area for those

tenancies, along with the building operators, we also intend to supply an 'organic waste' bin. It will be clearly labelled and distinguished from recycling and residual waste. It will accommodate food matter, biosolids, lawn and garden clippings. By

reducing the amount of organic waste going to landfill, it helps reduce greenhouse gas emissions, odour and leachate

As part of the green star rating system, they also look at economic prosperity and livability. The mixed-use development would

apartments are safe, accessible [allowance] and provide fantastic amenity. The roof top pool and gym provides an opportunity

create a number of new jobs for the area, whilst exposing Penrith guests from all over the world. We have provided guest, staff and public bicycle parking to encourage the use and ease of cycling around the city. By doing so, it aims to reduce the

amount of cars on the road and in turn, reduce the number of green house gas emissions. In terms of livability, the serviced

to excercise and relax; encouraging a healthy lifestyle.

level commonal area. The planting aims to visually and physically connect the green strip running from Woodriff St North

and storage of rainwater on site. This water can then be reused for either the landscaping or within the building itself. The

landscaping strategy was extremely important to the proposal from day one due to the nature of the site. To the North is

Memory Park and to the South is Judges Park. As it is nestled within these two parks, it was always important to

achieve development that improves the total quality of life, in a way that maintains the processes on which life depends". Throughout the design process of this proposal, we have kept this statement as a key driver towards our design decisions and subsequently, the way the building will operate in the future. A key Penrith New West objective was to create a 'Green City'. To keep in line with these objectives, the proposal displays a number of sustainbable characteristics which will both improve the quality of life for local residents and guests, whilst

managing and minimising energy use for both the near and distant future.

greener city for the future.

PROPOSED MIXED USE DEVELOPMENT ADDRESS 21-25 WOODRIFF STREET, PENRITH NSW 2750 SCALE BAR NORTH

MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 www.morsongroup.com (02) 9380 4946 PO Box 170, Potts Point, NSW 1335

CLIENT

ASTINA

1:1000 JAN 2016

SCALE DATE

SHEET SIZE: A1 SHEET NAME INTEGRATED ESD

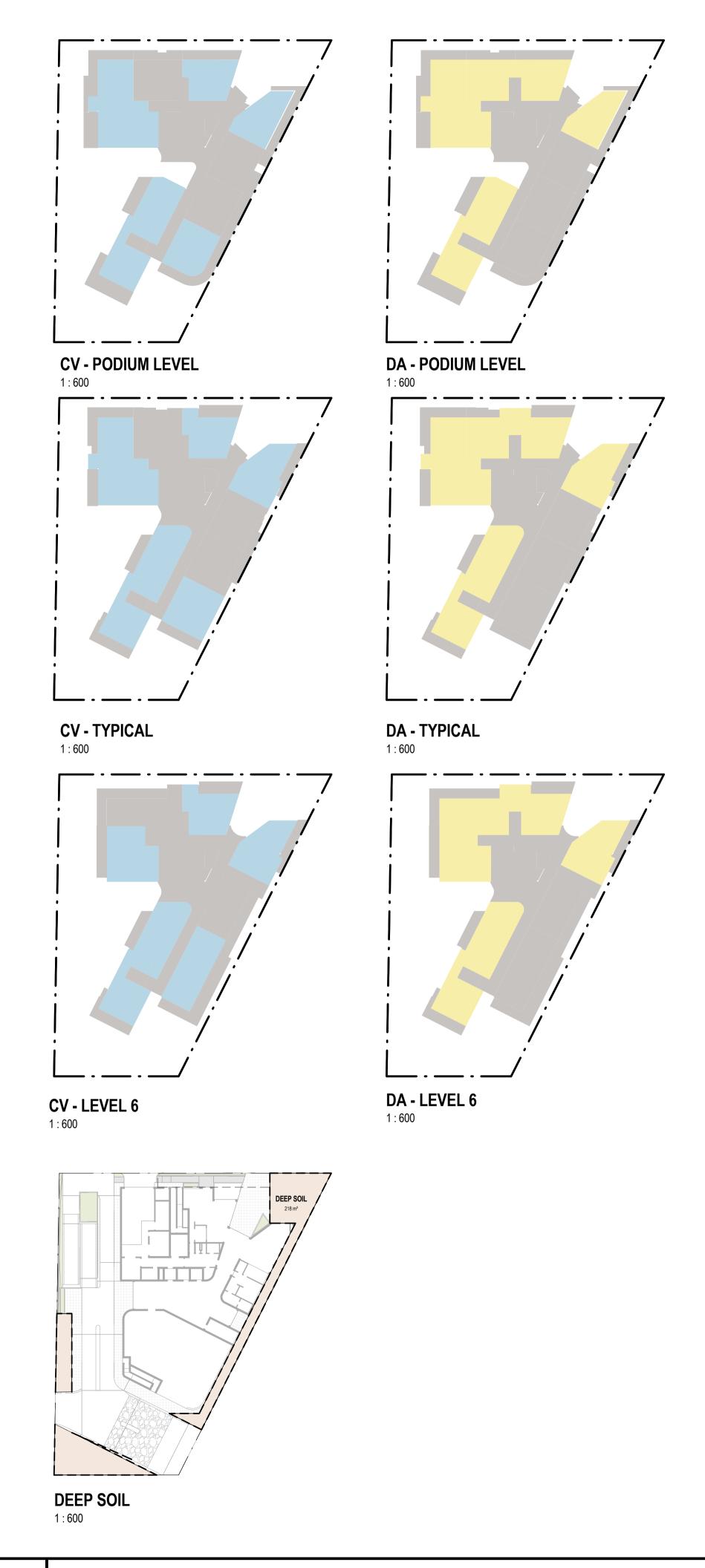
SHEET NO. DA09

REVISION A

	Design Criteria	Compliance Proposal		Design Criteria	Compliance	Proposal
D-1	Communal open space has a minimum area equal to 25% of the site Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid winter)	YES 1. Excluding Ground Level as it is part of the public domain, the proposal has 1060m² of Communal Open Space. This equates to 38% of the total site area. 2. Approximately 80% of this total area receives a minimum of 2 hours direct sunlight between 9am and 3pm on 21 June.	4D-1	Apartments are required to have the following minimum internal areas: Apartment type Minimum internal area Studio 35m² 1 bedroom 50m² 2 bedroom 70m² 3 bedroom 90m² The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m² each	YES	All internal apartment area exceed to minimum areas outlined
<u></u>	Deep soil zones are to meet the following minimum requirements: Site Area Min. Dimension Deep Soil Zone (% of site Area)	YES 1. There is 195m² of Deep Soil with a minimum dimension of 6m. This equates to 7% of the total site area. Additional to this, there is a vast amount of deep soil located around the perimater of the site which provides great opportunity for landscaping.		2. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.		2. A window opening, greater than 10% of the floor area of the room, are habitable rooms
	650m²-1,500m² 3m 7% >1,500m² 6m		4D-2	Habitable room depths are limited to a maximum of 2.5 x the ceiling height	YES	1. Habitable room depths are no greater than 2.5 x the ceiling height
				In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window	NO	2. In a number of apartments, the room depth is 8.5m rather than 8m. As are generally split to either side of the living room, it requires critical circulate dining area
I	Separation between windows and balconies is provided to ensure visual privacy is achieved. Min required separation distances from buildings to the side and rear boundaries are as follows: Building Height	In Units 402 & 502, the bedroom [habitable room] is setback 6m from the Western boundary. Level 6 then steps to well exceed to 9m separation requirement. On all other levels, the required separation is met. It is important to note that due to the requirements and objectives of the Penrith DCP, it was encouraged to create a building form which ran alongside Union Lane. The above breach of side setback requirements was a direct result of this gesture.	4D-3	Master bedrooms have a minimum area of 10m² and other bedrooms to have 9m² (excluding wardrobe space) Bedrooms have a minimum dimension of 3m (excl. wardrobe space) Living rooms or combined living/dining rooms have a minimum width of:	YES	All bedrooms well exceed the minimum requirements All bedrooms well exceed the minimum requirements All living room widths meet or exceed the minimum requirements
	over 25m (9+ storey) 12m 6m Gallery access circulation treated as habitable space when measuring privacy separation distances between neighbouring properties.		4E-1	3.6m for studio and 1 bed apartments 4m for 2 and 3 bedroom apartments 1. All apartments are required to have primary balconies as follows: Dwelling type	YES	All primary balconies meet or exceed to minimum requirements
<u> </u>	1. Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas.	NO 1. 69% [40/58] of apartment receieve the required amount of daylight access. As a street wall along Woodriff St. was required and encrouaged, it created an ineviatble amount of apartments which face South-East. Due to this condition, we believe this percentage is satisfactory		Studio apartments 4m² - 1 bedroom apartments 8m² 2m 2 bedroom apartments 10m² 2m 3+ bedroom apartments 12m² 2.4m The minimum balcony depth to be counted as contributing		
	A maximum of 15% of apartments in a building receive no direct sunlight between 9 am and 3 pm at mid winter			to the balcony area is 1m. 2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m	NO	2. Due to the nature of the building and the requirement to have a 0m s Eastern boundary, although their private balconies exceed the minimum do not all have a minimum dimension of 3m
3	At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed	YES 1. 67% [39/58] of apartments are naturally ventilated- meeting the minimum requirement	4F-1	The maximum number of apartments off a circulation core on a single level is eight For buildings of 10 storeys and over, the maximum number of	YES	There are two passanger lifts per level, as well as two fire stairs. This accmmodate for 10 apartments maximum per level
	Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line	2. Depth of a cross-over or cross-through apartment does not exceed 18m		apartments sharing a single lift is 40		Z. IVa
-1	Measured from finished floor level to finished ceiling level, minimum ceiling heights are: Minimum ceiling height for apartment and mixed use buildings Habitable rooms 2.7m Non-habitable 2.4m For 2 storey 2.7m for main living area apartments 2.4m for second floor, where its area does not exceed 50% of the apt area.	YES All ceiling height meet or exceed the minimum requirements outlined	4G-1	In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided: Apartment type	YES	All storage requirements have been met

Principle 1: Context and Neighbourhood Character		Principle 2: Built Form and Scale		Principle 3: Density		Principle 4: Sustainability	
The scheme is highly responsive and respectful to its context. The existing retable been used to directly influence the function and form of the North-East corner of two retail tenancies have been included to seamlessly tie the proposal to the of memory park. New, key pedestrian pathways have been created through the orde to reactivate the arcade and thoroughfare links which connect High Stree and beyond.	of the building. existing conditions e port-cochere in	Critical to the objectives outlined in the Penrith DCP, the f feature along Woodriff Street. With a 0m setback on the V an urban form which is desired in city centres. To reduce the upper two levels then step back to create a 'double-strength' technique is also found on the Union Lane side of the build appearance of the building whilst creating variation	/oodriff Street boundary, it promotes the scale and height of the building, prey' massing towards the top. This	N/A			erent measures have been taken into account in order to achieve positive ocial and economic outcomes. Please refer to page DA13 for all details.
The Green wall have been created to minimise the impact of the carpark upon will be backed up with extensive landscaping on the podium level which aims t from visually seeing the car park, whilst minimising the amount of noise pollution	o shield the guests						
Good design responds and contributes to its context. Context is the key natural and built features of an area, and the character they create when combined. It also includes social, economic, health and environmental or	onditions.	Good design achieves a scale, bulk and height appropriate to the existing or de surrounding buildings.	sired future character of the street and				
Responding to context involves identifying the desirable elements of an area's existing or future character. Well designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood.		Good design also achieves an appropriate built form for a site and the building proportions, building type, articulation and the manipulation of building element.		Good design achieves a high level of amenity for and its context.	achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site t.		is positive environmental, social and economic outcomes. sign includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and
Consideration of local context is important for all sites, including sites in established areas, those undergoing identified for change.	change or	Appropriate built form defines the public domain, contributes to the character of and vistas, and provides internal amenity and outlook.	streetscapes and parks, including their views	Appropriate densities are consistent with the area existing or proposed infrastructure, public transpo	a's existing or projected population. Appropriate densities can be sustained by ort, access to jobs, community facilities and the environment.		in for ventilation, heating and cooling reducing reliance on technology and operation costs. Other cling and reuse of materials and waste, use of sustainable materials and deep soil zones for groundwater ion.
Principle 5: Landscape	Principle 6: Amenity		Principle 7: Safety		Principle 8: Housing Diversity & Social Interaction		Principle 9: Aesthetics
As the site sits between memory and judges park, our landscaping planning was integral in ensuring the proposal tied in with its surrounding contextual conditions. There are three main areas we concentrated on; 1. Woodriff Street walkway 2. North-East corner on Ground Level 3. Communal Open space on Podium Level.	fantastic amenity natural light and p exmaple, the corri points looking out	rtments, facilities, retail spaces and office space provide for the inhabitants. Generally, each space is flooded with provide interesting outlooks in a variety of directions. For idor space has been designed to provide three viewing to the Blue Mountains, Memory Park and Judges Park, egree views looking over the Penrith City area and	The existing vehicular link to Judges (so it became a challange to integrate condition whilst maintaining the same safety. Fortunately as the road was of design a separate turning bay into the cars drive through that area at a reason	our proposal into that existing [or better] level of security and f a significant width, it allowed us to two lanes. Currently, some of the conable pace, to we have created a	Although the mix is predominately made up of two bedroot they vary quite considerably in size and design. This case other residential developments as Hotels/Motels etc. are charge larger varying prices for two different rooms with the of bedrooms.	e is different to not often able to	A number of factors influenced the facade design. As the Woodriff Street frontage was louder and busier, the rooms were required to be more protected. Thin ribbon windows and vertical louvers were a diect result of this issue. The composition of elements on the facade are a reflection of internal layouts and structure.
In order to continue the language of materiality and planting in memory park, we adapted the existing condition and brought it across Union Lane into the site. The transition between to two locations will be somewhat seamless.	beyond. The apartments a	re designed efficiently but also spaciously. Separating	'traffic calming' device, as well as enfo pedestrians can cross that road in cor	mplete safety.	The Gymnasium, Rooftop Pool & Communal Open space encrouage social interaction between guests. Each area other and provides a variety of options for the guests dep	varies from the	The level of finishes and materiality are of high quality. Allucabond lightweight cladding, framless glass balustrades and vertical aluminium louvers all envoke a feeling of luxury and exclusiveness.
The main pathway along Woodriff Street has been relocated, which provided within the apartn		conscious move in order to reduce acoustic privacy ent. The balconies are generous and there is sufficient hin the apartments for their belongings.	We located the reception desk centra points. By doing so, the staff member see who is entering the building at an	s at the desk will be able to clearly			Stepping back on the upper levels recessed the scale and bulk of the building. Similarly, the solid podium grounds the building, leaving the middle levels to float effortlessly between the top and bottom.
between the building and the roade and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of In and surrounding the Communal area on the Podium Level, the landscaping	accommodate all	ure of the site, accessibility to areas is designed to age groups and variying degrees of mobility.	As with other Hotels, the guests will h scan in the lift to gain access to their previous point, will contribute to minin	desired level. This, aswell as the nise [if not eliminate] the chance of			,
will provide privacy for the apartments located in the vacinity. Tall, larger trees will be planted along the Western boundary in order to improve visual privacy from the carpark. The local context, co-ordinating water and soil management, solar access micro-climate, receaning past to the local context, co-ordinating water and soil management, solar access micro-climate, receaning past to the local context, co-ordinating water and soil management, solar access micro-climate, receaning past provided to the provided past provided to the provided past past past past past past past past	and an opportunity proposal increase	to retail tenancies, a clear path of travel through the site by to stay and enjoy the facilities the building offers, the sithe amenity to both neighbouring businesses and chieving as to positive living environments and resident well being.	an unwanted guest entering the uppe Good design optimises safety and security within the for quality public and private spaces that are clearly Opportunities to maximise passive surveillance of p	ne development and the public domain. It provides v defined and fit for the intended purpose.	Good design achieves a mix of apartment sizes, providing housing choice for a living needs and household budgets. Well designed apartment developments respond to social context by providing		Good design achieves a built form that has good proportions and a balanced composition of element
Please refer to the Landscape Plan for further Details Good landscape design optimises useability, privacy and opportunities for social interaction, equitable access, respect for neighbours' amenity and provides for practical establishment and long term management.	Good amenity combined ventilation, outlook, visit	s appropriate room dimensions and shapes, access to sunlight, natural ual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and of access for all age groups and degrees of mobility.	A positive relationship between public and private s access points and well lit and visible areas that are and purpose.		to suit the existing and future social mix. Good design involves practical and flexible features, including different types of for a broad range of people and providing opportunities for social interaction are	f communal spaces	reflecting the internal layout and structure. Good design uses a variety of materials, colours and textu. The visual appearance of a well designed apartment development responds to the existing or future to context, particularly desirable elements and repetitions of the streetscape.

			ဖ်	rks	
No.	Туре	Area	Access	Carparks	
LEVE	EL 1				
101	2BR	94 m²	Yes	1	
102	2BR	91 m²	No	1	
103	2BR	80 m²		1	
104	2BR	82 m²	No	1	
105	1BR	86 m²	Yes	1	
106	2BR	87 m²	No	1	4
107 108	2BR	87 m ²	No No	1	
100	2BR 2BR	88 m² 91 m²	No	1	,
110	2BR	76 m²	No	1	
10	ZDIX	860 m²	140	10	
LEVE	1 2	000 111		10	
201	2BR	94 m²	Yes	1	,
202	2BR	91 m²	No	1	,
203	2BR	86 m²	No	1	-
204	2BR	88 m²	No	1	,
205	2BR	105 m²	No	1	,
206	2BR	90 m²	No	1	
207	2BR	90 m²	No	1	
208	2BR	98 m²	No	1	
209	2BR	91 m²	No	1	•
210	2BR	95 m²	No	1	,
10		928 m²		10	
LEVE	1	1	T	1.	
301	2BR	94 m²	Yes	1	
302	2BR	91 m²	No	1	
303	2BR	86 m²	No	1	
304	2BR	88 m²	No	1	
305 306	2BR 2BR	107 m ² 90 m ²	No No	1	
307	2BR 2BR	90 m ²	No	1	
308	2BR	98 m²	No	1	+
309	2BR	91 m²	No	1	,
310	2BR	95 m²	No	1	,
10	ZDIX	930 m²	110	10	
LEVE	1 4	000 111		10	
401	2BR	94 m²	Yes	1	,
402	2BR	91 m²	No	1	,
403	2BR	86 m²	No	1	,
404	2BR	88 m²	No	1	,
405	2BR	107 m ²	No	1	,
406	2BR	90 m²	No	1	
407	2BR	90 m²	No	1	
408	2BR	98 m²	No	1	
409	2BR	91 m²	No	1	ľ
410	2BR	95 m²	No	1	ľ
10		930 m²		10	
LEVE		0.4		14	
501	2BR	94 m²	Yes	1	
502 503	2BR 2BR	91 m ² 86 m ²	No No	1	
503	2BR 2BR	88 m²	No	1	
505	2BR 2BR	107 m ²	Yes	1	
506	2BR	90 m ²	No	1	
507	2BR	90 m²	No	1	+
508	2BR	98 m²	No	1	
509	2BR	91 m²	No	1	
510	2BR	95 m²	No	1	
10	1	930 m²	1	10	
LEVE	EL 6				
601	3BR	113 m²	No	2	,
602	3BR	106 m²	No	2	•
603	2BR	88 m²	No	1	,
604	2BR	107 m²	No	1	•
605	3BR	102 m²	No	2	
606	3BR	111 m²	No	2	
607	2BR	91 m²	No	1	ľ
608	2BR	95 m²	No	1	
8		813 m²		12	



ISSUE	DATE	AMENDMENT	LEGE	ENDS / NOTES:				
Α	13-10-2016	DA SUBMISSION	BR	BEDROOM	GAS	GAS CUPBOARD	RWO	RAINWATER OUTLET
			COM	COMMS CUPBOARD	GD	GRATED DRAIN	SWP	STORM WATER PIT
			DP	DOWNPIPE	GEX	GARBAGE EXHAUST	TOH	TOP OF HOB
			E	ELECTRICAL CUPBOARD	MBX	MAILBOX	TOW	TOP OF WALL
			FHR	FIRE HOSE REEL	RL	RELATIVE LEVEL	TTI	TACTILE INDICATORS
		1						



PROJECT
PROPOSED MIXED USE DEVELOPMENT

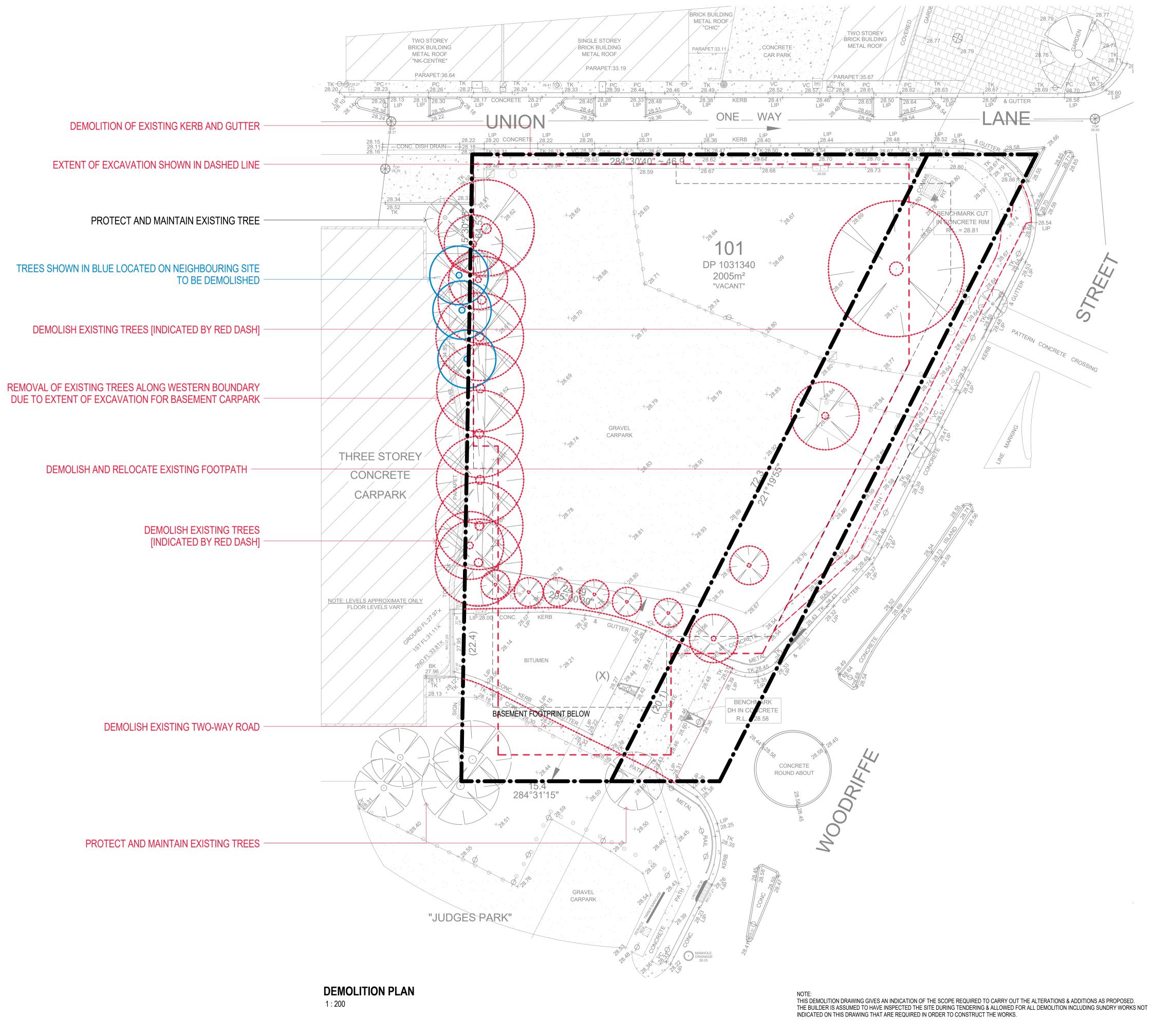
ADDRESS
21-25 WOODRIFF STREET, PENRITH NSW 2750



CLIENT ASTINA 9 480 056 SHEET SIZE: A1
SCALE DATE
1: 600 JAN 2016

STATEMENT OF DESIGN & ENVIRONMENTAL EFFECTS

DRAWING NUMBER DA10
ISSUE NO. A



ISSUE DATE AMENDMENT
A 13-10-2016 DA SUBMISSION
PROPOSED MIXED USE DEVELOPMENT
ADDRESS 21-25 WOODRIFF STREET, PENRITH NSW 2750

SCALE BAR NORTH

PROJECT PROPOSED MIXED USE DEVELOPMENT
ADDRESS 21-25 WOODRIFF STREET, PENRITH NSW 2750

SCALE BAR NORTH

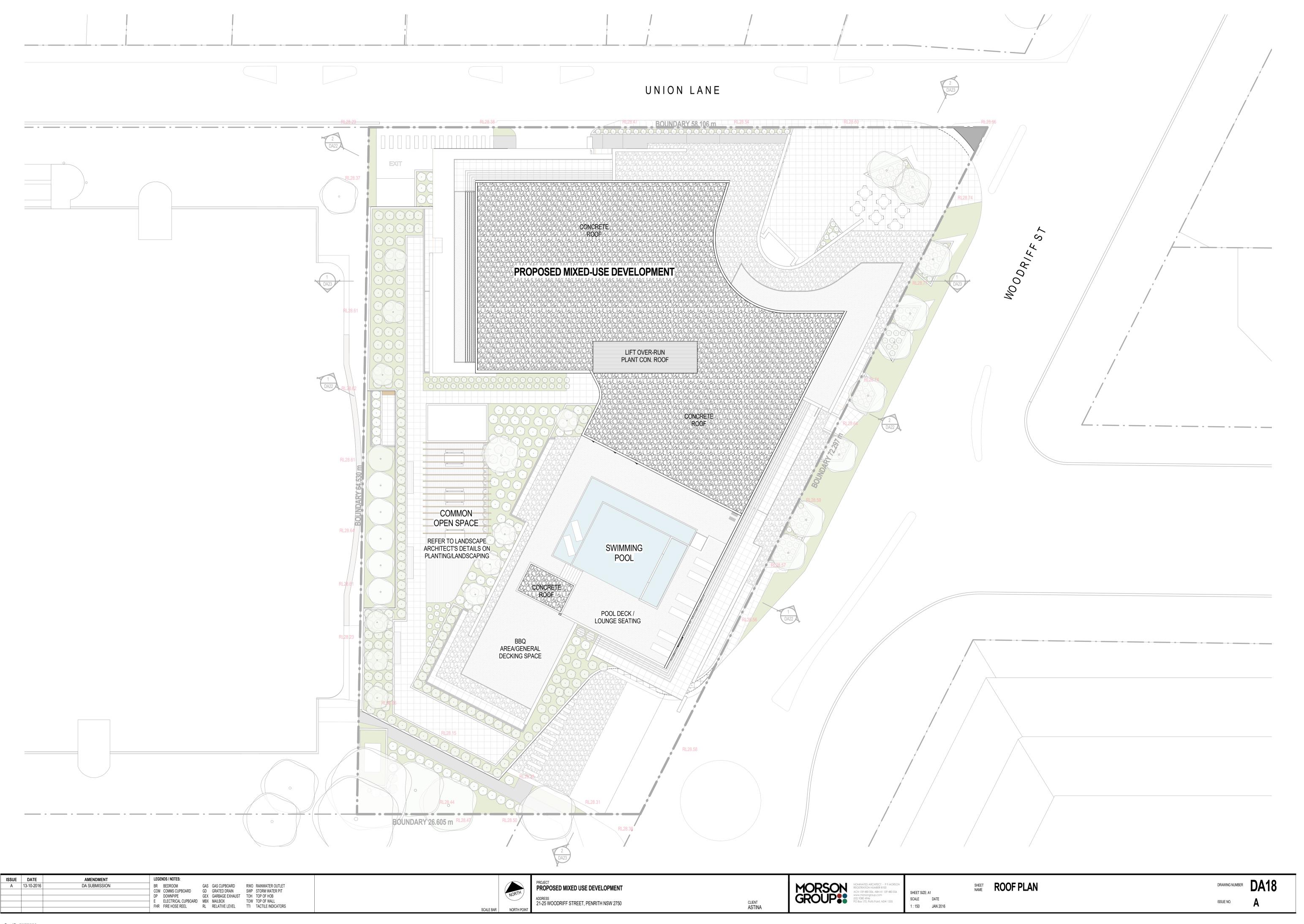
PROJECT PROPOSED MIXED USE DEVELOPMENT
ASTINA

SHEET NAME DEMOLITION PLAN
SHEET NO. DA11

REVISION A

REVISION A

REVISION A







External Finishes Schedule

Colour: Oolong

ALM01 Aluminium: Powder Coated

ISSUE DATE AMENDMENT A 13-10-2016 DA SUBMISSION		PROJECT PROPOSED MIXED USE DEVELOPMENT	MORSON NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 www.morsongroup.com (02) 9380 4946 (02) 9380 170, Potts Point, NSW 1335	SHEFT SIZE: A1	SHEET ELEVATIONS - NORTH & SOUTH	DRAWING NUMBER DA19
	SCALE BAR NORTH POINT	ADDRESS 21-25 WOODRIFF STREET, PENRITH NSW 2750 CLIENT ASTINA	GROUP (02) 9380 4946 PO Box 170, Potts Point, NSW 1335	SCALE DATE 1:200 JAN 2016		ISSUE NO.



External Finishes Schedule Code

Colour: Oolong

Colour: Signal Grey [Horiztonal]

PENRITH DCP STREET SETBACK PROFILE 20m - 0 SETBACK 20-24m - 5m SETBACK GLA01 LEVEL 5 45.800 PT01 PT03 PT03 GLA01 LEVEL 4 42.700 LEVEL 2 36.500 LEVEL 1 33.400 CLD03 EXISTING RETAIL TENANCY GROUND LEVEL 29.000 RL BASEMENT B1 25.700 RL BASEMENT B2 22.600 RL

CLD01 Alucabond Cladding CLD02 Timber Decking Treated Pine CLD03 Masonry: C Rendered/Painted Colour: Dulux 'Grid' CON01 Concrete Pre-Cast GLA01 Clear Glazing Glass GLA02 Glass Obscure Masonry - Colour: Dulux 'White Rendered/Painted Duck Quarter' Masonry - Colour: Dulux 'Miller Rendered/Painted Mood' Masonry - Colour: Dulux Rendered/Painted 'Klavier'

Masonry - Colour: Dulux Pendered/Painted 'Oolong'

ELEVATION - WEST 1

1:200

1:200

ISSUE DATE AMENDMENT A 13-10-2016 DA SUBMISSION		PROJECT PROPOSED MIXED USE DEVELOPMENT	NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 www.morsongroup.com (02) 9380 4946 PO Box 170 Potits Point, NSW 1335	SHEET SIZE: A1 SHEET NAME ELEVATIONS - EAST & WEST 1	SHEET NO. DA20
		ADDRESS CLIENT	GROUP www.morsongroup.com (02) 9380 4946	SCALE DATE	REVISION A
	SCALE BAR NORTH	21-25 WOODRIFF STREET, PENRITH NSW 2750 ASTINA	PO Box 170, Potts Point, NSW 1335	1:200 JAN 2016	REVISION A



External Finishes Schedule

Code Material Notes Ima

ALM01 Aluminium:
Powder Coated Colour: Oolong

CLD01 Alucabond Colour: Signal Grey [Horiztonal]

CLD02 Timber Decking Treated Pine

CLD03 Masonry:
Rendered/Painted Colour: Dulux 'Grid'

CON01 Concrete Pre-Cast

GLA01 Clear Glazing Glass

GLA02 Glass Obscure

PT01 Maconny Colour: Duly White

Masonry - Colour: Dulux 'White Rendered/Painted Duck Quarter'

2 Masonry - Colour: Dulux 'Miller Mood'

Masonry - Colour: Dulux 'Miller Mood'

Tos Masonry - Colour: Dulux Rendered/Painted 'Klavier'

Masonry - Colour: Dulux 'Oolong'

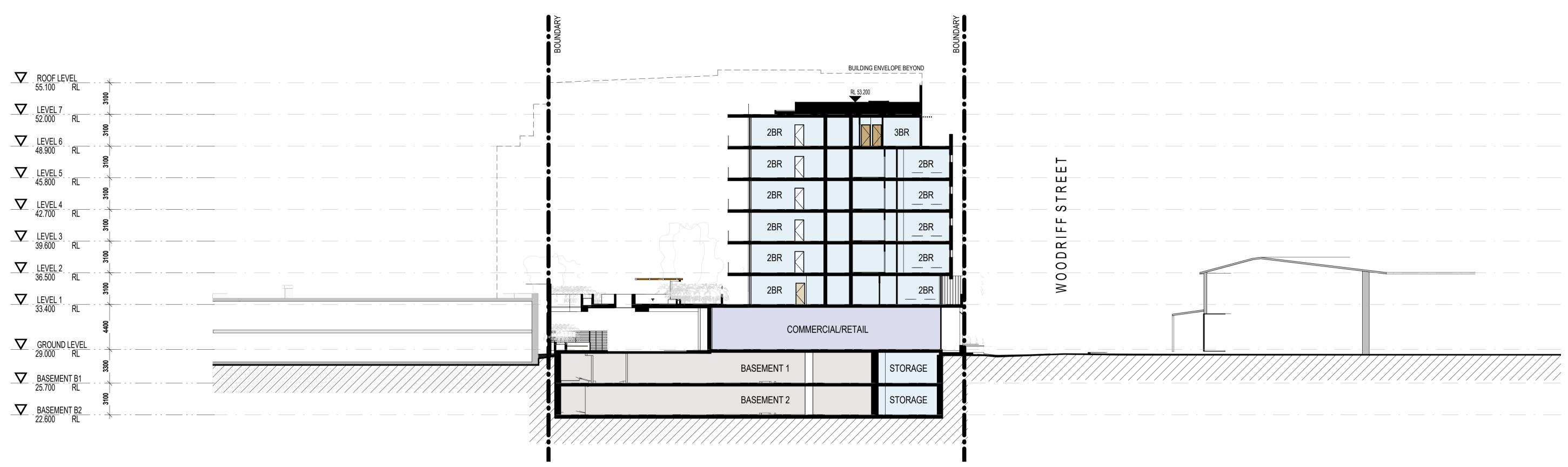
ELEVATION WEST 2 1:200



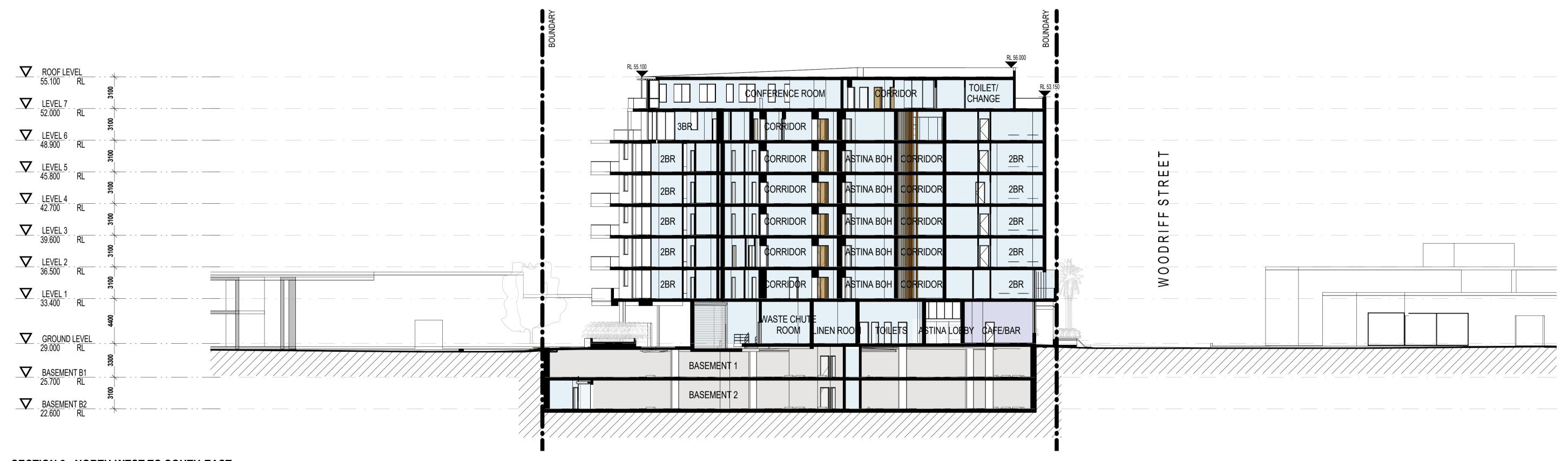
ELEVATION - SOUTH 2

1:200

ISSUE DATE AMENDMENT A 13-10-2016 DA SUBMISSION	PROJEC	JECT	NOMINATED ARCHITECT - P.F. MORSON	SHEET ELEVATIONS - WEST 2 & SOUTH 2	DA21
A 10 10 2010 BY COSMINGS.ICIT	PRO	OPOSED MIXED USE DEVELOPMENT	MORSON NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100 ACM 159 480 056, ABN 41 159 480 056	SHEET SIZE: A1	DAZI
	ADDRES 21-25 SCALE BAR NORTH POINT	RESS 25 WOODRIFF STREET, PENRITH NSW 2750 CLIENT ASTINA	GROUP (02) 9380 4946 PO Box 170, Potts Point, NSW 1335	SCALE DATE 1:200 JAN 2016	ISSUE NO.

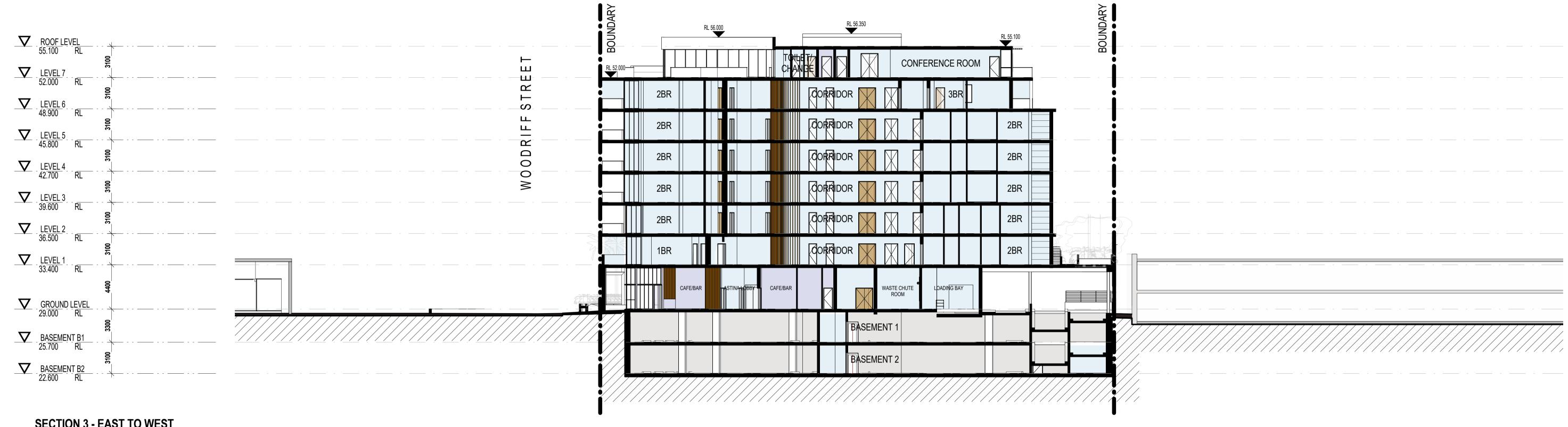


SECTION 1 - NORTH-WEST TO SOUTH-EAST 1:200

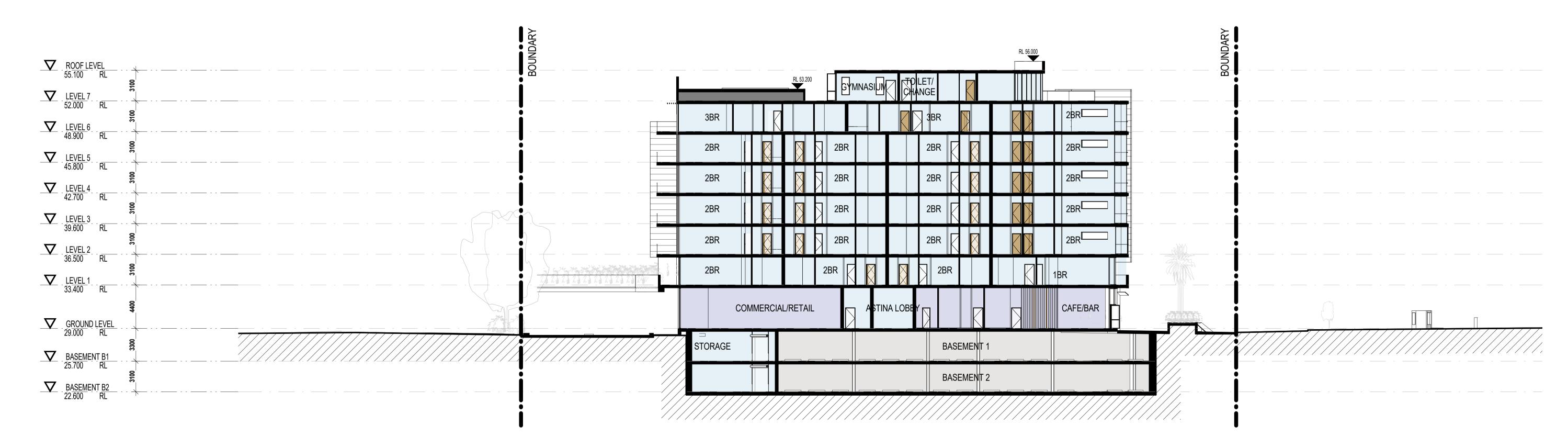


SECTION 2 - NORTH-WEST TO SOUTH-EAST 1:200

ISSUE DATE AMENDMENT A 13-10-2016 DA SUBMISSION	PROPOSED MIXED USE DEVELOPMENT	<u> </u>	MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 www.morsongroup.com (02) 9380 4946 P0 86x 170, Potts Point, NSW 1335 SCALE	SHEET OVERALL SECTIONS - SHEET 1	DA22
	ADDRESS 21-25 WOODRIFF STREET, PENRITH NSW 2750	CLIENT ASTINA		DATE JAN 2016	ISSUE NO.

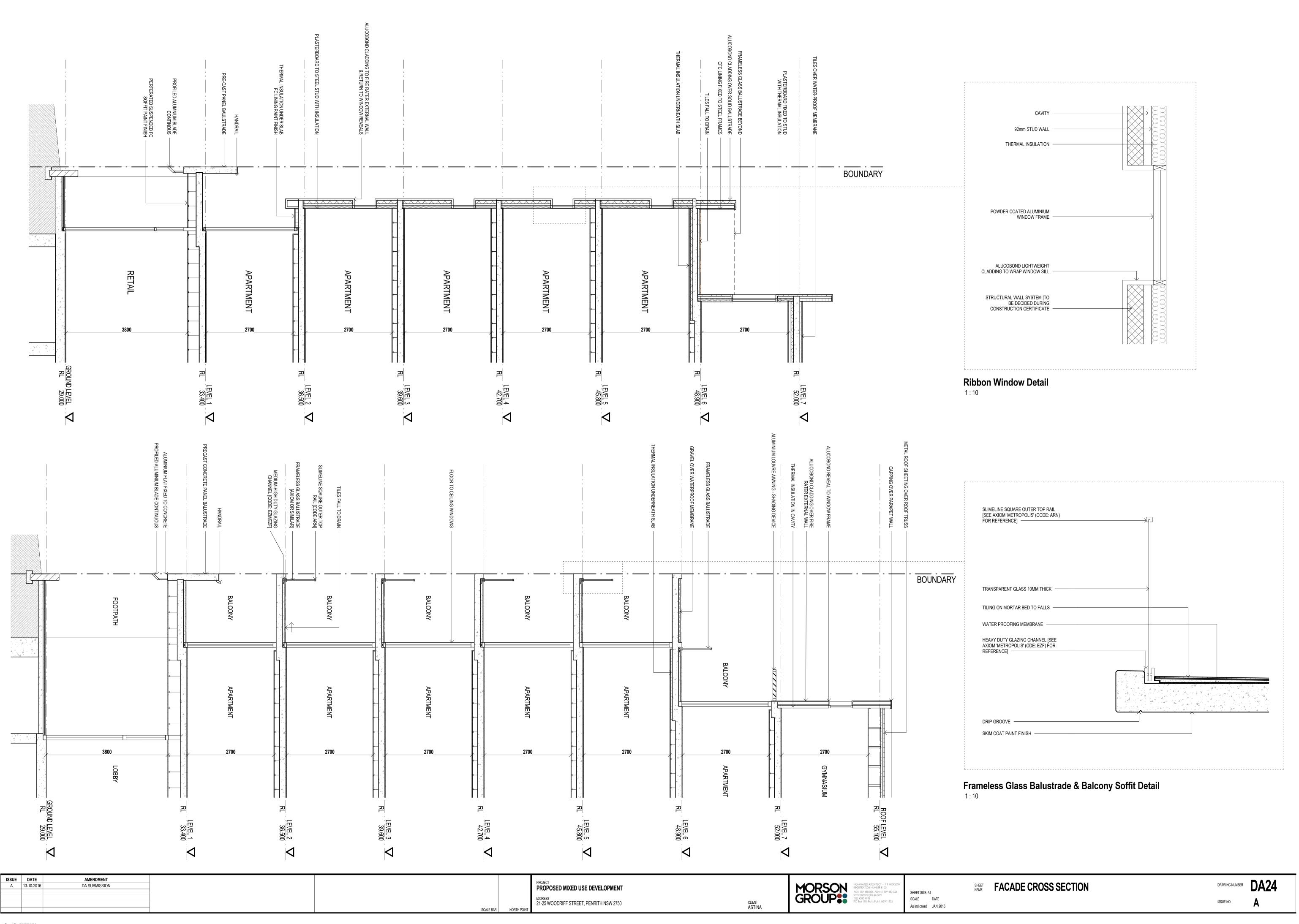


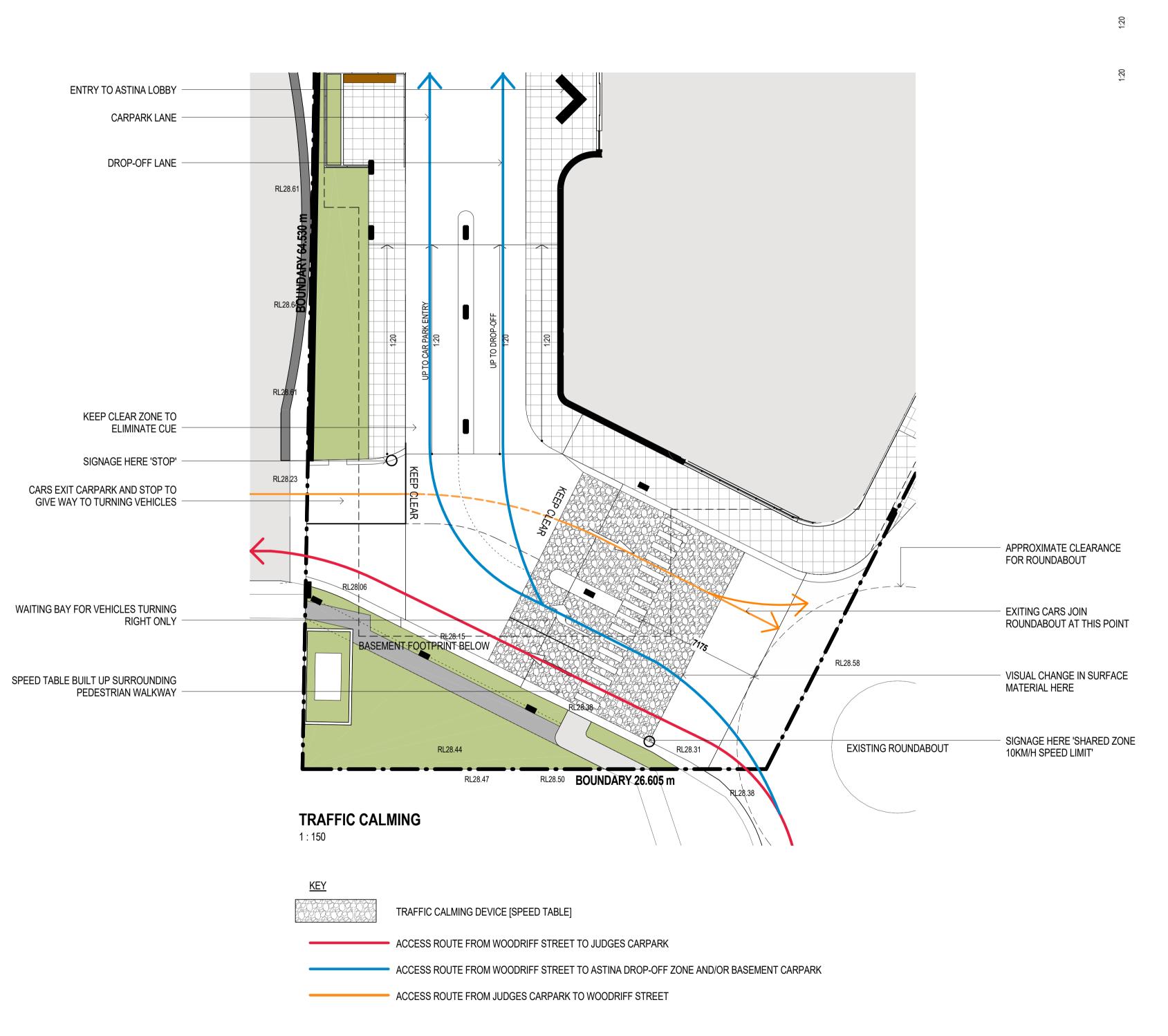
SECTION 3 - EAST TO WEST 1:200

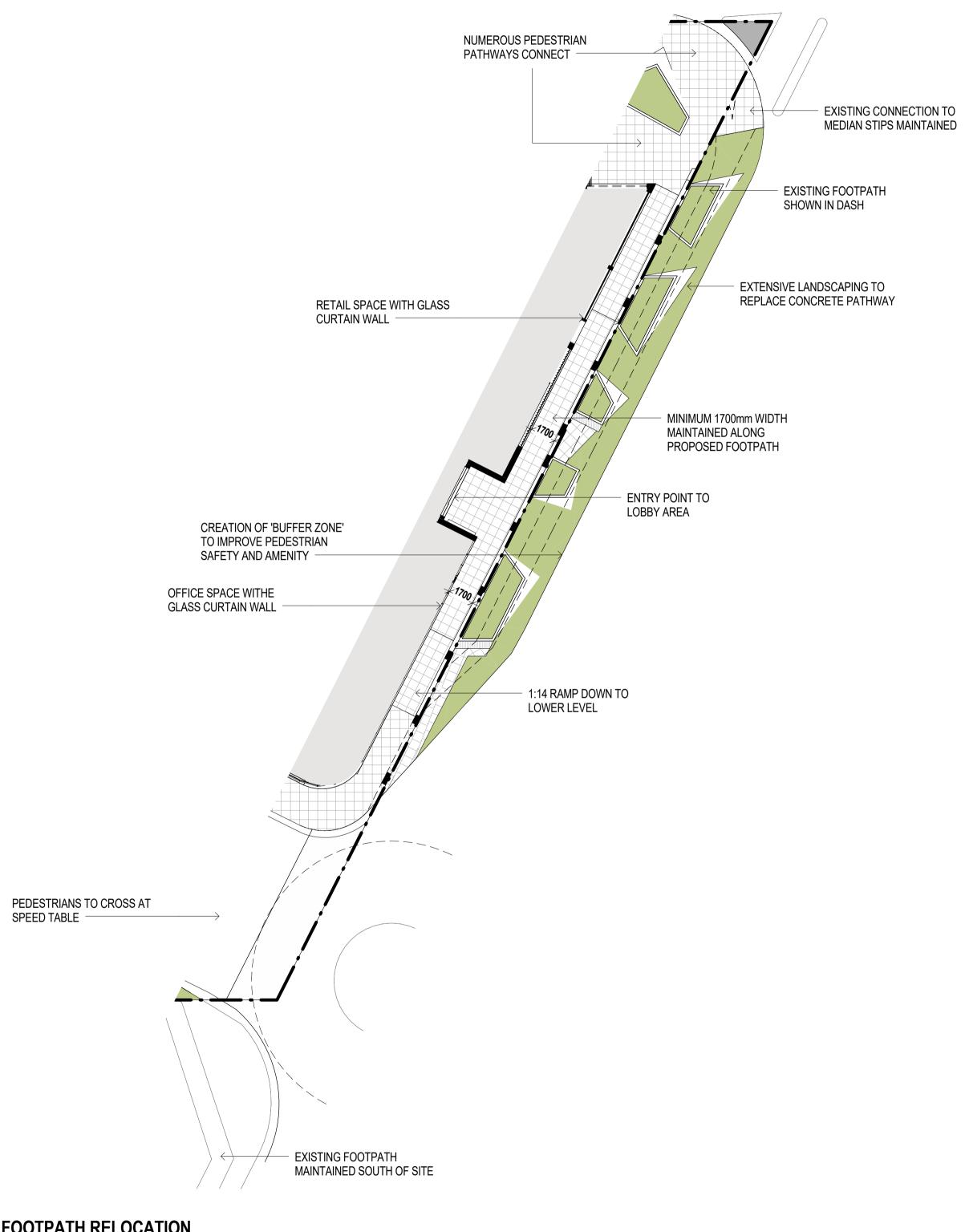


SECTION 4 - SOUTH TO NORTH 1:200

ISSUE DATE AMENDMENT A 13-10-2016 DA SUBMISSION		PROJECT PROPOSED MIXED USE DEVELOPMENT		MORSON NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100 ACN 157 480 056, ABN 41 159 480 056 www.morsongroup.com	SHEET SIZE: A1 SHEET NAME OVERALL SECTIONS - SHEET 2	SHEET NO. DA23
		ADDRESS	CLIENT	GROUP www.morsongroup.com (02) 9380 4946	SCALE DATE	DE///0/0/1
	SCALE BAR NORTH	21-25 WOODRIFF STREET, PENRITH NSW 2750	ASTINA	PO Box 170, Potts Point, NSW 1335	1:200 JAN 2016	REVISION A

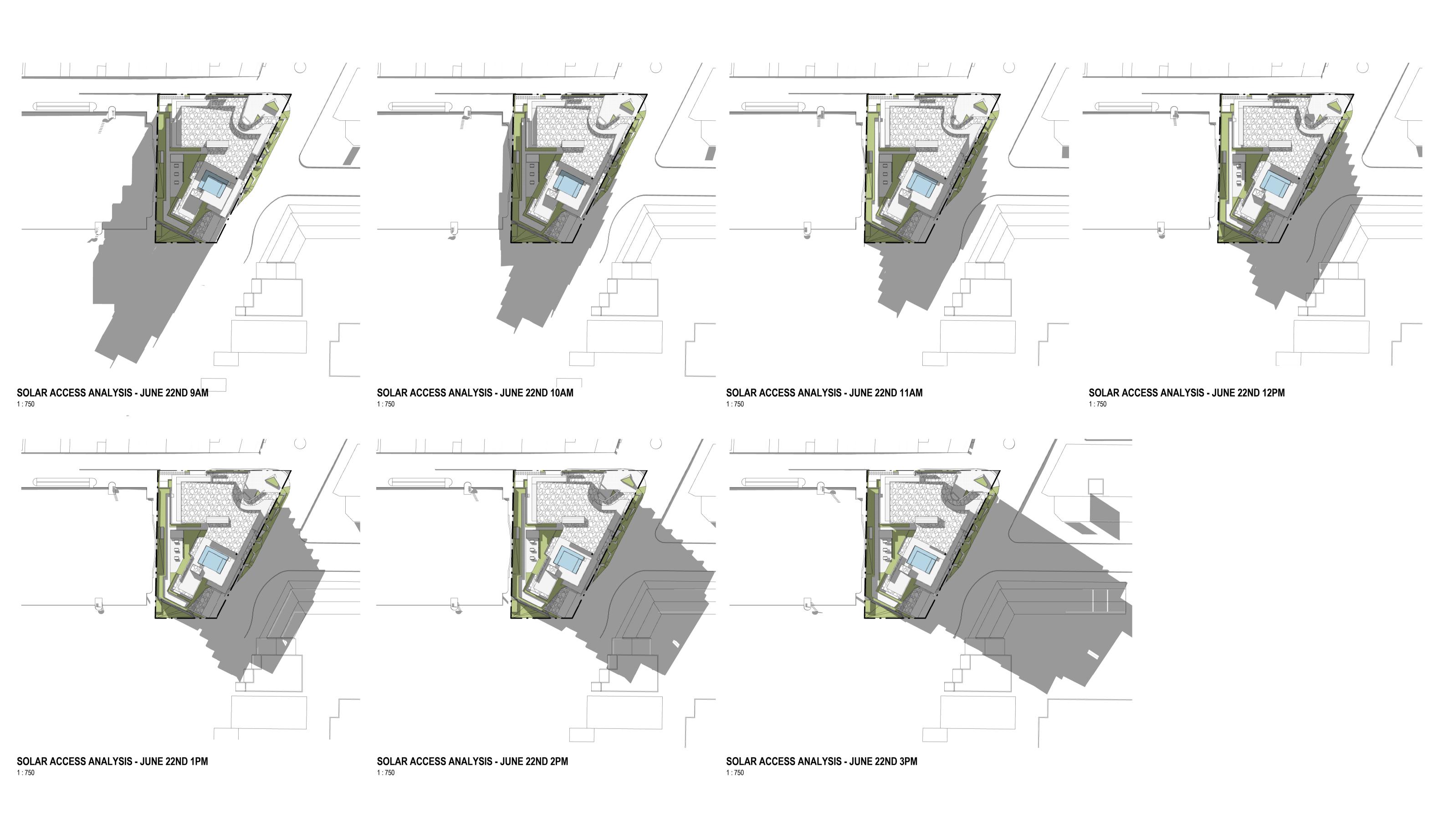




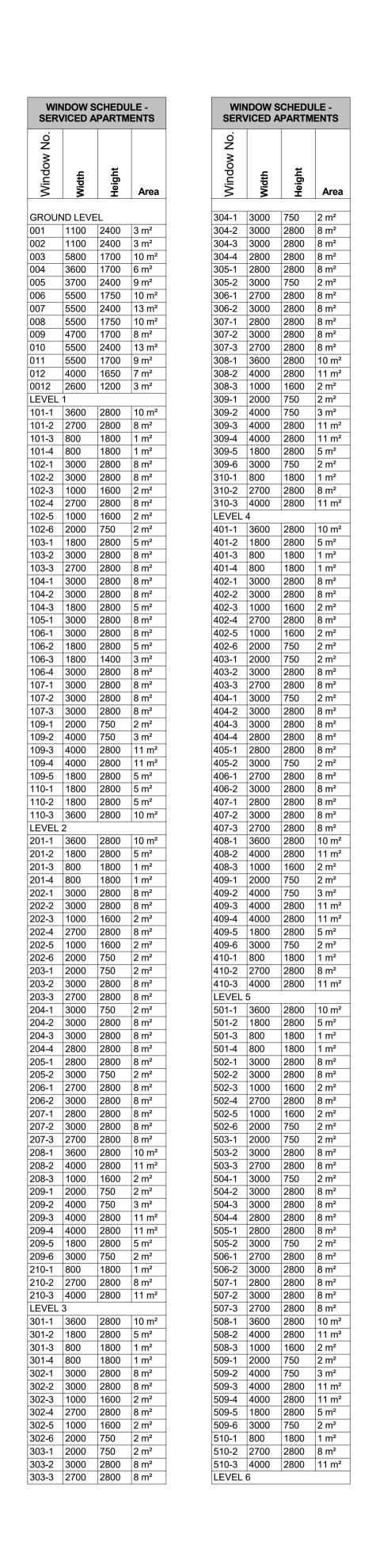


FOOTPATH RELOCATION
1:200

ISSUE DATE AMENDMENT LEGENDS / NOTES: AIP 13-10-2016 DA SUBMISSION BR BEDROOM GAS GAS CUPBOARD RWO RAINWATER OUTLET COM COMMS CUPBOARD GD GRATED DRAIN SWP STORM WATER PIT	PROJECT PROPOSED MIXED USE DEVELOPMENT	MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 ODD 80x 170, Potts Point, NSW 1335 NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 OD 80x 170, Potts Point, NSW 1335 NHEET SIZE: A1 SCALE DATE TRAFFIC & FOOTPATH PLANNING NAME TRAFFIC & FOOTPATH PLANNING	DRAWING NUMBER DA25
DP DOWNPIPE GEX GARBAGE EXHAUST TOH TOP OF HOB E ELECTRICAL CUPBOARD MBX MAILBOX TOW TOP OF WALL FHR FIRE HOSE REEL RL RELATIVE LEVEL TTI TACTILE INDICATORS SCALE BAR	ADDRESS 21-25 WOODRIFF STREET, PENRITH NSW 2750 NORTH POINT ADDRESS 21-25 WOODRIFF STREET, PENRITH NSW 2750 ASTINA	GROUP S (0/2) 7930 4946 (0/2) 7930 4946 PO Box 170, Potts Point, NSW 1335 SCALE DATE As indicated JAN 2016	ISSUE NO.



A	13-10-2016	DA SUBMISSION	TDUE	PROJECT PROPOSED MIXED USE DEVELOPMENT		NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 www.morsongroup.com (02) 9380 4946 (19) 8380 4946	SHEET SIZE: A1 SHEET NAME SOLAR ACCESS STUDY	SHEET NO. DA27
			IRUE	ADDRESS CI	LIENT	Www.morsongroup.com (02) 9398 4746 (02) 9398 4746 (02) 9308 (02) 9308 (SCALE DATE	DEMISION A
			SCALE BAR NORTH	21-25 WOODRIFF STREET, PENRITH NSW 2750	STINA	PO Box 170, Potts Point, NSW 1335	1:750 JAN 2016	REVISION A



WINDOW SCHEDULE -

SERVICED APARTMENTS

1800 2800 5 m²

601-2 800 1800 1 m² 601-3 4000 2800 11 m²

602-1 2000 750 2 m²

602-2 1800 2800 5 m²

602-4 1800 2800 5 m²

602-5 800 1800 1 m²

602-6 3000 2800 8 m²

602-7 3600 2800 10 m²

603-1 3000 750 2 m²

603-2 3000 2800 8 m²

603-3 3000 2800 8 m²

603-4 2800 2800 8 m²

604-1 2800 2800 8 m²

604-2 3000 750 2 m²

605-1 1800 2800 5 m²

605-2 1800 2800 5 m²

605-3 2700 2800 8 m²

606-1 3000 2800 8 m²

606-2 3000 2800 8 m² 606-3 1800 2800 5 m² 606-4 800 1800 1 m²

606-5 1800 2800 5 m²

606-6 800 1800 1 m²

606-7 1800 2800 5 m²

606-8 1800 2800 5 m²

607-1 2000 750 2 m²

607-2 4000 750 3 m²

607-3 4000 2800 11 m²

607-4 4000 2800 11 m²

607-5 1800 2800 5 m² 607-6 3000 750 2 m²

608-1 800 1800 1 m² 608-2 2700 2800 8 m²

608-3 4000 2800 11 m²

714 2700 2800 8 m²

719 800 1800 1 m² 720 800 1800 1 m²

1800 1800 3 m²

800 1800 1 m² 800 1800 1 m² 800 1800 1 m² 800 1800 1 m²

1800 1800 3 m²

1800 1800 3 m²

800 1800 1 m²

|1800 | 1800 | 3 m²

1800 1800 3 m²

1800 1800 3 m²

710 1800 1800 3 m²

1800 1 m²

1800 3 m²

1800 1 m²

1800 1 m²

1800 1 m²

1800 1 m² 1800 1800 3 m²

1800 1 m²

1800 1 m²

800

800

800

800

800

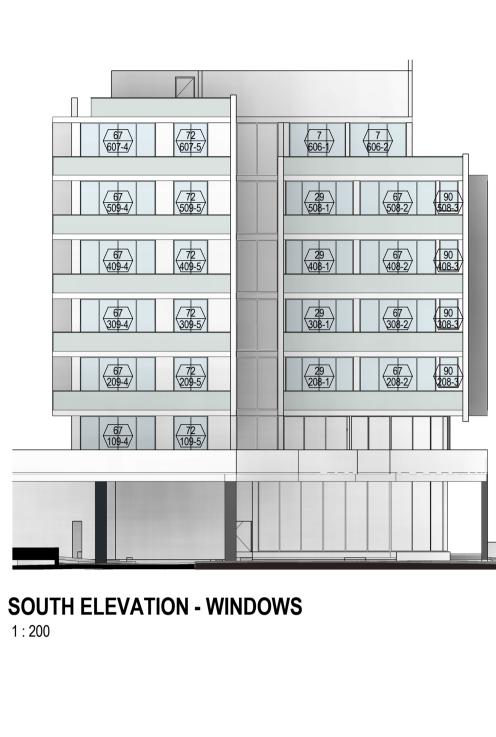
800 800

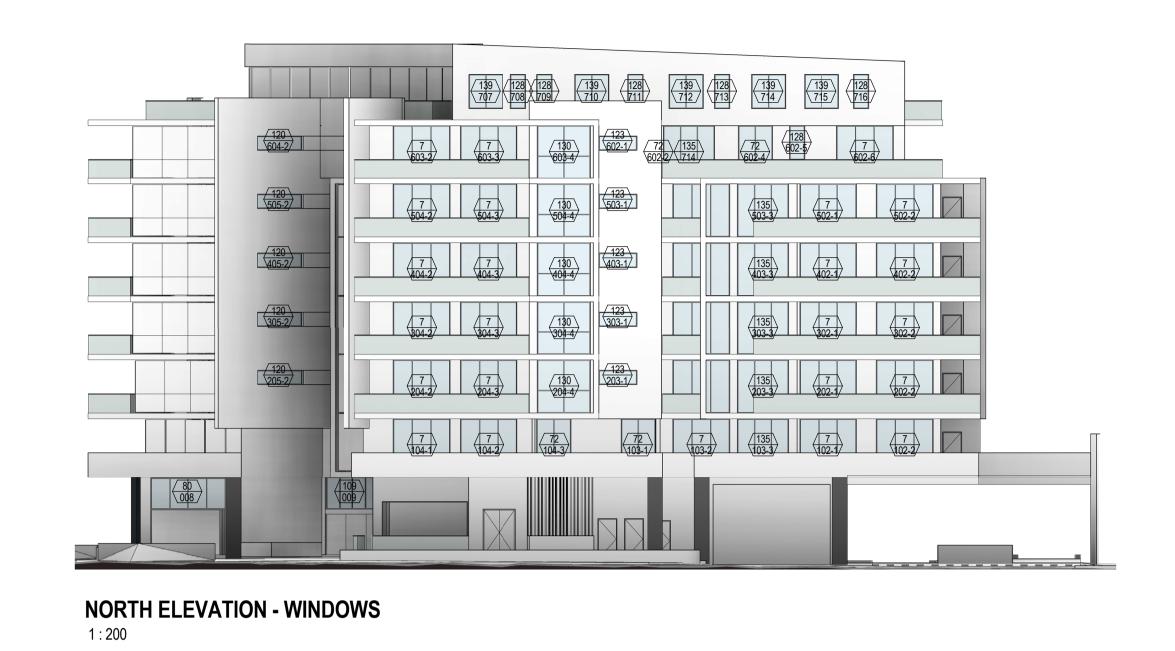
Grand total: 250

722 800 1800 1 m²

1800

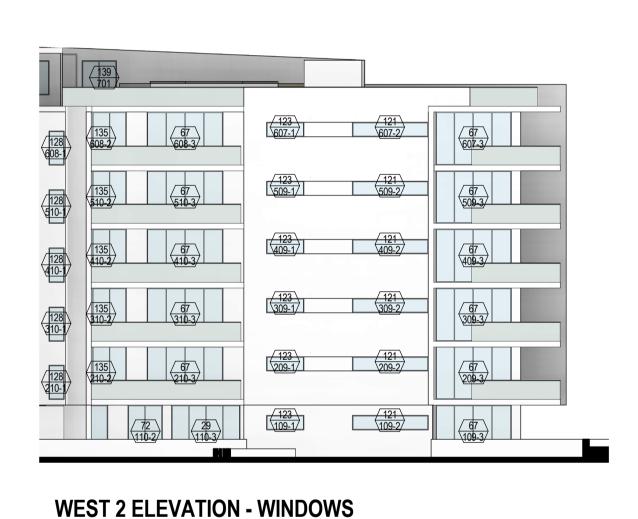
LEVEL 7





1:200





EAST ELEVATION - WINDOWS

ALUMINIUM LOUVRES

OBSCURE GLAZING

SILICONE JOINT

CLEAR GLAZING - INTERNAL

CLEAR GLAZING - EXTERNAL

CERAMIC PAINTED GLASS

POWDER COATED ALUMINIUM

CLEAR GLAZING - LOW 'E' EXTERNAL

1:200

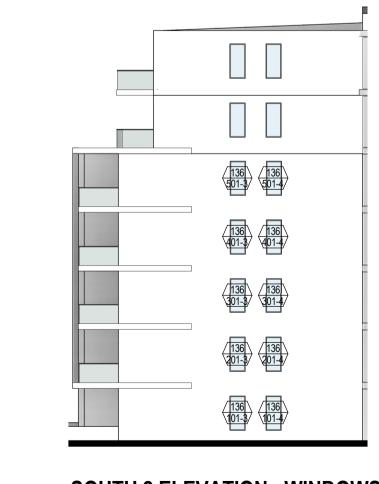
LEGEND

CPG

OBS

PCA

NOTE:



139 128 717 718

SOUTH 2 ELEVATION - WINDOWS 1:200

WEST ELEVATION - WINDOWS 1:200

ALL WINDOWS MUST BE SITE MEASURED BEFORE THE PREPARATION OF SHOP DRAWINGS & FABRICATION
REFER TO SECTION 'J' OF THE BCA FOR GLAZING VALUES REFER TO BASIX SPECIFICATION REPORT FOR ALUMINIUM & GLAZING VALUES.
ALL WINDOWS TO COMPLY WITH NCC 2013 CLAUSE - D2.24 Protection of openable windows

REMARKS

ALUMINIUM COVER PLATE

ELECTRICALLY OPERATED REMOTE

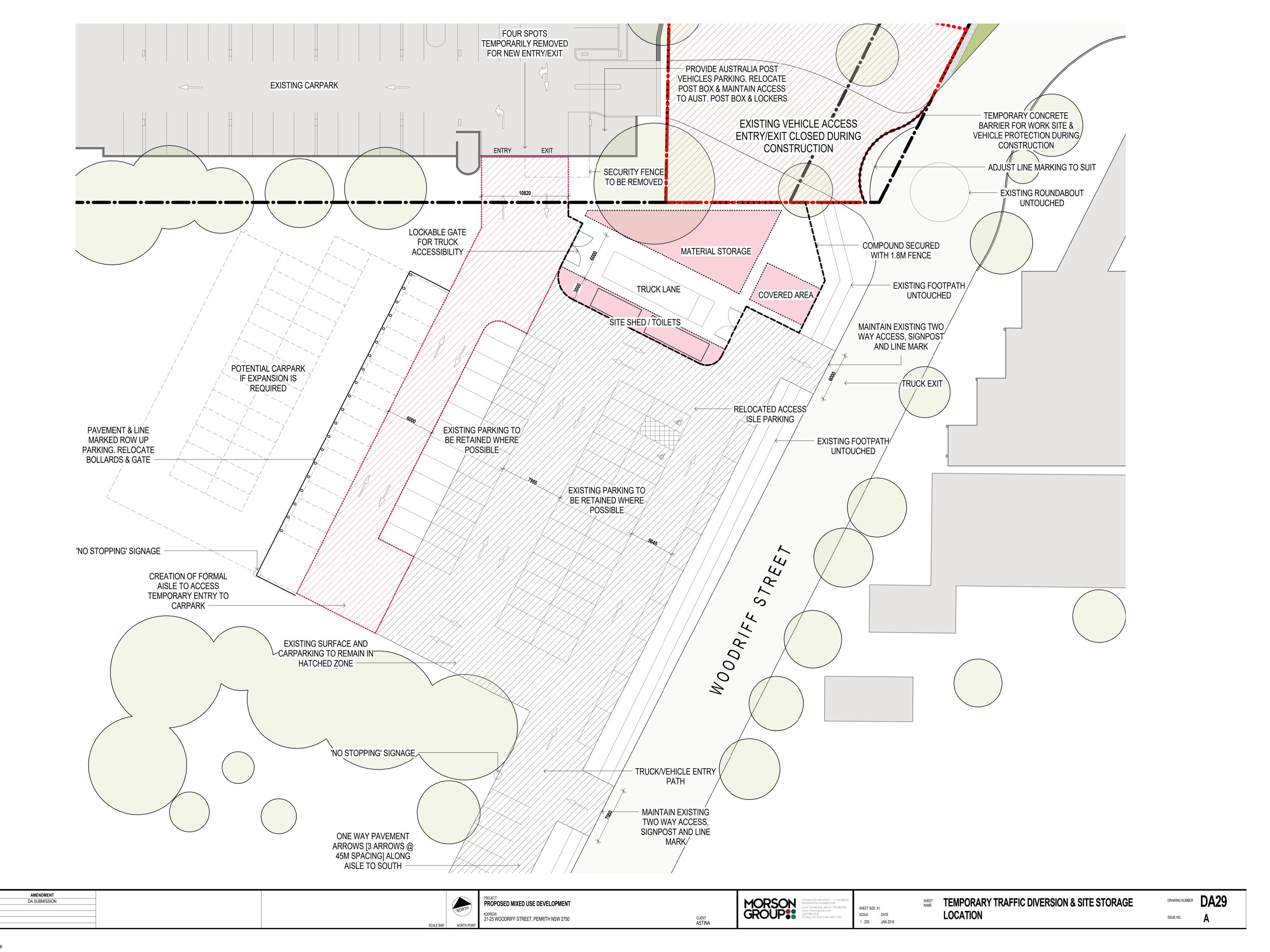
MANUALLY OPERATED REMOTE

TO MATCH WINDOWS

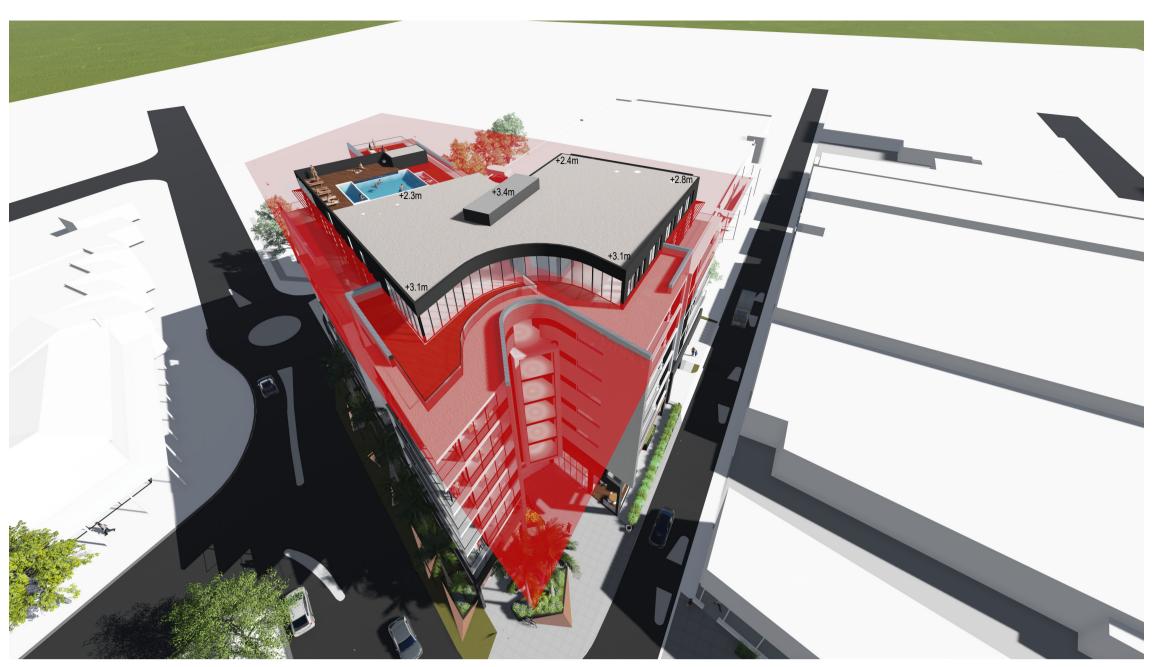
CONTROLS.

CONTROLS.

AMENDMENT SHEET NO. DA28 MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056 Www.morsongroup.com (20) 9380 4946 PO Box 170, Potts Point, NSW 1335 A 13-10-2016 DA SUBMISSION SHEET SIZE: A1 SHEET NAME WINDOW SCHEDULE & ELEVATIONS PROPOSED MIXED USE DEVELOPMENT SCALE DATE **ADDRESS** CLIENT 20m REVISION A 1:200 JAN 2016 21-25 WOODRIFF STREET, PENRITH NSW 2750 SCALE BAR **ASTINA**



ISSUE DATE
A 13-10-2016



HEIGHT ENCROCHMENT - VIEW 1





HEIGHT ENCROCHMENT - VIEW 3



HEIGHT ENCROCHMENT - VIEW 4

HEIGHT ENCROACHMENT INFORMATION

HEIGHTEST POINT OF BUILDING [EXCLUDING LIFT OVER-RUN]: NORTH-EAST CORNER. (3.1m ABOVE PLANE)

LIFT OVER-RUN: 3.4m ABOVE HEIGHT PLANE

ISSUE DATE AMENDMENT A 13-10-2016 DA SUBMISSION	PROJECT PROPOSED MIXED USE DEVELOPMENT	MORSON NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 8100 ACN 159 480 056, ABN 41 159 480 056	SHEET NAME HEIGHT ENCROACHMENT PLAN	DRAWING NUMBER DA30
	ADDRESS 21-25 WOODRIFF STREET, PENRITH NSW 2750	CLIENT ASTINA CLIENT ASTINA CLIENT ASTINA CLIENT ASTINA	ALE DATE OCT 2016	ISSUE NO.