

PROPOSED MIXED USE DEVELOPMENT

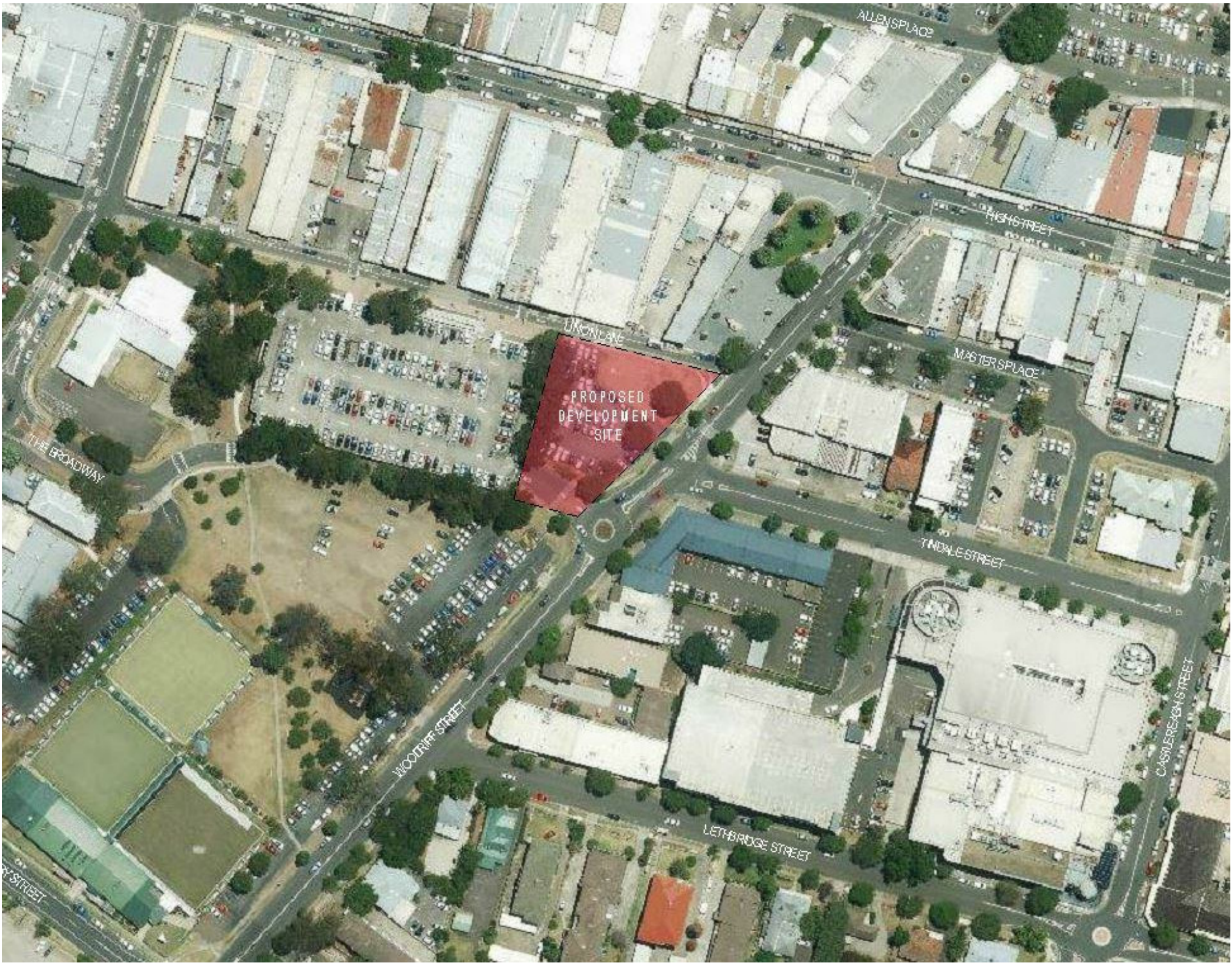
21-25 WOODRIFF STREET, PENRITH NSW 2750



VISUALISATION - FROM WOODRIFF ST. LOOKING SOUTH-WEST



VISUALISATION - FROM TINDALE ST. LOOKING WEST



AERIAL VIEW - SURROUNDING CONTEXT

Development Details		
Site Area		2732m ²
Gross Floor Area (GFA)		8391m ²
Zoning		B4 Mixed Used
Floor Space Ratio (FSR)*	Allowable	Proposed
	3:1	3.07:1
Building Height*	24	27.4m
Total Stories		8

Apartment Mix	
1BR	1
2BR	53
3BR	4
TOTAL APARTMENTS	58

Parking Schedule	
BASEMENT B2	
Disabled Car Space	4
Standard Car Space	46
	50
BASEMENT B1	
Disabled Car Space	4
Standard Car Space	46
	50
TOTAL CARSPACES	100
TOTAL CARSPACES REQUIRED	84



VISUALISATION 1
FROM WOODRIFF ST. LOOKING SOUTH-WEST



VISUALISATION 2
FROM TINDALE ST. LOOKING WEST



VISUALISATION 3
FROM WOODRIFF ST. LOOKING NORTH



VISUALISATION 4
FROM JUDGES CAR PARK LOOKING EAST

ISSUE	DATE	AMENDMENT			PROJECT PROPOSED MIXED USE DEVELOPMENT	 REGISTRATED ARCHITECT - P14 MORSON REGISTRATED ARCHITECT NUMBER 8100 ACN 139 480 056, ABN 41 139 480 056 www.morsongroup.com 602 7580 4944 PO Box 170, Potts Point, NSW 1533	SHEET NAME VISUALISATIONS - SHEET 1	DRAWING NUMBER DA02
A	13-10-2016	DA SUBMISSION						
					ADDRESS 21-25 WOODRIFF STREET, PENRITH NSW 2750	CLIENT ASTINA	SHEET SIZE A1 SCALE DATE JAN 2016	ISSUE NO. A
			SCALE BAR NORTH POINT					



ISSUE	DATE	AMENDMENT							PROJECT		 NOMINATED ARCHITECT - P & M MORSON REGISTRATION NUMBER B105 ACN 159 480 056 ABN 41 159 480 056 www.morsongroup.com.au (02) 9391 4046 PO Box 155 North Point NSW 1535	SHEET NAME VISUALISATIONS - SHEET 2	DRAWING NUMBER DA03
A	13-10-2016	DA SUBMISSION							PROPOSED MIXED USE DEVELOPMENT				
									ADDRESS				
									21-25 WOODRIFF STREET, PENRITH NSW 2750				
									CLIENT				
									ASTINA				



VIEW FROM UNION LANE LOOKING SOUTH-WEST



VIEW FROM HIGH STREET LOOKING SOUTH



VIEW FROM TINDALE STREET LOOKING WEST



VIEW FROM WOODRIFF STREET LOOKING NORTH-WEST



VIEW FROM TINDALE STREET LOOKING WEST



VIEW FROM WOODRIFF STREET LOOKING SOUTH



VIEW FROM WOODRIFF STREET LOOKING WEST



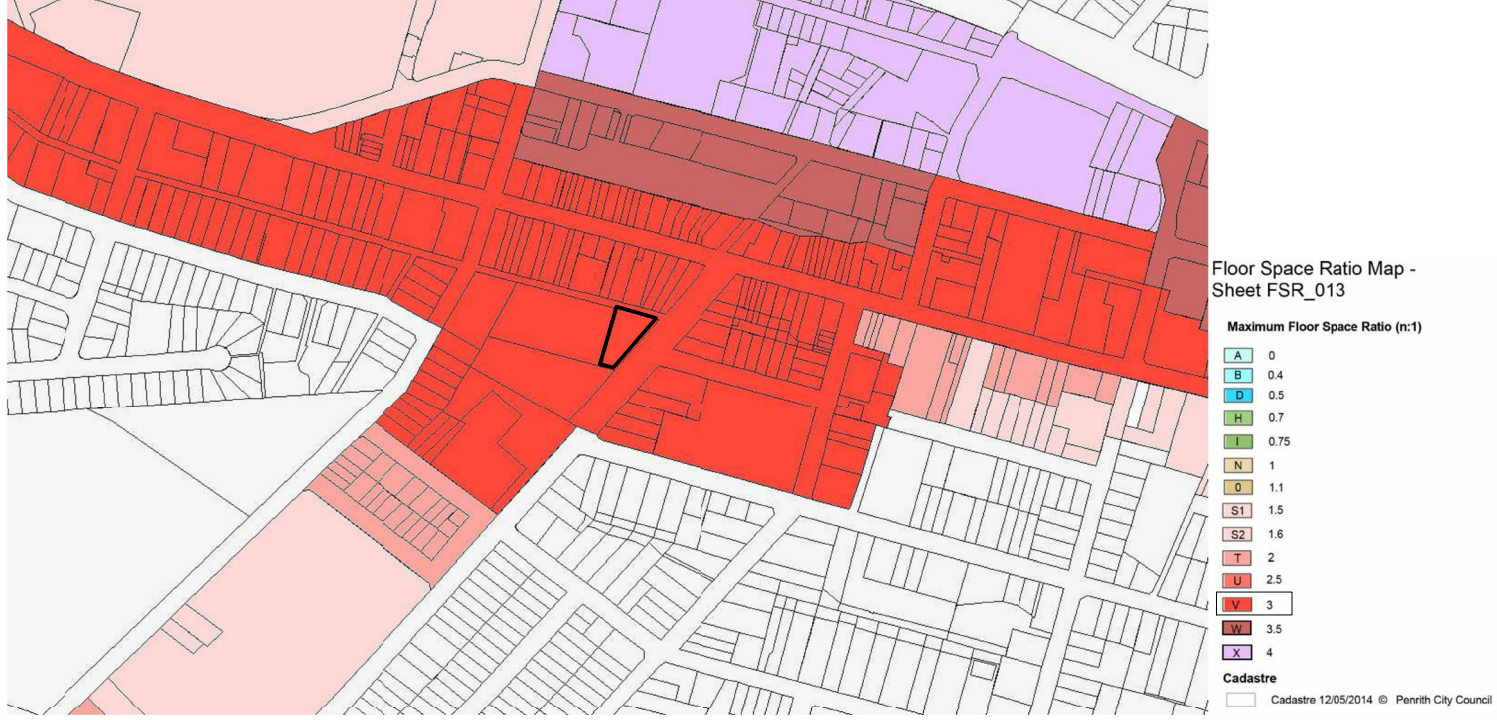
VIEW FROM WOODRIFF STREET LOOKING SOUTH- WEST



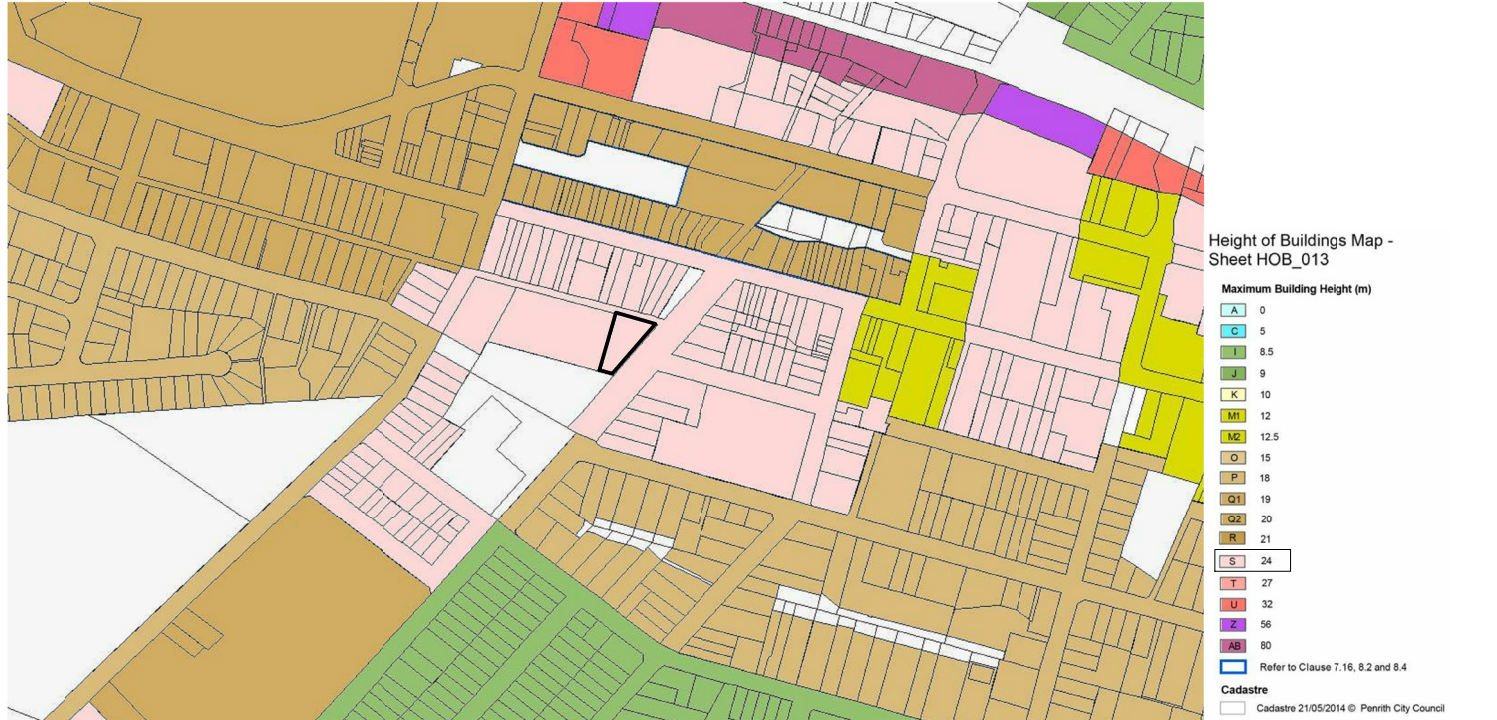
VIEW FROM UNION LANE LOOKING EAST

ISSUE	DATE	AMENDMENT			PROJECT PROPOSED MIXED USE DEVELOPMENT	 NOMINATED ARCHITECT - P F MORSON REGISTRATION NUMBER 81057 ACQ 138 480 056 484 41 139 485 056 www.morsongroup.com PO Box 1715, Penrith, NSW 1505	SHEET NAME EXISTING PHOTOGRAPHS	DRAWING NUMBER DA04		
A	13-10-2016	DA SUBMISSION							SHEET SIZE A1 SCALE DATE JAN 2016	ISSUE NO. A
				SCALE BAR	NORTH POINT	CLIENT ASTINA				

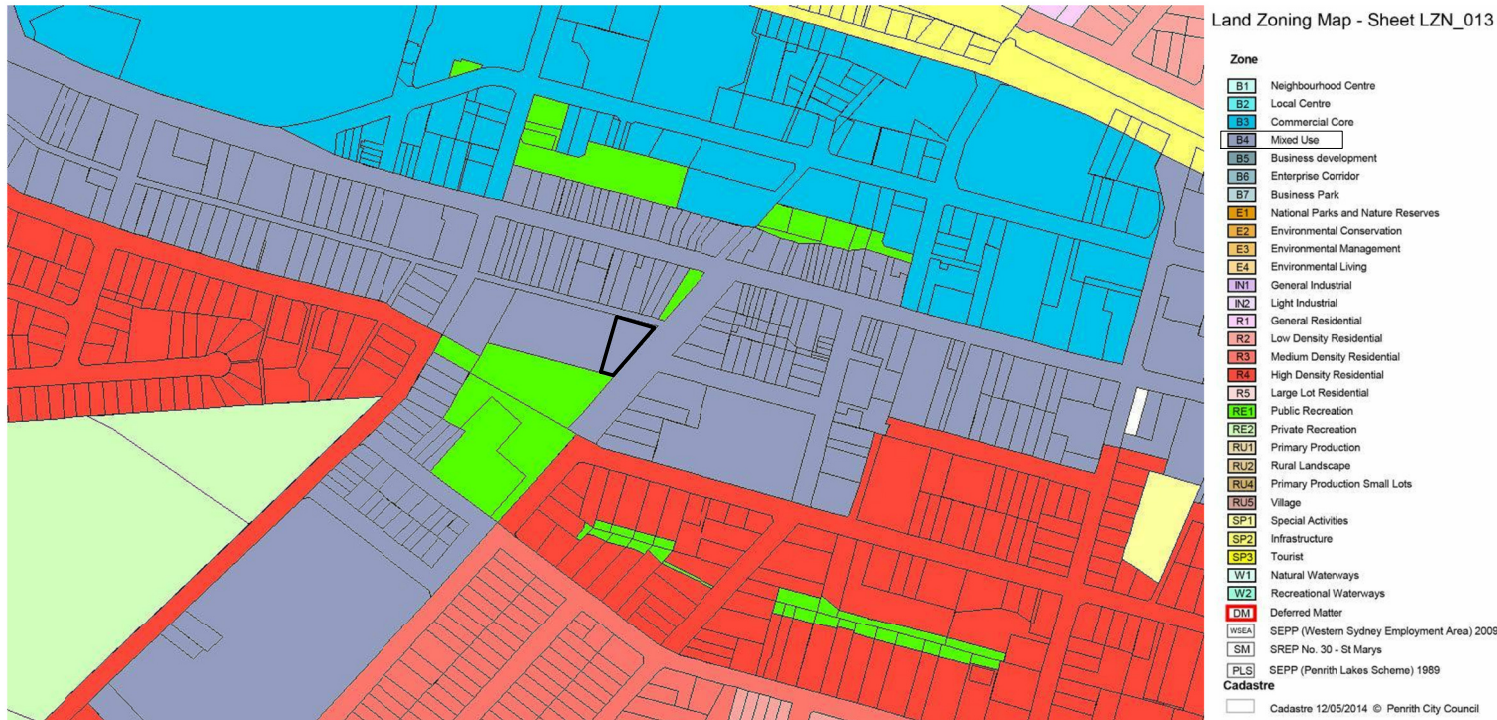
DEVELOPMENT CONTROL SUMMARY



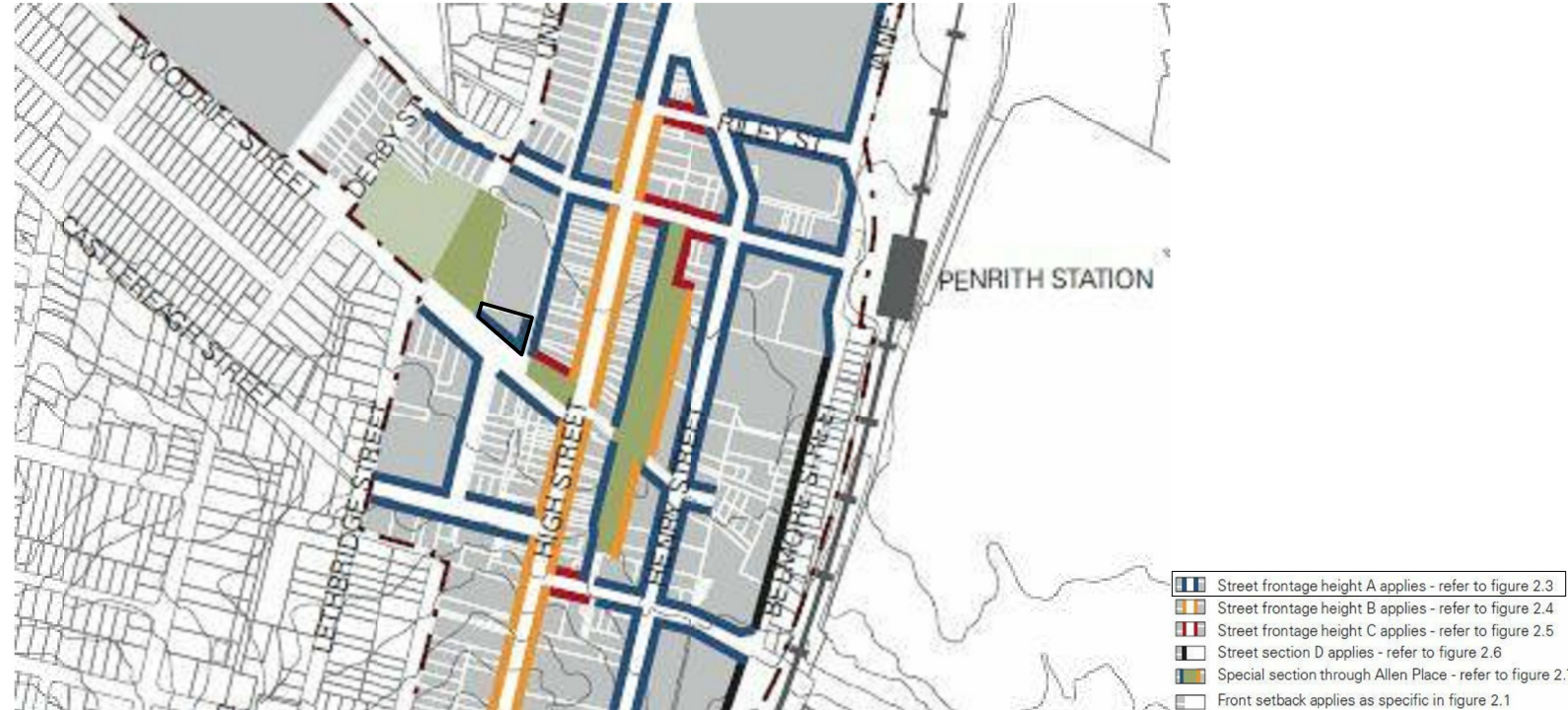
1 / FLOOR SPACE RATIO // 3:1



2 / HEIGHT OF BUILDING // 24M



3 / LAND ZONING // B4

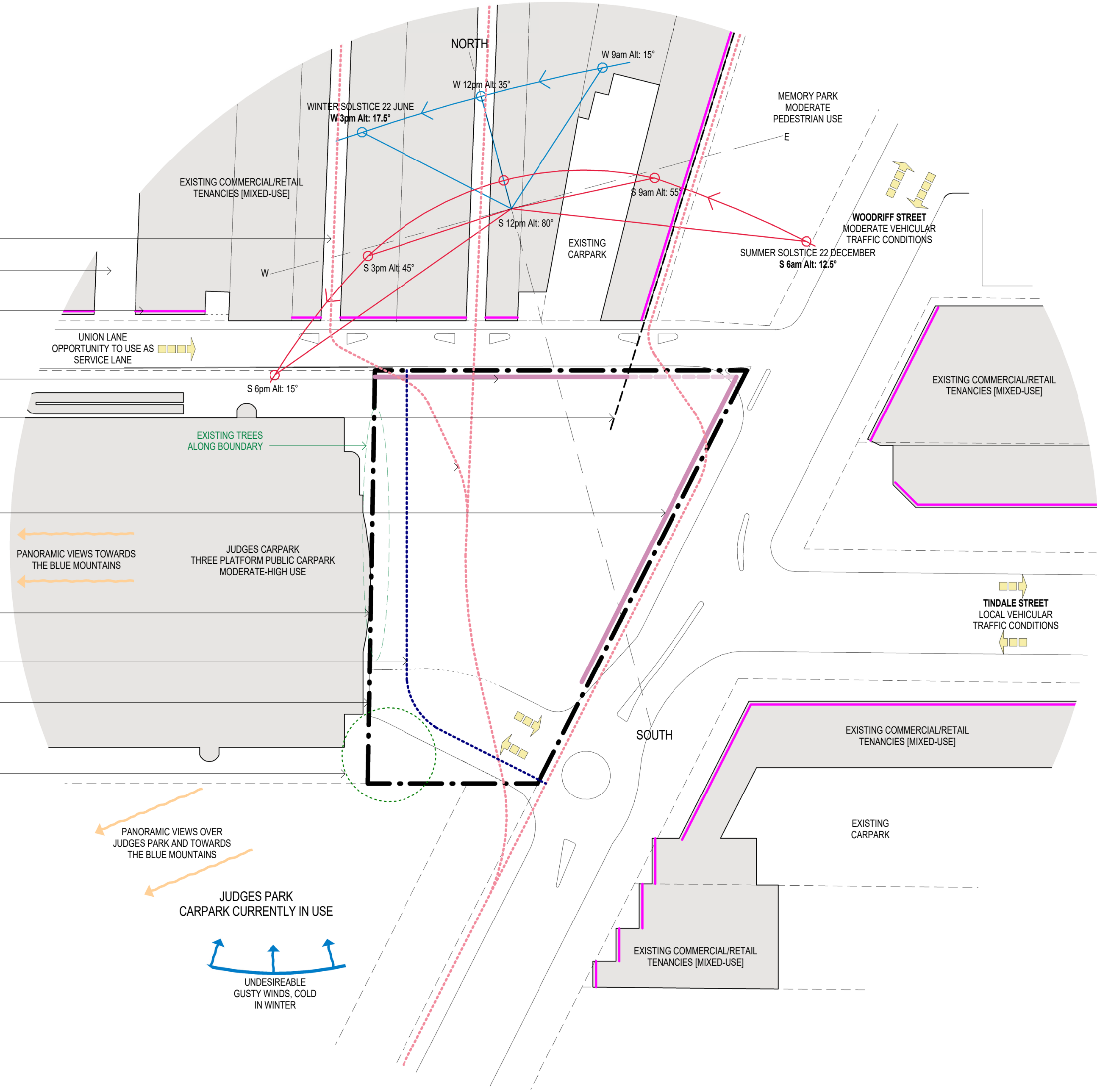


3 / STREET SETBACKS // TYPE A

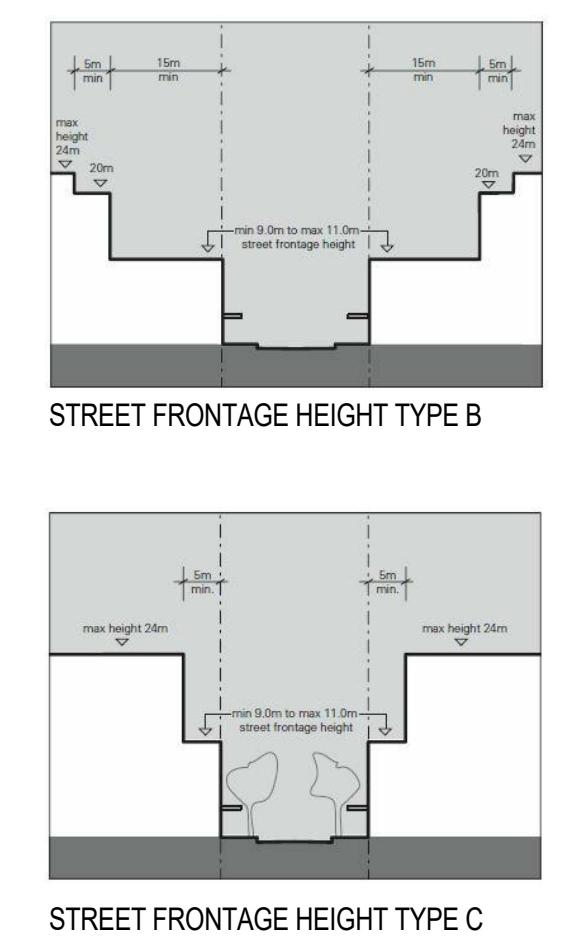
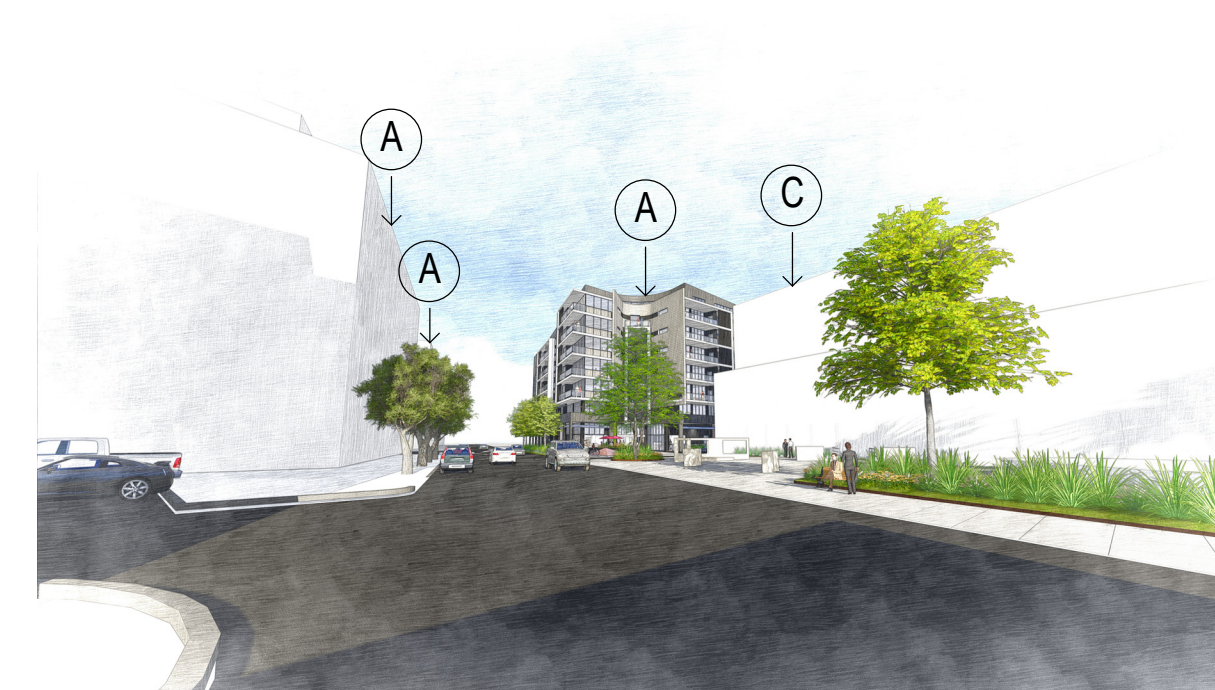
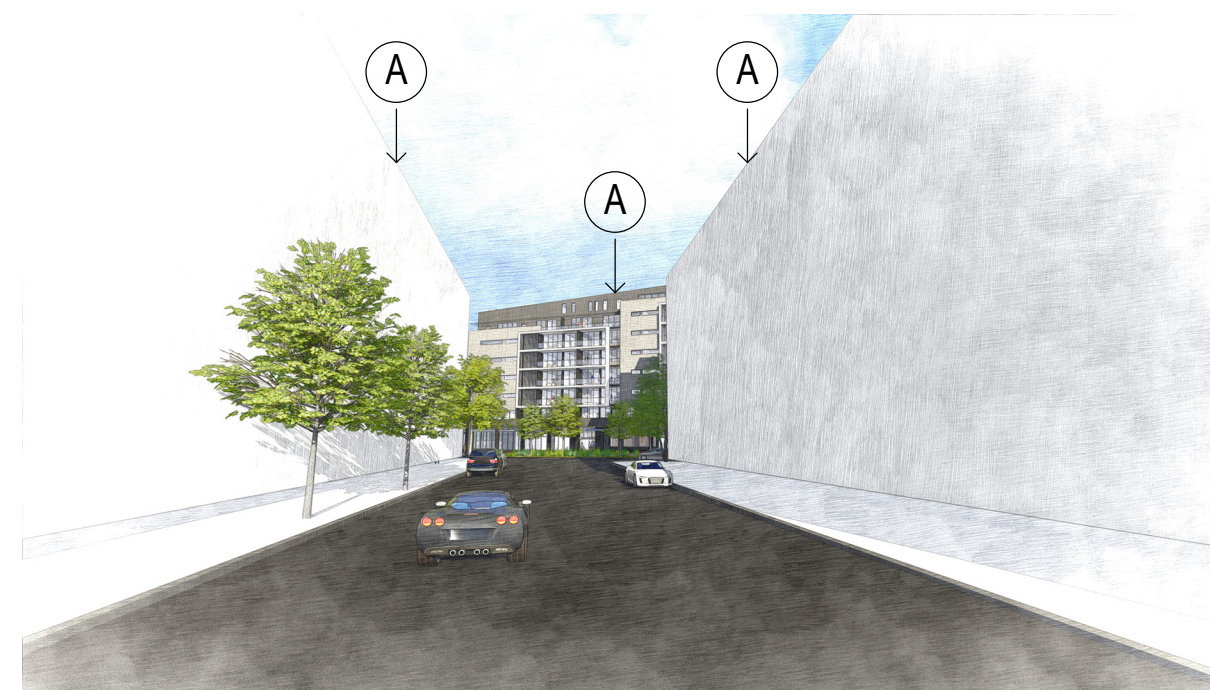
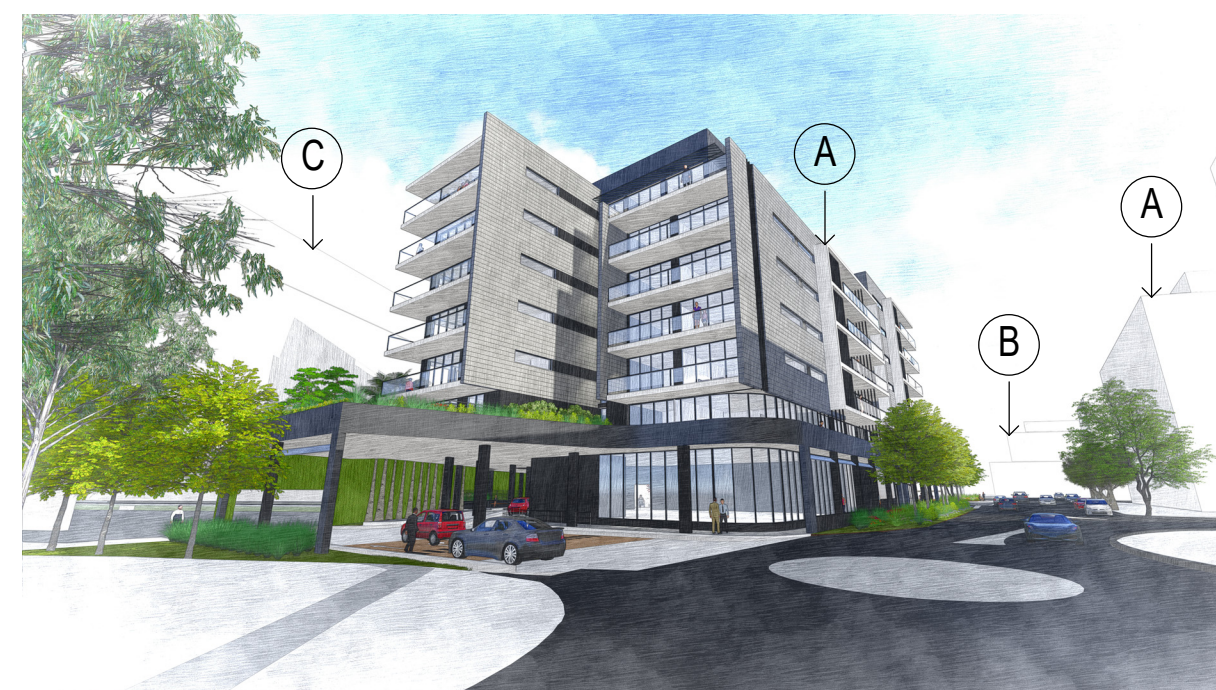
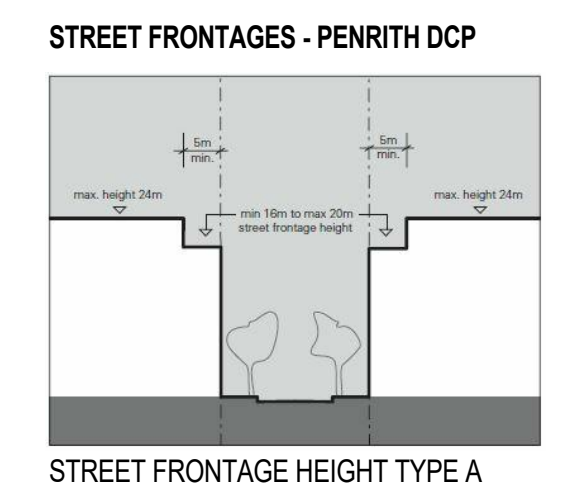
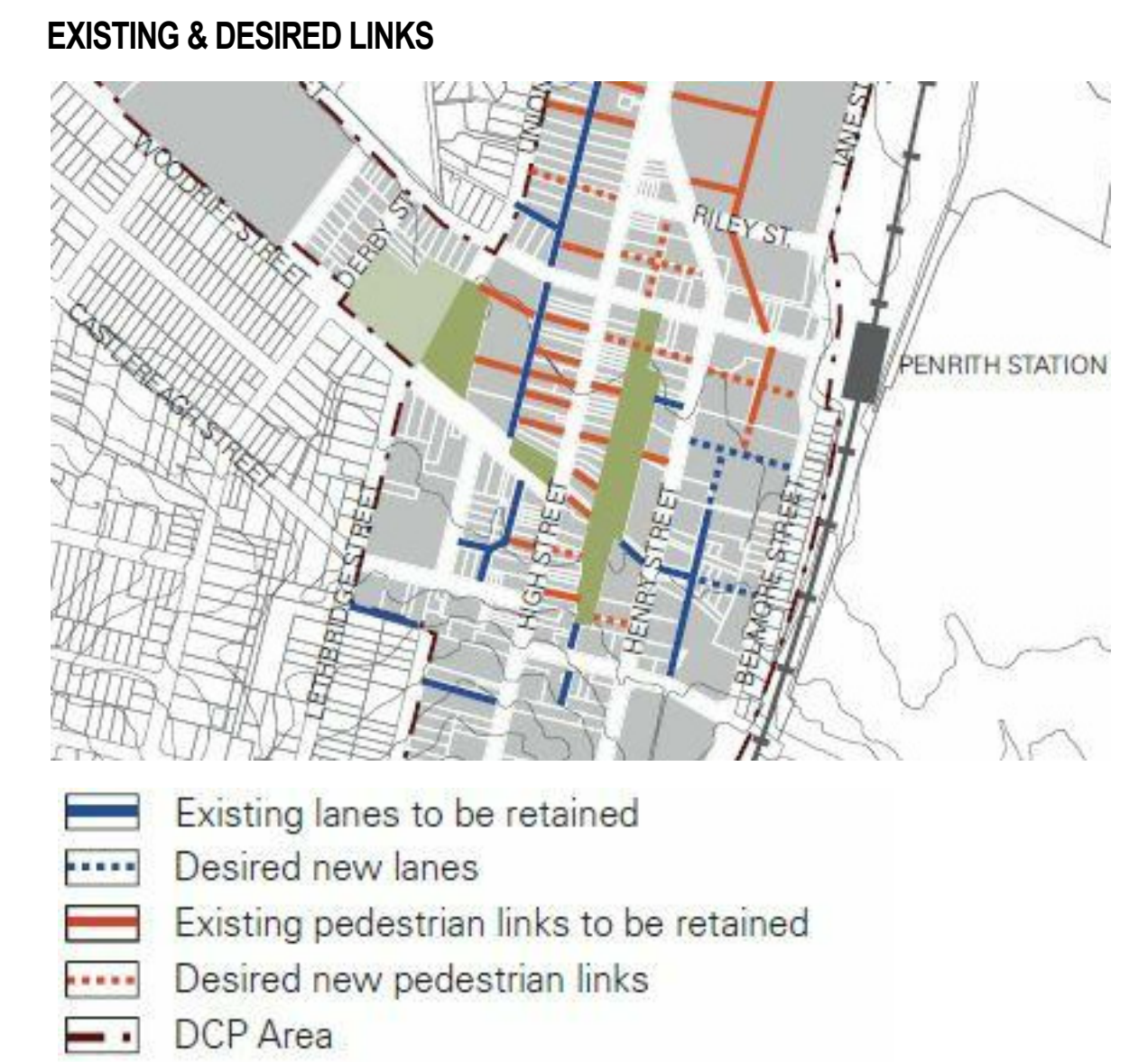
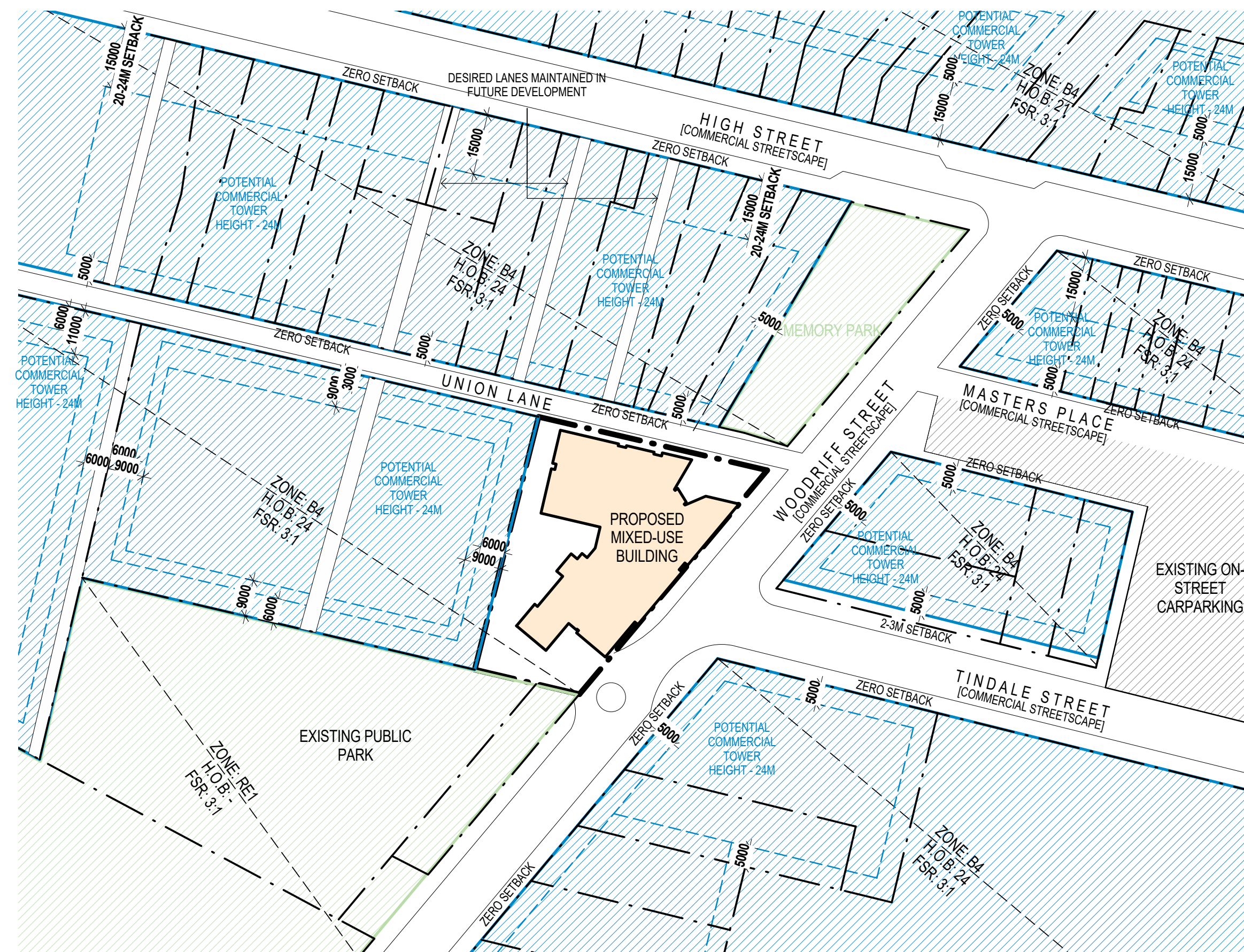
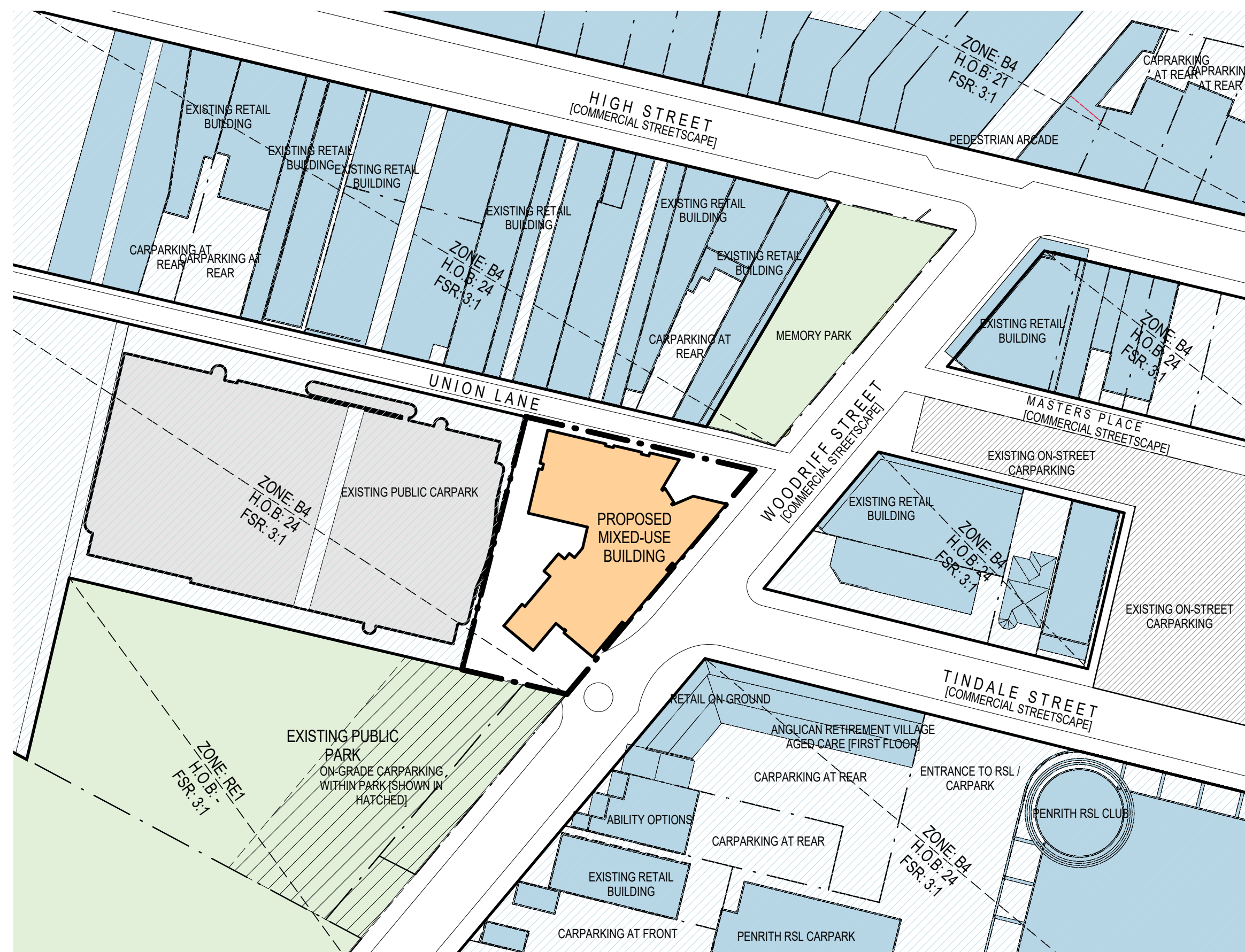


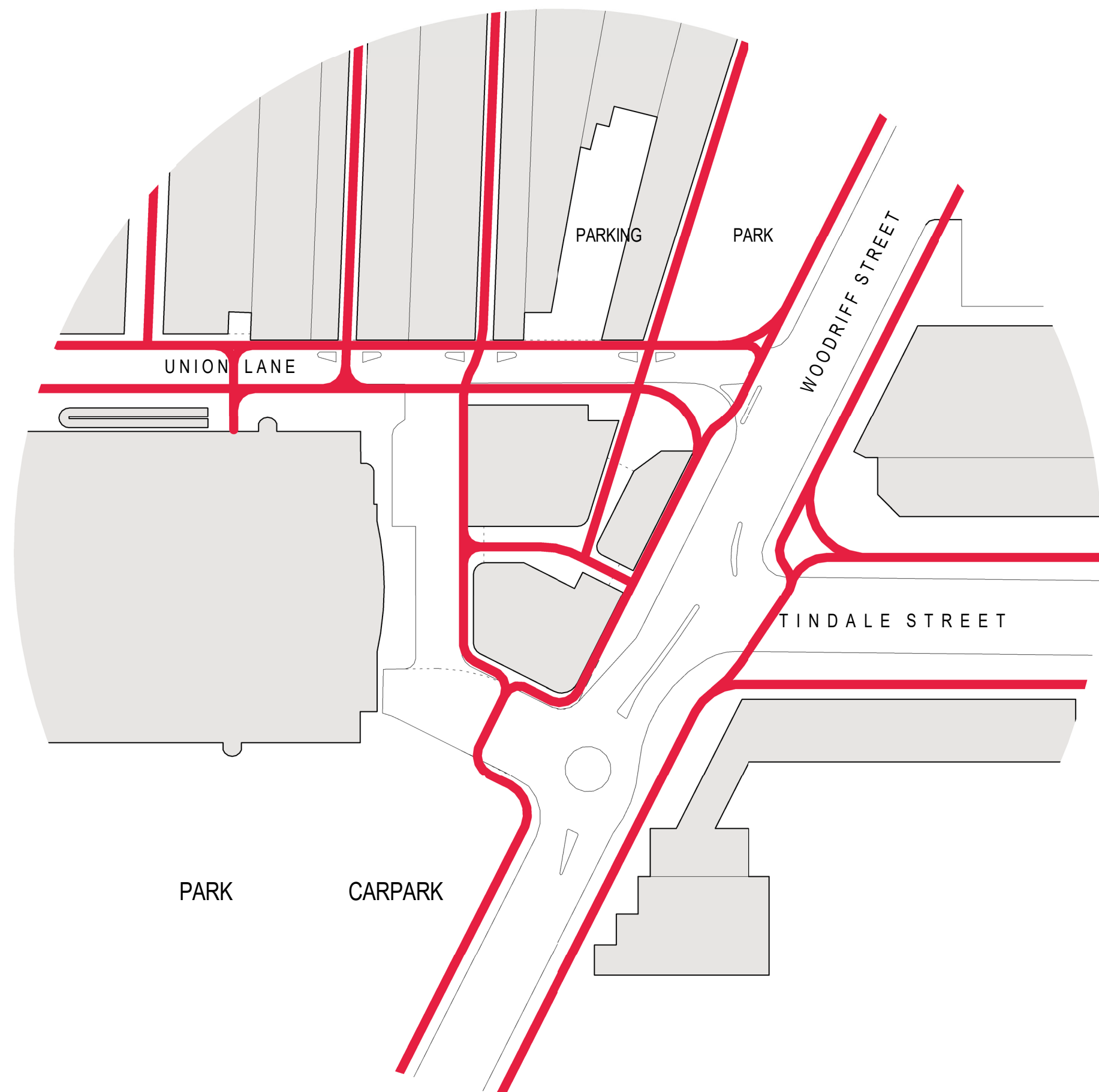
5 / ACTIVE STREET FRONTAGES

- REACTIVATE ARCADES
- DESIRED LANES TO BE RETAINED
- ACTIVE STREET FRONTAGES
- RECOMMENDED STREET SETBACK
- CURRENT STREET SETBACK OF NEIGHBOURING BUILDINGS
- DESIREABLE THROUGH SITE LINKS "LANEWAY CULTURE"
- OPPORTUNITY TO ESTABLISH STRONG, ACTIVE STREET WALL PRESENCE
- MINIMISE UNDESIREABLE NOISE FROM CARPARK
- OPPORTUNITY TO CIRCULATE TRAFFIC AROUND BUILDING
- TWO WAY VEHICLE ACCESS TO PUBLIC CARPARK (JUDGES MAINTAINED)
- PROTECT AND MAINTAIN EXISTING TREES IDEAL LOCATION FOR DEEP SOIL



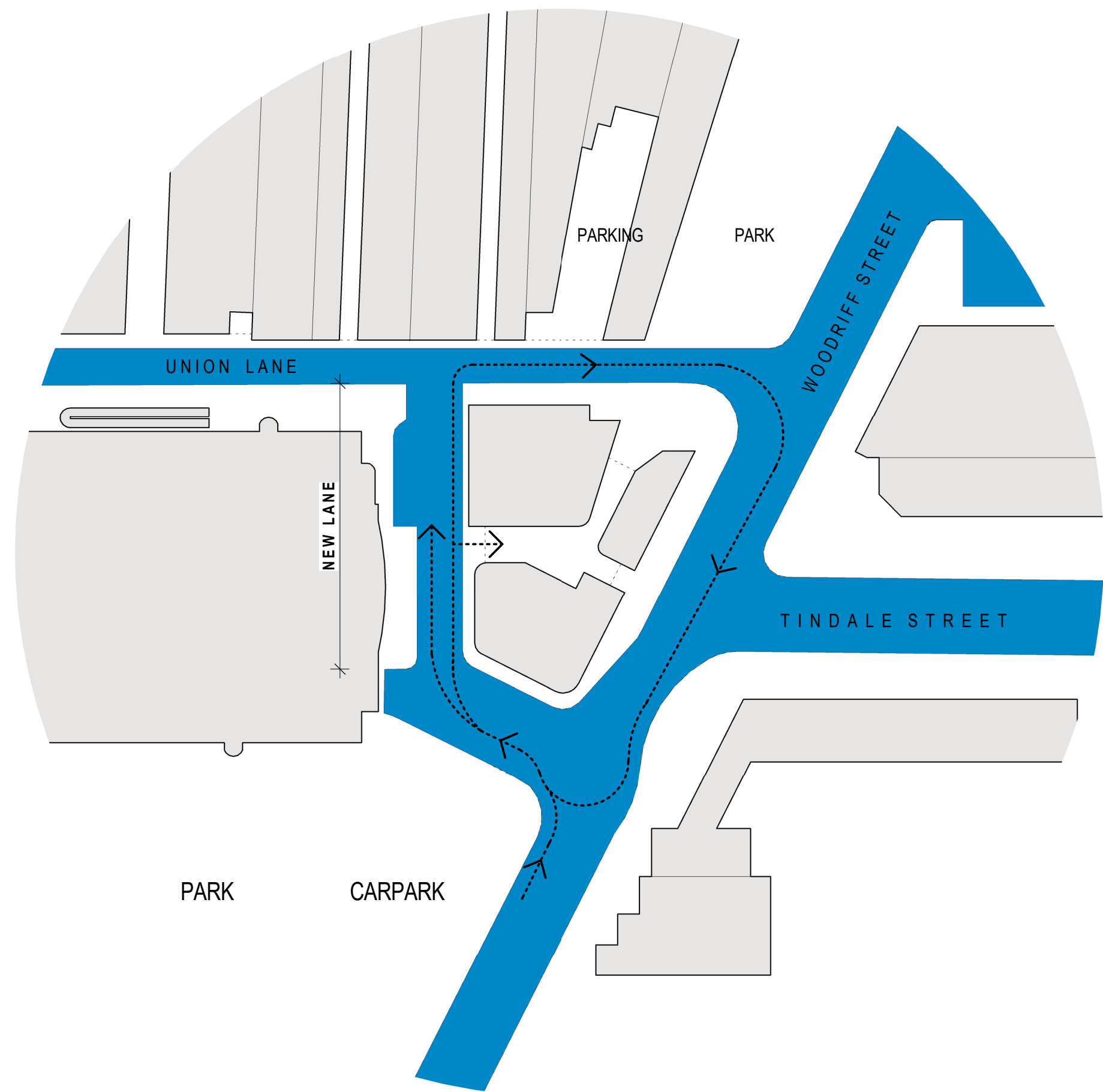
- KEY**
- PEDESTRIAN MOVEMENT
 - VEHICLE MOVEMENT
 - RECOMMENDED STREET SETBACKS
 - EXISTING SHOP FRONTS / ACTIVE EDGES





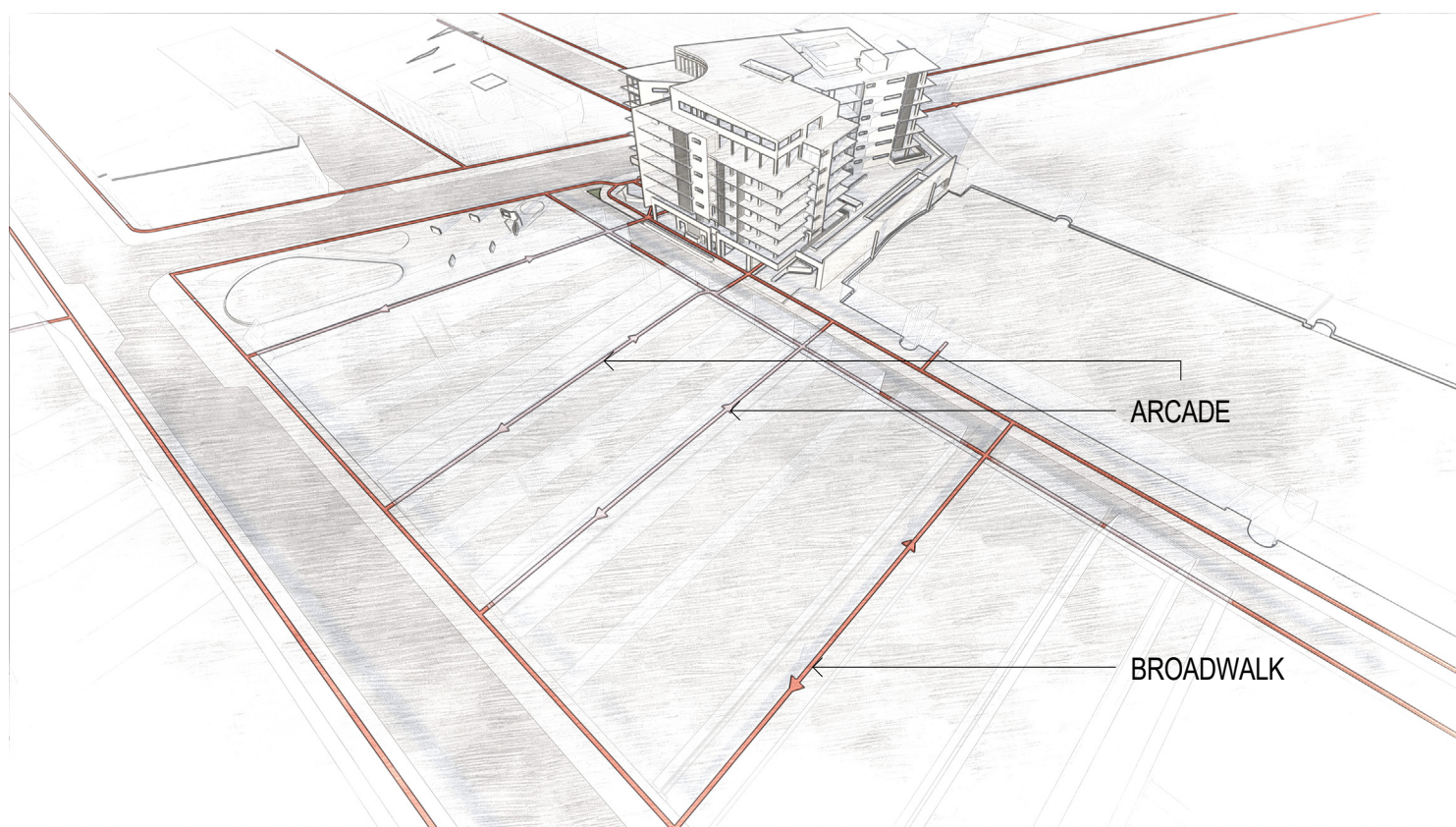
PEDESTRIAN MOVEMENT |

A KEY PEDESTRIAN ROUTE ALONG MEMORY PARK WAS A KEY DRIVER IN THE DESIGN AND PROGRESS OF THE PROPOSAL. THE CONTINUATION OF LANGUAGE AND FUNCTION [RETAIL] PROVIDES A SMOOTH TRANSITION BETWEEN THE PARK AND THE BUILT FORM. THE REAR PEDESTRIAN PATH INTENDS TO FILTER PEOPLE THROUGH TO UNION LAKE AND THE EXISTING SITE LINKS. THE PASSAGEWAYS WILL SEE A REACTIVATION AND THE LANEWAY CULTURE WILL BE IMPROVED AS A RESULT.

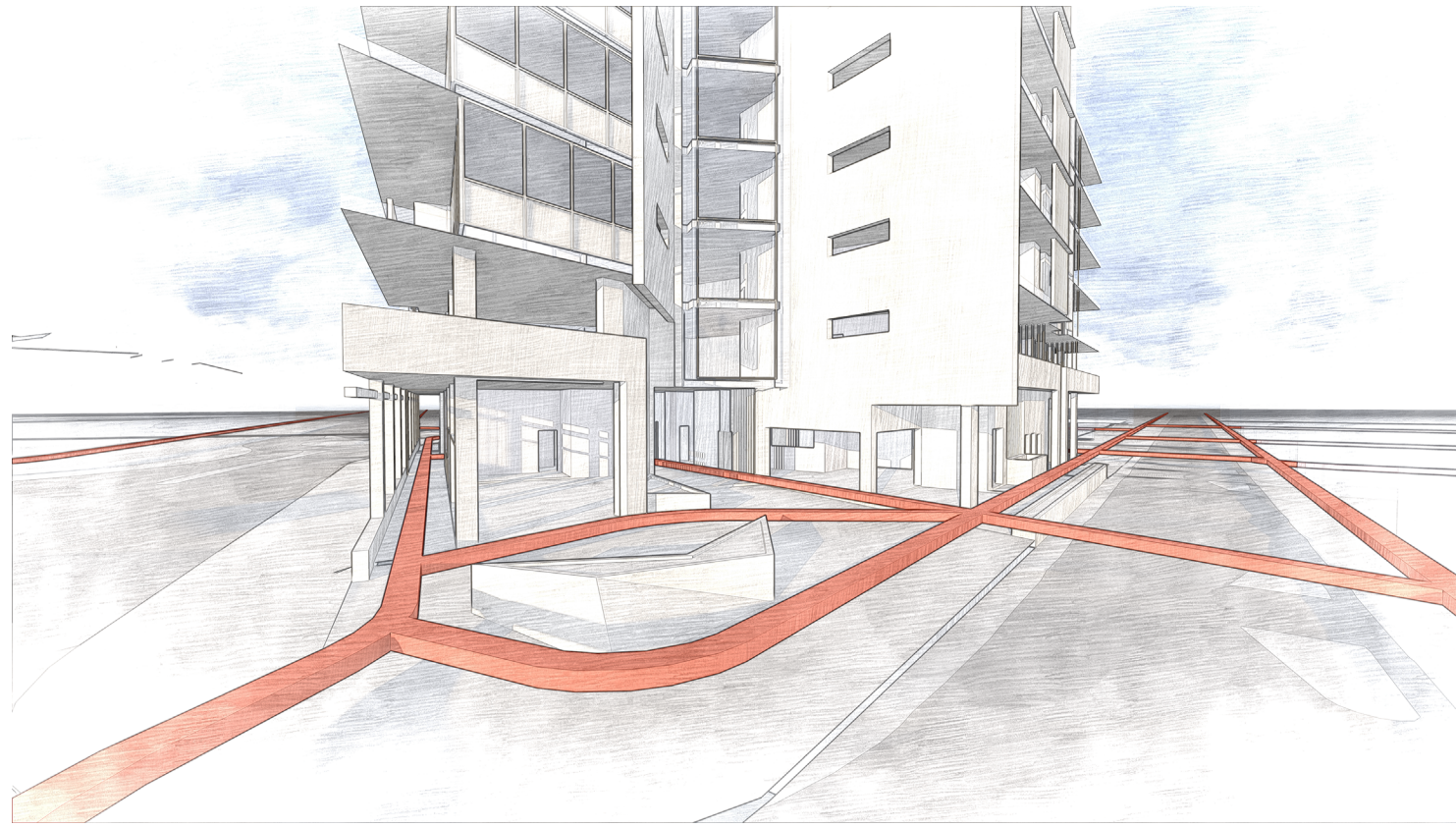


ADDITION TO ROAD NETWORK |

AS WE INTENDED TO MAINTAIN THE ACCESS ROAD TO JUDGES CARPARK, IT PROVIDED A FANTASTIC OPPORTUNITY CREATE CIRCULATION PATH AROUND THE REAR OF THE BUILDING. IT WILL ALLOW GUESTS TO DROP OFF AND CONTINUE THROUGH TO UNION LANE AND RE-CIRCULATE AROUND THE BUILDING INTO THE BASEMENT PARKING

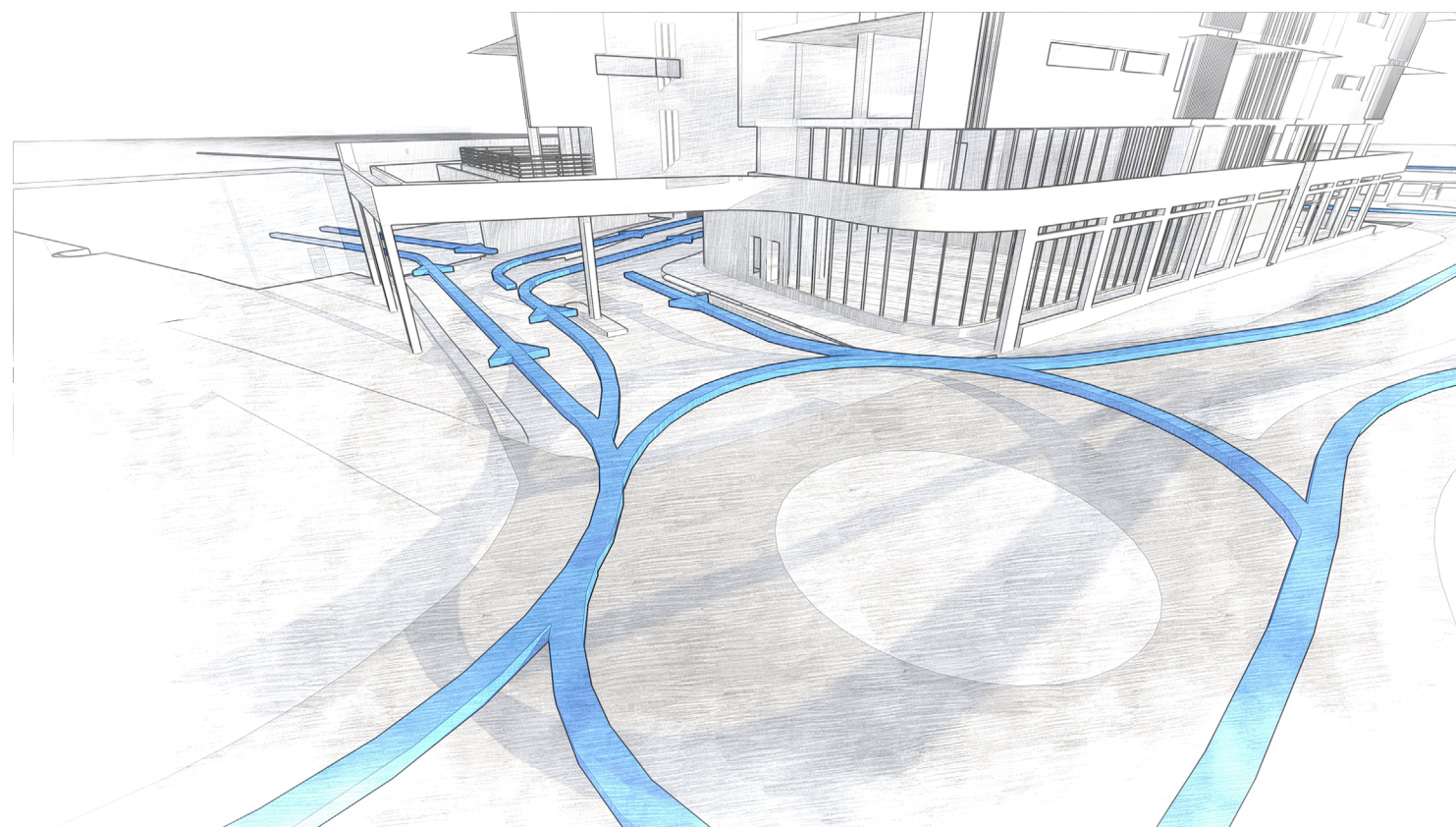


REACTIVATION OF PLAZA & BROADWALK CONNECTIVE ROUTES



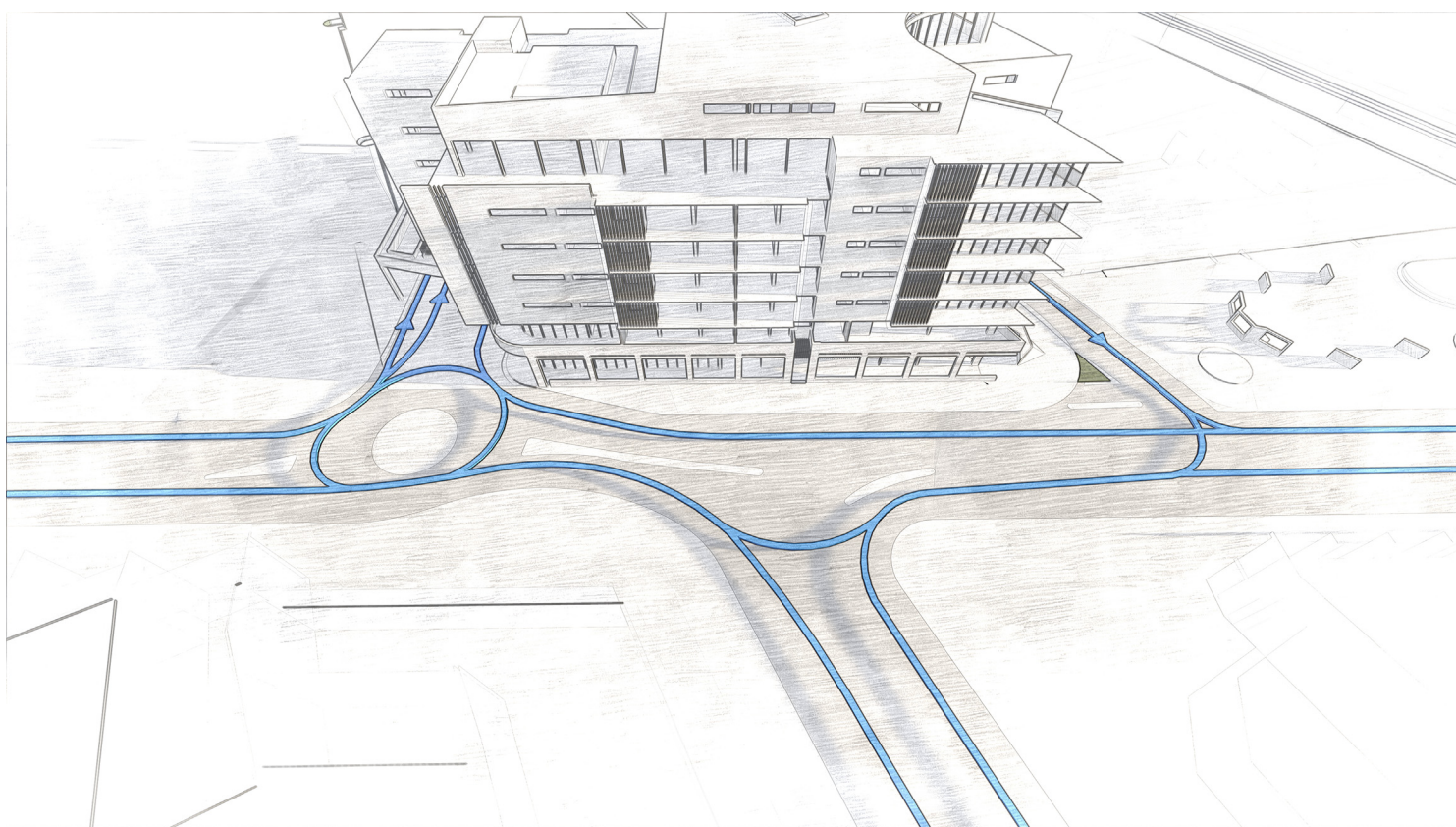
A MEETING POINT

THE CORNER OF THE SITE PRESENTS A UNIQUE CONDITION. IT WILL BE A CROSS-ROAD FOR MANY PATHS OF TRAVEL. BECAUSE OF THIS, ALONG WITH THE RETAIL TENANCIES ON EACH CORNER, IT INTENDS TO ACT AS A KEY MEETING PLACE FOR LOCAL RESIDENTS AND GUESTS.



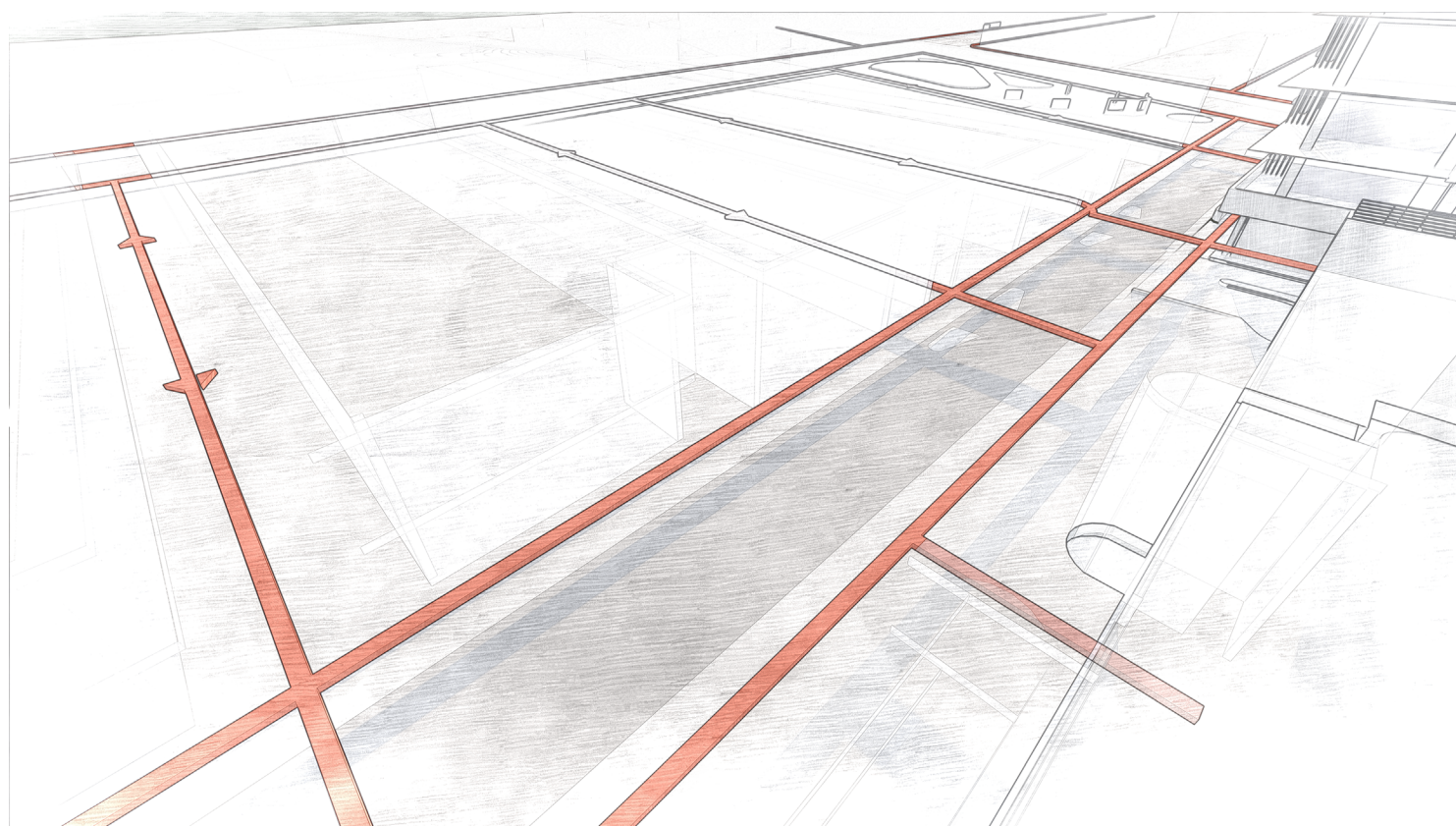
ACCESSIBILITY

THE EXISTING LOCATION OF THE ROAD WHICH PROVIDES ACCESS TO JUDGES CARPARK HAS BEEN MAINTAINED. THE ACCESS TO THE DROP-OFF ZONE AND CARPARK WILL BE VIA THIS ROAD. FORTUNATELY, THE WIDTH CAN ACCOMMODATE TWO CARS SO ONE USE WILL NOT INTERRUPT THE OTHER.



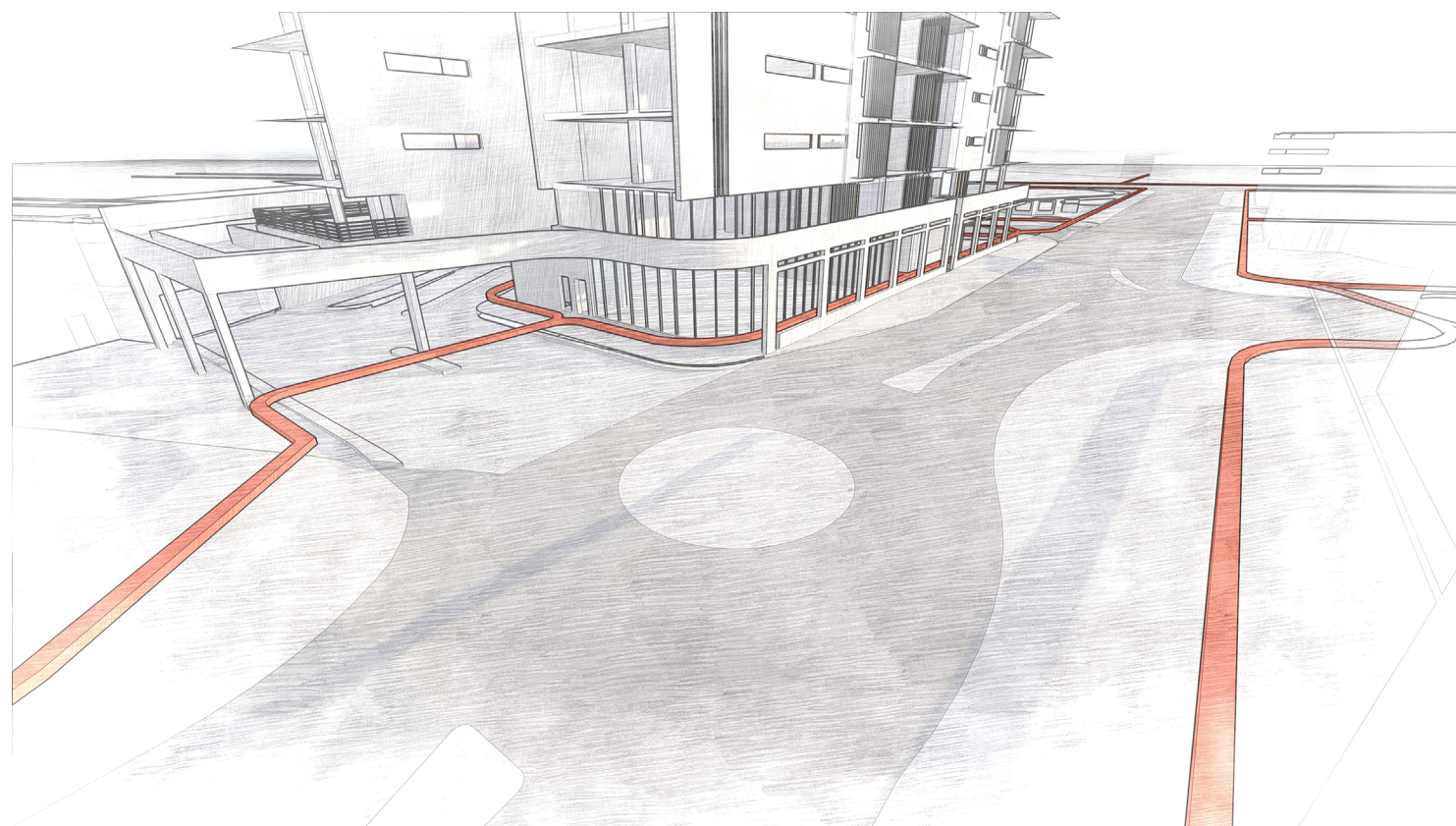
CIRCULATION

THE TRAFFIC FLOW ACTIVITY DOES NOT CHANGE FROM WHAT CURRENTLY EXISTS. THE ADVANTAGE IS THE CIRCULATION AROUND THE REAR OF THE BUILDING. THE REAR ACCESS ALLOWS A SIMPLE ONE WAY MOVEMENT WHICH JOINS TO UNION LANE.



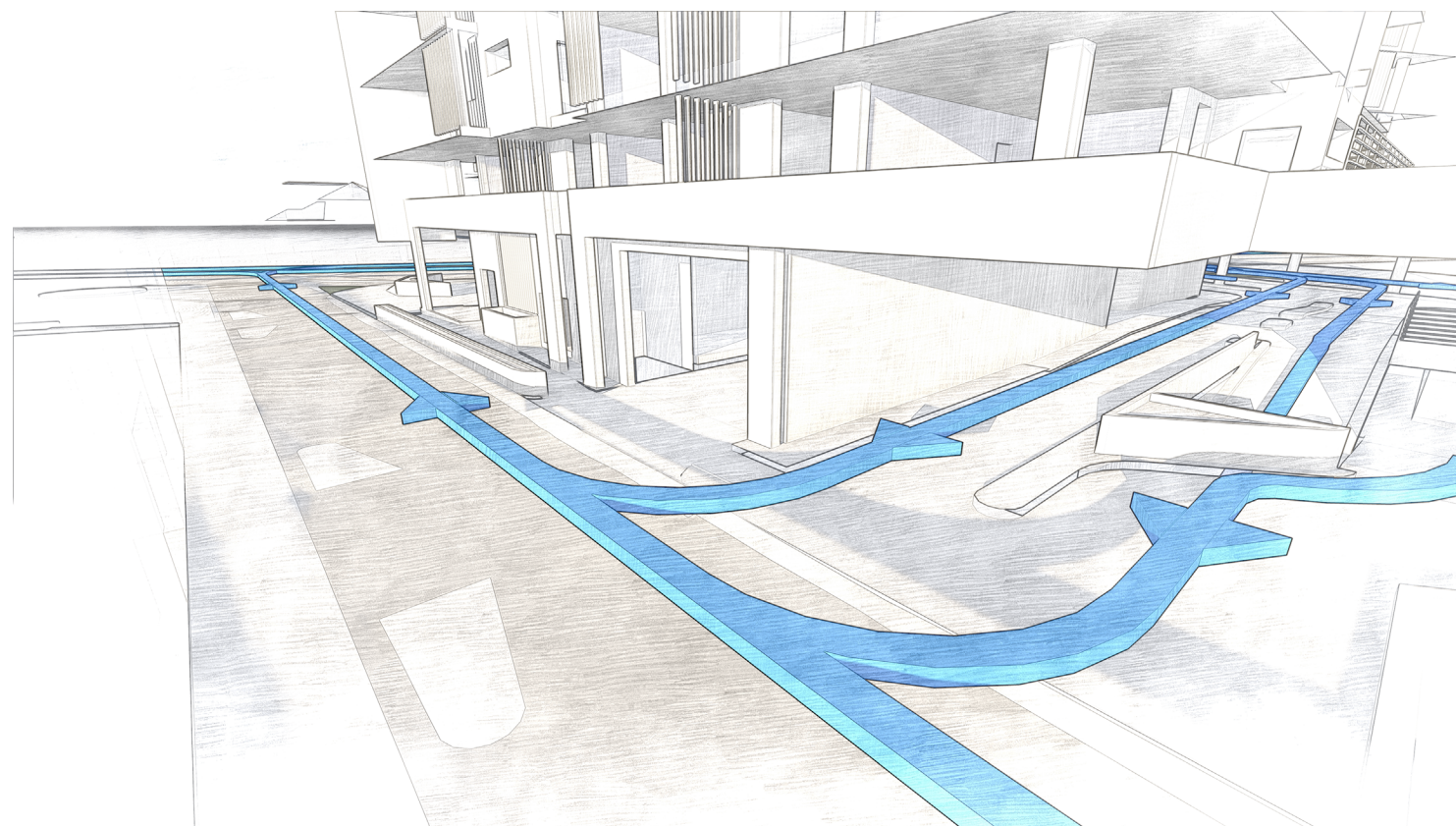
LANEWAY CULTURE

A LANEWAY CAN OFTEN BE AVOIDED DUE TO ITS NATURE AND REPUTATION AS A PLACE WHICH LACKS SECURITY AND SAFETY. THROUGH THE ADDITIONAL ACTIVATION BROUGHT UPON BY THE PROPOSAL, WE INTEND TO CREATE A LANEWAY CULTURE FOR PEDESTRIANS; A PLACE IN WHICH THEY CAN EMBRACE AND FEEL COMFORTABLE.



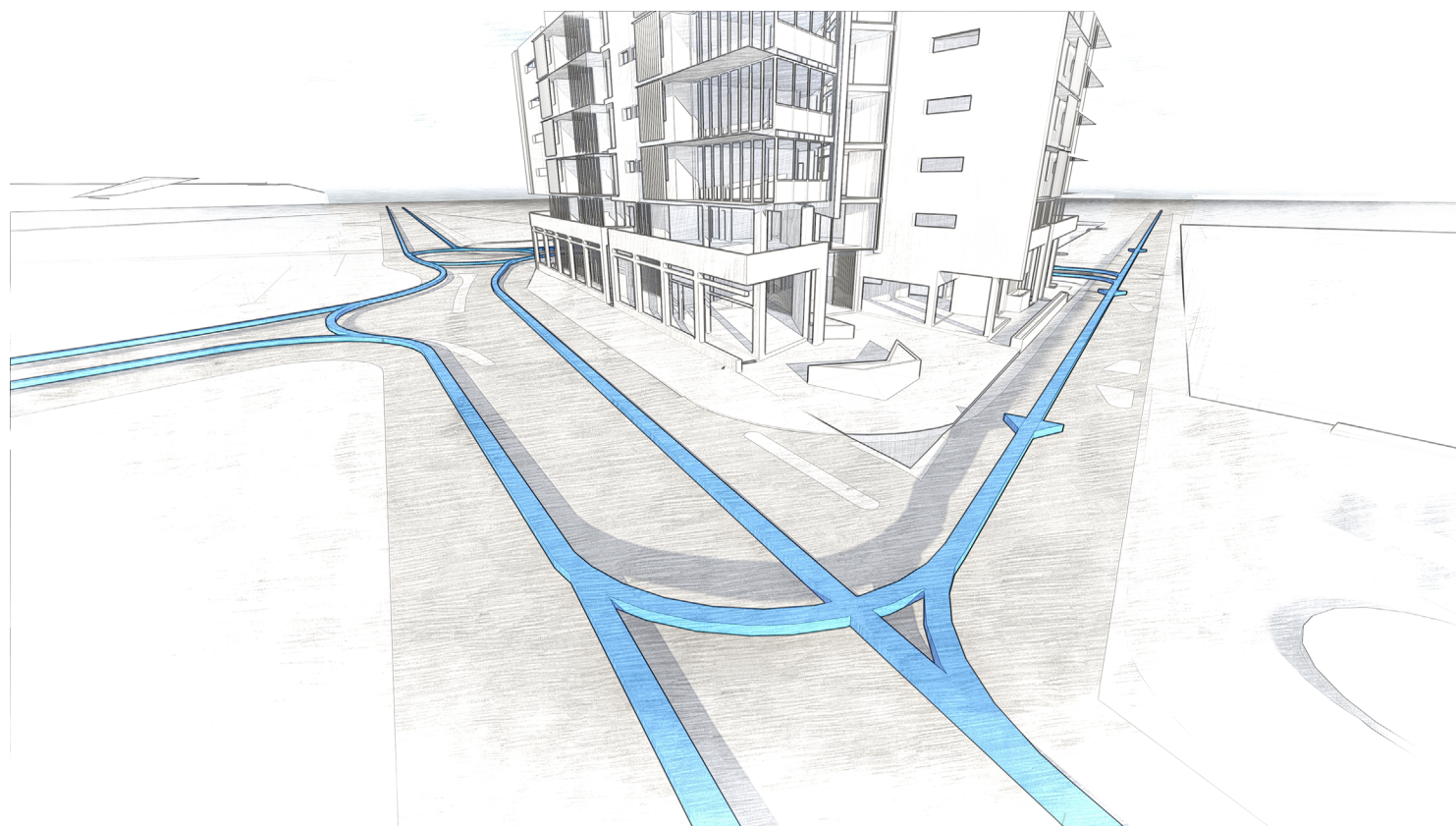
ALTERNATIVE ROUTES

PEDESTRIANS DECIDE WHETHER TO THE REAR OR STREET FRONT OF THE BUILDING. IT BRINGS LIFE AND ACTIVITY TO THE GROUND LEVEL, WHILST ALLOWING A CLEAR, SAFE SHORTCUT TO THEIR DESTINATION.



ONE WAY LANE

NETWORK ALLOWS VEHICLES TO RE-CIRCULATE ON GROUND THROUGH SITE TO DROP OFF AND THEN RE-ENTER BASEMENT IF REQUIRED



TRAFFIC FLOW

GENERAL TRAFFIC MOVEMENTS

ISSUE	DATE	AMENDMENT
A	13-10-2016	DA SUBMISSION

SCALE BAR NORTH POINT

PROJECT
PROPOSED MIXED USE DEVELOPMENT

ADDRESS
21-25 WOODRUFF STREET, PENRITH NSW 2750

CLIENT
ASTINA



NOMINATED ARCHITECT - P F MORSON
REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
www.morsongroup.com
(02) 9380 4944
PO Box 170, Potts Point, NSW 1535

SHEET SIZE: A1
SCALE DATE
As indicated JAN 2016

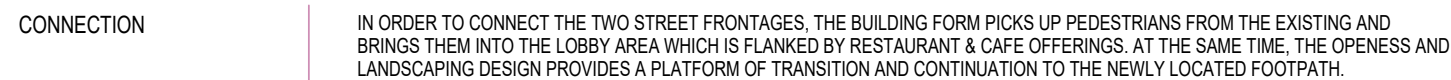
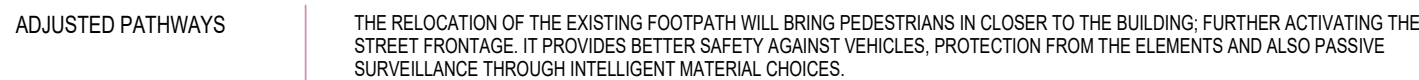
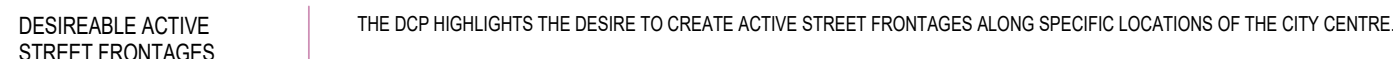
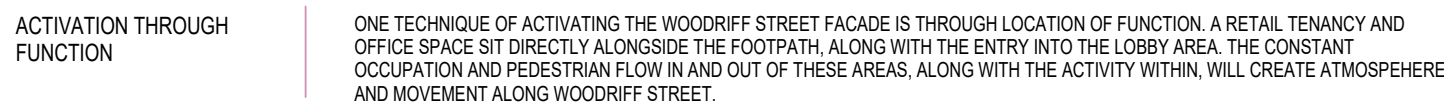
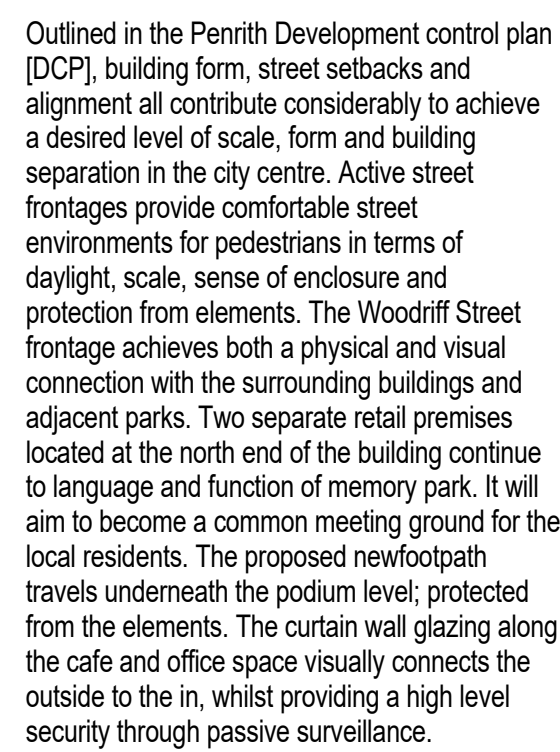
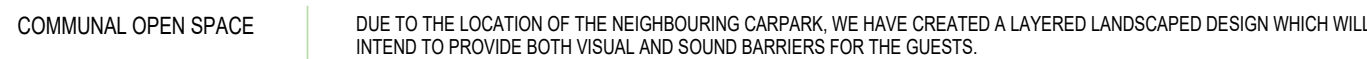
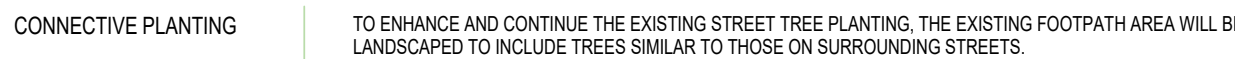
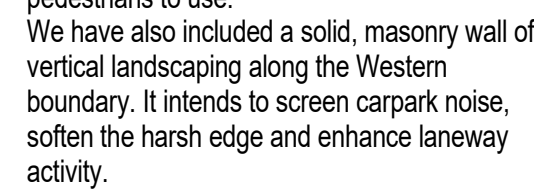
SHEET
NAME

CONTEXTUAL ANALYSIS

DRAWING NUMBER:

ISSUE NO.

DA07
A



ISSUE	DATE	AMENDMENT	SCALE BAR NORTH POINT	PROJECT PROPOSED MIXED USE DEVELOPMENT ADDRESS 21-25 WOODRUFF STREET, PENRITH NSW 2750 CLIENT ASTINA	MORSON GROUP MORSON GROUP ARCHITECT - P 1 MORSON REGISTRATION NUMBER 8105 ACN 159 480 056, ABN 48 159 480 056 www.morsongroup.com 602 180 4946 PO Box 170, Penrith Point, NSW 1335	SHEET NAME CONTEXTUAL ANALYSIS	DRAWING NUMBER DA08
A	13-10-2016	DA SUBMISSION					
SCALE BAR			CLIENT ASTINA	SHEET SIZE A1 SCALE DATE As indicated JAN 2016	ISSUE NO A		

The Royal Australian Institute of Architects states that "the goal of sustainable architecture is to achieve development that improves the total quality of life, in a way that maintains the processes on which life depends". Throughout the design process of this proposal, we have kept this statement as a key driver towards our design decisions and subsequently, the way the building will operate in the future. A key Penrith New West objective was to create a 'Green City'. To keep in line with these objectives, the proposal displays a number of sustainable characteristics which will both improve the quality of life for local residents and guests, whilst managing and minimising energy use for both the near and distant future.

Sustainability can be measured in a number of ways. Whether it is the management and minimisation of energy consumption, or perhaps the improvement of social conditions, there are a plethora of actions which have been taken to make development more sustainable. With this in mind, the following measures have been put in place, either actively or passively, in order to make Penrith a greener city for the future.

Water management has also been considered. By the creation of a large, sloping roof feature, it will allow the catchment and storage of rainwater on site. This water can then be reused for either the landscaping or within the building itself. The landscaping strategy was extremely important to the proposal from day one due to the nature of the site. To the North is Memory Park and to the South is Judges Park. As it is nestled within these two parks, it was always important to complement, enhance and connect the two. There will be an abundance of planting in deep soil zones as well as on the podium level communal area. The planting aims to visually and physically connect the green strip running from Woodriff St North to the bowling club.

On the ground level, there are two tenant occupancies indicated as retail. Although we are still unsure what will occupy them, they will inevitably create waste of some sort. We have not only allocated a separate waste area for those tenancies, along with the building operators, we also intend to supply an 'organic waste' bin. It will be clearly labelled and distinguished from recycling and residual waste. It will accommodate food matter, biosolids, lawn and garden clippings. By reducing the amount of organic waste going to landfill, it helps reduce greenhouse gas emissions, odour and leachate production.

As part of the green star rating system, they also look at economic prosperity and livability. The mixed-use development would create a number of new jobs for the area, whilst exposing Penrith guests from all over the world. We have provided guest, staff and public bicycle parking to encourage the use and ease of cycling around the city. By doing so, it aims to reduce the amount of cars on the road and in turn, reduce the number of green house gas emissions. In terms of livability, the serviced apartments are safe, accessible [allowance] and provide fantastic amenity. The roof top pool and gym provides an opportunity to exercise and relax; encouraging a healthy lifestyle.



A large part of sustainability revolves around the life span of the building. The building demands a considerable amount of energy and materials, so in order to ensure that this process is taking place less often, the building must be 'future proofed'. It will be a concrete framed building with non loading bearing wall systems. By doing so, it creates a flexible shell which allows the function, design and use of the building to change in the future if need be. By doing so, the building is not limited to one use it's entire life span and has the ability to adapt to any future demands.

Although the State Environmental Planning Policy 65 (SEPP) does not apply to this building, we have strived to achieve some of the outcomes listed revolving around building performance and amenity. Focusing on cross ventilation firstly, it demands a minimum of 60% of apartments that are too be cross ventilated. In our Proposal, we have a total of 39/69 [66%] which are cross ventilated. As the occupants have the ability to open their windows and allow the natural air flow to cool down the apartments, it will mean the demand for air-conditioning in rooms will be less and in turn, reducing the amount of energy consumed. Also, we intend to include read switches on the windows, which will mean the air-conditioning automatically switches off when a window is opened. The SEPP 65 similarly outlines that a minimum of 70% of apartments are to receive 2 hours direct sunlight between the hours of 9am-3pm on winter solstice. In our proposal, 40/59 [68%] apartments adhere to these conditions. Although it lies ever so slightly below the minimum, it is a direct cause of the building form requirements to form a street wall to Woodriff Street which runs South-West to North-East. By maximising the amount of natural daylight, the demand of artificial lighting is reduced and in turn, energy consumption is reduced. To further minimise energy use, LED lighting will be installed in each serviced apartment. With the nature of the corridor design, creating three large window openings, it will also mean that common areas throughout the building will require less artificial lighting.

Along with these active measures, there are also passive tools which have been consciously designed into the proposal to maximise social amenity and safety. The active street frontages along Woodriff Street and Union Lane provide passive surveillance for pedestrians. As the pedestrians walk under the podium level and along the new footpath, they are covered and protected from the hot sun in the summer and also the rain.

Environmentally Sustainable Development is evident within the proposal. Reducing the consumption of energy is critical, however it is also important to consider all other factors which can reduce the impact on the environment. We have actively taken measures to minimise, manage and reduce the overall impact the development will have on the environment.

ISSUE	DATE	AMENDMENT
A	13-10-2016	DA SUBMISSION

SCALE BAR



PROJECT
PROPOSED MIXED USE DEVELOPMENT
ADDRESS
21-25 WOODRUFF STREET, PENRITH NSW 2750

CLIENT
ASTINA



NOMINATED ARCHITECT - P F MORSON
REGISTRATION NUMBER 8100
ACN 159 480 056, ABN 41 159 480 056
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(02) 9380 4946
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SHEET SIZE: A
SCALE DATE
1:1000 JAN 2016

SHEET NAME **INTEGRATED ESD**

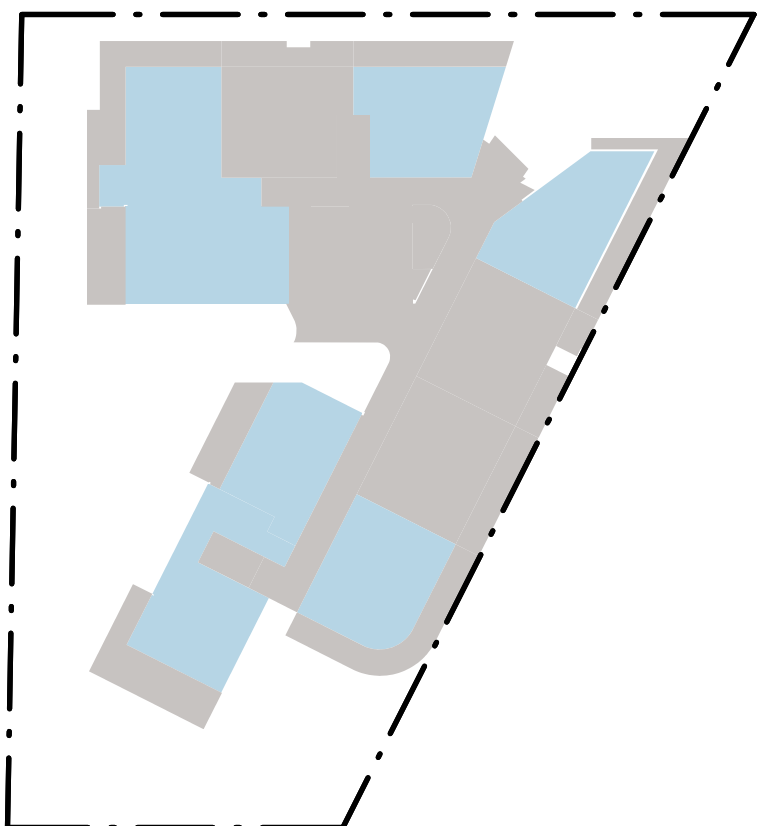
SHEET NO. DA09

REVISION A

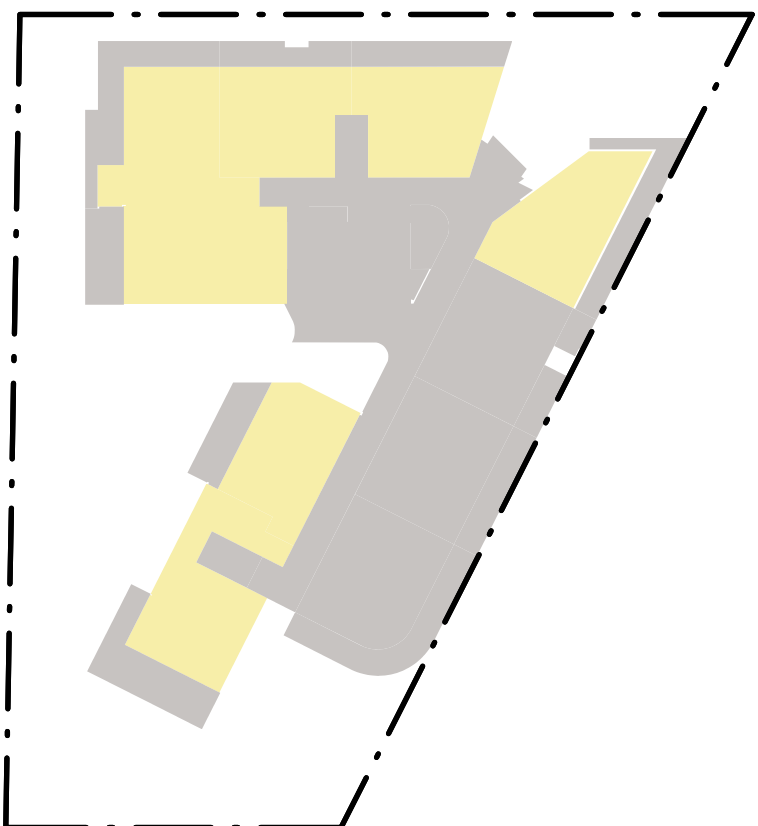
Compliance Schedule (SEPP65-2015 Apartment Design Guide - Design Criteria & Objectives)

	Design Criteria	Compliance	Proposal																
3D-1	1. Communal open space has a minimum area equal to 25% of the site 2. Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid winter)	YES	1. Excluding Ground Level as it is part of the public domain, the proposal has 1060m² of Communal Open Space. This equates to 38% of the total site area. 2. Approximately 80% of this total area receives a minimum of 2 hours direct sunlight between 9am and 3pm on 21 June.																
3E-1	1. Deep soil zones are to meet the following minimum requirements: <table><tr><th>Site Area</th><th>Min. Dimension</th><th>Deep Soil Zone (% of site Area)</th></tr><tr><td><650m²</td><td>-</td><td rowspan="3">7%</td></tr><tr><td>650m²-1,500m²</td><td>3m</td></tr><tr><td>>1,500m²</td><td>6m</td></tr></table>	Site Area	Min. Dimension	Deep Soil Zone (% of site Area)	<650m ²	-	7%	650m ² -1,500m ²	3m	>1,500m ²	6m	YES	1. There is 195m² of Deep Soil with a minimum dimension of 6m. This equates to 7% of the total site area. Additional to this, there is a vast amount of deep soil located around the perimeter of the site which provides great opportunity for landscaping.						
Site Area	Min. Dimension	Deep Soil Zone (% of site Area)																	
<650m ²	-	7%																	
650m ² -1,500m ²	3m																		
>1,500m ²	6m																		
3F-1	Separation between windows and balconies is provided to ensure visual privacy is achieved. Min required separation distances from buildings to the side and rear boundaries are as follows: <table><tr><th>Building Height</th><th>Habitable rooms and balconies</th><th>Non-habitable rooms</th></tr><tr><td>up to 12m (4 storeys)</td><td>6m</td><td>3m</td></tr><tr><td>up to 25m (5-8 storey)</td><td>9m</td><td>4.5m</td></tr><tr><td>over 25m (9+ storey)</td><td>12m</td><td>6m</td></tr></table> Gallery access circulation treated as habitable space when measuring privacy separation distances between neighbouring properties.	Building Height	Habitable rooms and balconies	Non-habitable rooms	up to 12m (4 storeys)	6m	3m	up to 25m (5-8 storey)	9m	4.5m	over 25m (9+ storey)	12m	6m	NO	In Units 402 & 502, the bedroom (habitable room) is setback 6m from the Western boundary. Level 6 then steps to well exceed to 9m separation requirement. On all other levels, the required separation is met. It is important to note that due to the requirements and objectives of the Penrith DCP, it was encouraged to create a building form which ran alongside Union Lane. The above breach of side setback requirements was a direct result of this gesture.				
Building Height	Habitable rooms and balconies	Non-habitable rooms																	
up to 12m (4 storeys)	6m	3m																	
up to 25m (5-8 storey)	9m	4.5m																	
over 25m (9+ storey)	12m	6m																	
4A-1	1. Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas. 3. A maximum of 15% of apartments in a building receive no direct sunlight between 9 am and 3 pm at mid winter	NO	1. 69% (40/58) of apartment receive the required amount of daylight access. As a street wall along Woodruff St. was required and encouraged, it created an inevitable amount of apartments which face South-East. Due to this condition, we believe this percentage is satisfactory																
4B-3	1. At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed 3. Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line	YES	1. 67% (39/58) of apartments are naturally ventilated- meeting the minimum requirement 2. Depth of a cross-over or cross-through apartment does not exceed 18m																
4C-1	Measured from finished floor level to finished ceiling level, minimum ceiling heights are: <table><tr><th colspan="2">Minimum ceiling height for apartment and mixed use buildings</th></tr><tr><td>Habitable rooms</td><td>2.7m</td></tr><tr><td>Non-habitable</td><td>2.4m</td></tr><tr><td>For 2 storey apartments</td><td>2.7m for main living area 2.4m for second floor, where its area does not exceed 50% of the apt area.</td></tr></table>	Minimum ceiling height for apartment and mixed use buildings		Habitable rooms	2.7m	Non-habitable	2.4m	For 2 storey apartments	2.7m for main living area 2.4m for second floor, where its area does not exceed 50% of the apt area.	YES	All ceiling height meet or exceed the minimum requirements outlined								
Minimum ceiling height for apartment and mixed use buildings																			
Habitable rooms	2.7m																		
Non-habitable	2.4m																		
For 2 storey apartments	2.7m for main living area 2.4m for second floor, where its area does not exceed 50% of the apt area.																		
4D-1	1. Apartments are required to have the following minimum internal areas: <table><tr><th>Apartment type</th><th>Minimum internal area</th></tr><tr><td>Studio</td><td>35m²</td></tr><tr><td>1 bedroom</td><td>50m²</td></tr><tr><td>2 bedroom</td><td>70m²</td></tr><tr><td>3 bedroom</td><td>90m²</td></tr></table> The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m² each 2. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.	Apartment type	Minimum internal area	Studio	35m ²	1 bedroom	50m ²	2 bedroom	70m ²	3 bedroom	90m ²	YES		1. All internal apartment area exceed to minimum areas outlined 2. A window opening, greater than 10% of the floor area of the room, are located in all habitable rooms					
Apartment type	Minimum internal area																		
Studio	35m ²																		
1 bedroom	50m ²																		
2 bedroom	70m ²																		
3 bedroom	90m ²																		
4D-2	1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height 2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window	YES		1. Habitable room depths are no greater than 2.5 x the ceiling height 2. In a number of apartments, the room depth is 8.5m rather than 8m. As the rooms are generally split to either side of the living room, it requires critical circulation around the dining area															
		NO																	
4D-3	1. Master bedrooms have a minimum area of 10m² and other bedrooms to have 9m² (excluding wardrobe space) 2. Bedrooms have a minimum dimension of 3m (excl. wardrobe space) 3. Living rooms or combined living/dining rooms have a minimum width of: 3.6m for studio and 1 bed apartments 4m for 2 and 3 bedroom apartments	YES		1. All bedrooms well exceed the minimum requirements 2. All bedrooms well exceed the minimum requirements 3. All living room widths meet or exceed the minimum requirements															
4E-1	1. All apartments are required to have primary balconies as follows: <table><tr><th>Dwelling type</th><th>Minimum area</th><th>Minimum depth</th></tr><tr><td>Studio apartments</td><td>4m²</td><td>-</td></tr><tr><td>1 bedroom apartments</td><td>8m²</td><td>2m</td></tr><tr><td>2 bedroom apartments</td><td>10m²</td><td>2m</td></tr><tr><td>3+ bedroom apartments</td><td>12m²</td><td>2.4m</td></tr></table> The minimum balcony depth to be counted as contributing to the balcony area is 1m. 2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m	Dwelling type	Minimum area	Minimum depth	Studio apartments	4m ²	-	1 bedroom apartments	8m ²	2m	2 bedroom apartments	10m ²	2m	3+ bedroom apartments	12m ²	2.4m	YES		1. All primary balconies meet or exceed to minimum requirements
Dwelling type	Minimum area	Minimum depth																	
Studio apartments	4m ²	-																	
1 bedroom apartments	8m ²	2m																	
2 bedroom apartments	10m ²	2m																	
3+ bedroom apartments	12m ²	2.4m																	
		NO		2. Due to the nature of the building and the requirement to have a 0m setback to the Eastern boundary, although their private balconies exceed the minimum area, they do not all have a minimum dimension of 3m															
4F-1	1. The maximum number of apartments off a circulation core on a single level is eight 2. For buildings of 10 storeys and over, the maximum number of apartments sharing a single lift is 40	YES		1. There are two passenger lifts per level, as well as two fire stairs. This is to accommodate for 10 apartments maximum per level 2. n/a															
4G-1	1. In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided: <table><tr><th>Apartment type</th><th>Storage size volume</th></tr><tr><td>Studio</td><td>4m³</td></tr><tr><td>1 bedroom</td><td>6m³</td></tr><tr><td>2 bedroom</td><td>8m³</td></tr><tr><td>3+ bedroom</td><td>10m³</td></tr></table> At least 50% of the required storage is to be located within the apartment	Apartment type	Storage size volume	Studio	4m ³	1 bedroom	6m ³	2 bedroom	8m ³	3+ bedroom	10m ³	YES		1. All storage requirements have been met					
Apartment type	Storage size volume																		
Studio	4m ³																		
1 bedroom	6m ³																		
2 bedroom	8m ³																		
3+ bedroom	10m ³																		

Apartment Schedule						
No.	Type	Area	Access.	Carparks	Daylight	
LEVEL 1						
101	2BR	94 m²	Yes	1	Yes	
102	2BR	91 m²	No	1	Yes	
103	2BR	80 m²	No	1	Yes	
104	2BR	82 m²	No	1	Yes	
105	1BR	86 m²	Yes	1	Yes	
106	2BR	87 m²	No	1	No	
107	2BR	87 m²	No	1	No	
108	2BR	88 m²	No	1	No	
109	2BR	91 m²	No	1	Yes	
110	2BR	76 m²	No	1	Yes	
10		860 m²		10		
LEVEL 2						
201	2BR	94 m²	Yes	1	Yes	
202	2BR	91 m²	No	1	Yes	
203	2BR	86 m²	No	1	Yes	
204	2BR	88 m²	No	1	Yes	
205	2BR	105 m²	No	1	Yes	
206	2BR	90 m²	No	1	No	
207	2BR	90 m²	No	1	No	
208	2BR	98 m²	No	1	No	
209	2BR	91 m²	No	1	Yes	
210	2BR	95 m²	No	1	Yes	
10		928 m²		10		
LEVEL 3						
301	2BR	94 m²	Yes	1	Yes	
302	2BR	91 m²	No	1	Yes	
303	2BR	86 m²	No	1	Yes	
304	2BR	88 m²	No	1	Yes	
305	2BR	107 m²	No	1	Yes	
306	2BR	90 m²	No	1	No	
307	2BR	90 m²	No	1	No	
308	2BR	98 m²	No	1	No	
309	2BR	91 m²	No	1	Yes	
310	2BR	95 m²	No	1	Yes	
10		930 m²		10		
LEVEL 4						
401	2BR	94 m²	Yes	1	Yes	
402	2BR	91 m²	No	1	Yes	
403	2BR	86 m²	No	1	Yes	
404	2BR	88 m²	No	1	Yes	
405	2BR	107 m²	No	1	Yes	
406	2BR	90 m²	No	1	No	
407	2BR	90 m²	No	1	No	
408	2BR	98 m²	No	1	No	
409	2BR	91 m²	No	1	Yes	
410	2BR	95 m²	No	1	Yes	
10		930 m²		10		
LEVEL 5						
501	2BR	94 m²	Yes	1	Yes	
502	2BR	91 m²	No	1	Yes	
503	2BR	86 m²	No	1	Yes	
504	2BR	88 m²	No	1	Yes	
505	2BR	107 m²	Yes	1	Yes	
506	2BR	90 m²	No	1	No	
507	2BR	90 m²	No	1	No	
508	2BR	98 m²	No	1	No	
509	2BR	91 m²	No	1	Yes	
510	2BR	95 m²	No	1	Yes	
10		930 m²		10		
LEVEL 6						
601	3BR	113 m²	No	2	Yes	
602	3BR	106 m²	No	2	Yes	
603	2BR	88 m²	No	1	Yes	
604	2BR	107 m²	No	1	Yes	
605	3BR	102 m²	No	2	No	
606	3BR	111 m²	No	2	No	
607	2BR	91 m²	No	1	Yes	
608	2BR	95 m²	No	1	Yes	
8		813 m²		12		
TOTAL APTS: 58		5390 m²		62		

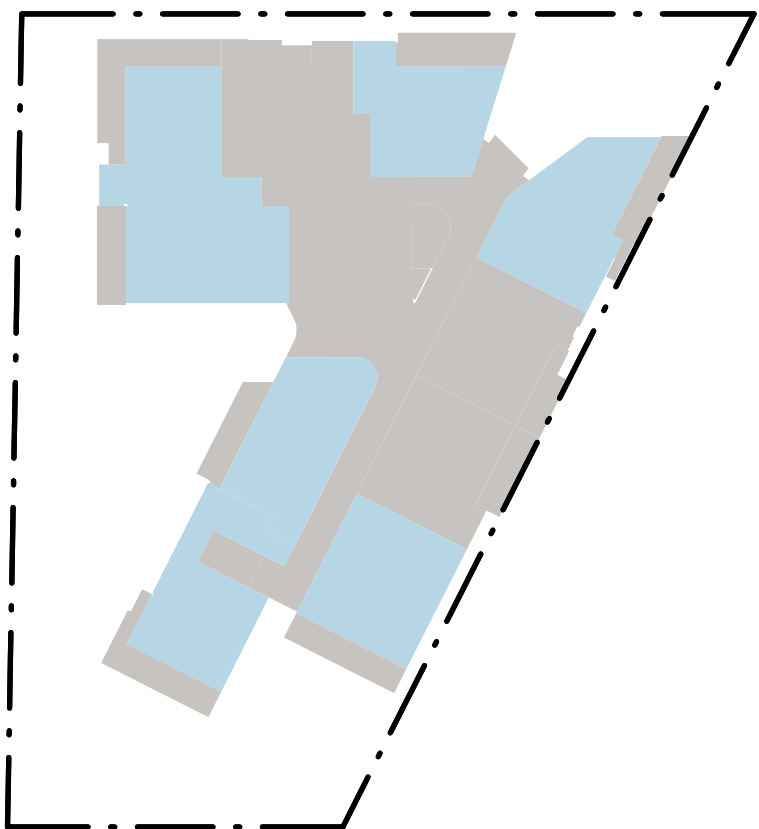
**CV - PODIUM LEVEL**

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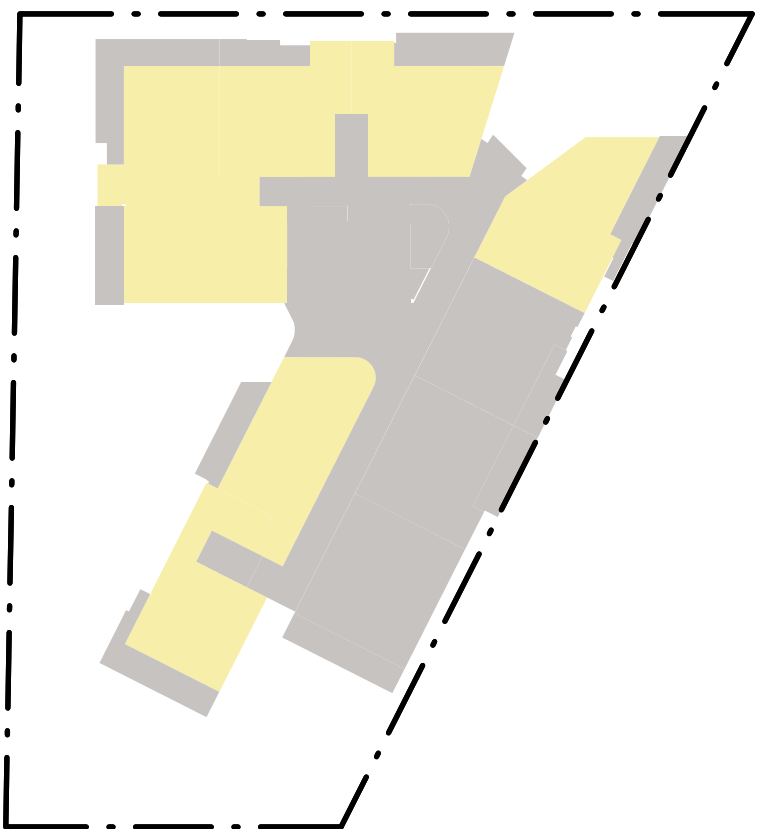
DA - PODIUM LEVEL

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CV - TYPICAL

1 : 600



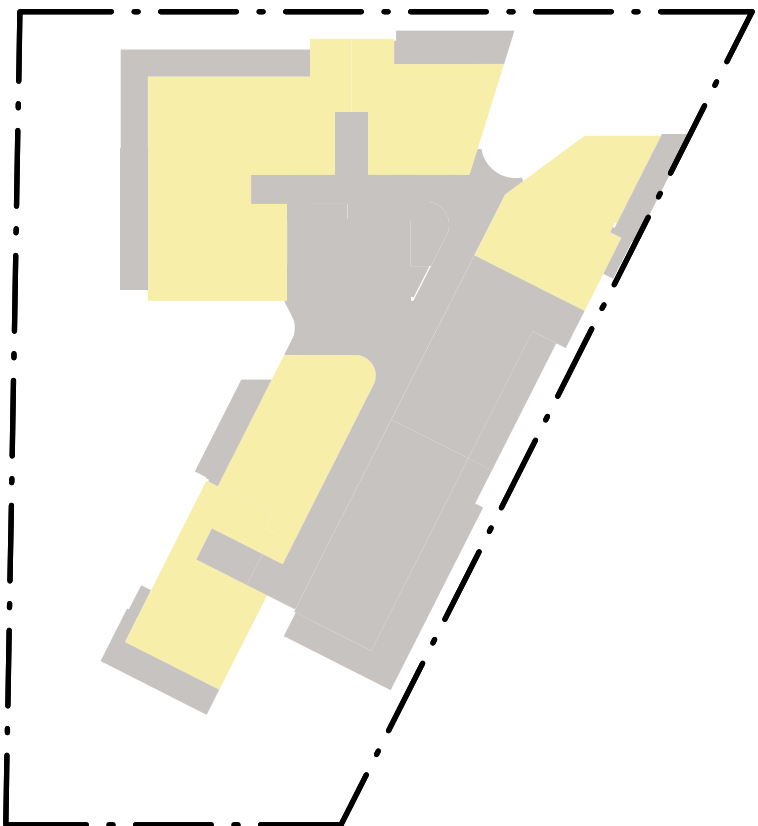
DA - TYPICAL

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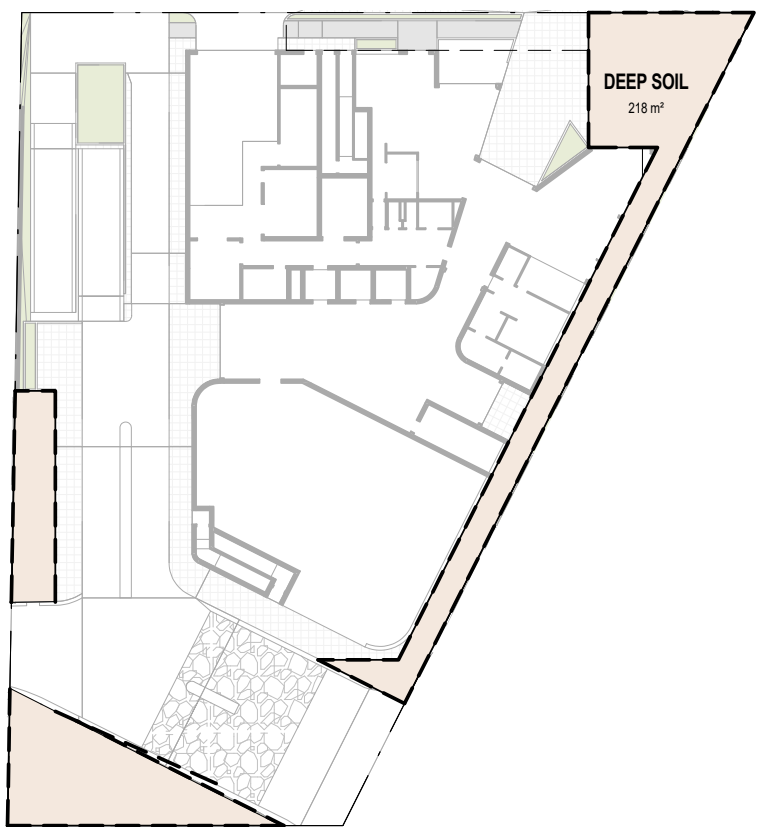
CV - LEVEL 6

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DA - LEVEL 6

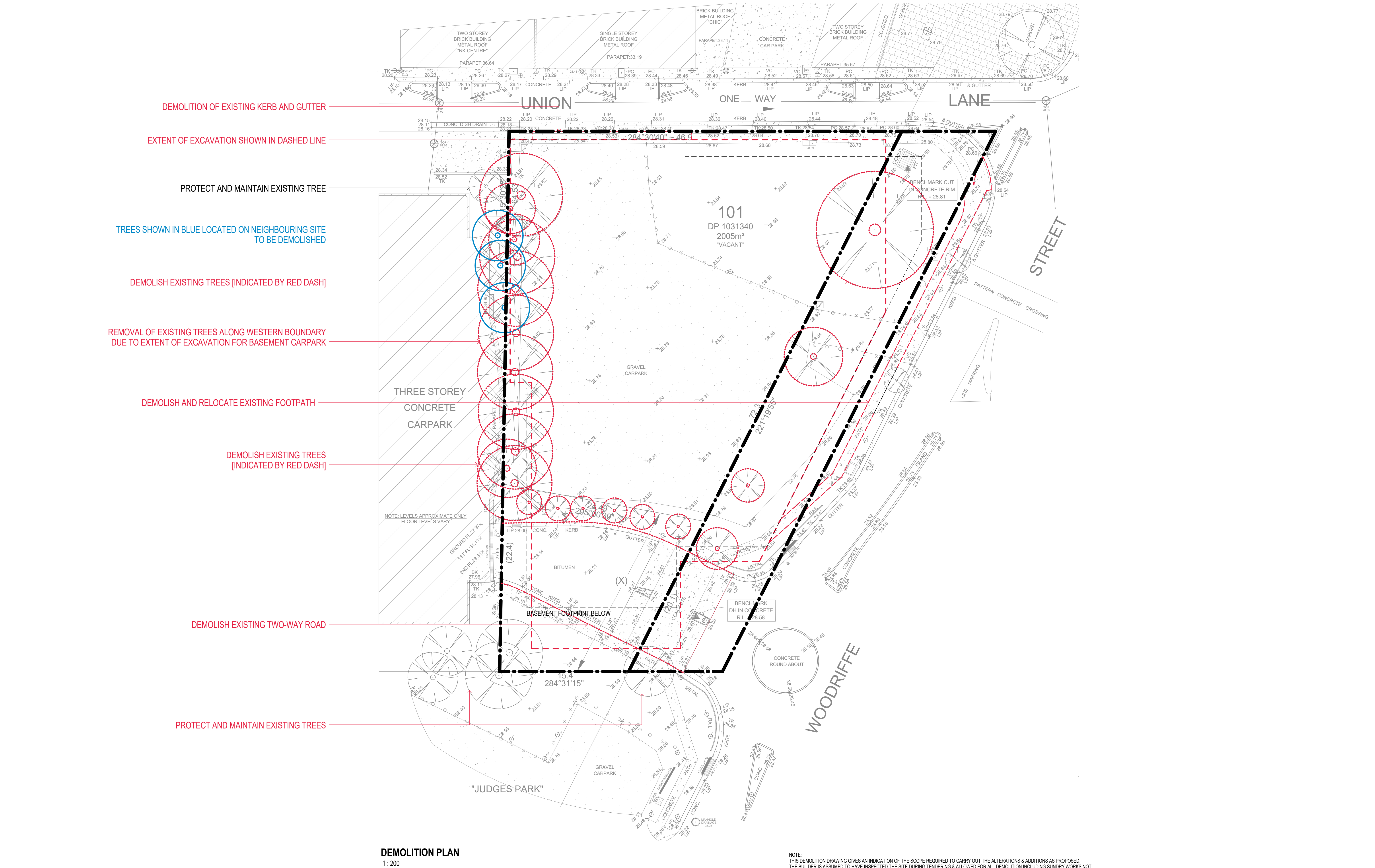
1 : 600



DEEP SOIL

1 : 600

ISSUE A	DATE 13-10-2016	AMENDMENT DA SUBMISSION	LEGENDS / NOTES: BR BEDROOM COM COMMONS CUPBOARD DP DOWNPIPE E ELECTRICAL CUPBOARD FHR FIRE HOSE REEL GAS GAS CUPBOARD GD GRATED DRAIN GEX GARBAGE EXHAUST MBX MAILBOX RL RELATIVE LEVEL RWD RAINWATER OUTLET SWP STORM WATER PIT TOH TOP OF HOB TOW TOP OF WALL TTI TACTILE INDICATORS	 	PROJECT PROPOSED MIXED USE DEVELOPMENT ADDRESS 21-25 WOODRUFF STREET, PENRITH NSW 2750
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ISSUE	DATE	AMENDMENT
A	13-10-2016	DA SUBMISSION



PROJECT
PROPOSED MIXED USE DEVELOPMENT
ADDRESS
21-25 WOODRIF STREET, PENRITH NSW 2750

CLIENT
ASTINA

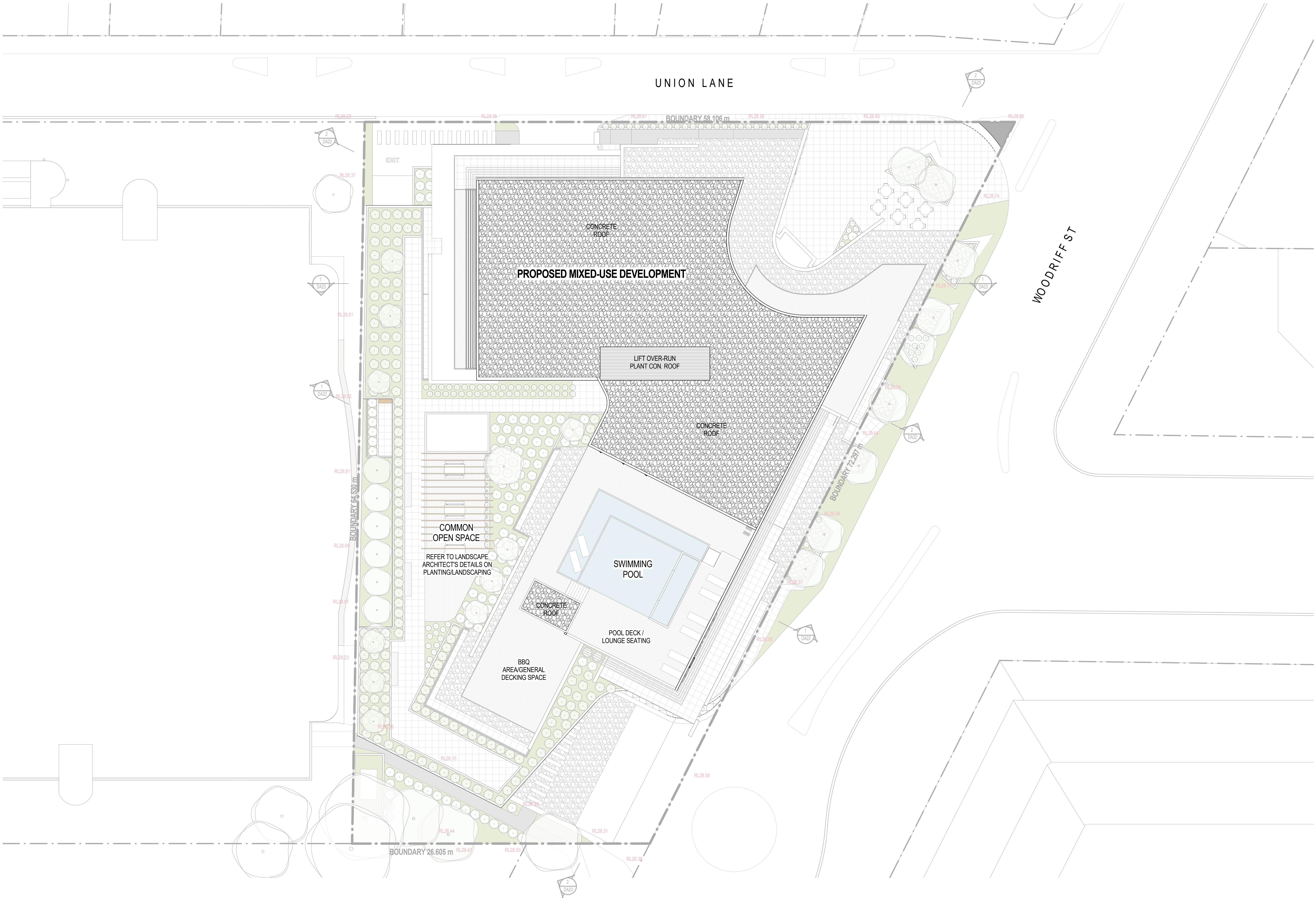


HOWNATED ARCHITECT - P F MORSON
REGISTRATION NUMBER 81103
ACN 151 481 056 ABN 41 151 481 056
www.morsongroup.com
521 7881 4846
PO Box 170, Putty, NSW 1335

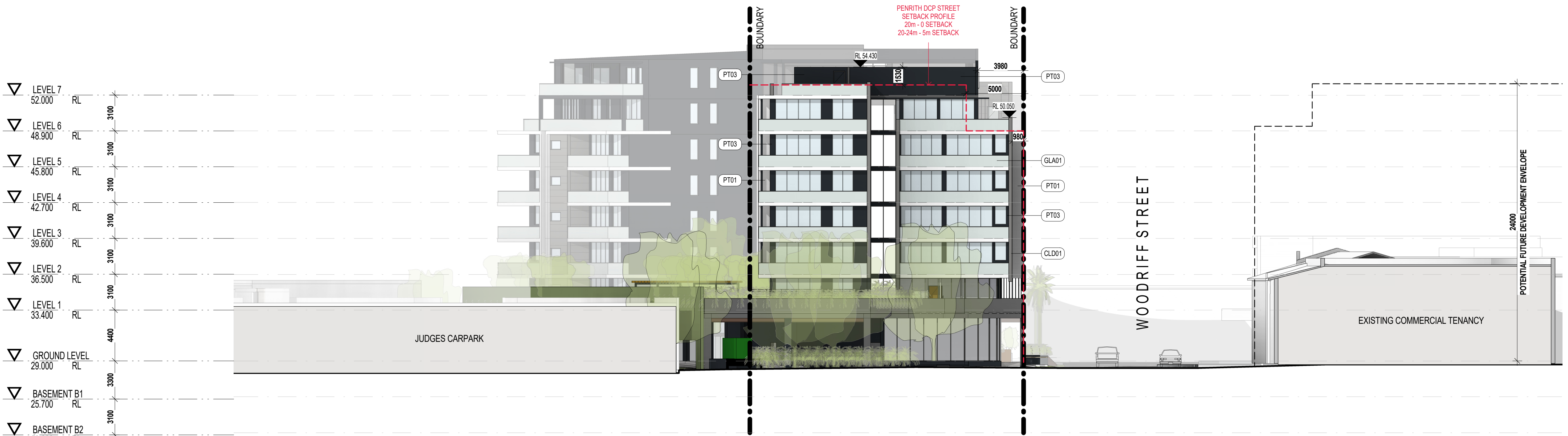
SHEET SIZE: A1
SCALE DATE
1: 200 JAN 2016

SHEET NAME
DEMOLITION PLAN

SHEET NO. DA11
REVISION A

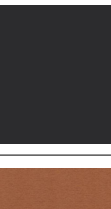
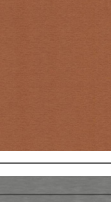
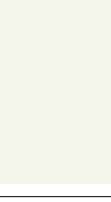
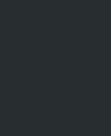


ISSUE	DATE	AMENDMENT	LEGENDS / NOTES:										PROJECT		MORSON GROUP		SHEET SIZE: A1		SHEET NAME		DRAWING NUMBER	
A	13-10-2016	DA SUBMISSION	BR	BEDROOM	GAS	GAS CLIPBOARD	RWO	RAINWATER OUTLET					PROPOSED MIXED USE DEVELOPMENT		NOMINATED ARCHITECT - P F MORSON		SCALE		ROOF PLAN		DA18	
			COM	COMMONS CLIPBOARD	GD	GRATED DRAIN	SWP	STORM WATER PIT					ADDRESS		AC21138 480 0554, 484 41 139 485 054		DATE				ISSUE NO.	
			OP	DOWNPIPE	GEX	GARAGE EXHAUST	TOH	TOP OF HOE					21-25 WOODRIF STREET, PENRITH NSW 2750		www.morsongroup.com		1:150				A	
			E	ELECTRICAL CLIPBOARD	MBX	MAILBOX	TOW	TOP OF WALL							2017000 4844		JAN 2016					
			FHR	FIRE HOSE REEL	RL	RELATIVE LEVEL	TTI	TACTILE INDICATORS							PO Box 1715, Penrith, NSW 1505							



External Finishes Schedule			
Code	Material	Notes	Image
ALM01	Aluminium: Powder Coated	Colour: Oolong	
ALM02	Copper		
CLD01	Alucabond Cladding	Colour: Signal Grey [Horizontal]	
CLD02	Timber Decking	Treated Pine	
CLD03	Masonry: Rendered/Painted	Colour: Dulux 'Grid'	
CON01	Concrete	Pre-Cast	
GLA01	Clear Glazing	Glass	
GLA02	Glass	Obscure	
PT01	Masonry - Rendered/Painted	Colour: Dulux 'White Duck Quarter'	
PT02	Masonry - Rendered/Painted	Colour: Dulux 'Miller Mood'	
PT03	Masonry - Rendered/Painted	Colour: Dulux 'Klavier'	
PT05	Masonry - Rendered/Painted	Colour: Dulux 'Oolong'	



External Finishes Schedule			
Code	Material	Notes	Image
ALM01	Aluminium: Powder Coated	Colour: Oolong	
ALM02	Copper		
CLD01	Alucabond Cladding	Colour: Signal Grey [Horizontal]	
CLD02	Timber Decking	Treated Pine	
CLD03	Masonry: Rendered/Painted	Colour: Dulux 'Grid'	
CON01	Concrete	Pre-Cast	
GLA01	Clear Glazing	Glass	
GLA02	Glass	Obscure	
PT01	Masonry - Rendered/Painted	Colour: Dulux 'White Duck Quarter'	
PT02	Masonry - Rendered/Painted	Colour: Dulux 'Miller Mood'	
PT03	Masonry - Rendered/Painted	Colour: Dulux 'Klavier'	
PT05	Masonry - Rendered/Painted	Colour: Dulux 'Oolong'	

[illegible]

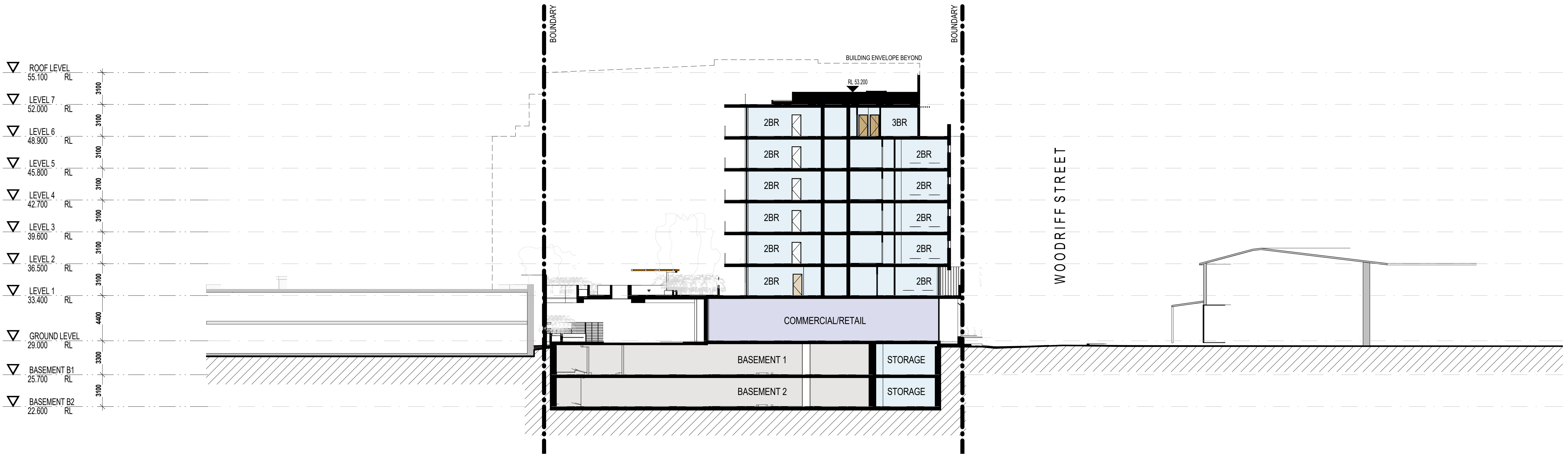


ELEVATION WEST 2
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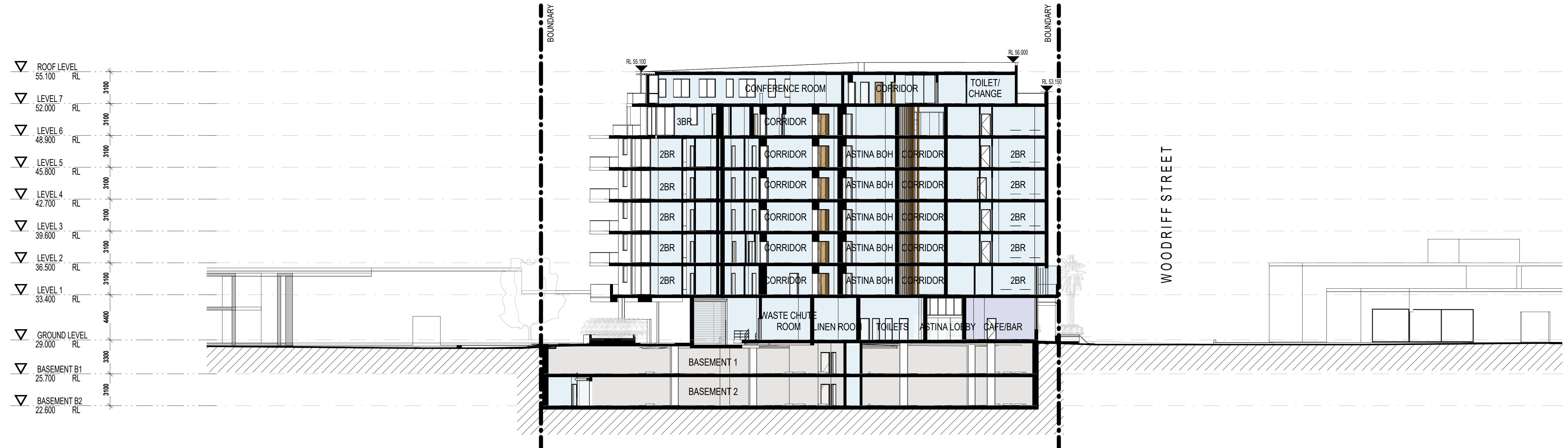


ELEVATION - SOUTH 2
1 : 200

External Finishes Schedule			
Code	Material	Notes	Image
ALM01	Aluminium: Powder Coated	Colour: Oolong	
ALM02	Copper		
CLD01	Alucabond Cladding	Colour: Signal Grey [Horizontal]	
CLD02	Timber Decking	Treated Pine	
CLD03	Masonry: Rendered/Painted	Colour: Dulux 'Grid'	
CON01	Concrete	Pre-Cast	
GLA01	Clear Glazing	Glass	
GLA02	Glass	Obscure	
PT01	Masonry - Rendered/Painted	Colour: Dulux 'White Duck Quarter'	
PT02	Masonry - Rendered/Painted	Colour: Dulux 'Miller Mood'	
PT03	Masonry - Rendered/Painted	Colour: Dulux 'Klavier'	
PT05	Masonry - Rendered/Painted	Colour: Dulux 'Oolong'	

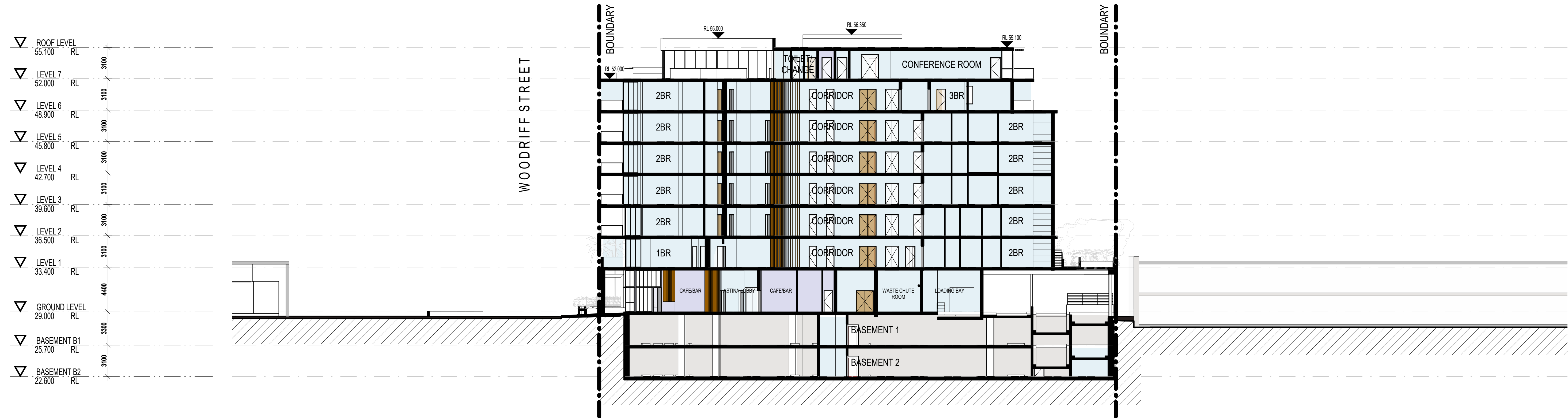


SECTION 1 - NORTH-WEST TO SOUTH-EAST
1 : 200

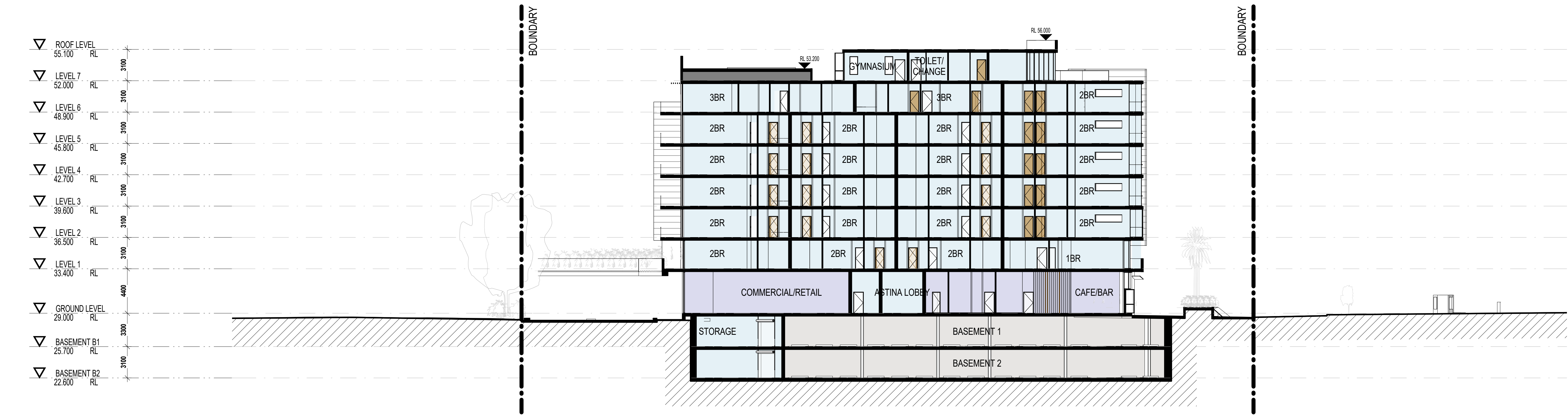


SECTION 2 - NORTH-WEST TO SOUTH-EAST
1 : 200

ISSUE	DATE	AMENDMENT				PROJECT	 NOVATED ARCHITECT - P.F. MORSON REGISTRATION NUMBER 1000 AC21 128 480 054, 484 41 128 485 054 www.morsongroup.com 021 930 4944 PO Box 170, Parramatta, NSW 1503	SHEET NAME	OVERALL SECTIONS - SHEET 1	DRAWING NUMBER
A	13-10-2016	DA SUBMISSION				PROPOSED MIXED USE DEVELOPMENT				DA22
						ADDRESS				
						21-25 WOODRIF STREET, PENRITH NSW 2750				
								CLIENT		
								ASTINA		
					SCALE BAR					
					</					

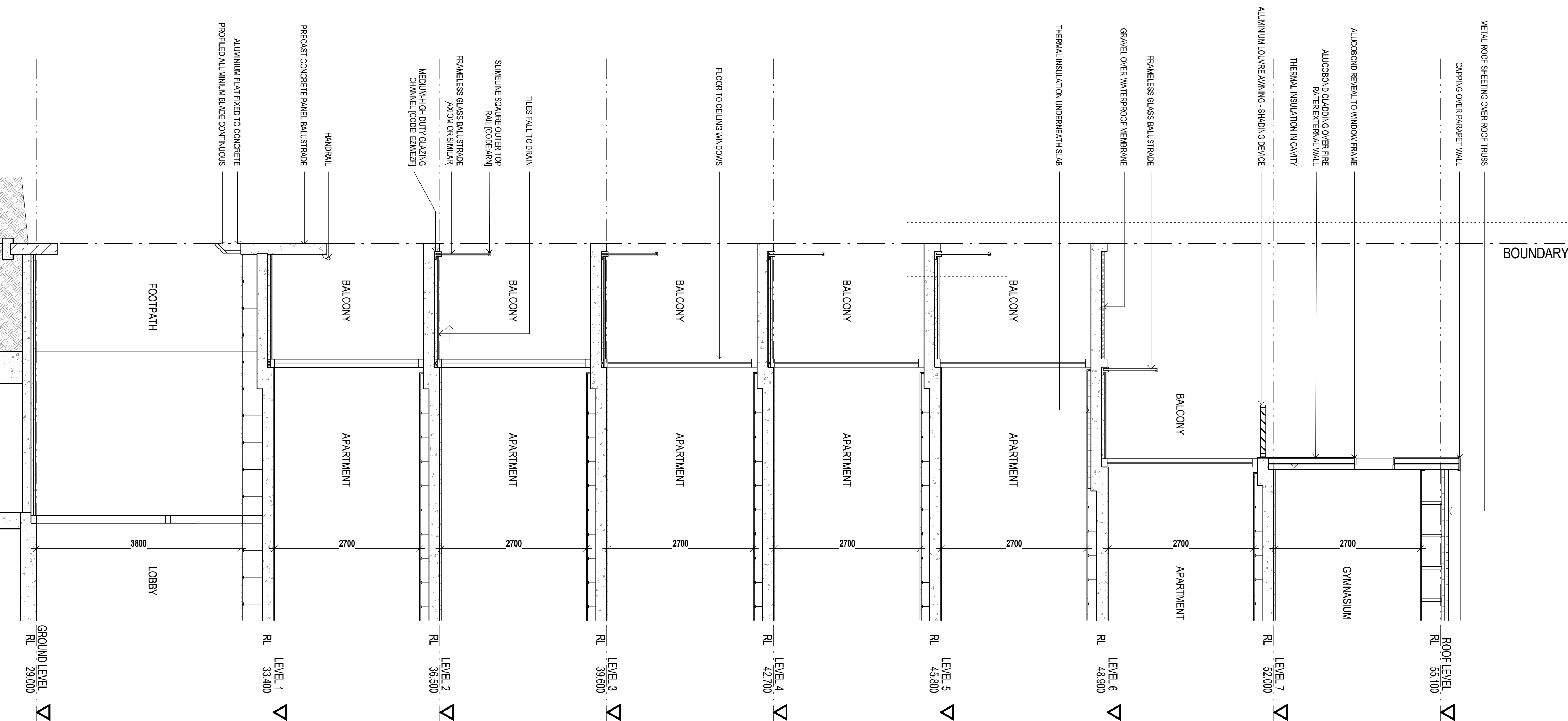


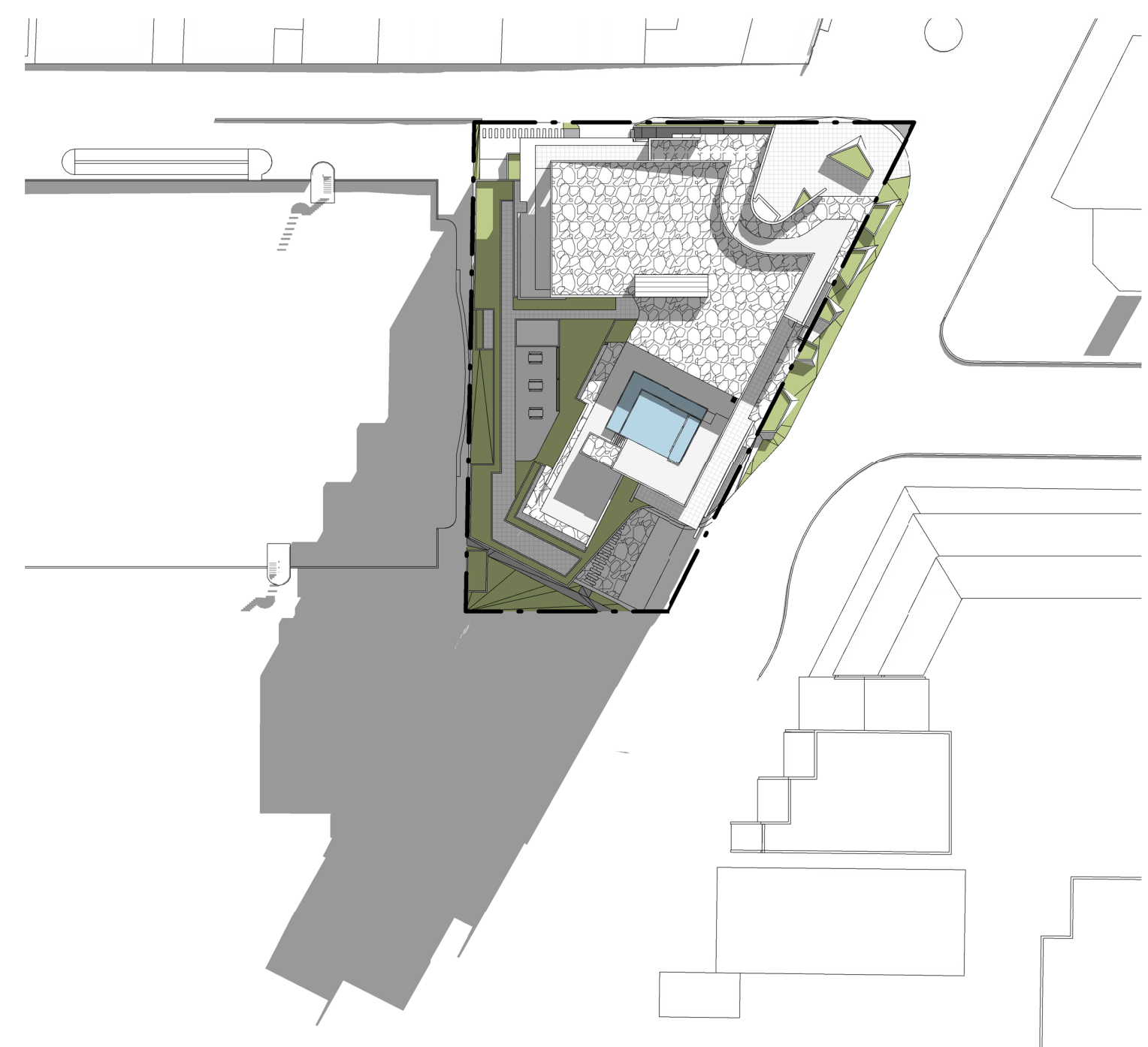
SECTION 3 - EAST TO WEST
1 : 200



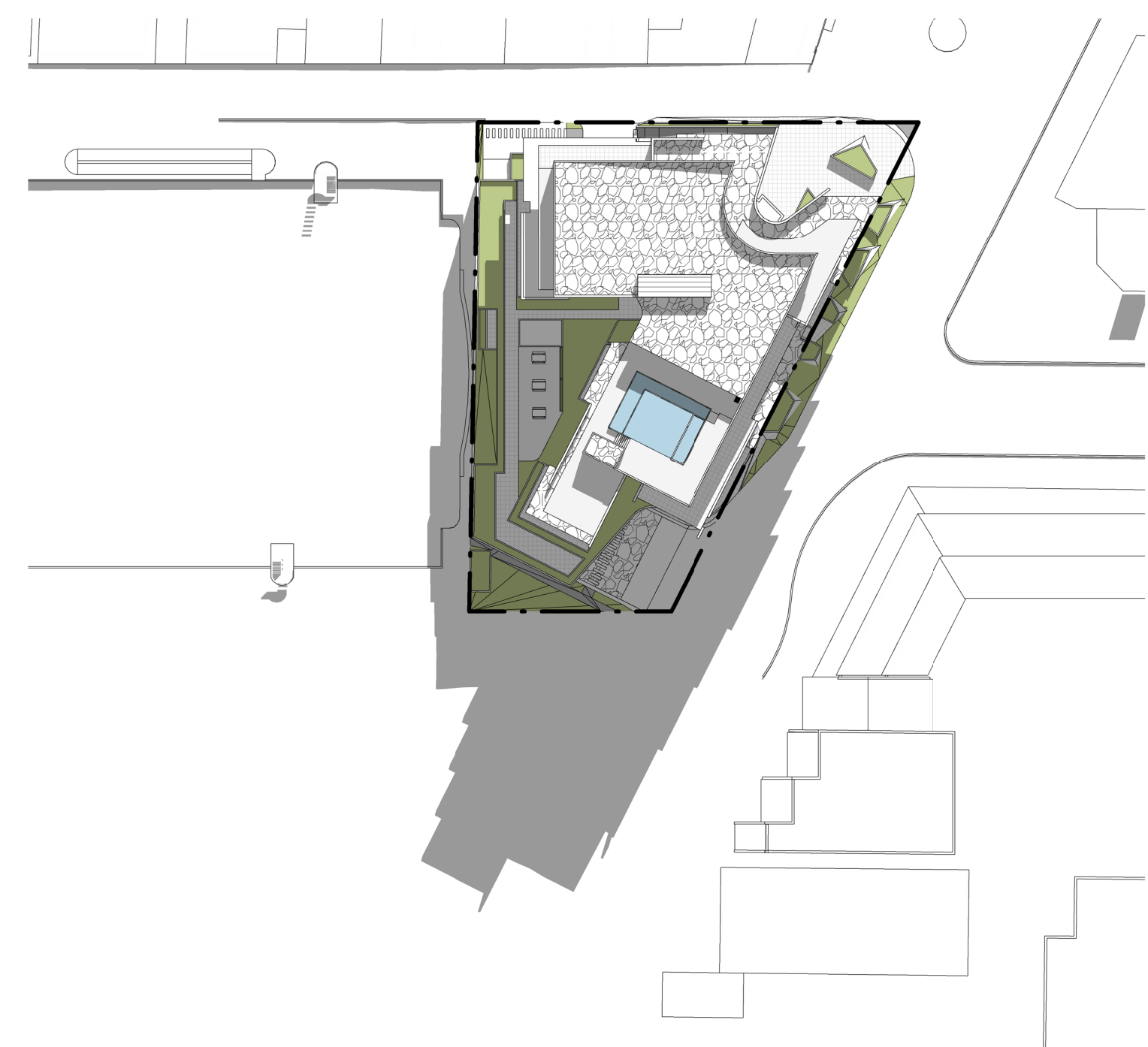
SECTION 4 - SOUTH TO NORTH
1 : 200

ISSUE	DATE	AMENDMENT	PROJECT	CLIENT	MORSON GROUP	SHEET SIZE: A1	SHEET NAME	SHEET NO.
A	13-10-2016	DA SUBMISSION	PROPOSED MIXED USE DEVELOPMENT	ASTINA	21-25 WOODRIF STREET, PENRITH NSW 2750	REGISTRATION NUMBER 81103 KCN 131 481 056, ARN 61 131 481 056 www.morsongroup.com 620 700 4946 PO Box 170, Potts Point, NSW 1535	OVERALL SECTIONS - SHEET 2	DA23
			ADDRESS			SCALE	DATE	REVISION
			21-25 WOODRIF STREET, PENRITH NSW 2750			1: 200	JAN 2016	A

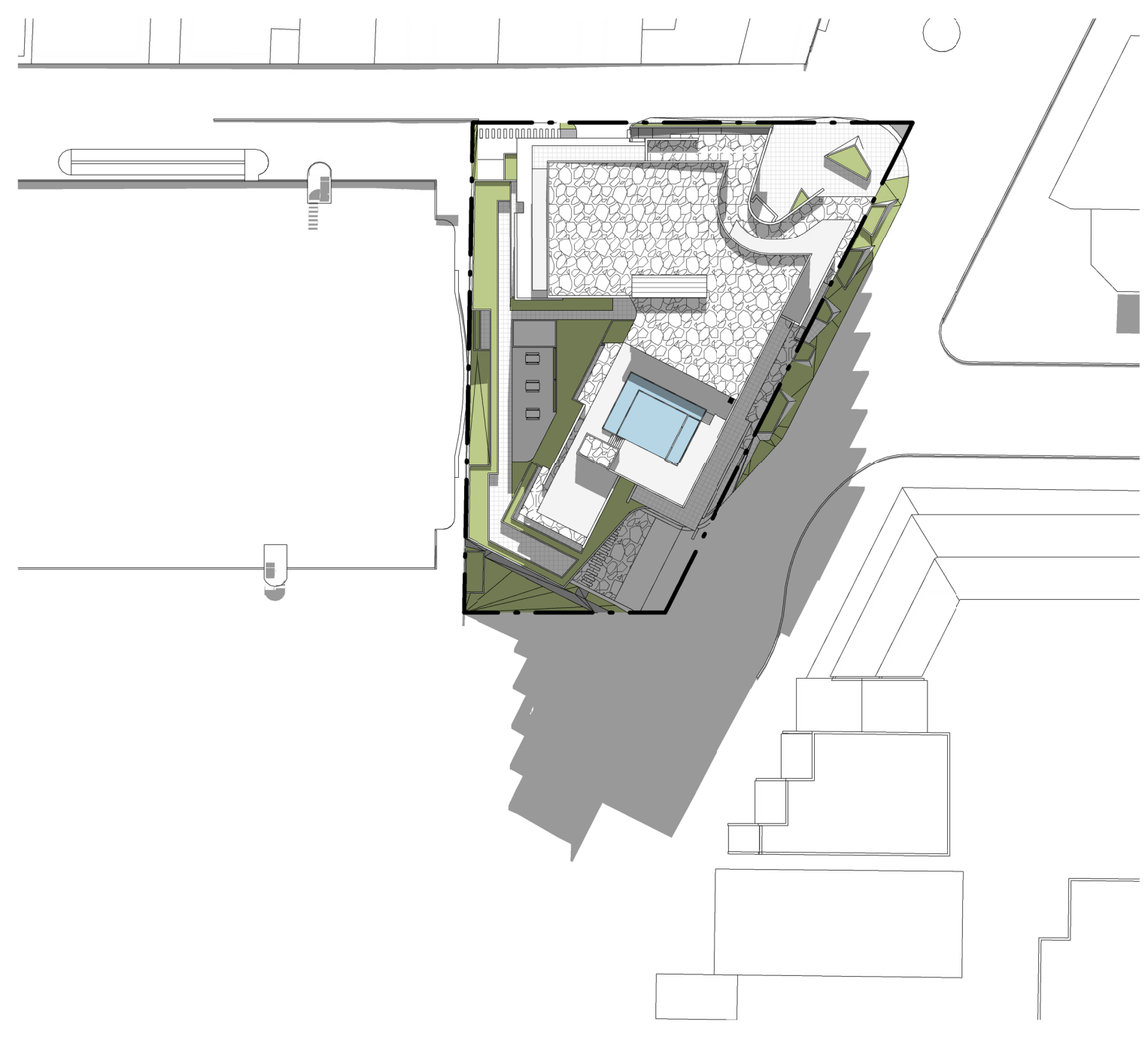




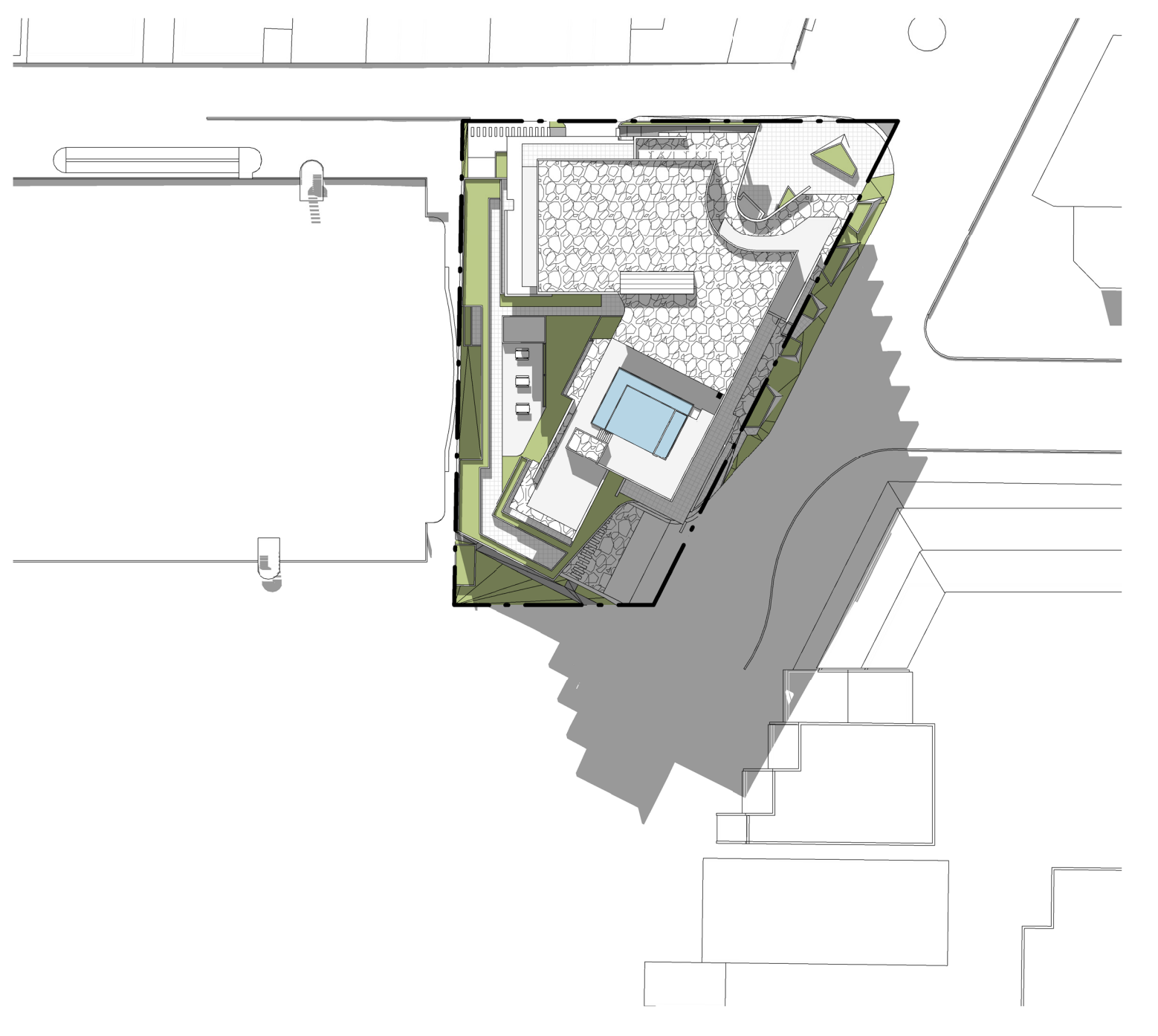
SOLAR ACCESS ANALYSIS - JUNE 22ND 9AM
1 : 750



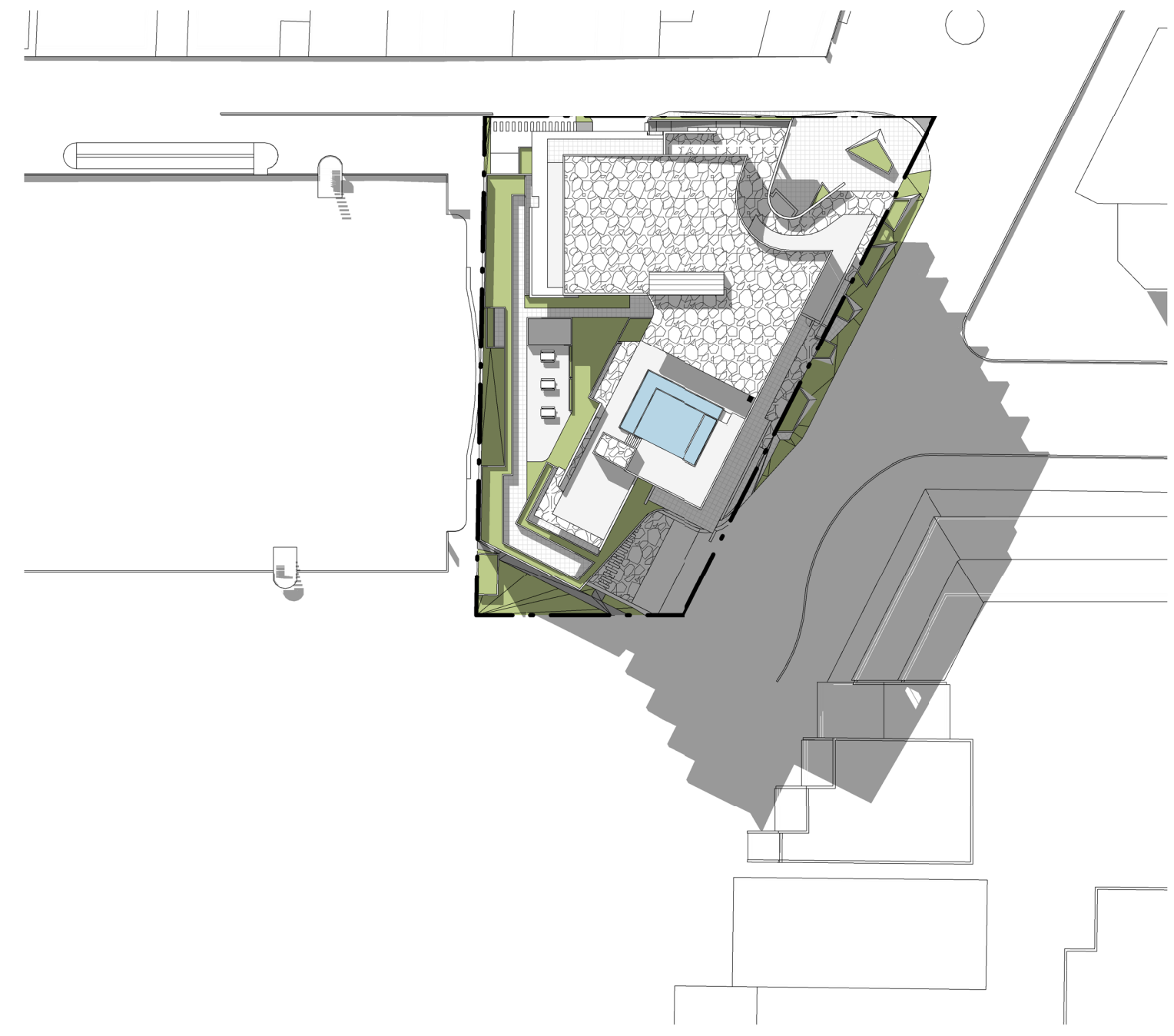
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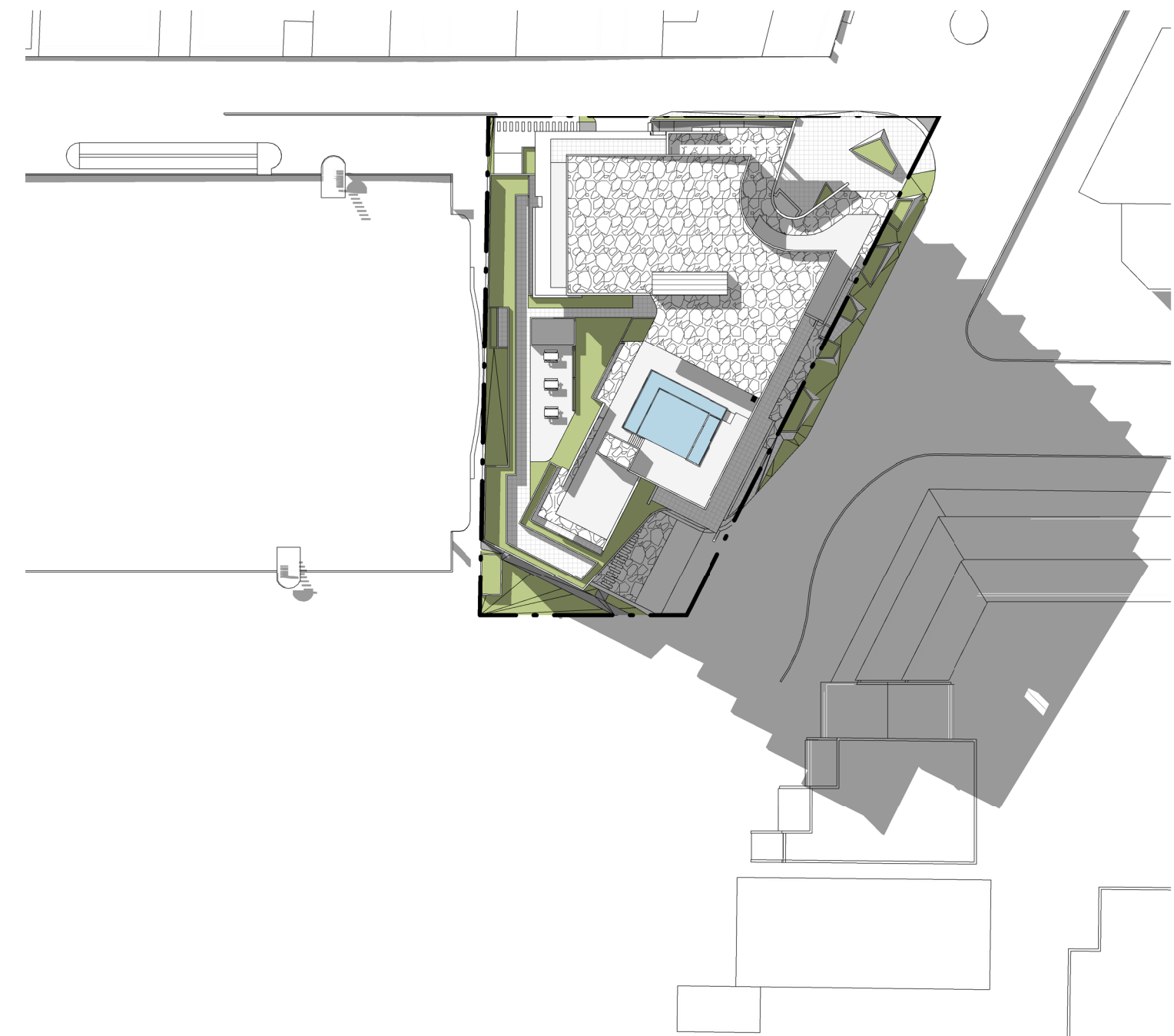
SOLAR ACCESS ANALYSIS - JUNE 22ND 11AM
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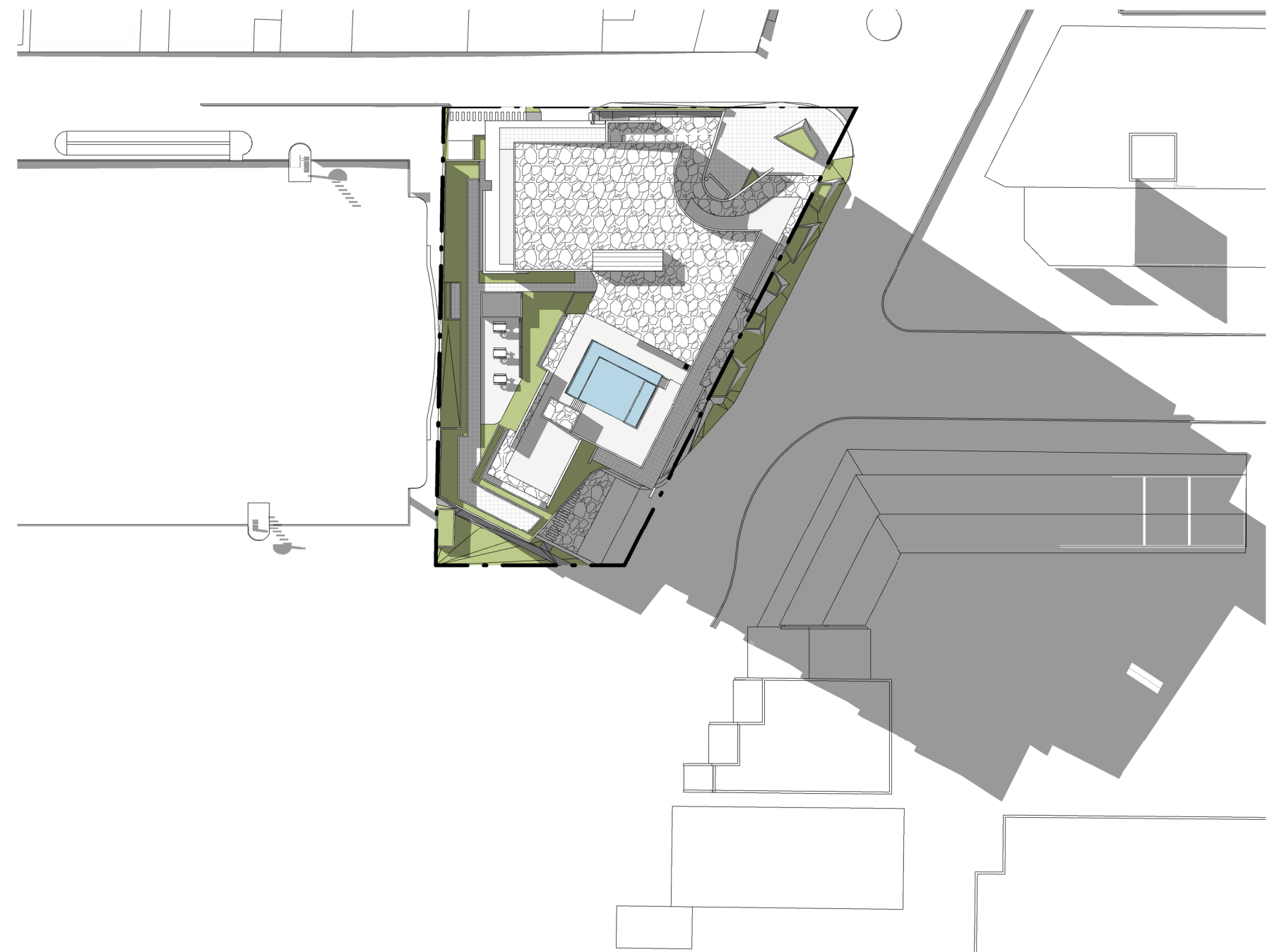
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1 : 750



SOLAR ACCESS ANALYSIS - JUNE 22ND 1PM
1 : 750



SOLAR ACCESS ANALYSIS - JUNE 22ND 2PM
1 : 750

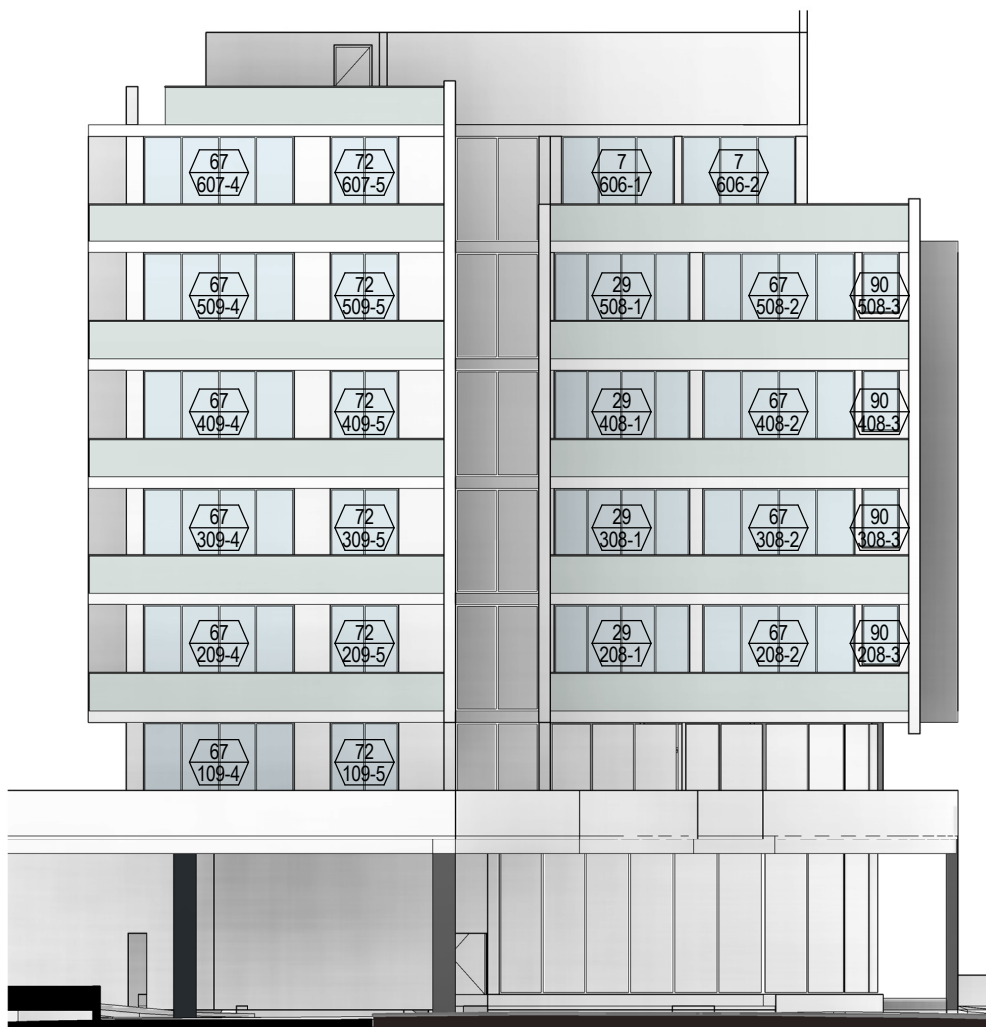


SOLAR ACCESS ANALYSIS - JUNE 22ND 3PM
1 : 750

WINDOW SCHEDULE - SERVICED APARTMENTS				
Window No.	Width	Height	Area	
GROUND LEVEL				
001	1100	2400	3	m²
002	1100	2400	3	m²
003	5800	1700	10	m²
004	3600	1700	6	m²
005	3700	2400	9	m²
006	5500	1750	10	m²
007	5500	2400	13	m²
008	5500	1750	10	m²
009	4700	1700	8	m²
010	5500	2400	13	m²
011	5500	1700	9	m²
012	4000	1650	7	m²
0012	2600	1200	3	m²
LEVEL 1				
101-1	3600	2800	10	m²
101-2	2700	2800	8	m²
101-3	800	1800	1	m²
101-4	800	1800	1	m²
102-1	3000	2800	8	m²
102-2	3000	2800	8	m²
102-3	1000	1600	2	m²
102-4	2700	2800	8	m²
102-5	1000	1600	2	m²
102-6	2000	750	2	m²
103-1	1800	2800	5	m²
103-2	3000	2800	8	m²
103-3	2700	2800	8	m²
104-1	3000	2800	8	m²
104-2	3000	2800	8	m²
104-3	1800	2800	5	m²
105-1	3000	2800	8	m²
106-1	3000	2800	8	m²
106-2	1800	2800	5	m²
106-3	1800	1400	3	m²
106-4	3000	2800	8	m²
107-1	3000	2800	8	m²
107-2	3000	2800	8	m²
107-3	3000	2800	8	m²
109-1	2000	750	2	m²
109-2	4000	750	3	m²
109-3	4000	2800	11	m²
109-4	4000	2800	11	m²
109-5	1800	2800	5	m²
110-1	1800	2800	5	m²
110-2	1800	2800	5	m²
110-3	3600	2800	10	m²
LEVEL 2				
201-1	3600	2800	10	m²
201-2	1800	2800	5	m²
201-3	800	1800	1	m²
201-4	800	1800	1	m²
202-1	3000	2800	8	m²
202-2	3000	2800	8	m²
202-3	1000	1600	2	m²
202-4	2700	2800	8	m²
202-5	1000	1600	2	m²
202-6	2000	750	2	m²
203-1	2000	750	2	m²
203-2	3000	2800	8	m²
203-3	2700	2800	8	m²
204-1	3000	750	2	m²
204-2	3000	2800	8	m²
204-3	3000	2800	8	m²
204-4	2800	2800	8	m²
205-1	2800	2800	8	m²
205-2	3000	750	2	m²
206-1	2700	2800	8	m²
206-2	3000	2800	8	m²
207-1	2800	2800	8	m²
207-2	3000	2800	8	m²
207-3	2700	2800	8	m²
208-1	3600	2800	10	m²
208-2	4000	2800	11	m²
208-3	1000	1600	2	m²
209-1	2000	750	2	m²
209-2	4000	750	3	m²
209-3	4000	2800	11	m²
209-4	4000	2800	11	m²
209-5	1800	2800	5	m²
209-6	3000	750	2	m²
210-1	800	1800	1	m²
210-2	2700	2800	8	m²
210-3	4000	2800	11	m²
LEVEL 3				
301-1	3600	2800	10	m²
301-2	1800	2800	5	m²
301-3	800	1800	1	m²
301-4	800	1800	1	m²
302-1	3000	2800	8	m²
302-2	3000	2800	8	m²
302-3	1000	1600	2	m²
302-4	2700	2800	8	m²
302-5	1000	1600	2	m²
302-6	2000	750	2	m²
303-1	2000	750	2	m²
303-2	3000	2800	8	m²
303-3	2700	2800	8	m²

WINDOW SCHEDULE - SERVICED APARTMENTS				
Window No.	Width	Height	Area	
304-1	3000	750	2	m²
304-2	3000	2800	8	m²
304-3	3000	2800	8	m²
304-4	2800	2800	8	m²
305-1	2800	2800	8	m²
305-2	3000	750	2	m²
306-1	2700	2800	8	m²
306-2	3000	2800	8	m²
307-1	2800	2800	8	m²
307-2	3000	2800	8	m²
307-3	2700	2800	8	m²
308-1	3600	2800	10	m²
308-2	4000	2800	11	m²
308-3	1000	1600	2	m²
309-1	2000	750	2	m²
309-2	4000	750	3	m²
309-3	4000	2800	11	m²
309-4	4000	2800	11	m²
309-5	1800	2800	5	m²
309-6	3000	750	2	m²
310-1	800	1800	1	m²
310-2	2700	2800	8	m²
310-3	4000	2800	11	m²
LEVEL 4				
401-1	3600	2800	10	m²
401-2	1800	2800	5	m²
401-3	800	1800	1	m²
401-4	800	1800	1	m²
402-1	3000	2800	8	m²
402-2	3000	2800	8	m²
402-3	1000	1600	2	m²
402-4	2700	2800	8	m²
402-5	1000	1600	2	m²
402-6	2000	750	2	m²
403-1	2000	750	2	m²
403-2	3000	2800	8	m²
403-3	2700	2800	8	m²
404-1	3000	750	2	m²
404-2	3000	2800	8	m²
404-3	3000	2800	8	m²
404-4	2800	2800	8	m²
405-1	2800	2800	8	m²
405-2	3000	750	2	m²
406-1	2700	2800	8	m²
406-2	3000	2800	8	m²
407-1	2800	2800	8	m²
407-2	3000	2800	8	m²
407-3	2700	2800	8	m²
408-1	3600	2800	10	m²
408-2	4000	2800	11	m²
408-3	1000	1600	2	m²
409-1	2000	750	2	m²
409-2	4000	750	3	m²
409-3	4000	2800	11	m²
409-4	4000	2800	11	m²
409-5	1800	2800	5	m²
409-6	3000	750	2	m²
410-1	800	1800	1	m²
410-2	2700	2800	8	m²
410-3	4000	2800	11	m²
LEVEL 5				
501-1	3600	2800	10	m²
501-2	1800	2800	5	m²
501-3	800	1800	1	m²
501-4	800	1800	1	m²
502-1	3000	2800	8	m²
502-2	3000	2800	8	m²
502-3	1000	1600	2	m²
502-4	2700	2800	8	m²
502-5	1000	1600	2	m²
502-6	2000	750	2	m²
503-1	2000	750	2	m²
503-2	3000	2800	8	m²
503-3	2700	2800	8	m²
504-1	3000	750	2	m²
504-2	3000	2800	8	m²
504-3	3000	2800	8	m²
504-4	2800	2800	8	m²
505-1	2800	2800	8	m²
505-2	3000	750	2	m²
506-1	2700	2800	8	m²
506-2	3000	2800	8	m²
507-1	2800	2800	8	m²
507-2	3000	2800	8	m²
507-3	2700	2800	8	m²
508-1	3600	2800	10	m²
508-2	4000	2800	11	m²
508-3	1000	1600	2	m²
509-1	2000	750	2	m²
509-2	4000	750	3	m²
509-3	4000	2800	11	m²
509-4	4000	2800	11	m²
509-5	1800	2800	5	m²
509-6	3000	750	2	m²
510-1	800	1800	1	m²
510-2	2700	2800	8	m²
510-3	4000	2800	11	m²
LEVEL 6				

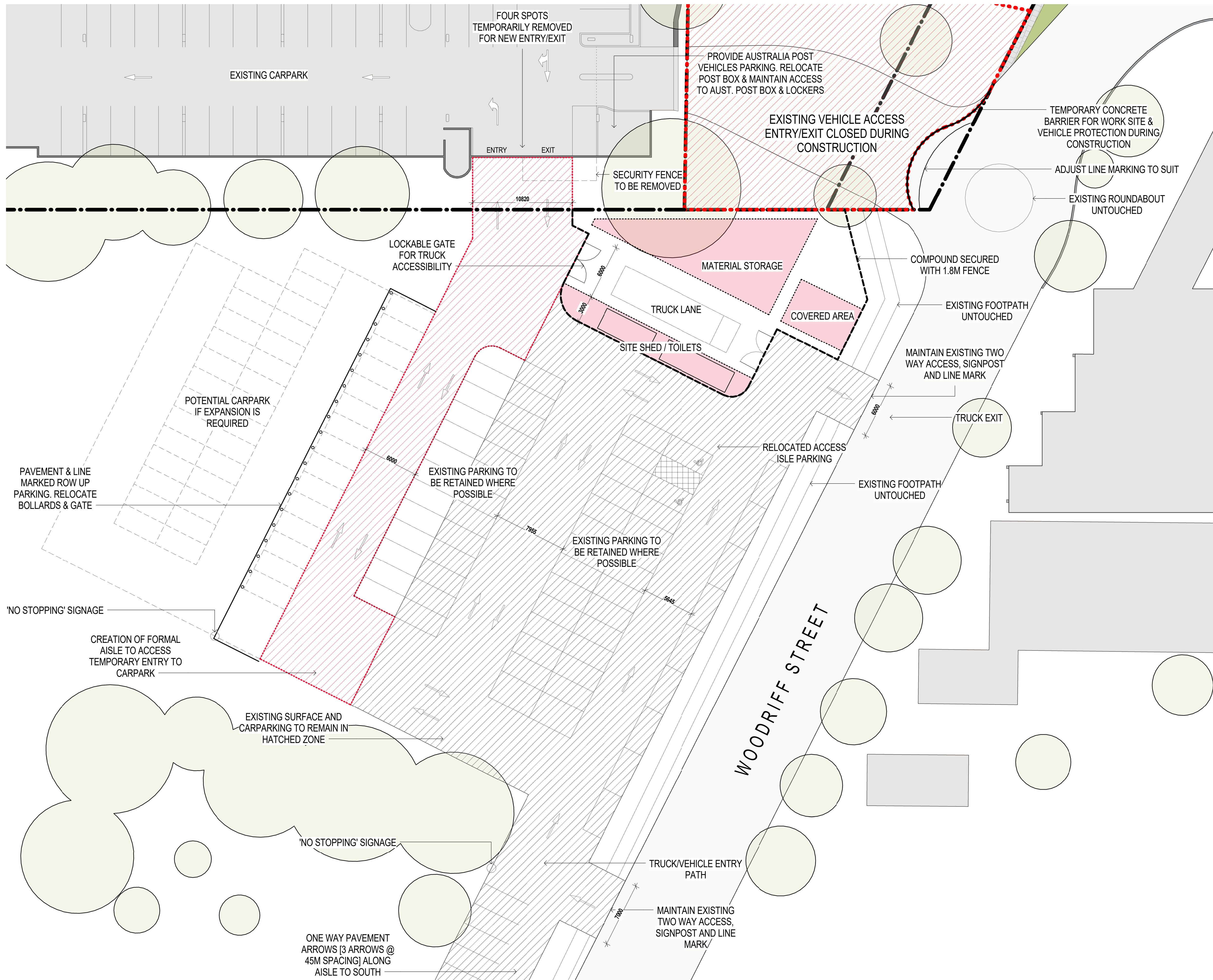
WINDOW SCHEDULE - SERVICED APARTMENTS				
Window No.	Width	Height	Area	
601-1	1800	2800	5	m²
601-2	800	1800	1	m²
601-3	4000	2800	11	m²
602-1	2000	750	2	m²
602-2	1800	2800	5	m²
602-3	2000	750	2	m²
602-4	1800	2800	5	m²
602-5	800	1800	1	m²
602-6	3000	2800	8	m²
602-7	3600	2800	10	m²
603-1	3000	750	2	m²
603-2	3000	2800	8	m²
603-3	3000	2800	8	m²
603-4	2800	2800	8	m²
604-1	2800	2800	8	m²
604-2	3000	750	2	m²
605-1	1800	2800	5	m²
605-2	1800	2800	5	m²
605-3	2700	2800	8	m²
606-1	3000	2800	8	m²
606-2	3000	2800	8	m²
606-3	1800	2800	5	m²
606-4	800	1800	1	m²
606-5	1800	2800	5	m²
606-6	800	1800	1	m²
606-7	1800	2800	5	m²
606-8	1800	2800	5	m²
607-1	2000	750	2	m²
607-2	4000	750	3	m²
607-3	4000	2800	11	m²
607-4	4000	2800	11	m²
607-5	1800	2800	5	m²
607-6	3000	750	2	m²
608-1	800	1800	1	m²
608-2	2700	2800	8	m²
608-3	4000	2800	11	m²
714	2700	2800	8	m²
719	800	1800	1	m²
720	800	1800	1	m²
LEVEL 7				
701	1800	1800	3	m²
701	800	1800	1	m²
702	800	1800	1	m²
702	800	1800	1	m²
703	800	1800	1	m²
704	1800	1800	3	m²
705	1800	1800	3	m²
706	800	1800	1	m²
707	1800	1800	3	m²
708	800	1800	1	m²
709	800	1800	1	m²
710	1800	1800	3	m²
711	800	1800	1	m²
712	1800	1800	3	m²
713	800	1800	1	m²
714	1800	1800	3	m²
715	1800	1800	3	m²
716	800	1800	1	m²
717	1800	1800	3	m²
718	800	1800	1	m²
721	800	1800	1	m²
722	800	1800	1	m²
Grand total: 250				



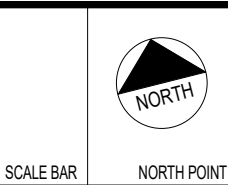
SOUTH ELEVATION - WINDOWS

1 : 200





ISSUE	DATE	AMENDMENT
A	13-10-2016	DA SUBMISSION



PROJECT
PROPOSED MIXED USE DEVELOPMENT
ADDRESS
21-25 WOODRUFF STREET, PENRITH NSW 2750

CLIENT
ASTINA



NOMINATED ARCHITECT - P F MORSON
REGISTRATION NUMBER 8105
ACCA 128 480 056, 486 41 128 480 056
www.morsongroup.com
120 1900 4864
PO Box 1715, Potts Point, NSW 1535

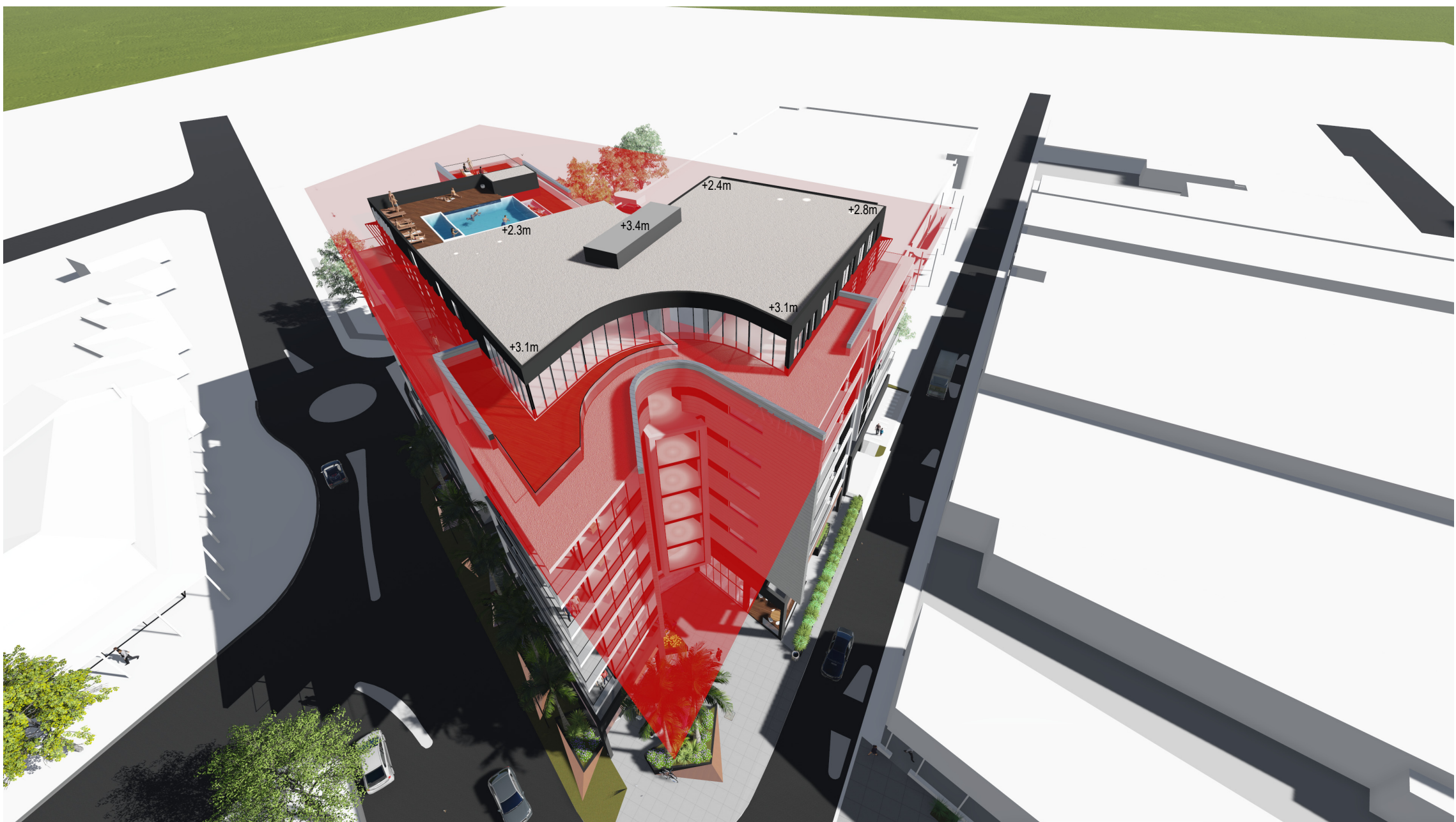
SHEET SIZE: A1
SCALE
1:200
DATE
JAN 2016

SHEET NAME

TEMPORARY TRAFFIC DIVERSION & SITE STORAGE
LOCATION

DRAWING NUMBER
ISSUE NO.

DA29
A



HEIGHT ENCROCHMENT - VIEW 1



HEIGHT ENCROCHMENT - VIEW 2



HEIGHT ENCROCHMENT - VIEW 3



HEIGHT ENCROCHMENT - VIEW 4

HEIGHT ENCROACHMENT INFORMATION

HEIGHTEST POINT OF BUILDING (EXCLUDING LIFT OVER-RUN):
NORTH-EAST CORNER. (3.1m ABOVE PLANE)

LIFT OVER-RUN: 3.4m ABOVE HEIGHT PLANE