

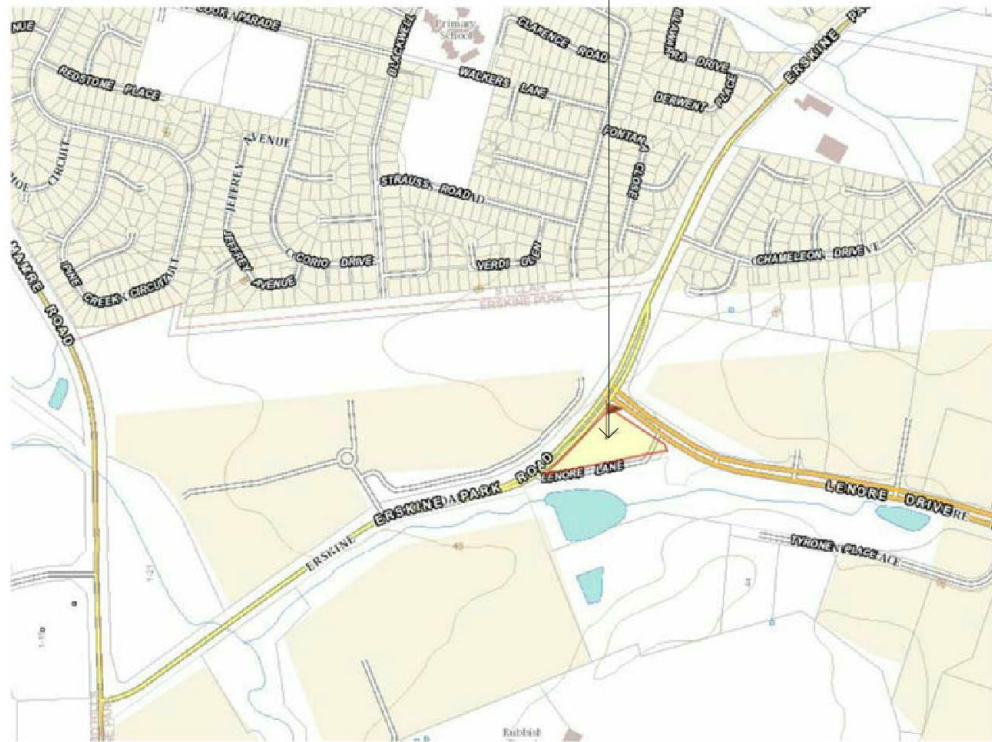
DEVELOPMENT APPLICATION

PROPOSED INDUSTRIAL DEVELOPMENT
AT 1-23 LENORE DRIVE & ERSKINE
PARK ROAD, ERSKINE PARK NSW 2759
LOT 1 DP 1071114 & LOT 55 DP 1170183

Drawing List

Sheet Number	Sheet Name	Drawn By	Checked By	Current Revision Date	Current Revision
A0000	COVER SHEET & LOCATION PLAN	HC	HC	20.04.18	D
A0001	SITE ANALYSIS	HC	HC	20.04.18	D
A0002	PROPOSED SITE & ROOF PLAN	HC	HC	20.04.18	B
A0003	WASTE & SITE MANAGEMENT PLAN	HC	HC	20.04.18	A
A0004	CONCEPT STRATA PLAN	HC	HC	20.04.18	A
A1001	PROPOSED BASEMENT PLAN	HC	HC	20.04.18	E
A1002	PROPOSED GROUND MASTER PLAN	HC	HC	20.04.18	G
A1003	PROPOSED MEZZANINE FLOOR PLAN	HC	HC	20.04.18	B
A2001	PROPOSED ELEVATIONS 01	HC	HC	20.04.18	C
A2002	PROPOSED ELEVATIONS 02	HC	HC	20.04.18	C
A2003	PROPOSED ELEVATIONS 03	HC	HC	20.04.18	C
A3001	PROPOSED SECTIONS	HC	HC	20.04.18	C
A4001	TYPICAL WAREHOUSE UNIT TYPES - GROUND FLOOR PLAN 01	HC	HC	20.04.18	D
A4002	TYPICAL WAREHOUSE UNIT TYPES - GROUND FLOOR PLAN 02	HC	HC	20.04.18	A
A4003	CAFE GROUND FLOOR PLAN & SIGNAGE PANEL DETAILS	HC	HC	20.04.18	A
A7001	3D PERSPECTIVES 01	HC	HC	20.04.18	C
A7002	3D PERSPECTIVES 02	HC	HC	20.04.18	C
A7003	FINISHES SCHEDULE	HC	HC	20.04.18	B

SUBJECT SITE



DEVELOPMENT DATA

LOT 1 DP 1071114 = 11,220m²
 LOT 55 DP 1170183 = 2,131m²
TOTAL SITE AREA = 13,351m²

6 x 150m² UNITS (INCL. 30m² OFFICE MEZZANINE) 150m² = 900m²

13 x 225m² UNITS (INCL. 45m² OFFICE MEZZANINE) 225m² = 2925m²

6 x 300m² UNITS (INCL. 60m² OFFICE MEZZANINE) 300m² = 1800m²

2 x 250m² UNITS (INCL. 55m² OFFICE MEZZANINE) 250m² = 500m²

2 x 375m² UNITS (INCL. 75m² OFFICE MEZZANINE) 250m² = 750m²

TOTAL NO. FACTORY UNITS = 29 UNITS

1 CAFE 80m² = 80m²

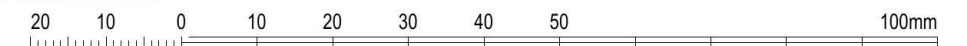
TOTAL GFA = 6,955m² (52% YIELD)

GROUND SITE COVER (Ground Floor only) = 5595m² (42%)

PARKING CALCULATION
 FACTORIES (1 SPACE PER 75m²) = 6875 / 75 = 91.66
 CAFE (1 SPACE PER 6m² OF SEATING AREA + 1 SPACE PER EMPLOYEE) = 8 (BASED ON 36m² OF SEATING AREA & 2 EMPLOYEE)

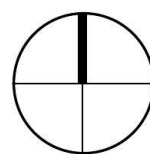
TOTAL PARKING REQUIRED = 100
 TOTAL PARKING PROVIDED = 49 ON GRADE + 62 IN BASEMENT
= 111 (INCLUDING 4 ACCESSIBLE PARKING)

LOCATION PLAN
NTS



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ISSUE	DATE	REVISION
D	20.04.18	DA ISSUE
3	11.04.18	ISSUED FOR COORDINATION
C	31.01.18	DRAFT DA ISSUE & CONS COORDINATION
B	14.11.17	ISSUED FOR URBAN DESIGN MEETING
A	27.03.17	PRE DA ISSUE - FOR COORDINATION
2	06.03.17	Preliminary issue
1	08.02.17	Preliminary client issue



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 www.arkexpressdesign.com.au

client: NICHOLOPOULOS
 project: INDUSTRIAL COMPLEX
 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title: COVER SHEET & LOCATION PLAN
 print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 500 @A3

DA ISSUE

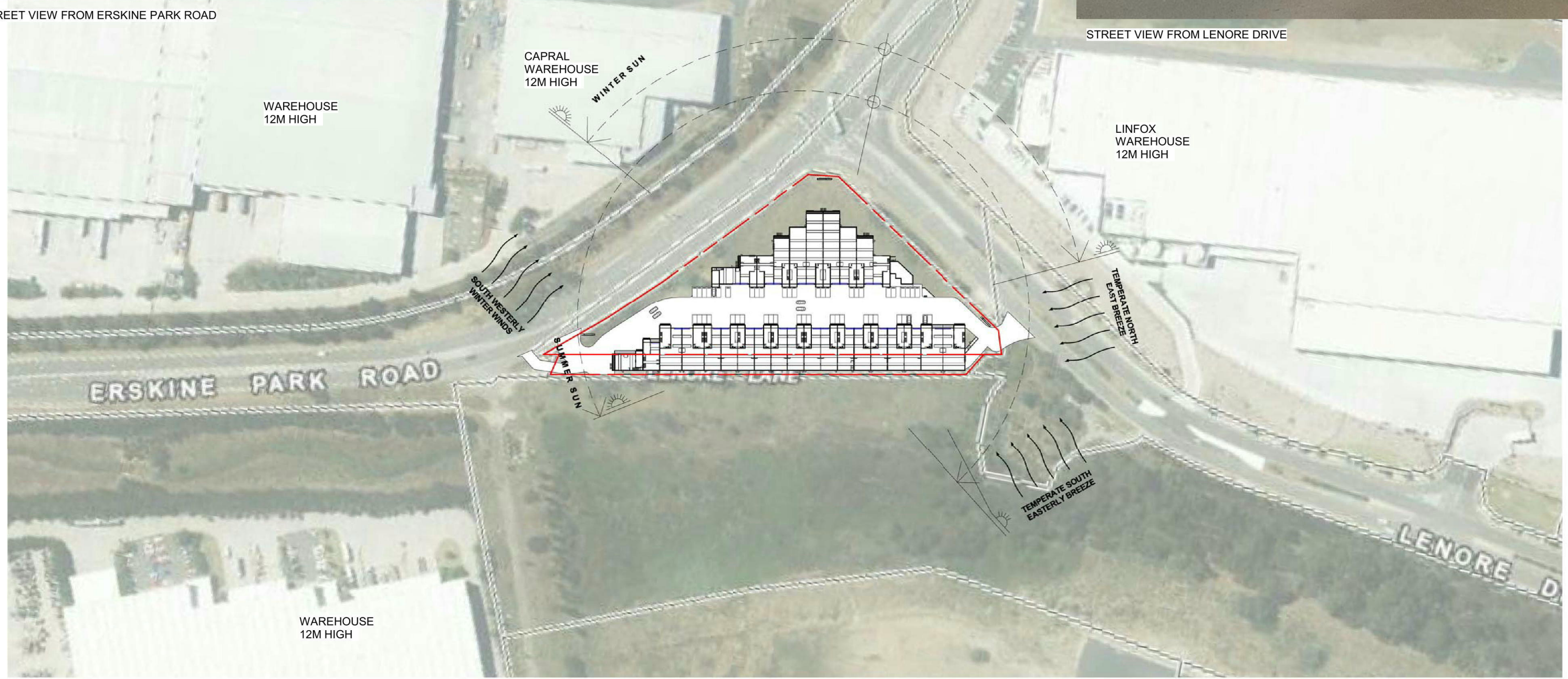
job no. 17221
 drawing no. A0000
 issue. **D**



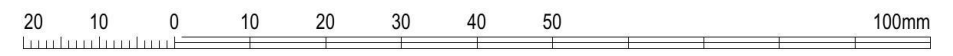
STREET VIEW FROM ERSKINE PARK ROAD



STREET VIEW FROM LENORE DRIVE



1 SITE ANALYSIS
1 : 2000



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 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
SITE ANALYSIS

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 2000 @A3

DA ISSUE

job no. 17221
 drawing no. A0001
 issue. **D**

DEVELOPMENT DATA

LOT 1 DP 1071114 = 11,220m²
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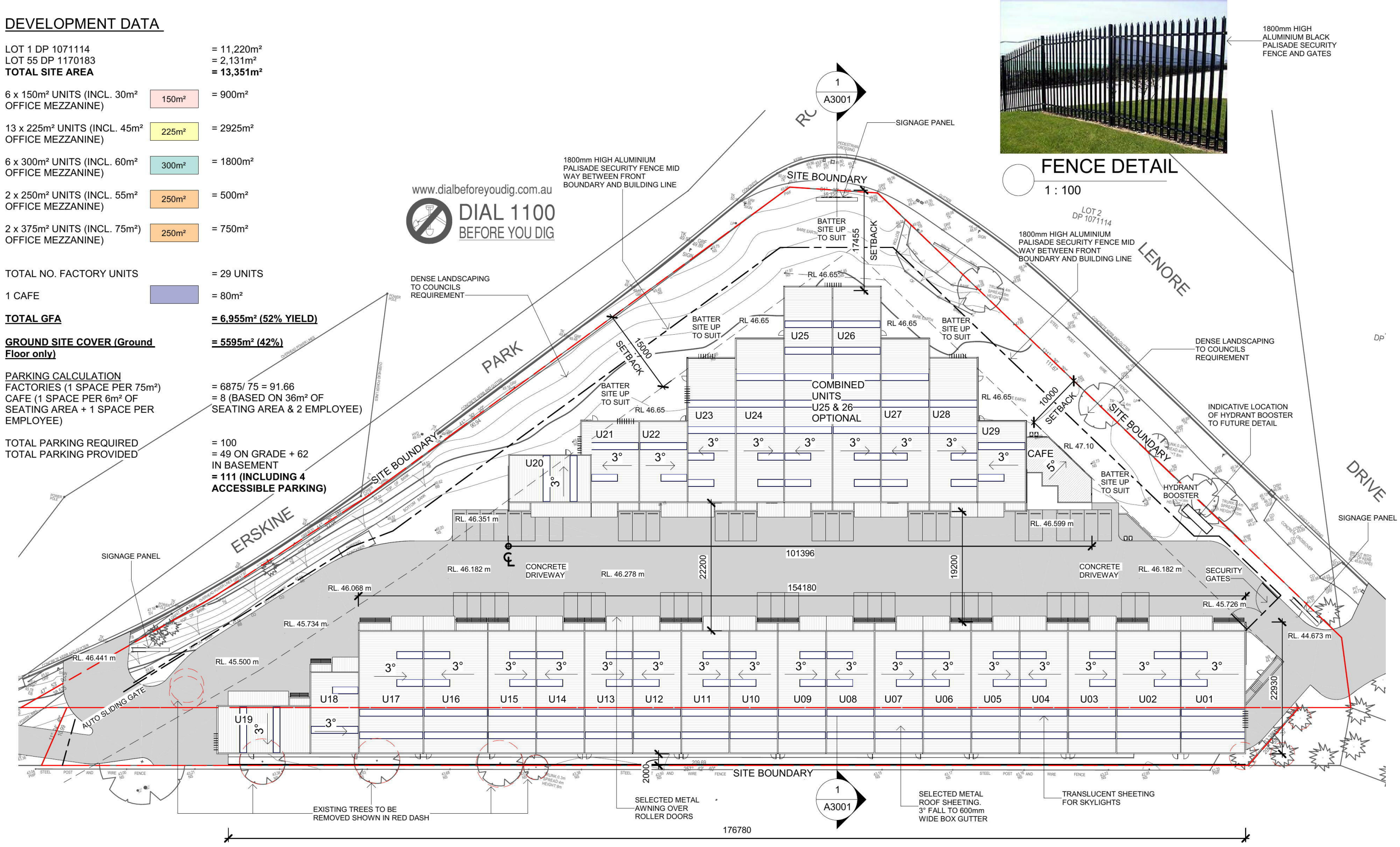
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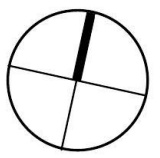
1 PROPOSED SITE & ROOF PLAN

1 : 600



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ISSUE	DATE	REVISION
B	20.04.18	DA ISSUE
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A	31.01.18	DRAFT DA ISSUE & CONS COORDINATION



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 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK ROAD,
 ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
PROPOSED SITE & ROOF PLAN

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: As indicated @A3

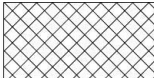
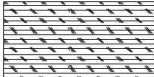
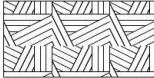
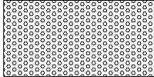
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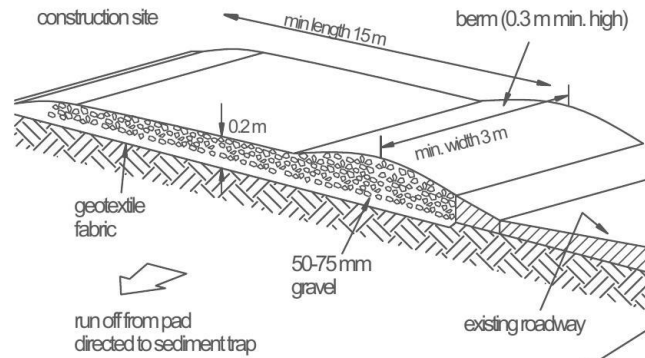
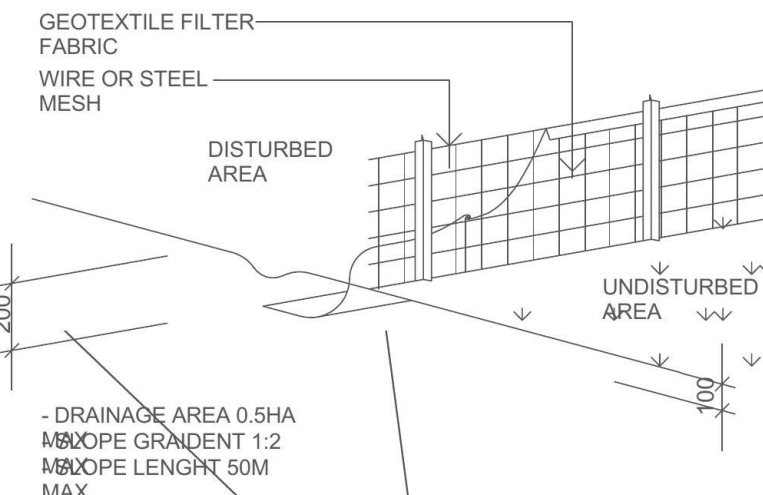
job no. 17221
 drawing no. A0002
 issue. **B**

SEDIMENT RUN-OFF CONTROL DURING EARTHWORKS:

THE CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION AND SEDIMENT CONTROL MEASURES GENERALLY IN ACCORDANCE WITH GUIDELINES OF THE NEW SOUTH WALES SOIL CONSERVATION SERVICE AND AS NECESSARY TO PREVENT RUN OFF FROM THE SITE OF ANY SEDIMENT RESULTING FROM HIS WORKS ALL MEASURES ARE TO COMPLY WITH THE REQUIREMENTS OF THE APPROVING COUNCIL TRUCKS AND VEHICLES LEAVING THE SITE ARE NOT TO SPREAD SPOIL ONTO THE ROADWAY OR ALLOW SPOIL TO ENTER THE STORMWATER SYSTEM. ALL DISTURBED GROUND AREAS AND STOCKPILES OF EXCAVATED OR IMPORTED MATERIAL IS TO BE STABILIZED WITHIN 48 HOURS. DUST IS TO BE SUPPRESSED BY WATERING

WASTE LEGEND:

-  BRICK, TILE, CONCRETE DISPOSAL BIN 3 CUBIC METRES
-  TIMBER DISPOSAL BIN 3 CUBIC METRES
-  MIXED WASTE DISPOSAL BIN 3 CUBIC METRES
-  METALS DISPOSAL BIN 3 CUBIC METRES

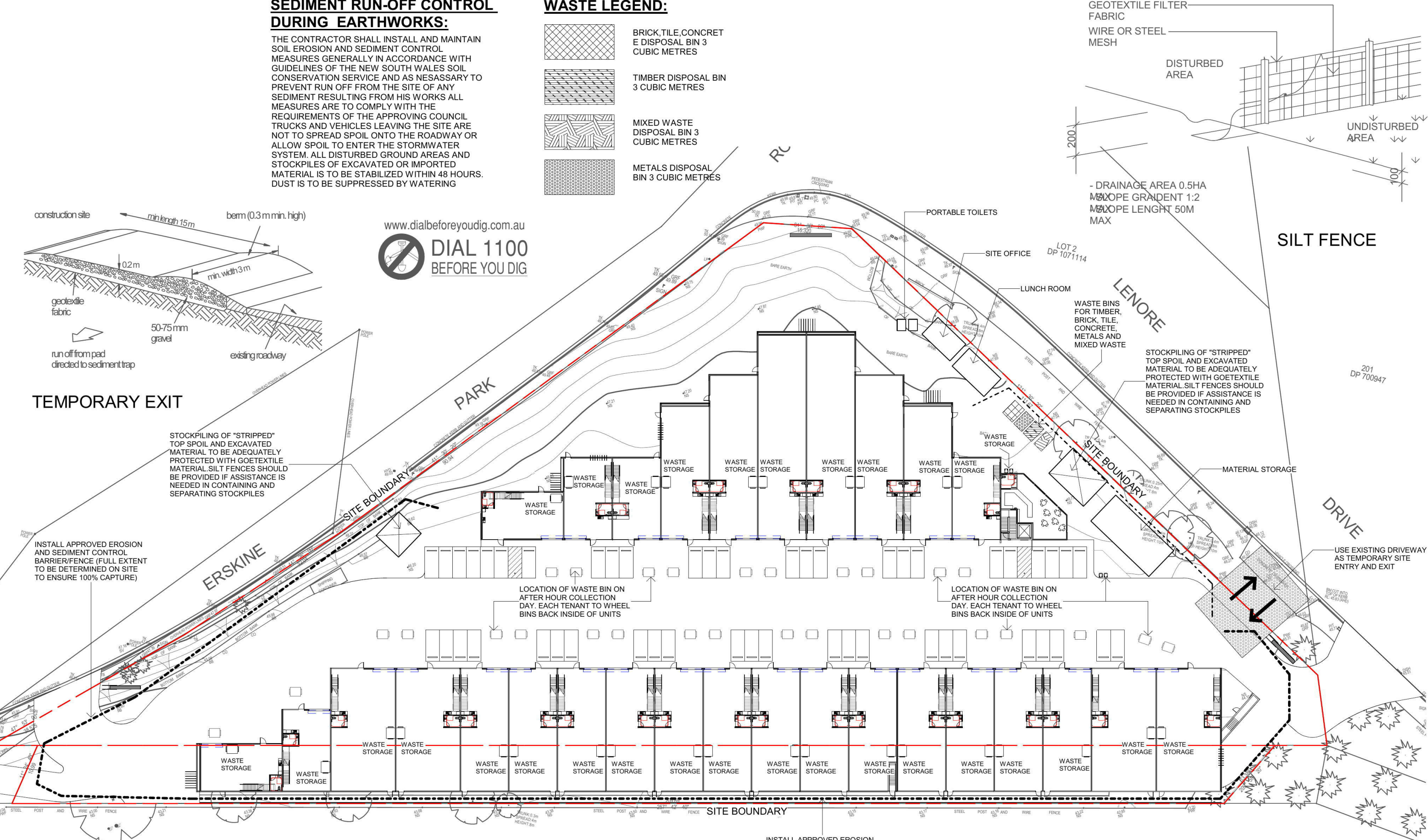


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 **DIAL 1100 BEFORE YOU DIG**

TEMPORARY EXIT

STOCKPILING OF "STRIPPED" TOP SPOIL AND EXCAVATED MATERIAL TO BE ADEQUATELY PROTECTED WITH GOETEXTILE MATERIAL. SILT FENCES SHOULD BE PROVIDED IF ASSISTANCE IS NEEDED IN CONTAINING AND SEPARATING STOCKPILES

INSTALL APPROVED EROSION AND SEDIMENT CONTROL BARRIER/FENCE (FULL EXTENT TO BE DETERMINED ON SITE TO ENSURE 100% CAPTURE)



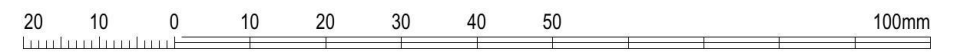
LOCATION OF WASTE BIN ON AFTER HOUR COLLECTION DAY. EACH TENANT TO WHEEL BINS BACK INSIDE OF UNITS

LOCATION OF WASTE BIN ON AFTER HOUR COLLECTION DAY. EACH TENANT TO WHEEL BINS BACK INSIDE OF UNITS

1 WASTE & SITE MANAGEMENT

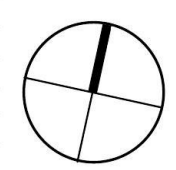
1 : 600

INSTALL APPROVED EROSION AND SEDIMENT CONTROL BARRIER/FENCE (FULL EXTENT TO BE DETERMINED ON SITE TO ENSURE 100% CAPTURE)



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ISSUE	DATE	REVISION
A	20.04.18	DA ISSUE
1	11.04.18	ISSUED FOR COORDINATION




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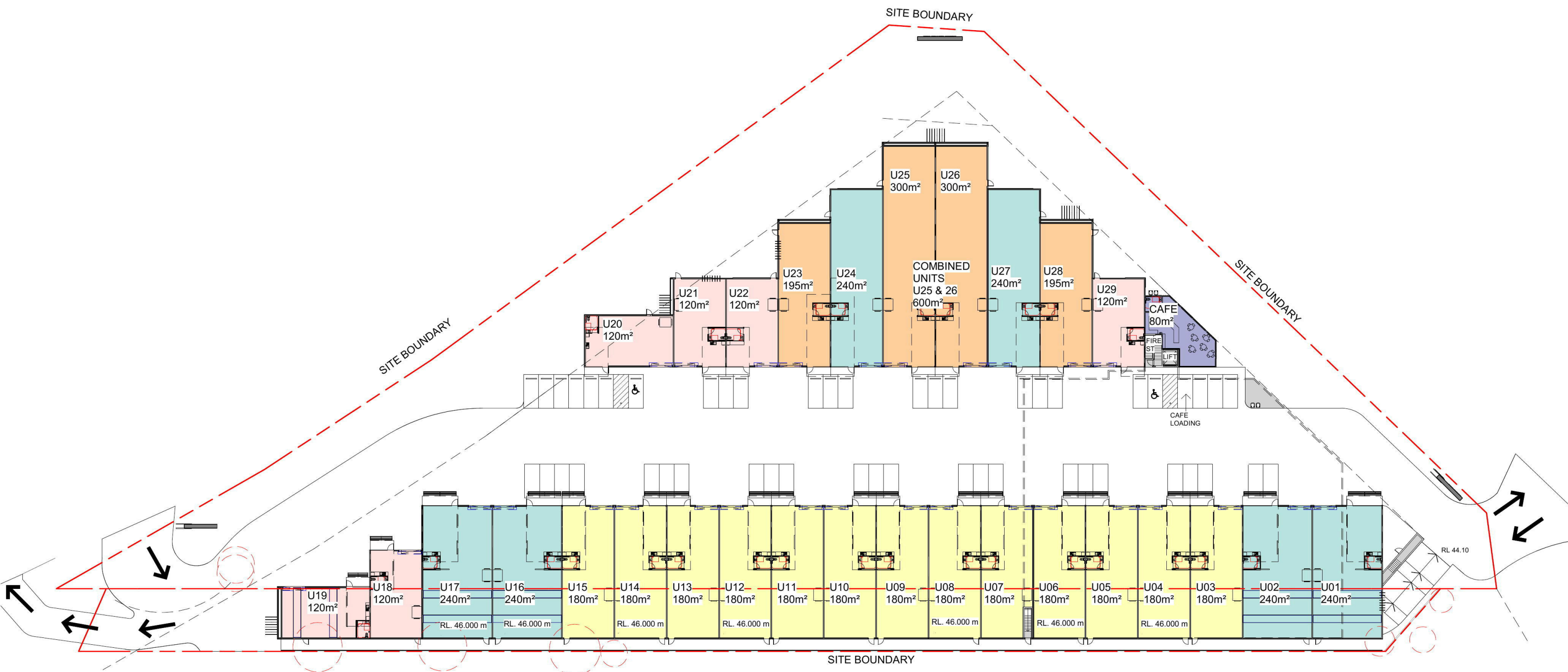
client: NICHOLOPOULOS
 project: INDUSTRIAL COMPLEX
 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK ROAD,
 ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
WASTE & SITE MANAGEMENT PLAN

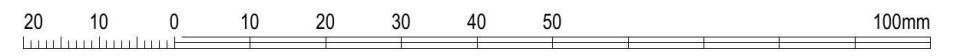
print date: 20.04.18
 drawn: HC
 checked: HC
 scale: As indicated @A3

DA ISSUE

job no. 17221
 drawing no. A0003
 issue. **A**

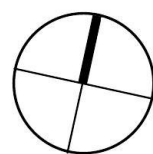


1 CONCEPT STRATA PLAN
1 : 600



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 PROPOSED INDUSTRIAL DEVELOPMENT
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 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
 CONCEPT STRATA
 PLAN

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 600 @A3

DA ISSUE

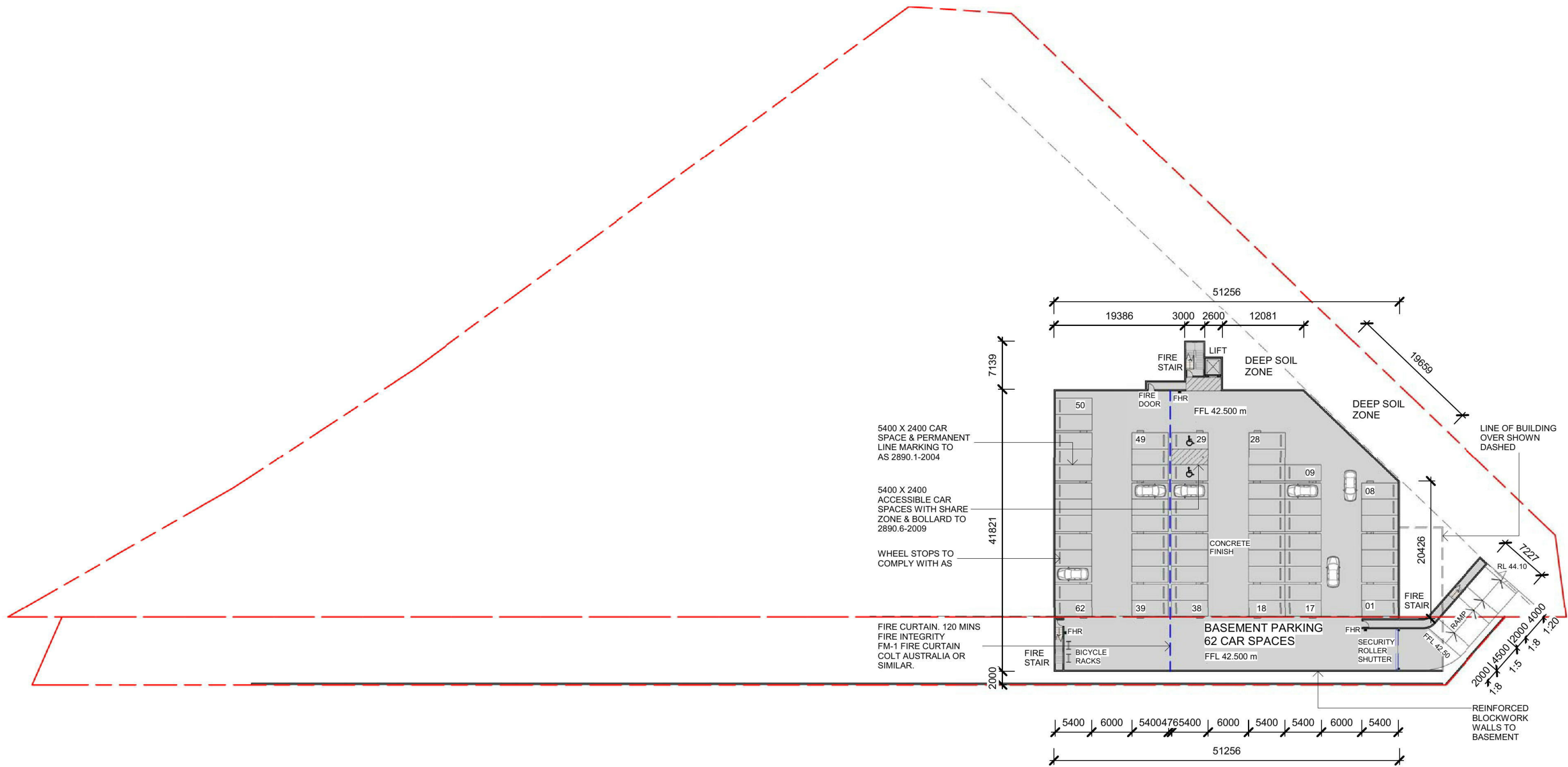
job no.

17221

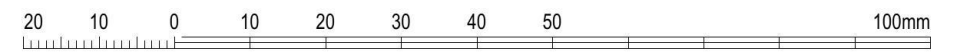
drawing no.

A0004

ISSUE: A

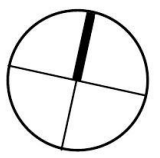


1 PROPOSED BASEMENT FLOOR PLAN
1 : 600



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ISSUE	DATE	REVISION
E	20.04.18	DA ISSUE
3	11.04.18	ISSUED FOR COORDINATION
D	31.01.18	DRAFT DA ISSUE & CONS COORDINATION
C	26.11.17	URBAN DESIGN AMENDMENT
B	14.11.17	ISSUED FOR URBAN DESIGN MEETING
A	11.09.17	PRE DA ISSUE
2	10.09.17	CONCEPT SKETCH ISSUE - OPTION 3



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PROPOSED INDUSTRIAL DEVELOPMENT
AT 1-23 LENORE DRIVE & ERSKINE PARK
ROAD, ERSKINE PARK NSW 2759.
LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
PROPOSED BASEMENT PLAN

print date: 20.04.18
drawn: HC
checked: HC
scale: 1 : 600 @A3

DA ISSUE

job no. 17221
drawing no. A1001
issue. **E**

DEVELOPMENT DATA

LOT 1 DP 1071114 = 11,220m²
 LOT 55 DP 1170183 = 2,131m²
TOTAL SITE AREA = 13,351m²

6 x 150m² UNITS (INCL. 30m² OFFICE MEZZANINE) = 900m²

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2 x 250m² UNITS (INCL. 55m² OFFICE MEZZANINE) = 500m²

2 x 375m² UNITS (INCL. 75m² OFFICE MEZZANINE) = 750m²

TOTAL NO. FACTORY UNITS = 29 UNITS

1 CAFE = 80m²

TOTAL GFA = 6,955m² (52% YIELD)

GROUND SITE COVER (Ground Floor only) = 5595m² (42%)

PARKING CALCULATION
 FACTORIES (1 SPACE PER 75m²) = 6875 / 75 = 91.66
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TOTAL PARKING REQUIRED = 100
TOTAL PARKING PROVIDED = 49 ON GRADE + 62 IN BASEMENT = 111 (INCLUDING 4 ACCESSIBLE PARKING)

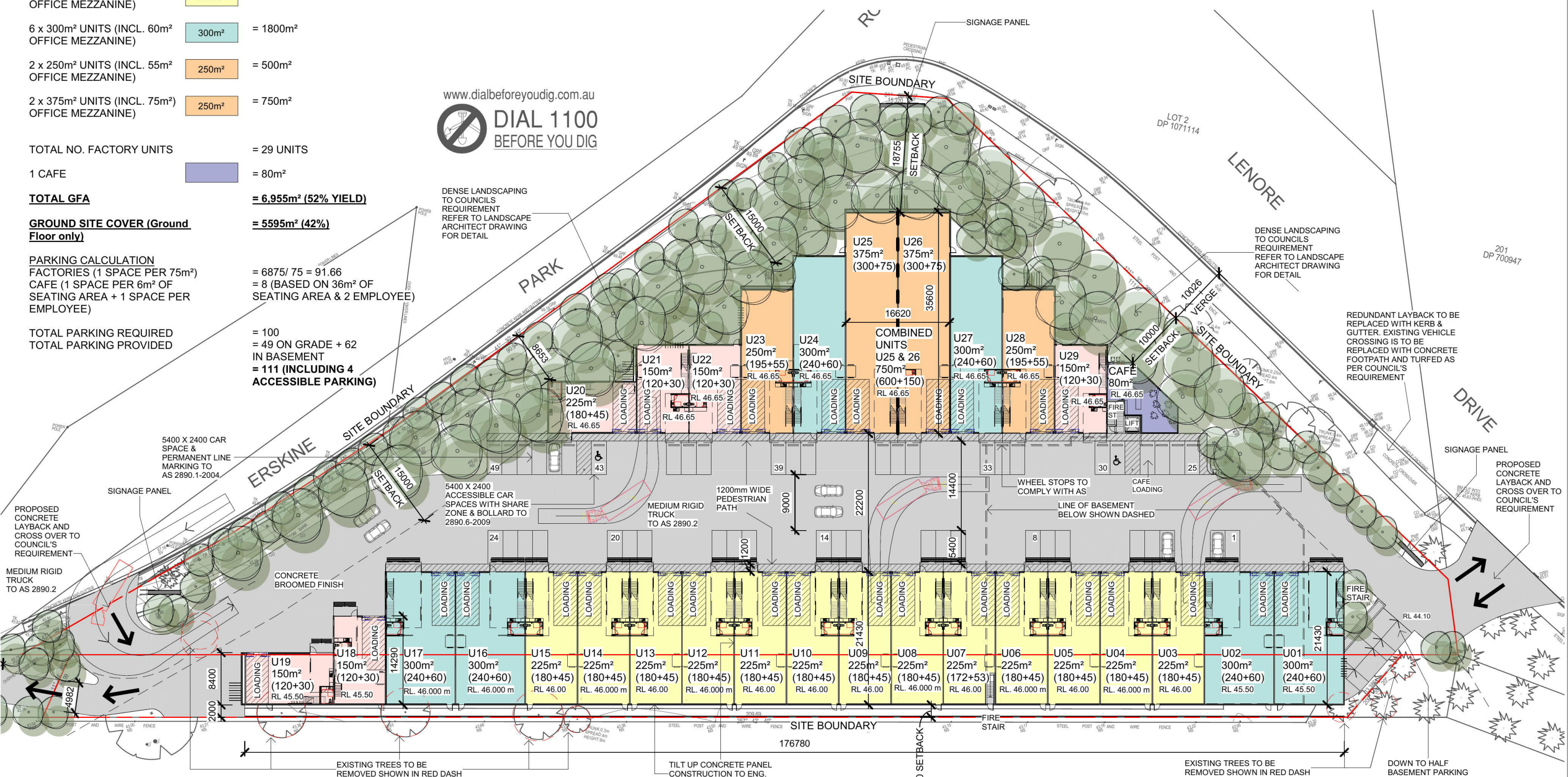
NOTE:
 ALL FIRE HOSE REELS, FIRE EXTINGUISHERS & FIRE HYDRANTS WILL BE TO HYDRAULIC ENGINEER'S DETAILS



DENSE LANDSCAPING TO COUNCILS REQUIREMENT REFER TO LANDSCAPE ARCHITECT DRAWING FOR DETAIL

DENSE LANDSCAPING TO COUNCILS REQUIREMENT REFER TO LANDSCAPE ARCHITECT DRAWING FOR DETAIL

REDUNDANT LAYBACK TO BE REPLACED WITH KERB & GUTTER. EXISTING VEHICLE CROSSING IS TO BE REPLACED WITH CONCRETE FOOTPATH AND TURFED AS PER COUNCIL'S REQUIREMENT



PROPOSED GROUND MASTER PLAN

1 : 600

ISSUE	DATE	REVISION
G	20.04.18	DA ISSUE
2	11.04.18	ISSUED FOR COORDINATION
F	31.01.18	DRAFT DA ISSUE & CONS COORDINATION
E	30.11.17	FURTHER AMENDMENT FOR COMMENTS
D	30.11.17	FURTHER AMENDMENT FOR COMMENTS
C	26.11.17	URBAN DESIGN AMENDMENT
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client: NICHOLOPOULOS
 drawing title: PROPOSED GROUND MASTER PLAN
 print date: 20.04.18
 drawn: HC
 checked: HC
 scale: As indicated @A3
 DA ISSUE

job no. 1721
 drawing no. A1002

DEVELOPMENT DATA

LOT 1 DP 1071114 = 11,220m²
 LOT 55 DP 1170183 = 2,131m²
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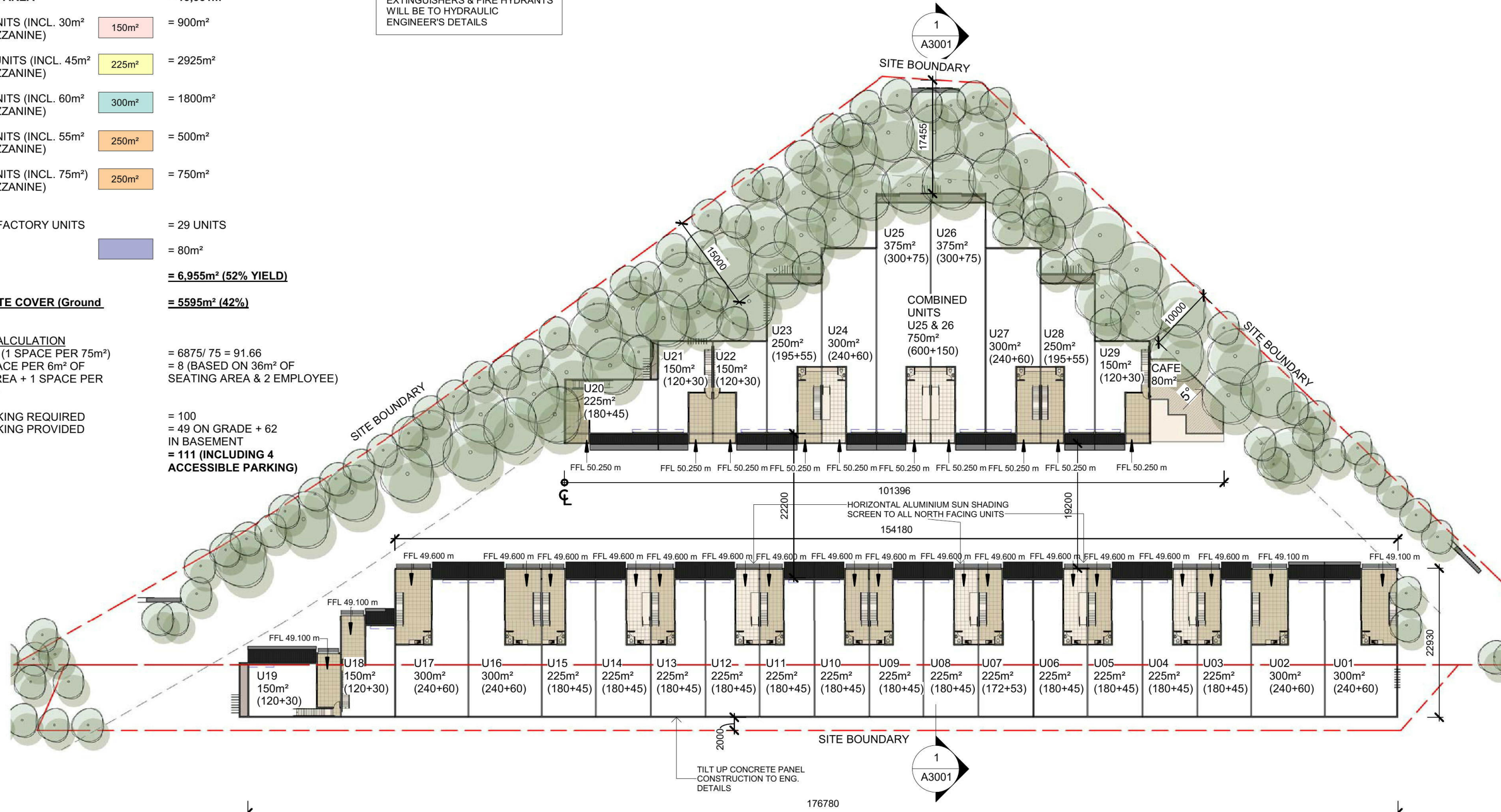
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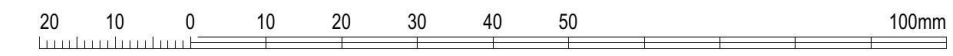
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1 PROPOSED MEZZANINE FLOOR PLAN
 1 : 600



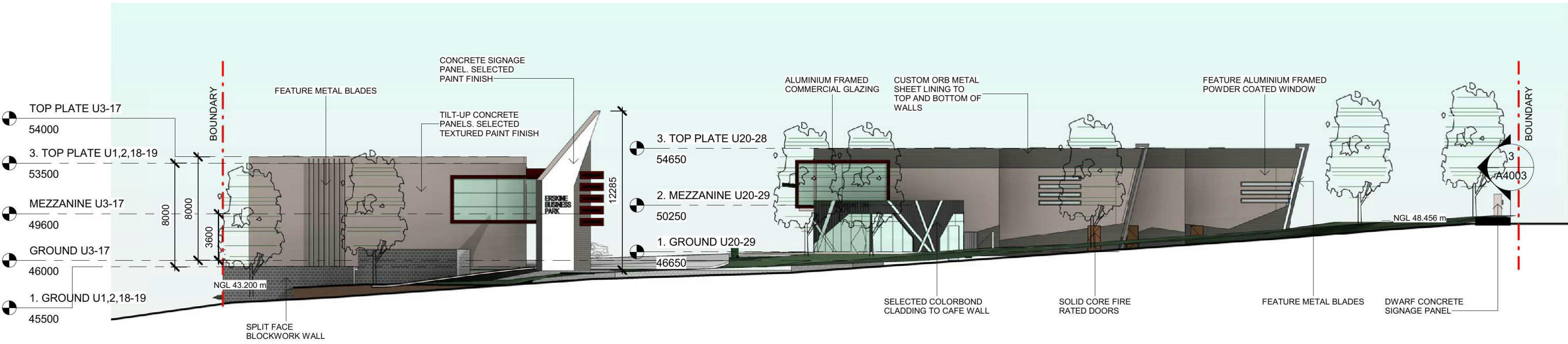
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1	11.04.18	ISSUED FOR COORDINATION
A	31.01.18	DRAFT DA ISSUE & CONS COORDINATION

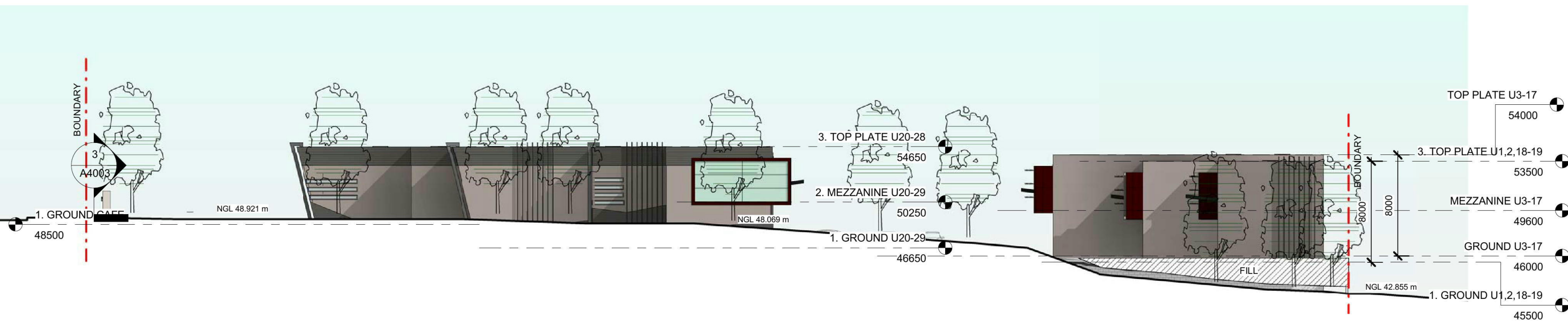
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 www.arkexpressdesign.com.au

client: NICHOLOPOULOS
 drawing title: PROPOSED MEZZANINE FLOOR PLAN
 print date: 20.04.18
 drawn: HC
 checked: HC
 scale: As indicated @A3
 DA ISSUE

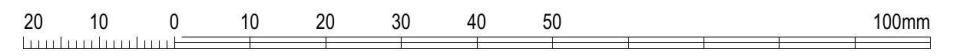
job no. 17221
 drawing no. A1003
B



1 ELEVATION - FROM LENORE DRIVE
1 : 300



2 ELEVATION - FROM ERSKINE PARK ROAD
1 : 300



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C	20.04.18	DA ISSUE
1	11.04.18	ISSUED FOR COORDINATION
B	31.01.18	DRAFT DA ISSUE & CONS COORDINATION
A	14.11.17	ISSUED FOR URBAN DESIGN MEETING

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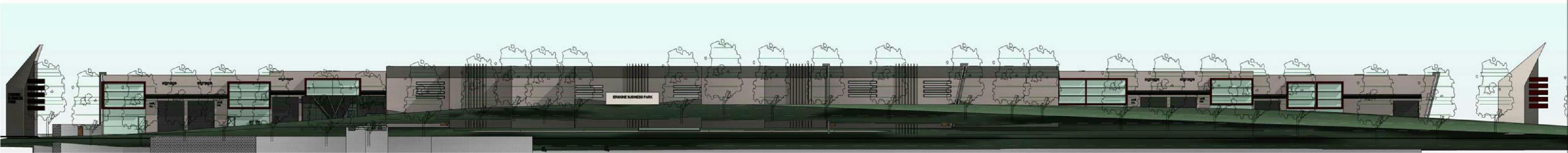
client: NICHOLOPOULOS
 project: INDUSTRIAL COMPLEX
 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
**PROPOSED
 ELEVATIONS 01**

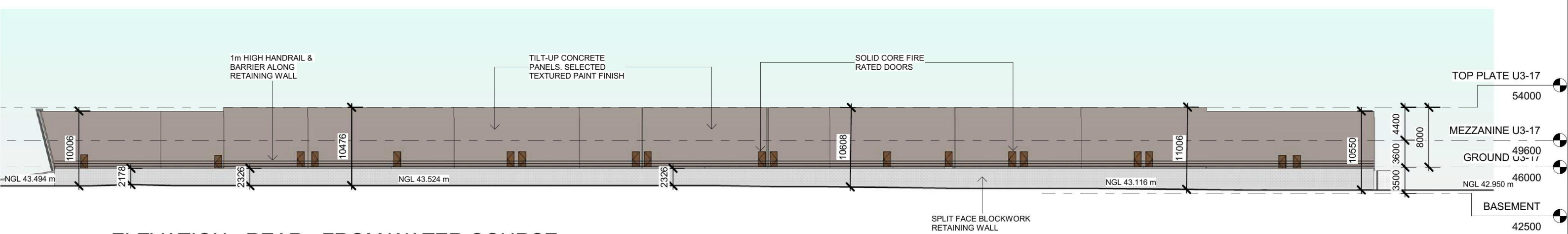
print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 300 @A3

DA ISSUE

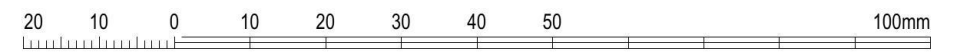
job no. 17221
 drawing no. A2001
 issue. **C**



1 ELEVATION - FROM CORNER ERSKINE PARK & LENORE DRIVE
1 : 500



2 ELEVATION - REAR - FROM WATER COURSE
1 : 500



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 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
**PROPOSED
 ELEVATIONS 02**

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 500 @A3

DA ISSUE

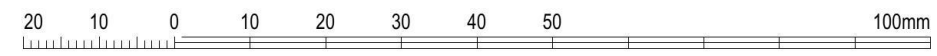
job no. 17221
 drawing no. A2002
 issue. **C**



1 ELEVATION - UNIT 1-19
1 : 500



2 ELEVATION - UNIT 20-29
1 : 300



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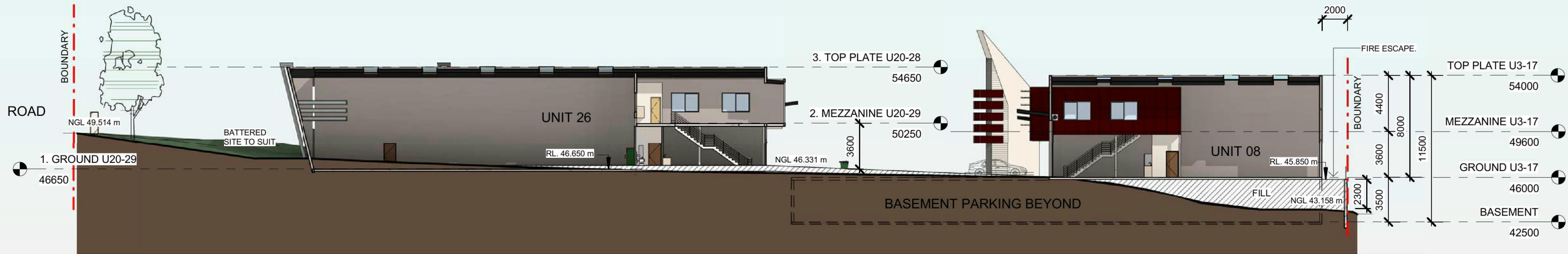
client: NICHOLOPOULOS
 project: INDUSTRIAL COMPLEX
 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
 PROPOSED
 ELEVATIONS 03

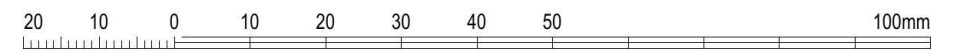
print date: 20.04.18
 drawn: HC
 checked: HC
 scale: As indicated @A3

DA ISSUE

job no. 17221
 drawing no. A2003
 issue. C



1 SECTION A-A
1 : 300



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 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
PROPOSED SECTIONS

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 300 @A3

DA ISSUE

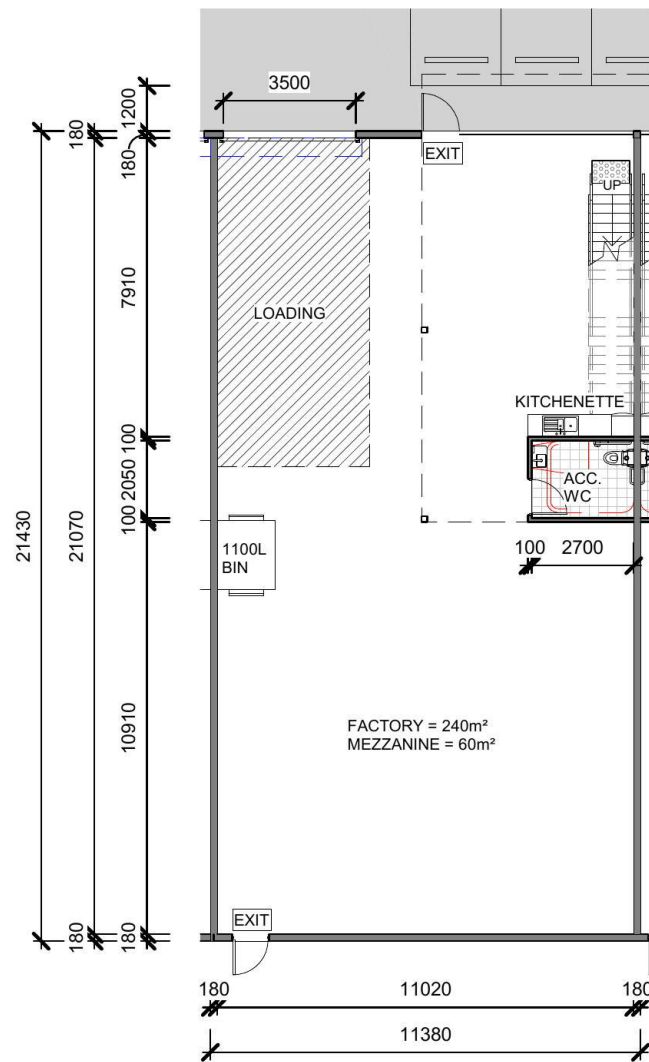
job no.

1721

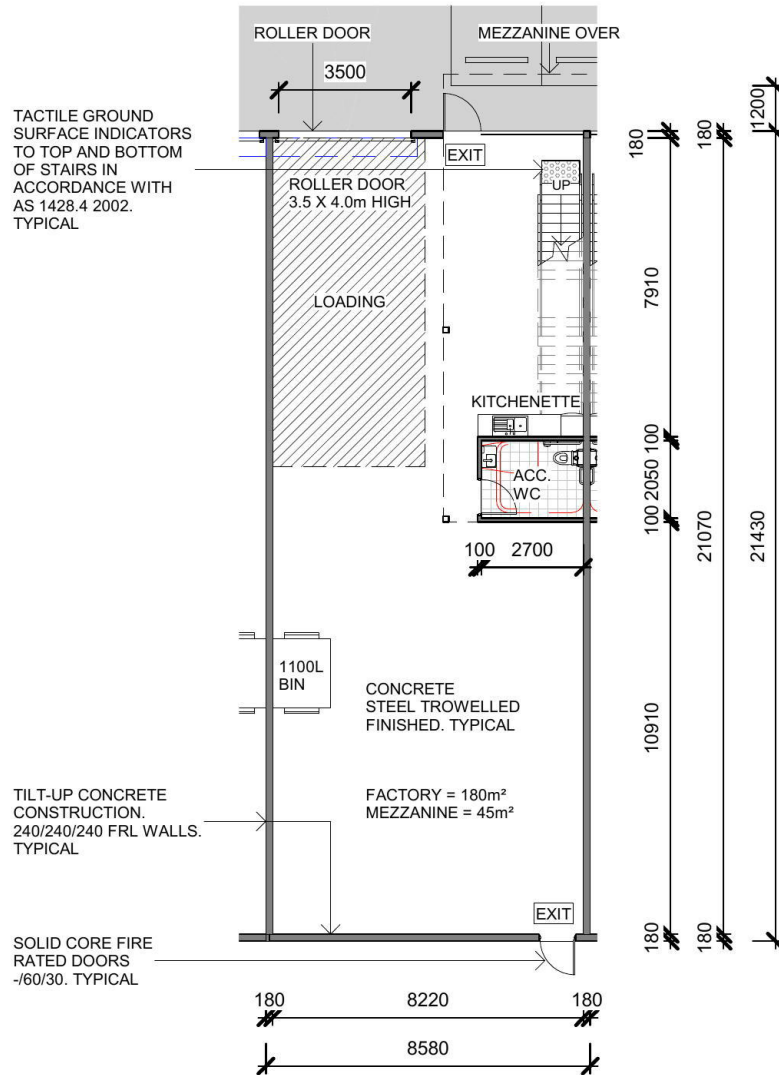
drawing no.

A3001

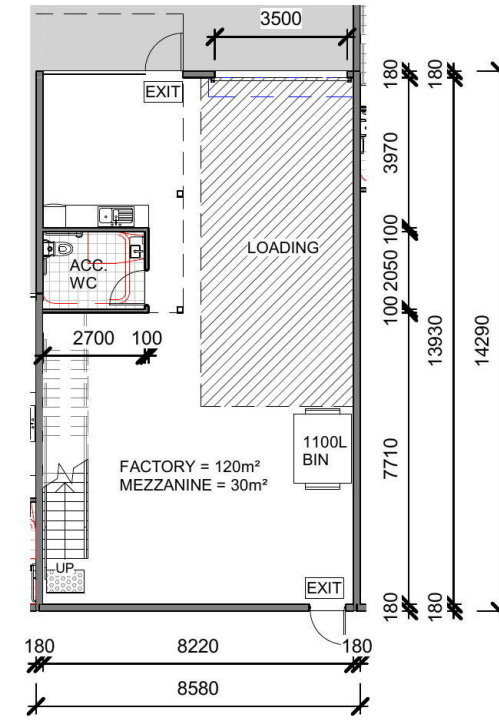
ISSUE: **C**



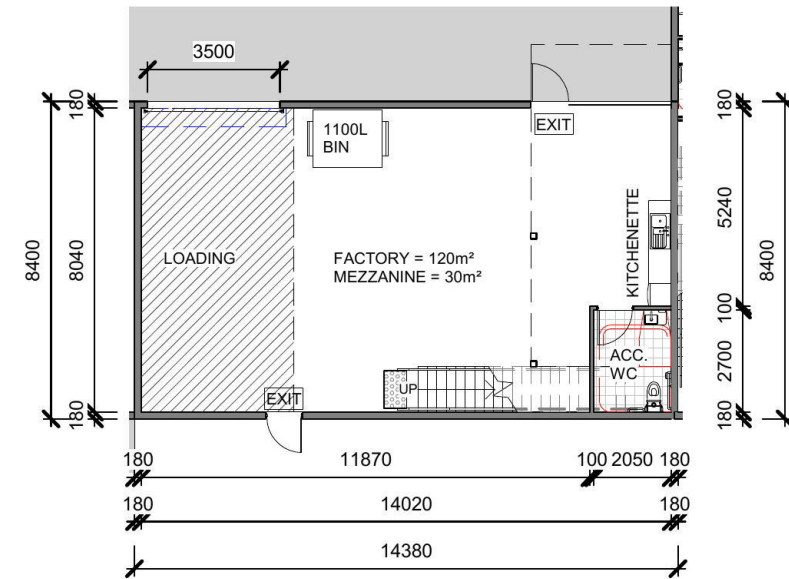
1 TYPICAL 300m² UNIT TYPE A - GROUND
1 : 200



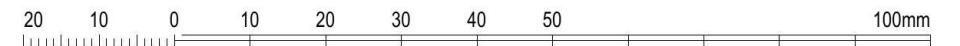
2 TYPICAL 225m² UNIT TYPE A - GROUND
1 : 200



3 TYPICAL 150m² UNIT TYPE A - GROUND
1 : 200



4 TYPICAL 150m² UNIT TYPE B - GROUND
1 : 200



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D	20.04.18	DA ISSUE
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B	14.11.17	ISSUED FOR URBAN DESIGN MEETING
A	11.09.17	PRE DA ISSUE
1	01.09.17	CONCEPT SKETCH ISSUE

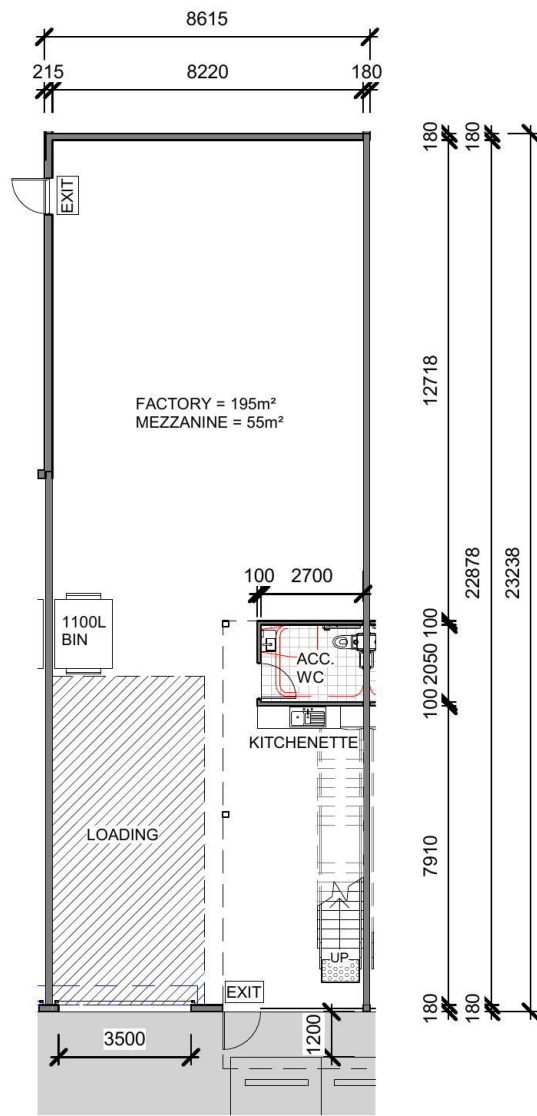

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client: NICHOLOPOULOS
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 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

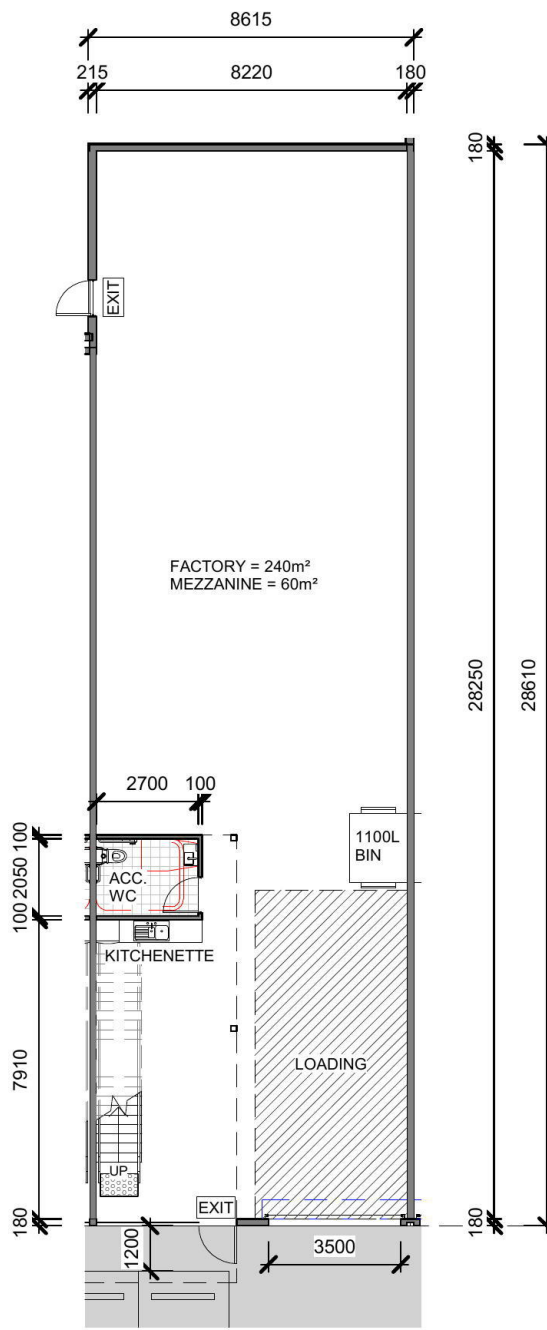
drawing title:
 TYPICAL
 WAREHOUSE UNIT
 TYPES - GROUND
 FLOOR PLAN 01

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 200 @A3
 DA ISSUE

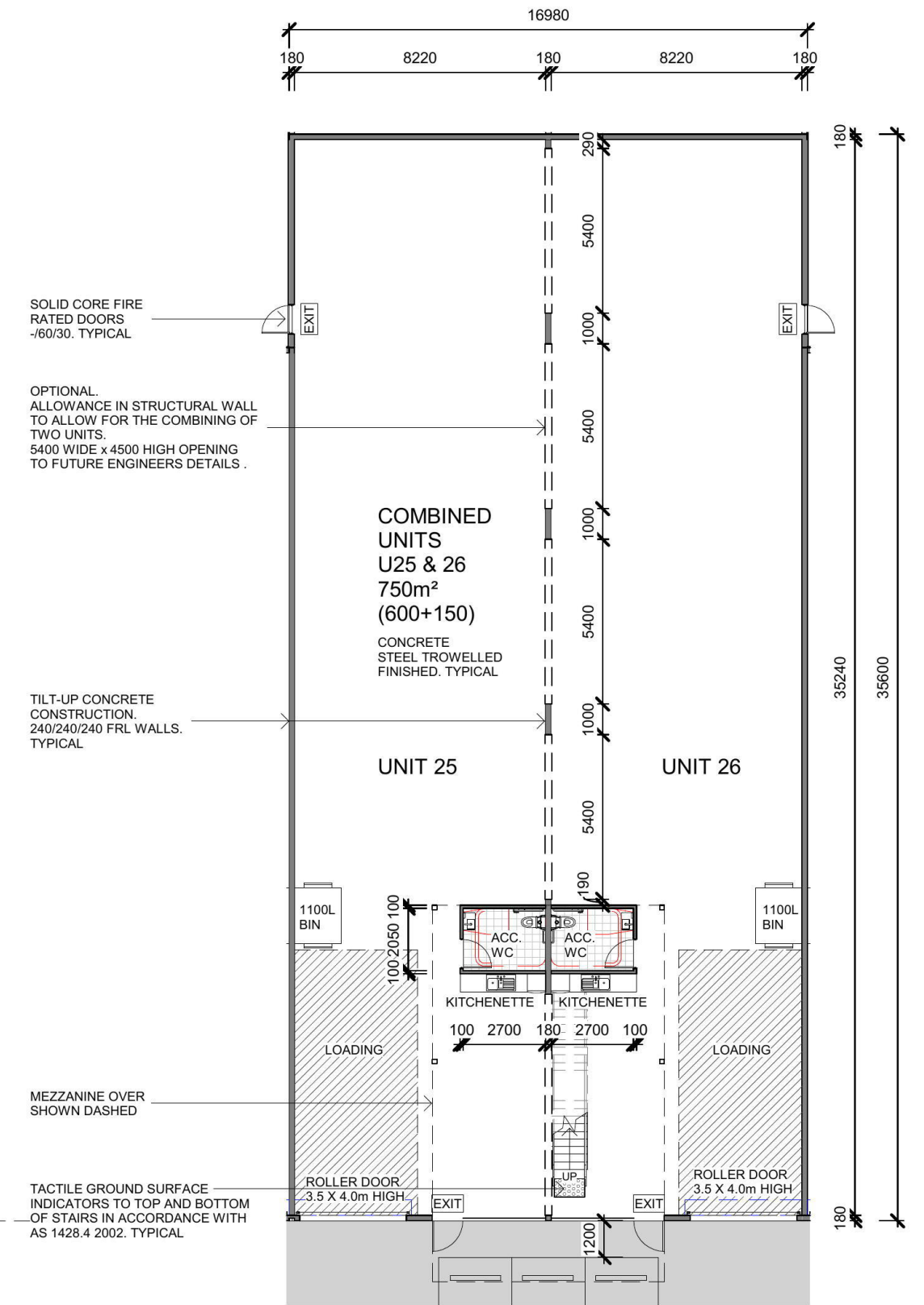
job no.
 17221
 drawing no.
 A4001
 issue.
D



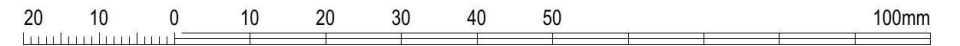
1 TYPICAL 250m² UNIT TYPE A - GROUND
1 : 200



2 TYPICAL 300m² UNIT TYPE B - GROUND
1 : 200



3 TYPICAL COMBINED UNITS 25 & 26 - GROUND
1 : 200



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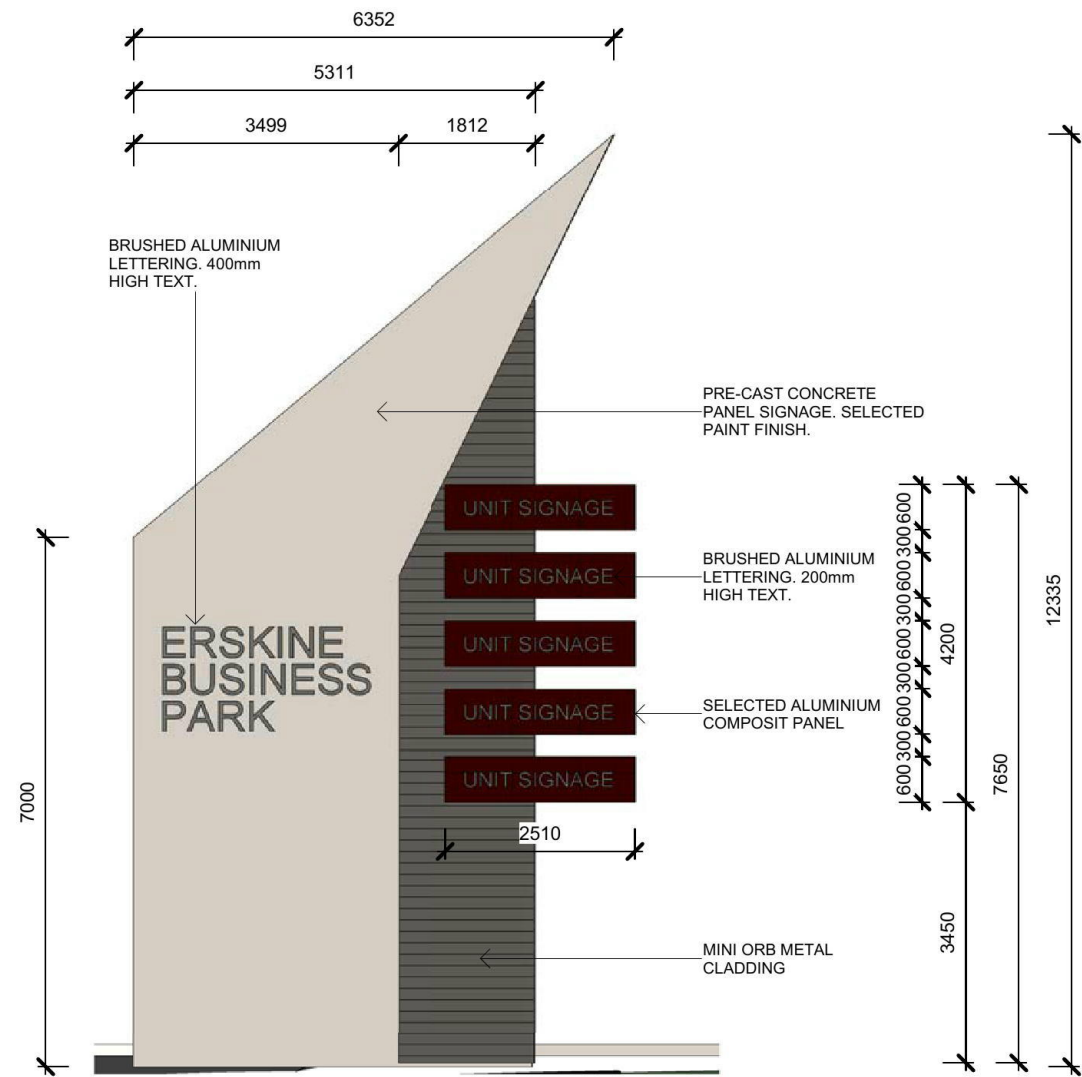

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 ROAD, ERSKINE PARK NSW 2759.
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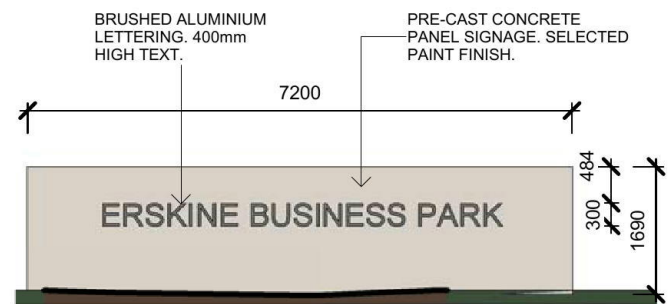
drawing title:
 TYPICAL
 WAREHOUSE UNIT
 TYPES - GROUND
 FLOOR PLAN 02

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 200 @A3
 DA ISSUE

job no.
 1721
 drawing no.
 A4002
 issue.
A



2 SIGNAGE PANEL DETAIL 01
1 : 100



3 SIGNAGE PANEL DETAIL 02
1 : 100

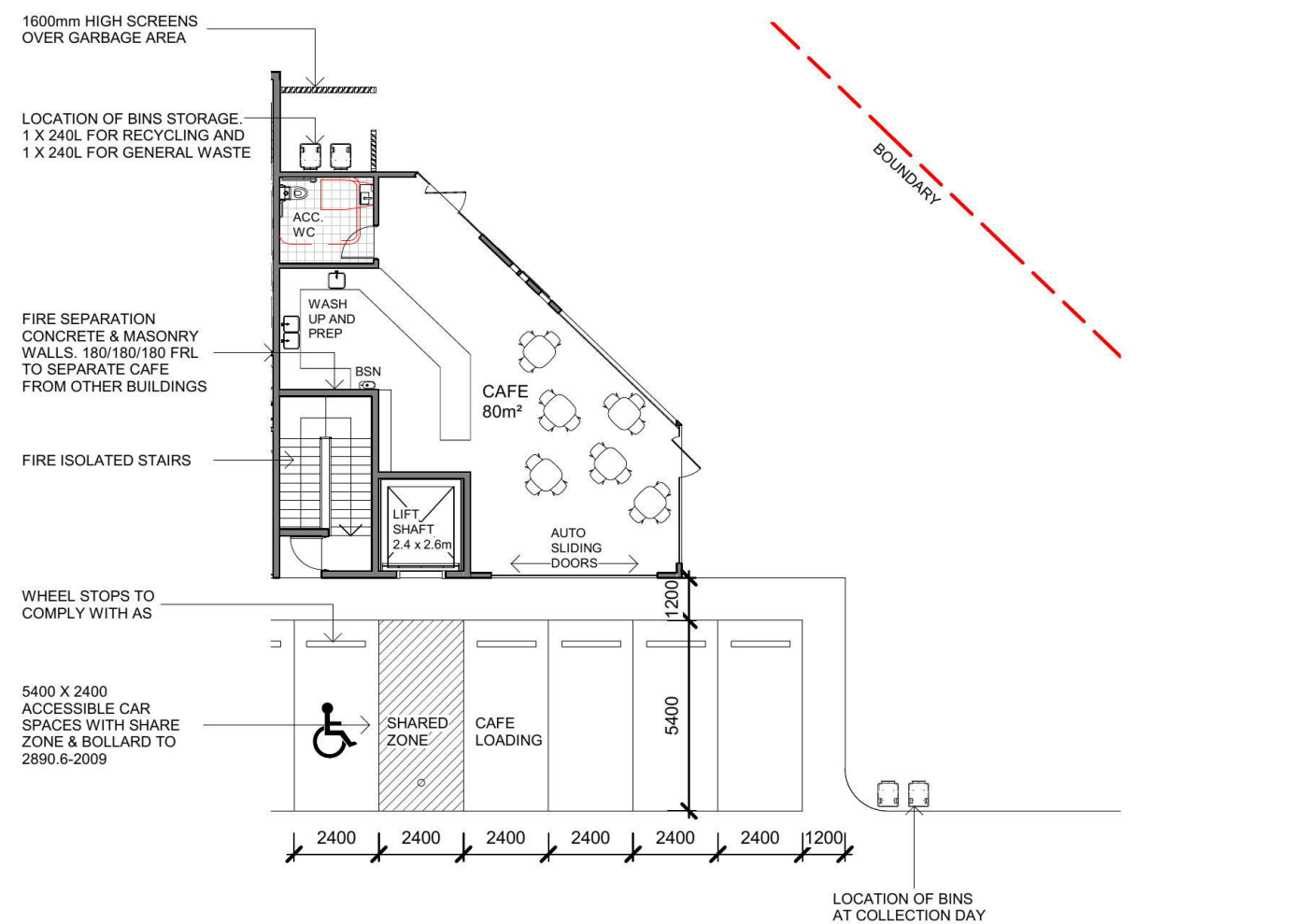
FOOD BUSINESS COMPLIANCE NOTES

THE DESIGN IS IN ACCORDANCE WITH
 - AS4674-2004 – FITOUT OF FOOD PREMISES
 - AS1668.1-1998 AND AS1668.2-1991 – MECHANICAL VENTILATION;
 - BUILDING CODE OF AUSTRALIA (BCA), AND
 - STANDARD CONDITIONS OF DEVELOPMENT CONSENT

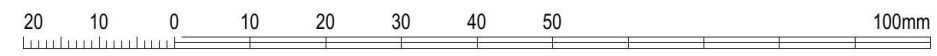
TOILET FACILITIES
 ACCESSIBLE TOILET PROVIDED

BASINS AND SINKS
 - HAND WASH BASINS WITHIN 5 METRES TRAVEL DISTANCE OF ALL FOOD HANDLING AND SERVICE AREAS; PROVIDED WITH HANDS FREE DELIVERY OF WARM RUNNING WATER THROUGH A SINGLE SPOUT;
 - HAND WASH BASINS ALSO PROVIDED TO TOILETS;
 - A DOUBLE BOWL SINK OR A SINGLE BOWL SINK WITH A DISHWASHER;
 - A FOOD PREPARATION SINK, WHERE FOOD WASHING IS CARRIED OUT AND A SEPARATE CLEANER'S SINK,

FLOOR, WALLS AND CEILINGS
 - ARE OF SMOOTH, IMPERVIOUS, DURABLE AND EASILY CLEANED, EVEN IN STORE AREAS;
 - WALLS ARE OF SOLID CONSTRUCTION;
 - COVING AT WALLS AND FLOORS JUNCTIONS;
 - KITCHEN FLOORS GRADED TO A FLOOR WASTE;
 - DURABLE FINISHES SUCH AS STAINLESS STEEL OR TILES FOR KITCHEN WALLS;
 - BENCHES AND OTHER EQUIPMENT RAISED 150MM ABOVE THE FLOOR, AND
 - PIPES AND DUCTING CONCEALED IN WALLS OR SEPARATED IN ACCORDANCE WITH AS 4674.

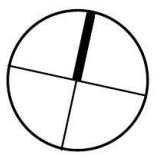


1 CAFE FLOOR PLAN
1 : 200



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client: **NICHOLOPOULOS**
 project: **INDUSTRIAL COMPLEX**
 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
**CAFE GROUND
 FLOOR PLAN &
 SIGNAGE PANEL
 DETAILS**

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: As indicated @A3
 DA ISSUE

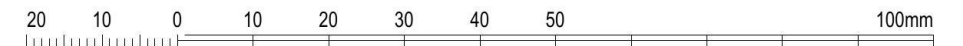
job no. 17221
 drawing no. A4003
 issue. **A**



1 3D View 1 - FROM LENORE DRIVE



2 3D View 2 - CORNER OF ERSKINE PARK RD & LENORE DR



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project:
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 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
3D PERSPECTIVES
 01

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: @A3

DA ISSUE

job no.

17221

drawing no.

A7001

issue.

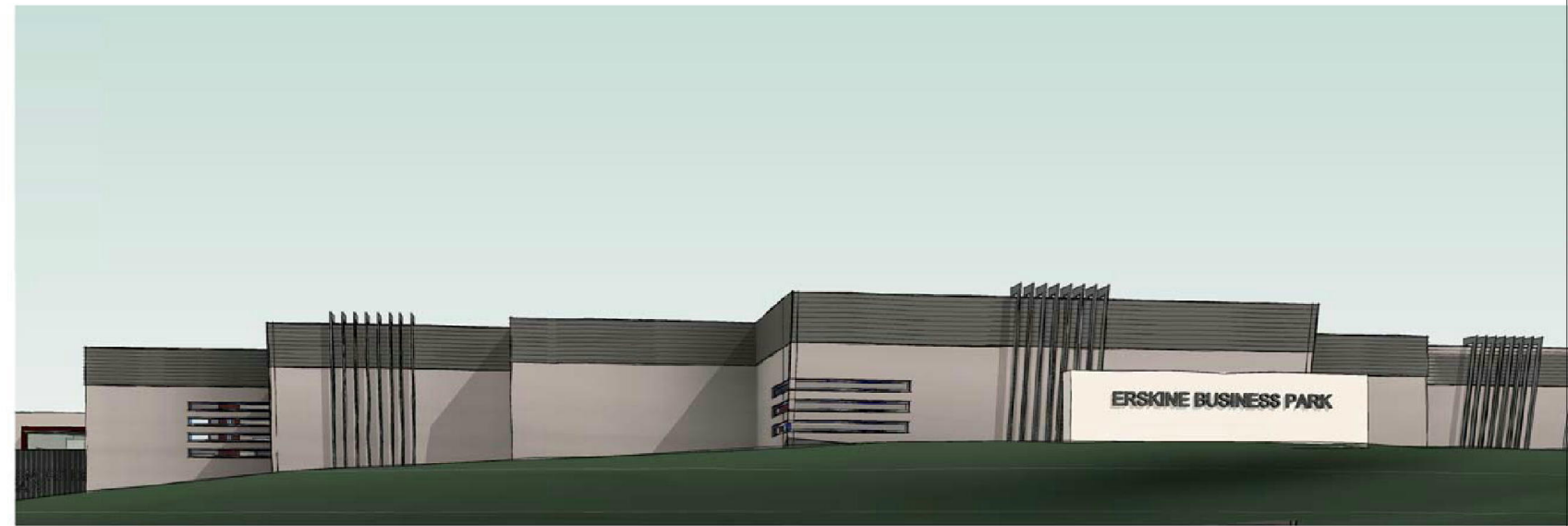
C



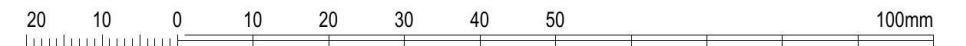
1 3D View 3 - FROM ERSKINE PARK ROAD



2 3D View 4 - LENORE DRIVE ACCESS



3 3D View 5 - CORNER OF ERSKINE PARK RD & LENORE DR



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 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
 3D PERSPECTIVES
 02

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: @A3
 DA ISSUE

job no. 17221
 drawing no. A7002
 issue. C

FINISHES SCHEDULE

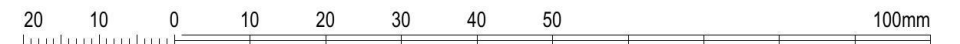
REINFORCED CONCRETE TILT-UP PANELS - TEXTURED PAINT FINISH. DULUX - BEIGE ROYAL A192 OR SIMILAR		STAINLESS STEEL HANDRAIL & STEEL CABLE BALUSTRADE OR SIMILAR AT SOUTHERN END FIRE ESCAPE ROUTE.	
ALUMINIUM FRAMED POWDERCOATED WINDOWS & DOORS - DULUX - MONUMENT OR SIMILAR		AWNING OVER ROLLER DOORS - PRESSED METAL FASCIA GUTTER AND DOWNPIPES - COLORBOND - MONUMENT OR SIMILAR	
METAL ROOF SHEETING - LYSAGHT KLIP-LOCK 406 - COLORBOND - WOODLAND GREY OR SIMILAR		SOFFIT UNDER AWNING - FC LINING - PAINT FINISH - DULUX - WHITE ON WHITE	
FEATURE CLADDING AT MEZZANINE & SIGNAGE PANEL - ALUMINIUM COMPOSIT PANEL - ALUCOBOND - RED FIRE OR SIMILAR		ROLLER DOORS - ALUMINIUM - COLORBOND - SHALE GREY	
METAL CLADDING FOR CAFE, SIGNAGE PANEL - COLORBOND - MINI ORB - MONUMENT OR SIMILAR	 	SIGNAGE PANEL LETTERING - BRUSHED ALUMINIUM INDIVIDUAL LETTERING 50mm DEEP.	
FEATURE METAL FINS & SUN SHADING SCREENS IN FRONT OF WINDOWS - ALUMINIUM - CLEAR ANODISED OR SIMILAR	 	CAFE ROOF CANOPY - CONCRETE - TEXTURE PAINT FINISH	
FEATURE WALL CLADDING - COLORBOND - CUSTOM ORB - MONUMENT OR SIMILAR		FIRE DOORS - PAINT FINISH - RED	
FACE BLOCKWORK - GREY BLOCKS AUSTRAL MASONRY - PALING COURT OR SIMILAR		FEATURE STONE CLADDING WALL ADJACENT LIFT SHAFT.	



1800mm HIGH ALUMINIUM BLACK PALISADE SECURITY FENCE AND GATES

FENCE DETAIL

1 : 100



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client: NICHOLOPOULOS

project:
INDUSTRIAL COMPLEX
 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
**FINISHES
 SCHEDULE**

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 100 @A3

DA ISSUE

job no.

17221

drawing no.

A7003

ISSUE: **B**

DEVELOPMENT DATA

LOT 1 DP 1071114	= 11,220m ²
LOT 55 DP 1170183	= 2,131m ²
TOTAL SITE AREA	= 13,351m²
6 x 150m ² UNITS (INCL. 30m ² OFFICE MEZZANINE)	150m ² = 900m ²
13 x 225m ² UNITS (INCL. 45m ² OFFICE MEZZANINE)	225m ² = 2925m ²
6 x 300m ² UNITS (INCL. 60m ² OFFICE MEZZANINE)	300m ² = 1800m ²
2 x 250m ² UNITS (INCL. 55m ² OFFICE MEZZANINE)	250m ² = 500m ²
2 x 375m ² UNITS (INCL. 75m ² OFFICE MEZZANINE)	250m ² = 750m ²

TOTAL NO. FACTORY UNITS = 29 UNITS
 1 CAFE = 80m²

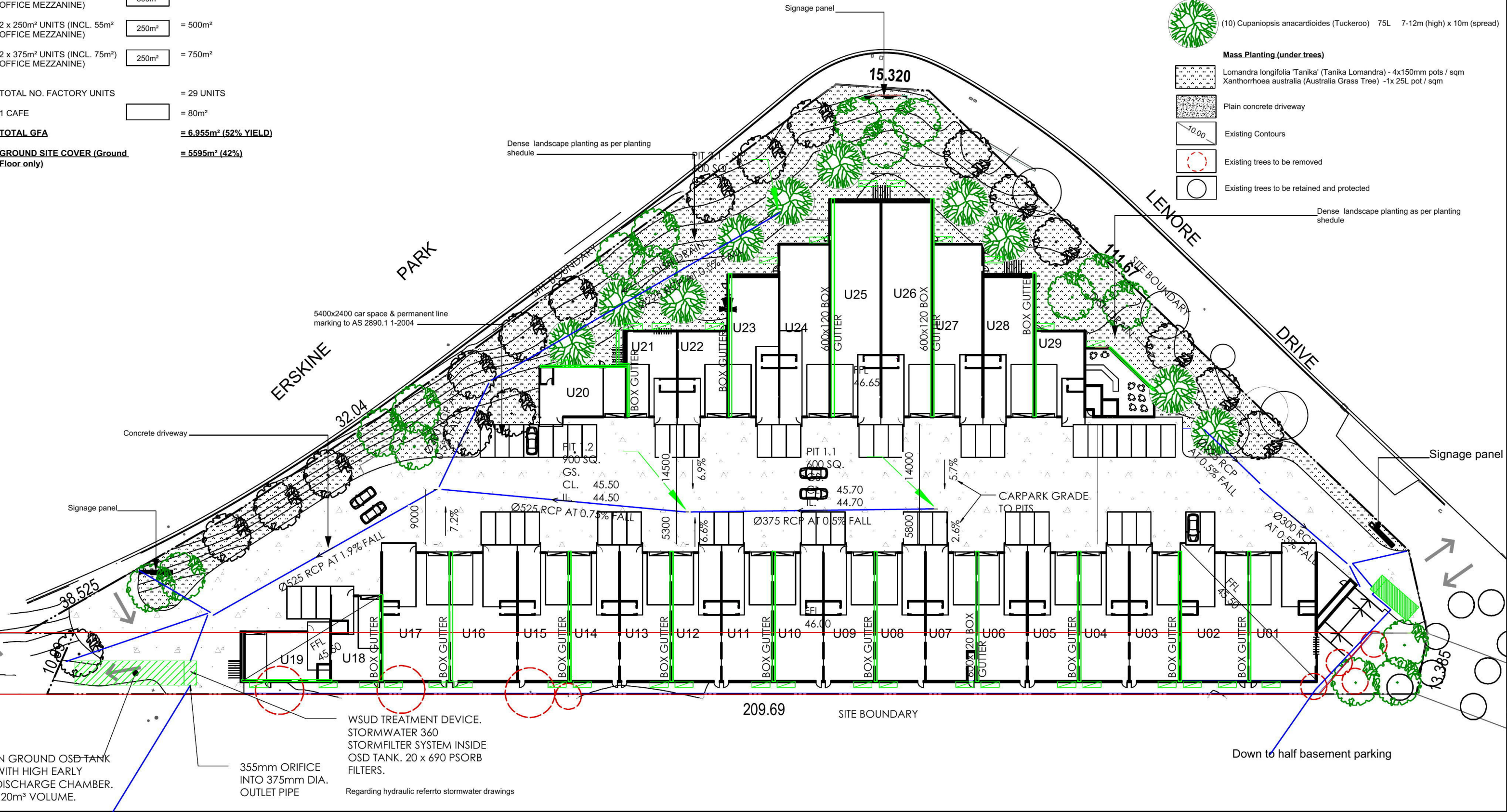
TOTAL GFA = 6,955m² (52% YIELD)

GROUND SITE COVER (Ground Floor only) = 5595m² (42%)

PARKING CALCULATION
 FACTORIES (1 SPACE PER 75m²) = 6875 / 75 = 91.66
 CAFE (1 SPACE PER 6m² OF SEATING AREA + 1 SPACE PER EMPLOYEE) = 8 (BASED ON 36m² OF SEATING AREA & 2 EMPLOYEE)
 = 100
 = 49 ON GRADE + 62 IN BASEMENT
 = 111 (INCLUDING 4 ACCESSIBLE PARKING)

PLANT SCHEDULE

- (18) Banksia serrata (Old Man Banksia) 75L 8-15m (high) x 8m (spread)
 - (18) Eucalyptus haemastoma (Scribbly Gum) 75L 7-10m (high) x 8m (spread)
 - (10) Cupaniopsis anacardioides (Tuckeroo) 75L 7-12m (high) x 10m (spread)
- Mass Planting (under trees)**
- Lomandra longifolia 'Tanika' (Tanika Lomandra) - 4x150mm pots / sqm
 - Xanthorrhoea australis (Australia Grass Tree) - 1x 25L pot / sqm
- Plain concrete driveway
- Existing Contours
- Existing trees to be removed
- Existing trees to be retained and protected

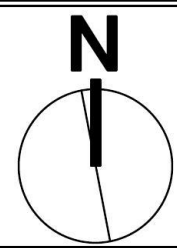


general notes
 do not scale off the drawing unless otherwise stated and use figures dimensions in preference. All dimensions are to be checked and verified by the CONTRACTOR on site before commencement of any works, all dimensions and levels are subject to final survey and set out. Discrepancies to be reported to designer prior to commencement.
 no responsibility will be accepted by this company for any variations in design, builders method of construction or materials used. deviation from specification without permission or accepted work practices resulting in a higher cost.
 all work to comply with relevant Australian standards or building code of australia.
 Version 1.00 Date 12/06/2018

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no.	date	description
B	21.3.18	Added stormwater layout
A	5.9.17	Submitted to client for approval
issue	date	amendment



OUTTHERE
 LANDSCAPES & DESIGN

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 a: 6 Norman Ave, Thornleigh NSW 2120
 o: (02) 9875 3489 m: 0414 540 518 e: emily@outtherelandscape.com.au

client: NICHOLPOULOS
 project: 1-23 LENORE DRIVE & ERSKINE PARK ROAD ERSKINE PARK
 drawing title: Landscape Plan

scale: 1:600 @ A3
 drawing no.: LP: 180219
 drawn by: ER
 rev no.: B

Member of the Australian Institute of Landscape Designers and Managers

DEVELOPMENT DATA

LOT 1 DP 1071114 = 11,220m²
 LOT 55 DP 1170183 = 2,131m²
TOTAL SITE AREA = 13,351m²

- 6 x 150m² UNITS (INCL. 30m² OFFICE MEZZANINE) 150m² = 900m²
- 13 x 225m² UNITS (INCL. 45m² OFFICE MEZZANINE) 225m² = 2925m²
- 6 x 300m² UNITS (INCL. 60m² OFFICE MEZZANINE) 300m² = 1800m²
- 2 x 250m² UNITS (INCL. 55m² OFFICE MEZZANINE) 250m² = 500m²
- 2 x 375m² UNITS (INCL. 75m² OFFICE MEZZANINE) 250m² = 750m²

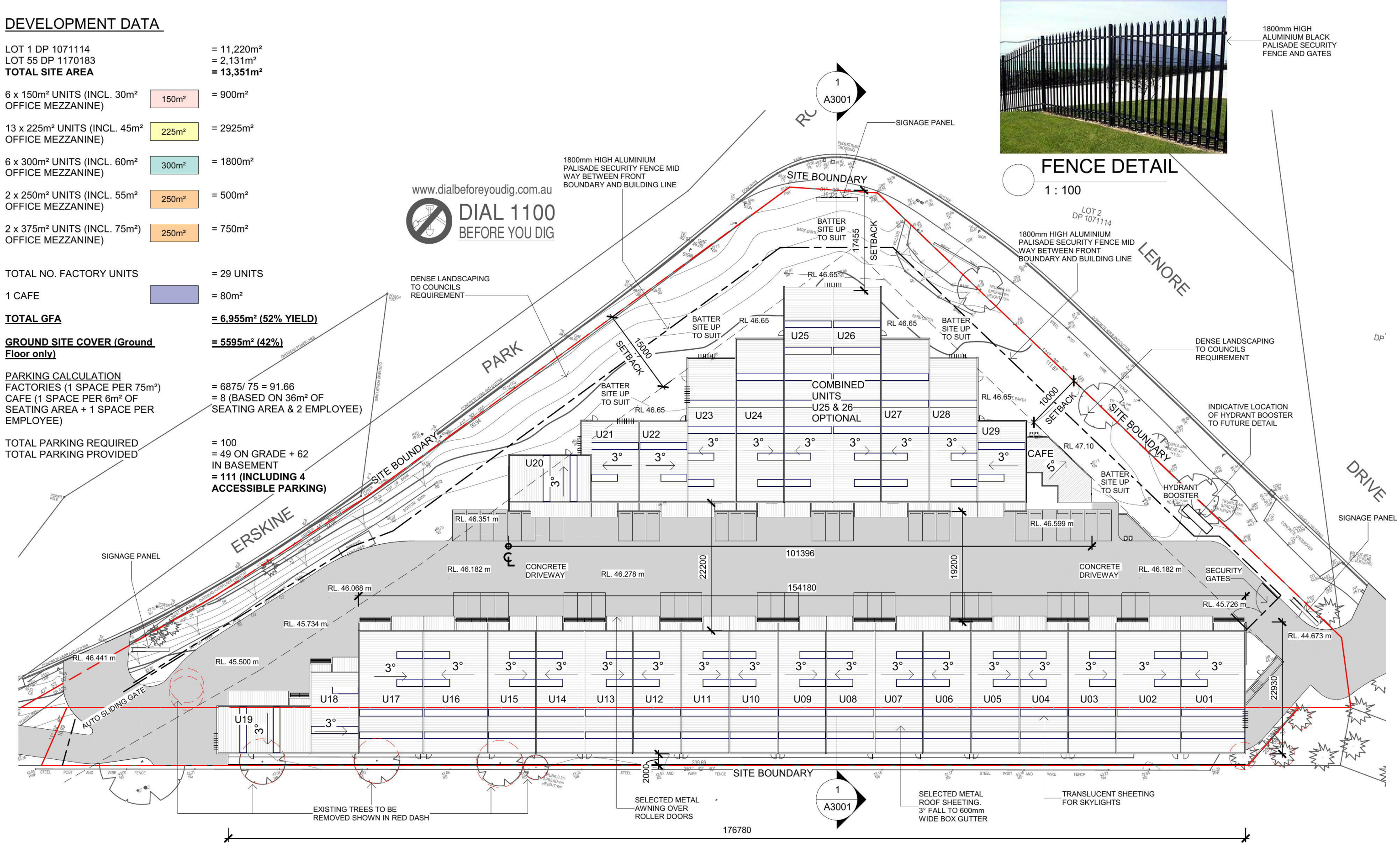
TOTAL NO. FACTORY UNITS = 29 UNITS
 1 CAFE 80m² = 80m²

TOTAL GFA = 6,955m² (52% YIELD)

GROUND SITE COVER (Ground Floor only) = 5595m² (42%)

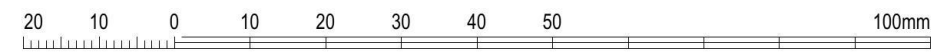
PARKING CALCULATION
 FACTORIES (1 SPACE PER 75m²) = 6875 / 75 = 91.66
 CAFE (1 SPACE PER 6m² OF SEATING AREA + 1 SPACE PER EMPLOYEE) = 8 (BASED ON 36m² OF SEATING AREA & 2 EMPLOYEE)

TOTAL PARKING REQUIRED = 100
 TOTAL PARKING PROVIDED = 49 ON GRADE + 62 IN BASEMENT = 111 (INCLUDING 4 ACCESSIBLE PARKING)



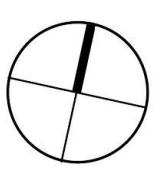
PROPOSED SITE & ROOF PLAN

1 : 600



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ISSUE	DATE	REVISION
B	20.04.18	DA ISSUE
1	11.04.18	ISSUED FOR COORDINATION
A	31.01.18	DRAFT DA ISSUE & CONS COORDINATION



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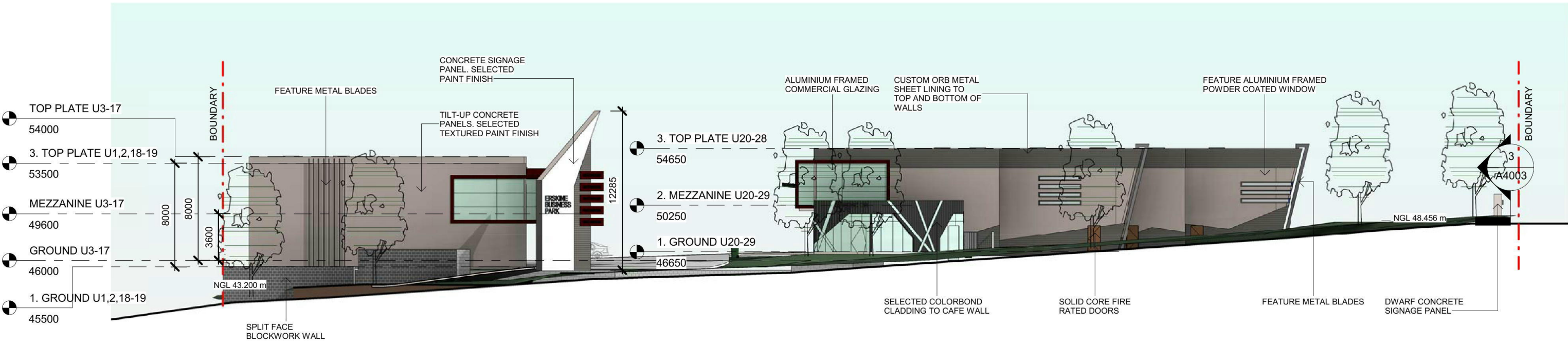
client: NICHOLOPOULOS
 project: INDUSTRIAL COMPLEX
 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK ROAD,
 ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
NOTIFICATION PLAN 01

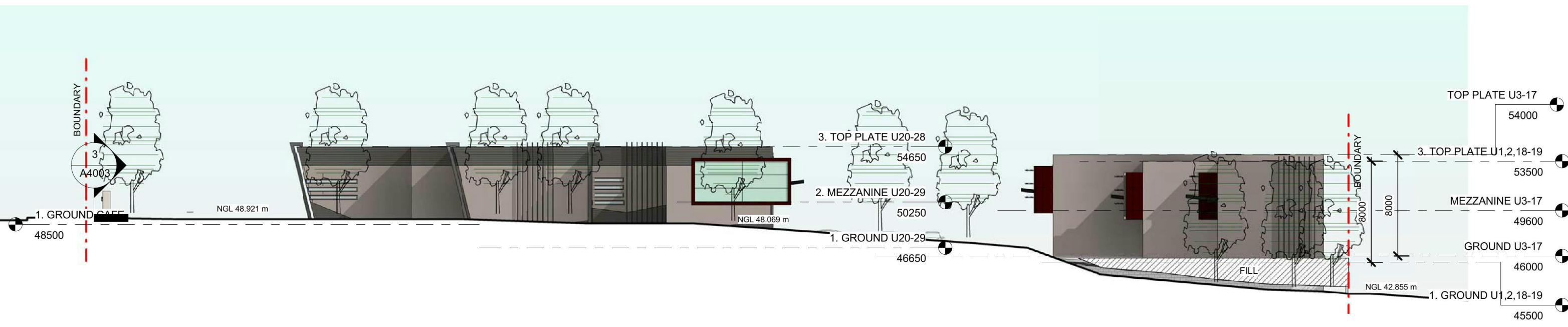
print date: 20.04.18
 drawn: HC
 checked: HC
 scale: As indicated @A3

DA ISSUE

job no. 17221
 drawing no. NP01
 issue. **B**



1 ELEVATION - FROM LENORE DRIVE
1 : 300



2 ELEVATION - FROM ERSKINE PARK ROAD
1 : 300



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ISSUE	DATE	REVISION
C	20.04.18	DA ISSUE
1	11.04.18	ISSUED FOR COORDINATION
B	31.01.18	DRAFT DA ISSUE & CONS COORDINATION
A	14.11.17	ISSUED FOR URBAN DESIGN MEETING


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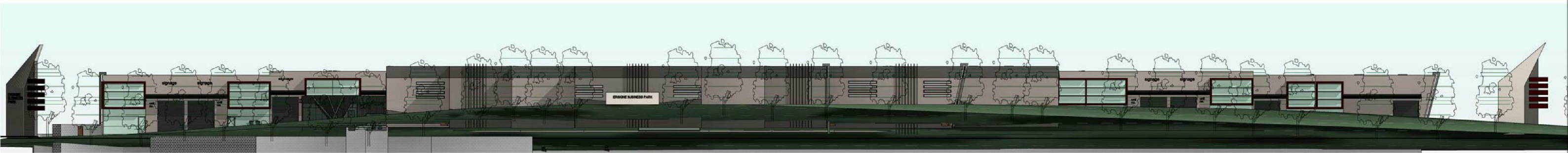
client: NICHOLOPOULOS
 project: INDUSTRIAL COMPLEX
 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
**NOTIFICATION
 PLAN 02**

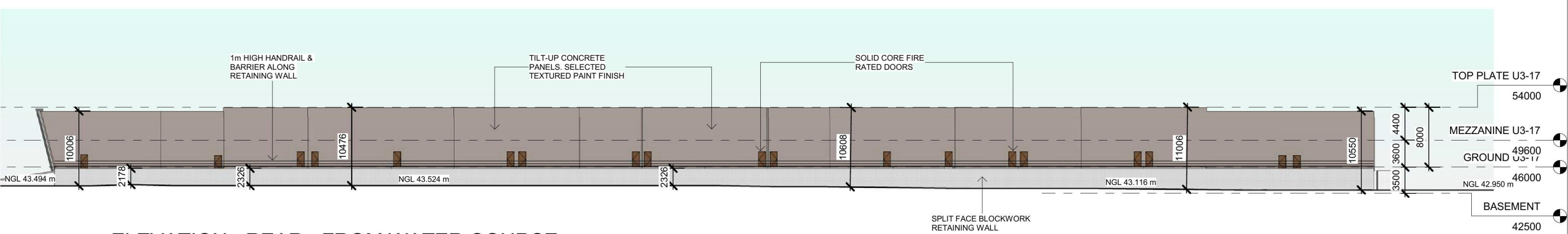
print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 300 @A3

DA ISSUE

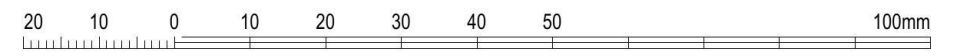
job no. 17221
 drawing no. 17221
 issue. **C**
 NP02



1 ELEVATION - FROM CORNER ERSKINE PARK & LENORE DRIVE
1 : 500



2 ELEVATION - REAR - FROM WATER COURSE
1 : 500



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client: NICHOLOPOULOS
 project: INDUSTRIAL COMPLEX
 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
**NOTIFICATION
 PLAN 03**

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 500 @A3

DA ISSUE

job no.

17221

drawing no.

NP03

issue.

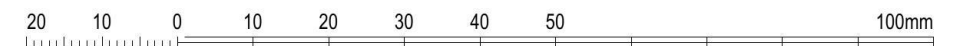
C



1 ELEVATION - UNIT 1-19
1 : 500



2 ELEVATION - UNIT 20-29
1 : 300



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B	31.01.18	DRAFT DA ISSUE & CONS COORDINATION
A	14.11.17	ISSUED FOR URBAN DESIGN MEETING



client: NICHOLOPOULOS
 project: INDUSTRIAL COMPLEX
 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
 NOTIFICATION
 PLAN 04

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: As indicated @A3

DA ISSUE

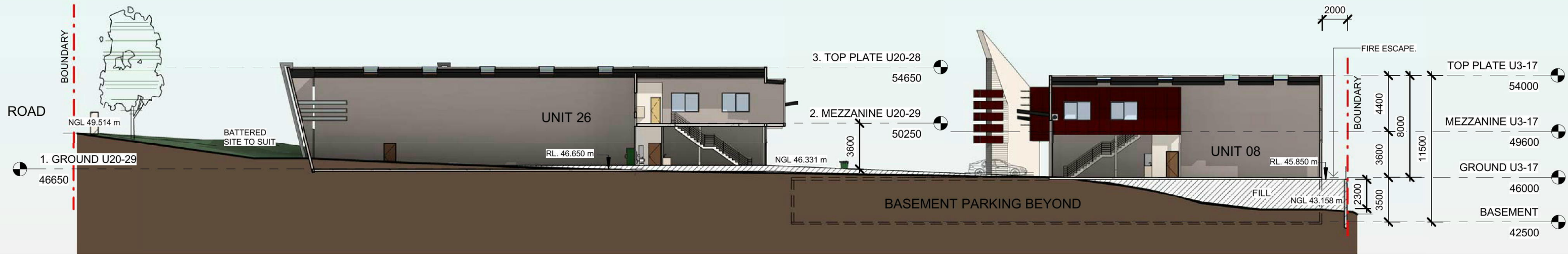
job no.

17221

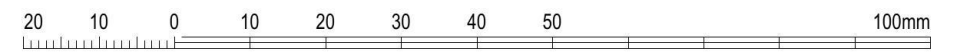
drawing no.

NP04

issue:
C



1 SECTION A-A
1 : 300



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client: NICHOLOPOULOS
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 PROPOSED INDUSTRIAL DEVELOPMENT
 AT 1-23 LENORE DRIVE & ERSKINE PARK
 ROAD, ERSKINE PARK NSW 2759.
 LOT 1 DP 1071114 & LOT 55 DP 1170183

drawing title:
**NOTIFICATION
 PLAN 05**

print date: 20.04.18
 drawn: HC
 checked: HC
 scale: 1 : 300 @A3

DA ISSUE

job no.

1721

drawing no.

NP05

ISSUE: **C**

PROPOSED DEVELOPMENT

1-23 LENORE DRIVE, ERSKINE PARK, NSW, 2759

LOT 1/DP1071114, LOT55/DP1170183

DRAWINGS INDEX	
Drawing No.	Drawings Title
C1.0	DRAWING INDEX & GENERAL NOTES
C2.0	CONCEPT STORMWATER PLAN



PROPOSED SITE

LOCALITY PLAN
N.T.S.



GENERAL NOTES

GENERAL

- CG1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- CG2 ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT STANDARDS AUSTRALIA CODES AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- CG3 ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE. ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- CG4 UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETERS.
- CG5 ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH ACCEPTABLE SAFETY STANDARDS & APPROPRIATE SAFETY SIGNS SHALL BE INSTALLED AT ALL TIMES DURING THE PROGRESS OF THE JOB.

SURVEY

- SU1 THE EXISTING SITE CONDITIONS SHOWN ON THE DRAWINGS HAVE BEEN INVESTIGATED BY OTHERS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN.
- SU2 THE FOLLOWING ENGINEERING SURVEY SHALL NOT BE TAKEN AS A CADASTRAL OR BOUNDARY IDENTIFICATION SURVEY. BOUNDARY DATA SHALL BE TAKEN AS A GUIDE ONLY UNLESS NOTED OTHERWISE.
- SU3 SHOULD DISCREPANCIES BE FOUND BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA THE CONTRACTOR SHALL NOTIFY TRIAXIAL CONSULTING PRIOR TO COMMENCEMENT OF THE WORKS. THE CONTRACTOR SHALL ACCEPT ALL RESPONSIBILITY FOR ERRORS MADE DURING CONSTRUCTION WHERE SURVEY DISCREPANCIES WERE NOT RELAYED AND RESOLVED BY TRIAXIAL CONSULTING PRIOR TO COMMENCEMENT OF THE WORKS.

EXCAVATION

- EX1 REFER TO REPORT ON GEOTECHNICAL STABILITY ASSESSMENT FOR INFORMATION PERTAINING TO EXISTING SITE STABILITY, EXCAVATION AND GEOTECHNICAL ISSUES.
- EX2 ALL SITE EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH ITEMS NOTED IN THE ABOVE LISTED REPORT.
- EX3 THE EARTHWORKS CONTRACTOR IS TO CONTACT OR MEET WITH THE GEOTECHNICAL ENGINEER PRIOR TO COMMENCEMENT OF ANY EXCAVATION TO DETERMINE APPROPRIATE TECHNIQUES AND HOLD POINTS.
- EX4 TEMPORARY BATTER CUT TO ROCK TO BE FORMED AT NO STEEPER THAN 1 V : 1 H. PERMANENT BATTER TO BE CONFIRMED ON SITE IN CONSULTATION WITH THE GEOTECHNICAL ENGINEER.

EXISTING UNDERGROUND SERVICES

- EU1 THE EXISTING UNDERGROUND SERVICES INDICATED ON THESE DRAWINGS HAVE BEEN OBTAINED FROM SURVEY AND SERVICE AUTHORITY INFORMATION. THE SERVICES INFORMATION SHOWN ARE THOSE OF KNOWN SERVICES ONLY. THE LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY AND MAY NOT BE 'AS CONSTRUCTED' OR ACCURATE. THE PRESENCE OR ABSENCE OF SERVICES SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- EU2 THE CONTRACTOR SHALL TAKE ALL DUE CARE WHEN EXCAVATING ON SITE INCLUDING HAND EXCAVATION WHERE NECESSARY.
- EU3 THE CONTRACTOR SHALL CONTACT ALL RELEVANT SERVICE AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORKS.
- EU4 THE CONTRACTOR SHALL UNDERTAKE A THOROUGH SERVICES SEARCH PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORKS. THE RESULTS OF SERVICES SEARCHES SHALL BE RECORDED AND KEPT ON SITE AT ALL TIMES.

SITE PREPARATION

- SP1 REFER TO GEOTECHNICAL REPORT FOR EXISTING SOIL CONDITIONS.
- SP2 ALL ORGANIC & DELETERIOUS MATERIAL TO BE COMPLETELY CLEARED FROM SITE WORKS AREA.
- SP3 PRIOR TO THE COMMENCEMENT OF ANY CIVIL OR STRUCTURAL CONSTRUCTION THE ENTIRE SITE AREA IS TO BE COMPACTED AND TESTED IN ACCORDANCE WITH AS1289.5.1.1 OR .5.1.2 - 1993 TO PRODUCE THE FOLLOWING: -98.0% STANDARD COMPACTION AT THE SURFACE AND AT 200MM BELOW SURFACE LEVEL. FREQUENCY OF FIELD DENSITY TESTS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS3798 - 2007 TABLE 8.1 TESTING SHALL BE EVENLY SPACED OVER THE ENTIRE SITE, AND AT RANDOM LOCATIONS. TEST RESULTS SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORKS.
- SP4 PROOF ROLL EXPOSED SUBGRADE PRIOR TO COMMENCEMENT OF CIVIL AND STRUCTURAL CONSTRUCTION. CONDUCTED UNDER GEOTECHNICAL SUPERVISION.
- SP5 BOX OUT ANY SOFT AREAS AND FILL AND COMPACT WITH IMPORTED FILL.
- SP6 PLACE IMPORTED FILL IN MAXIMUM 200 LOOSE LAYERS & COMPACT TO 98%STD >1M BELOW B.E.L.) AND 100%STD (<1m BELOW B.E.L.) AND TO WITHIN +/-2% OF OMC.
- SP7 IMPORTED FILL IS TO BE CRUSHED SANDSTONE OR RIPPED SHALE WITH A MINIMUM CBR OF 30%. PI 8% AND A MAX PARTICLE SIZE OF 75mm.

SITWORKS

- SW1 THE CONTRACTOR SHALL VERIFY ALL LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORKS. ANY DISCREPANCIES SHALL BE REPORTED TO TRIAXIAL CONSULTING FOR FURTHER INSTRUCTION.
- SW2 ALL CONNECTIONS WITH EXISTING WORKS SHALL BE MADE SMOOTH.
- SW3 ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO ACHIEVE A DENSITY EQUIVALENT TO THE ADJACENT MATERIAL.
- SW4 ALL SERVICE TRENCHES SHALL BE BACKFILLED WITH SAND TO A LEVEL 300mm ABOVE THE PIPE. WHERE SERVICE TRENCHES ARE CONSTRUCTED UNDER VEHICULAR PAVEMENTS, BACKFILL THE REMAINDER OF THE TRENCH (TO UNDERSIDE OF PAVEMENT) WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN LAYERS NOT EXCEEDING 150mm DEPTH. BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM 98% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1 (CURRENT EDITION) OR A DENSITY INDEX OF NOT LESS THAN 75.
- SW5 PROVIDE A 10mm WIDE EXPANSION JOINT BETWEEN ALL BUILDINGS AND CONCRETE OR UNIT PAVEMENTS.
- SW6 ALL BASE-COURSE MATERIAL SHALL BE MINIMUM 95% MODIFIED DRY DENSITY (UNO) IN ACCORDANCE WITH AS 1289 5.2.1 (CURRENT EDITION).

SEDIMENT AND EROSION CONTROL

- SE1 CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUAL "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION" (2004) (THE BLUE BOOK).
- SE2 DISTURBANCE SHALL BE KEPT TO A MINIMUM AND WITHIN THE LIMITS OF THE CONSTRUCTION SITE.
- SE3 ADDITIONAL CONTROLS SHALL BE INSTALLED AS REQUIRED AND IN ACCORDANCE WITH "THE BLUE BOOK".
- SE4 ALL INSTALLED CONTROLS SHALL BE INSPECTED AT LEAST WEEKLY AND IMMEDIATELY FOLLOWING A RAIN EVENT. MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED.
- SE5 COMPLETED AREAS SHALL BE PROGRESSIVELY VEGETATED.
- SE6 CONTROL DEVICES, AS DETAILED, SHALL BE INSTALLED TO STORMWATER PITS IMMEDIATELY FOLLOWING THEIR CONSTRUCTION.

STORMWATER DRAINAGE

- SD1 PIPES UP TO 300mm DIAMETER SHALL BE SEWER GRADE UPVC WITH SOLVENT WELDED JOINTS.
- SD2 ALL "INTERNAL WORKS" WITHIN PROPERTY BOUNDARIES SHALL COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.3 (CURRENT EDITION).
- SD3 ALL STORMWATER PIPES SHALL BE PROVIDED WITH MINIMUM PIPE COVER TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.3 (CURRENT EDITION).
- SD4 INSTALLATION OF ALL BURIED CONCRETE STORMWATER PIPES SHALL COMPLY WITH THE REQUIREMENTS OF AS/NZS 3725 (CURRENT EDITION) DESIGN FOR INSTALLATION OF BURIED CONCRETE PIPES.
- SD5 ENLARGERS, CONNECTORS AND JUNCTIONS SHALL BE PREFABRICATED FITTINGS WHERE PIPES ARE LESS THAN 300mm DIAMETER.
- SD6 ALL STORMWATER DRAINAGE LINES SHALL HAVE A MINIMUM FALL OF 1% UNLESS NOTED OTHERWISE ON THE DRAWINGS. CARE SHALL BE TAKEN WITH SETTING LEVELS OF STORMWATER DRAINAGE LINES. GRADES SHOWN ON THE DRAWINGS SHALL NOT BE REDUCED WITHOUT THE WRITTEN CONSENT OF TRIAXIAL CONSULTING.
- SD7 GRATES AND COVERS SHALL COMPLY WITH THE REQUIREMENTS OF AS 3996 (CURRENT EDITION).
- SD8 AT ALL TIMES DURING THE CONSTRUCTION OF STORMWATER PITS, ADEQUATE SAFETY PROCEDURES SHALL BE DOCUMENTED AND EXECUTED TO MITIGATE THE RISK OF PERSONAL INJURY AS A RESULT OF FALLS INTO PITS.
- SD9 ALL EXISTING STORMWATER LOCATIONS, INCLUDING INVERTS, TO BE CONFIRMED BY THE BUILDER/CONTRACTOR PRIOR TO THE COMMENCEMENT OF CIVIL WORKS ON SITE.
- SD10 ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN SHALL BE INSPECTED AND CLEANED. DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDANT/ENGINEER FOR FURTHER DIRECTIONS.

NOTE:
THIS IS A PLANNING DRAWING ONLY. FOR THE PURPOSE OF CONCEPTUAL DESIGN AND/OR PLANNING. FURTHER DETAILED ENGINEERING DESIGN INCLUDING SPECIFICATIONS, SIZING AND STORMWATER INVERTS TO BE PROVIDED PRIOR TO BUILDING RULES ASSESSMENT AND CONSTRUCTION.

ISSUED FOR APPROVAL	20.03.18	B	J.D.
ISSUED FOR APPROVAL	22.02.18	A	J.D.
AMENDMENTS	DATE	ISSUE	BY
STATUS			

ISSUED FOR APPROVAL



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ARCHITECT
HY CHENG
ARKEXPRESS DESIGN PTY LTD
PO BOX 6213
CANLEY VALE NSW 2166
CLIENT
FRANK NICHOLAS

PROJECT
PROPOSED DEVELOPMENT
1-23 LENORE DRIVE
ERSKINE PARK, NSW, 2759

DESIGNED	DRAWN	DATE	SIZE	CAD REF
J.D.	J.M.	19.02.18	A1	TX13092.00-C1.0

DRAWING TITLE
DRAWING INDEX & GENERAL NOTES

DRAWING NO. **TX13092.00 - C1.0** ISSUE **B**



STORMWATER NOTES

TOTAL SITE AREA = 13351m²
 ASSUMED PRE-DEVELOPMENT IMPERVIOUS AREA = 0m²
 POST DEVELOPMENT IMPERVIOUS AREA = 10000m²
 OSD VOLUME AS PER DRAINS MODEL (BASED ON WORST CASE STORM, COMBINED STORAGE VOL.) = 136m³
 OSD DESIGNED TO REDUCE FLOWS TO PRE-DEVELOPED RATE AS PER PENRITH COUNCIL GUIDELINES.
 PRE-DEVELOPMENT FLOW LEAVING SITE = 0.303m³/s
 POST-DEVELOPMENT FLOW LEAVING SITE = 0.302m³/s
 ALL BUILDING DOWNPIPES ARE TO BE CONNECTED TO NEW STORMWATER DRAINAGE SYSTEM.

RAINWATER HARVESTING NOTES

AS PER PENRITH COUNCIL DEVELOPMENT CONTROL PLAN 2014 CHAPTER C3 - WATER MANAGEMENT, COMMERCIAL AND INDUSTRIAL, 80% OF NON POTABLE WATER SUPPLY TO BE SOURCED FROM NON-MAINS SUPPLY.
 RAINWATER TANKS HAVE BEEN SIZED FOR EACH UNIT AND ARE A MINIMUM TANK SIZE TO SATISFY 80% OF NON POTABLE USE. NON-POTABLE USE INCLUDES WATER USED FOR GARDENS, LAUNDRY AND TOILET USE.
 WATER USAGE RATES HAVE BEEN ADOPTED FROM SYDNEY WATER "AVERAGE DAILY WATER USE - BY PROPERTY TYPE", WHICH HAS BEEN COMPILED FROM WATER SUPPLY CODE OF AUSTRALIA, PB FLOW STUDY REPORT AND WATER USAGE SURVEYS. WATER USAGE RATES ADOPTED FOR THIS DEVELOPMENT WERE 2.48L/m² FLOOR AREA IN ACCORDANCE WITH A TYPICAL RETAIL UNIT. PERCENTAGE BREAKDOWN OF USAGE FOR NON POTABLE WATER IN ACCORDANCE WITH SYDNEY WATER USAGE RATES.
 RAINFALL DATA WAS SOURCED FROM BUREAU OF METEOROLOGY FOR ERSKINE PARK AREA. RAINFALL DATA SAMPLED FROM THREE YEAR AVERAGE RAINFALL CONDITION. TANKS INITIALLY EMPTY.

RAINWATER TANK SIZE				
UNIT SIZE	USAGE	TANK WATER USAGE	MAINS WATER USAGE	MIN TANK SIZE REQUIRED
150m ²	372	51700	9170	3000
225m ²	558	82300	14000	5000
250m ²	620	93400	14500	6000
300m ²	744	111900	19400	7000
375m ²	930	142000	24800	9000
80m ² CAFE	199	30600	5100	2000

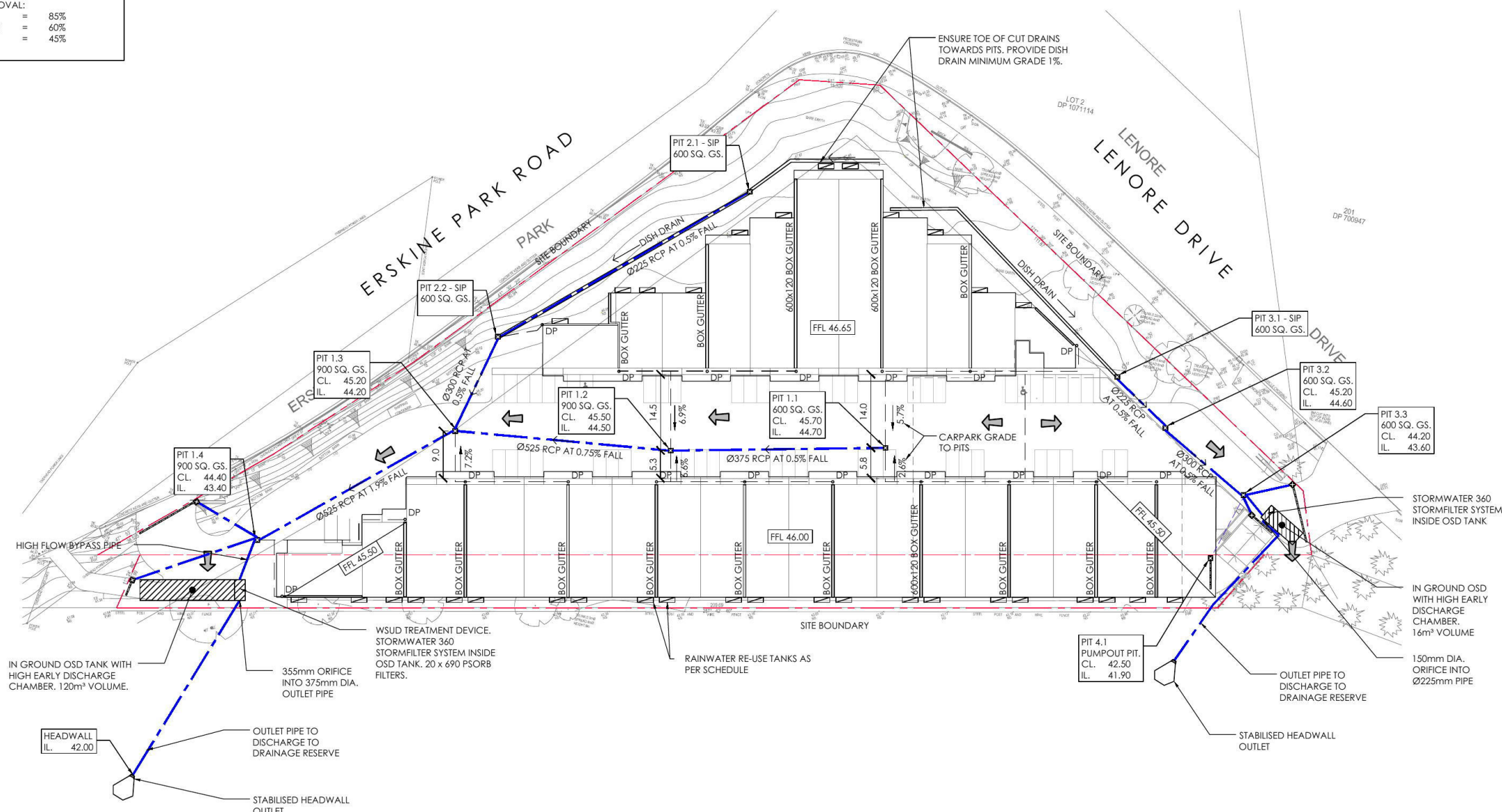
TANK WATER USAGE RATES SHOWN IN LITRES PER YEAR FOR NON POTABLE USE. MAINS WATER USED IN PERIODS OF DRY WEATHER WHEN TANK DOES NOT HAVE ENOUGH STORED WATER.

WUSD NOTES

WUSD DESIGN TO PENRITH COUNCIL GUIDELINES.
 TARGET POLLUTANT REMOVAL:
 • TSS = 85%
 • TOTAL PHOSPHORUS = 60%
 • TOTAL NITROGEN = 45%

LEGEND

SYMBOL	DESCRIPTION
—	STORMWATER PIPE @ 1.0% MIN U.N.O.
○ DP	UPVC DOWNPIPE
● IO	SURFACE INSPECTION OPENING
■ (GS)	(GS) GRATED SUMP (UNO)
■ (JB)	(JB) JUNCTION BOX (UNO)
—	CONCRETE HEADWALL
—	DESIGN LEVEL
TK.	TOP OF KERB
WT.	WATER TABLE
P.	PAVEMENT LEVEL
FL.	FINISHED LEVEL
CL.	COVER LEVEL
IL.	INVERT LEVEL
FFL.	FINISHED FLOOR LEVEL
BL.	BENCH LEVEL EXISTING
EL.	SURFACE LEVEL
TRW.	TOP OF RETAINING WALL
BRW.	BOTTOM OF RETAINING WALL
←	OVERLAND FLOWPATH
▭	RAINWATER RE-USE TANK EACH UNIT REFER SCHEDULE



ISSUED FOR APPROVAL	20.03.18	B	J.D.
ISSUED FOR APPROVAL	22.02.18	A	J.D.
AMENDMENTS	DATE	ISSUE	BY
STATUS			

ISSUED FOR APPROVAL



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 ARKEXPRESS DESIGN PTY LTD
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 CLIENT
FRANK NICHOLAS

PROJECT
PROPOSED DEVELOPMENT
 1-23 LENORE DRIVE
 ERSKINE PARK, NSW, 2759
 DESIGNED: J.D. DRAWN: J.M. DATE: 19.02.18 SIZE: A1 CAD REF: TX13092.00-C1.0
 DRAWING TITLE
CONCEPT STORMWATER PLAN

DRAWING No
TX13092.00 - C2.0 ISSUE
B

SERVICES NOTE:
 1. EXISTING SERVICES SHOWN ARE BASED ON SURVEY DATA RECEIVED BY THIS OFFICE.
 2. ALL EXISTING SERVICES ARE SHOWN DIAGRAMMATIC ONLY. ALL SERVICES ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

WARNING:
 BEWARE OF UNDERGROUND SERVICES. THE LOCATION OF SERVICES IF SHOWN, ARE INDICATIVE ONLY AND NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES HAVE BEEN DOCUMENTED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING SERVICES WITHIN THE WORKS AFFECTED AREAS PRIOR TO ANY ON-SITE EXCAVATION.

NOTE:
 THIS IS A PLANNING DRAWING ONLY. FOR THE PURPOSE OF CONCEPTUAL DESIGN AND/OR PLANNING. FURTHER DETAILED ENGINEERING DESIGN INCLUDING SPECIFICATIONS, SIZING AND STORMWATER INVERTS TO BE PROVIDED PRIOR TO BUILDING RULES ASSESSMENT AND CONSTRUCTION.

CONCEPT STORMWATER PLAN
 SCALE 1:500



M.C.A.

NOTES

NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS, DIMENSIONS AND AREAS ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DETAIL FROM THE DRAWING. SURVEYOR MUST BE CONTACTED IF THERE ARE ANY DISCREPANCIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

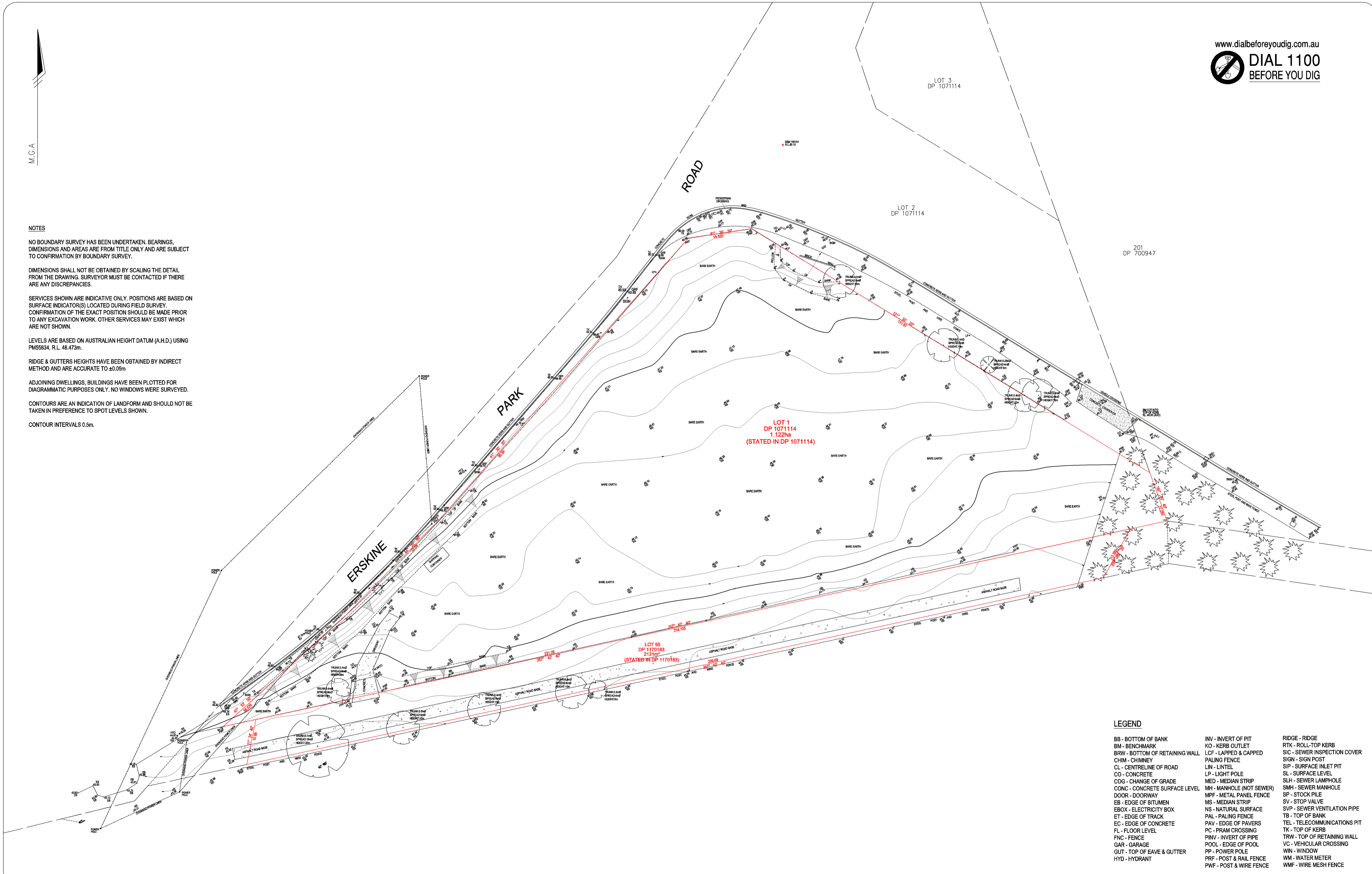
LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (A.H.D.) USING PM55834, R.L. 48.473m.

RIDGE & GUTTERS HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m

ADJOINING DWELLINGS, BUILDINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY. NO WINDOWS WERE SURVEYED.

CONTOURS ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.

CONTOUR INTERVALS 0.5m.



LEGEND

BB - BOTTOM OF BANK	INV - INVERT OF PIT	RIDGE - RIDGE
BM - BENCHMARK	KO - KERB OUTLET	RTK - ROLL-TOP KERB
BRW - BOTTOM OF RETAINING WALL	LCF - LAPPED & CAPPED PALING FENCE	SIC - SEWER INSPECTION COVER
CHIM - CHIMNEY	LIN - LINTEL	SIGN - SIGN POST
CL - CENTRELINE OF ROAD	LP - LIGHT POLE	SIP - SURFACE INLET PIT
CO - CONCRETE	MED - MEDIAN STRIP	SL - SURFACE LEVEL
COG - CHANGE OF GRADE	MH - MANHOLE (NOT SEWER)	SLH - SEWER LAMPHOLE
CONC - CONCRETE SURFACE LEVEL	MPF - METAL PANEL FENCE	SMH - SEWER MANHOLE
DOOR - DOORWAY	MS - MEDIAN STRIP	SP - STOCK PILE
ED - EDGE OF BITUMEN	NS - NATURAL SURFACE	SV - STOP VALVE
EBX - ELECTRICITY BOX	PAL - PALING FENCE	SVP - SEWER VENTILATION PIPE
ET - EDGE OF TRACK	PAV - EDGE OF PAVERS	TB - TOP OF BANK
EC - EDGE OF CONCRETE	PC - PRAM CROSSING	TEL - TELECOMMUNICATIONS PIT
FL - FLOOR LEVEL	PINV - INVERT OF PIPE	TK - TOP OF KERB
FNC - FENCE	POOL - EDGE OF POOL	TRW - TOP OF RETAINING WALL
GAR - GARAGE	PP - POWER POLE	VC - VEHICULAR CROSSING
GUT - TOP OF EAVER & GUTTER	PRF - POST & RAIL FENCE	WM - WINDOW
HYD - HYDRANT	PWF - POST & WIRE FENCE	WM - WATER METER
		WMF - WIRE MESH FENCE

NO.	DATE	BY	INFORMATION
B	27.07.17	A.M.	ADD LOT 55 INFORMATION
A	28.12.16	B.M.	INITIAL ISSUE

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LOCAL GOVERNMENT AREA: PENRITH
 SURVEYED BY: A.M. DATE OF SURVEY: 20.12.16
 SCALE: 1 : 400 @ A1
 DRAWN BY: A.M. DATE DRAWN: 27.07.17
 CLIENT: ArkExpress

PROJECT TITLE: 1-23 LENORE DRIVE & ERSKINE PARK ROAD, ERSKINE PARK
 DRAWING TITLE: PLAN SHOWING LEVELS & DETAIL OVER LOT 1 IN DP 1071114 & LOT 55 IN DP 1170183
 CAD REFERENCE: C:\150928.428B.dwg
 DRAWING NO: 150928-428B
 SHEET: 1 OF 1