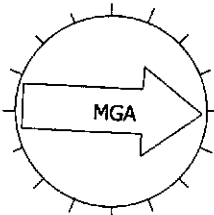


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**SITE NOTES:**

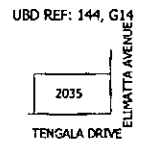
- BEFORE STARTING WORK ON SITE CHECK FOLLOWING:
1. SERVICE LOCATIONS
  2. SEWER CONNECTION POSITION
  3. DRIVEWAY ALIGNMENT & LEVELS
- dp INDICATES DOWNPIPE LOCATION



**NORTH**

- A: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- C: EASEMENT TO DRAIN WATER 2 WIDE
- L: RESTRICTION ON THE USE OF LAND

**LOCATION PLAN**



NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

**LEGEND**

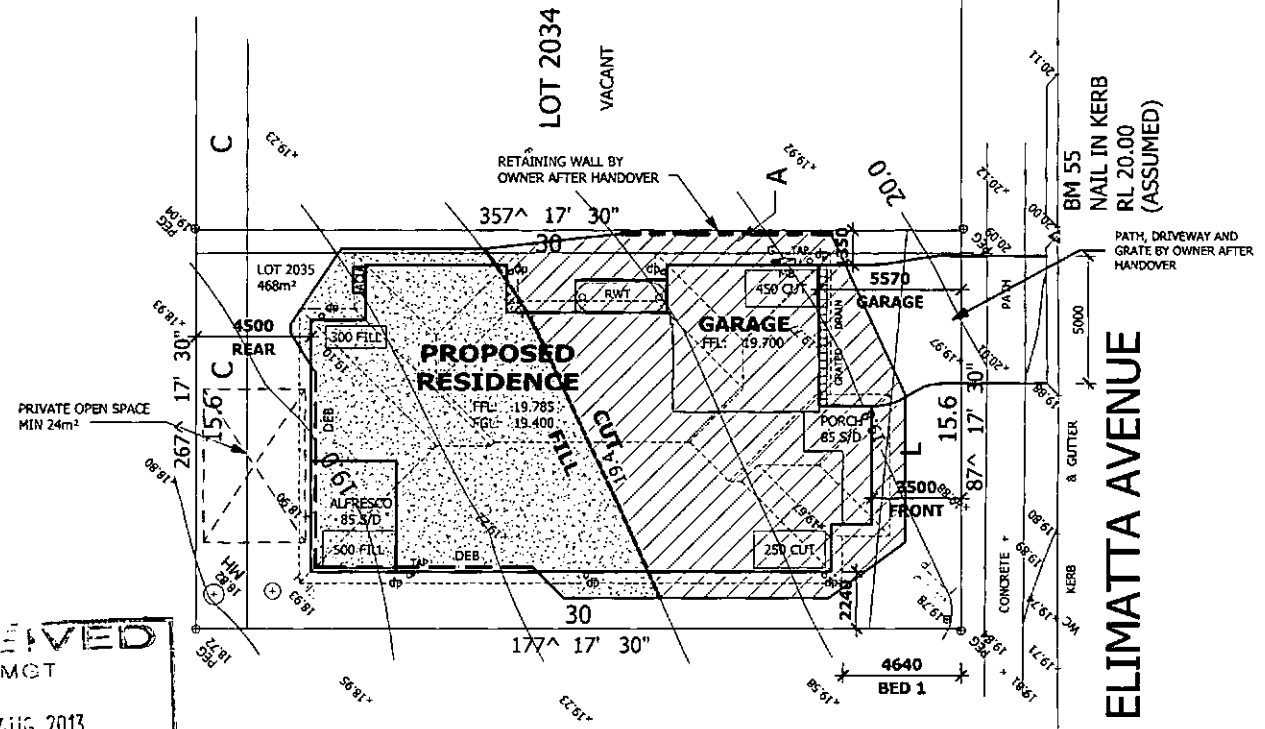
- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIAM/HEIGHT)
- BORE HOLE

KEY: DENOTES KERB OUTLET  
 WC/EG, TC: DENOTES SERVICE CONDUIT  
 SV: DENOTES STOP VALVE  
 HYD: DENOTES HYDRANT

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**DIAL 1100**  
BEFORE YOU DIG

RECEIVED  
 D/M/G/T  
 28 AUG 2013  
 PENRITH CITY COUNCIL



**TENGALA DRIVE**

**ELIMATTA AVENUE**

**POSSIBLE B.A.S**

**NOTES:**

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- \* DO NOT SCALE - USE WRITTEN DIMENSIONS

**RAWSON HOMES**

UNIT 34/22-21 UNDERWOOD ROAD  
 HOMEBUSH NSW 2140  
 TELEPHONE 02 9764 6442  
 FAX 02 9764 6992  
 Builder's licence No. 33493C

CLIENT:  
 MR SU & MRS ZHUO

SITE ADDRESS:  
 LOT 2035  
 ELIMATTA AVE  
 JORDAN SPRINGS

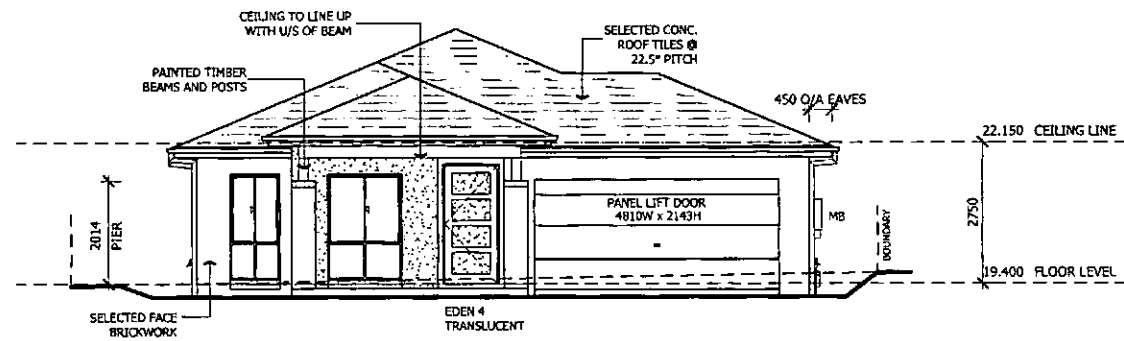
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 MODEL: REGAL  
 FACADE: DOUBLE GARAGE  
 TYPE: GOLD  
 SPECIFICATION: GOLD

DRAWING TITLE:  
**SITE PLAN**

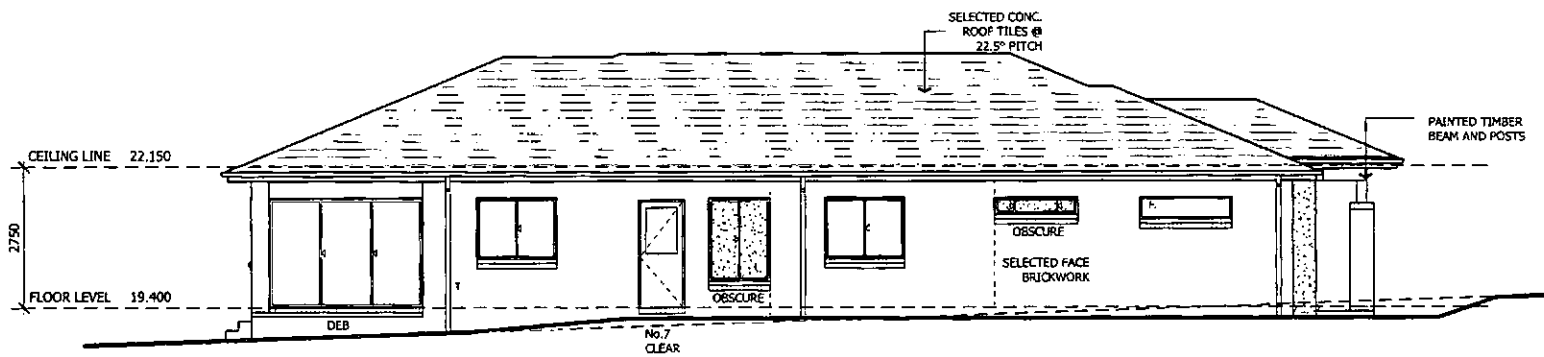
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COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002713	DRWG No: 2	ISSUE: D	

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MESH FLY SCREENS TO ALL OPENING WINDOWS AND SLIDING DOORS



**ELEVATION 1**



**ELEVATION 2**

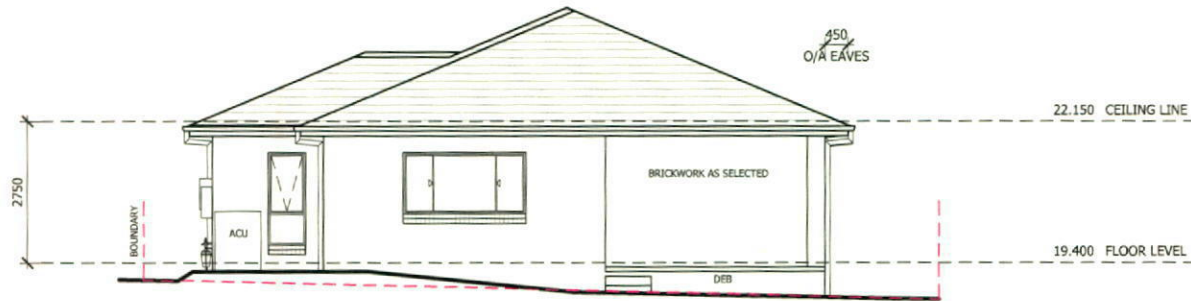
NOTES:  
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Builder's licence No. 33493C

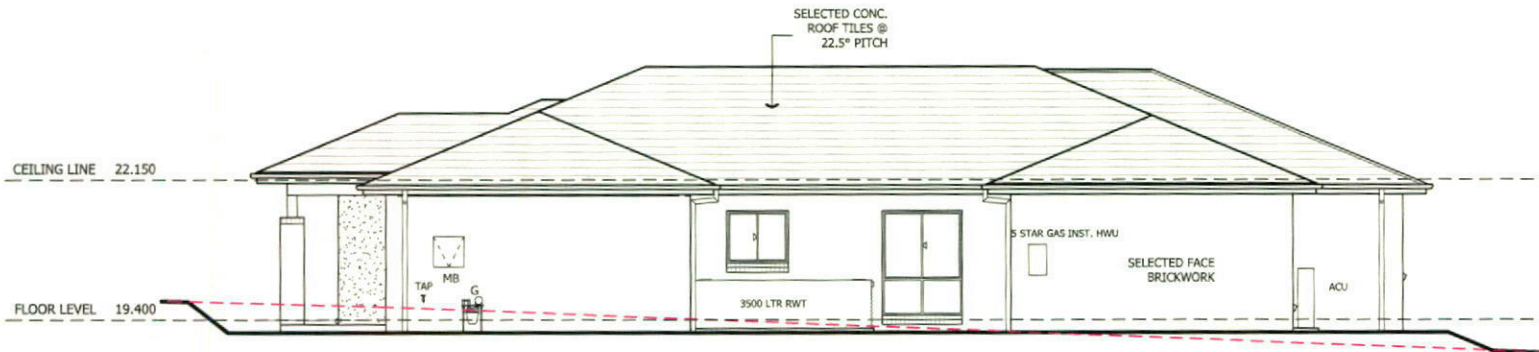
CLIENT:  
**MR SU & MRS ZHUO**  
SITE ADDRESS:  
LOT 2035  
ELIMATTA AVE  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: **METFORD 24**  
FACADE: **REGAL**  
TYPE: **DOUBLE GARAGE**  
SPECIFICATION: **GOLD**  
DRAWING TITLE:  
**ELEVATIONS 1-2**

DRAWN BY: AM	DATE DRAWN: 06/26/07	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: <b>J002713</b>	DRWG No: <b>4</b>	ISSUE: <b>D</b>	



**ELEVATION 3**



**ELEVATION 4**

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CLIENT:  
MR SU & MRS ZHUO

SITE ADDRESS:  
LOT 2035  
ELIMATTA AVE  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: METFORD 24  
FACADE: REGAL  
TYPE: DOUBLE GARAGE  
SPECIFICATION: GOLD

DRAWING TITLE:  
ELEVATIONS 3-4

DRAWN BY: Author	DATE DRAWN: 06/01/10	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002713	DRWG No: 5	ISSUE: D	

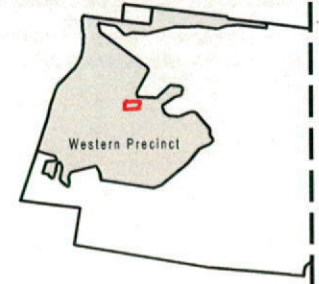


Note:  
It is acknowledged that the dimension and areas, as well as location of services and the existence and width of easements are subject to final survey and any change in accordance with the requirements of any relevant authority. The particulars of this plan are supplied for information only representing the facts at the time of printing may change. The particulars shall not be taken as a representation in any respect on the part of the vendor or its agent. Authorities should be consulted in relation to any limitations or requirements as building restrictions may apply. Information correct at time of printing.

Note:  
Sydney Water have changed their sewerage requirements and introduced "low infiltration sewer systems". This new system may impact on the design and location of your home. Purchasers and their builders should make enquiries of Sydney Water to ascertain any relevant details.

Proposed Electrical Substation.  
Refer to Draft 88b for easements and restrictions

KEY PLAN



Issue	Amendment	Date
A	Release Issue	24.09.12
B	Release Issue - Correction to APZ	8.10.12

SITING REQUIREMENTS

- Zero Boundary (max. 13m)
- Single Garage
- Double Garage
- Optional Garage location
- Increased Secondary Frontage building setback to 3.4m (garage 4.4m)
- Secondary Frontage Articulation 10m minimum of broken roofline & building line. Must provide suitable glazing.
- Easement for maintenance 0.9m wide
- Easement/pit to drain water 1.5-2.5 wide
- Approx. sewer line/manhole location Building adjacent or over sewer must conform with Sydney Water requirements
- Boundary Fencing by Lend Lease Footing and fencing wholly within boundary
- Proposed fill to site
- Proposed Design Levels
- Construction within this zone must comply with Sydney Water and Penrith City Council requirements concerning zone of influence
- Proposed driveway width reduced from standard due to setbacks

SETBACK SUMMARY

Front Building Setback	4.5m
Front Garage Setback	5.5m
Side Building Setback (≥15m Frontage)	min. 0.9m both sides
Side Building Setback (<15m Frontage)	Zero one side 0.9m other (as shown)
Secondary Side Setback	1.5m (unless otherwise noted)
Secondary Garage Setback	2.5m
Rear Building Setback	3m
BAL40, BAL29, BAL19, BAL12.5	Levels of Construction Standard for Bush Fire Protection (AS 3959-2009)

Developer



Car Jordan Springs Blvd and Lakeside Pde  
Jordan Springs NSW 2747  
PO Box 1978, Penrith NSW 2751  
p. 02 8916 8500

ABN 19 007 876 884

Development Manager: Lend Lease Development Pty Ltd



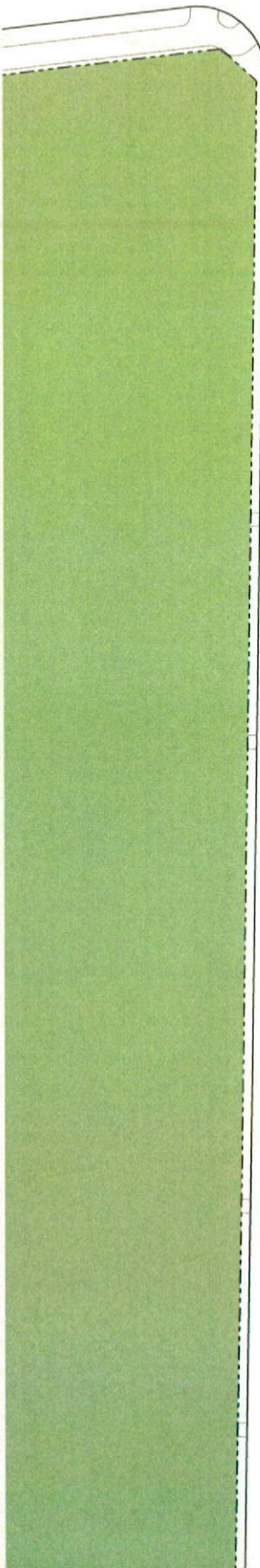
**JORDANSPRINGS**

Drawing Title

Illoura  
Stage 2a Release 4  
Building Envelope Plan

Scale AT A3 1:750  
Drawn by RS/ILM  
Drawing Number WP V2 r028 BEP

Issue A

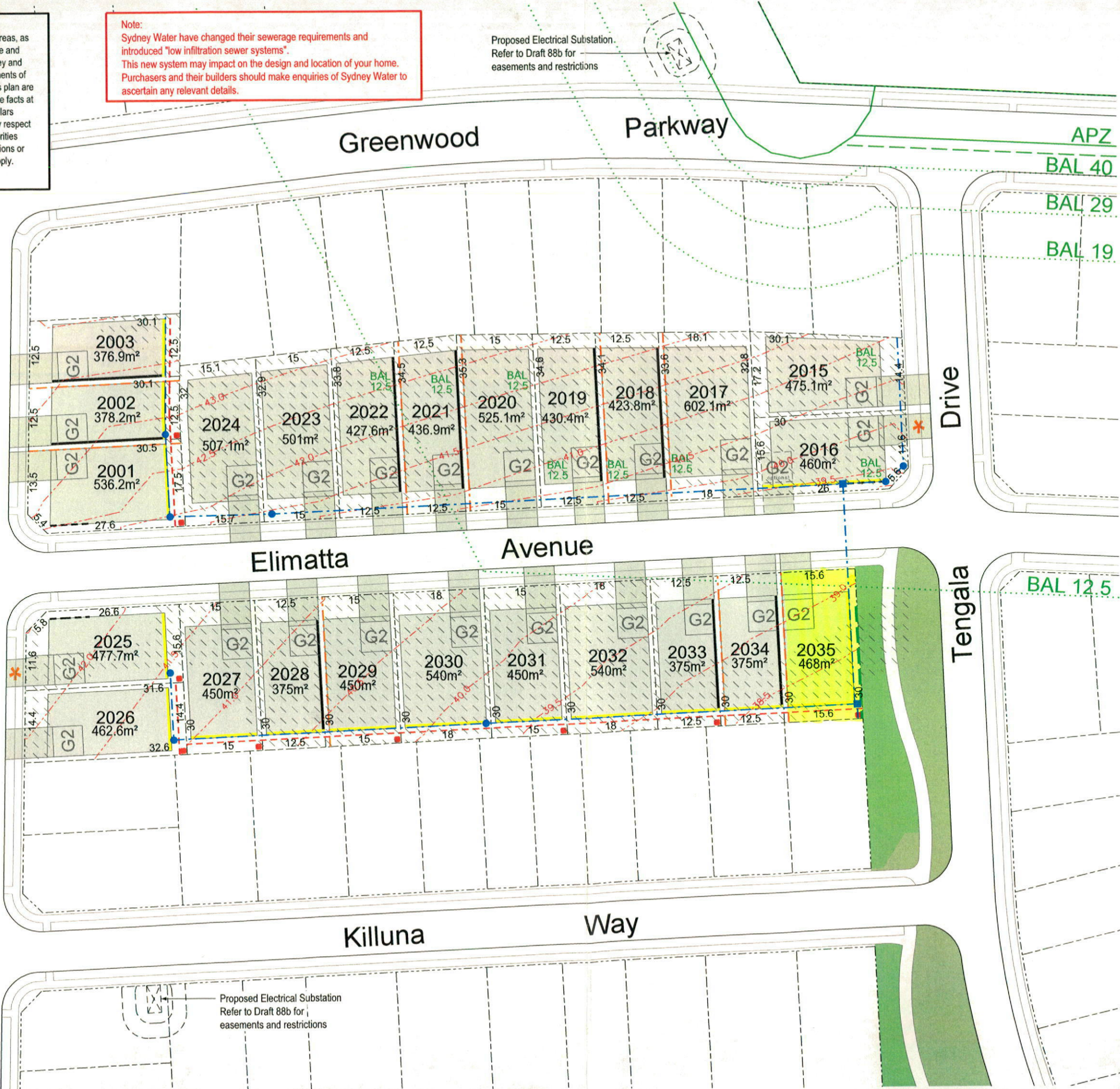


Promenade

Alinta

Drive

Tengala



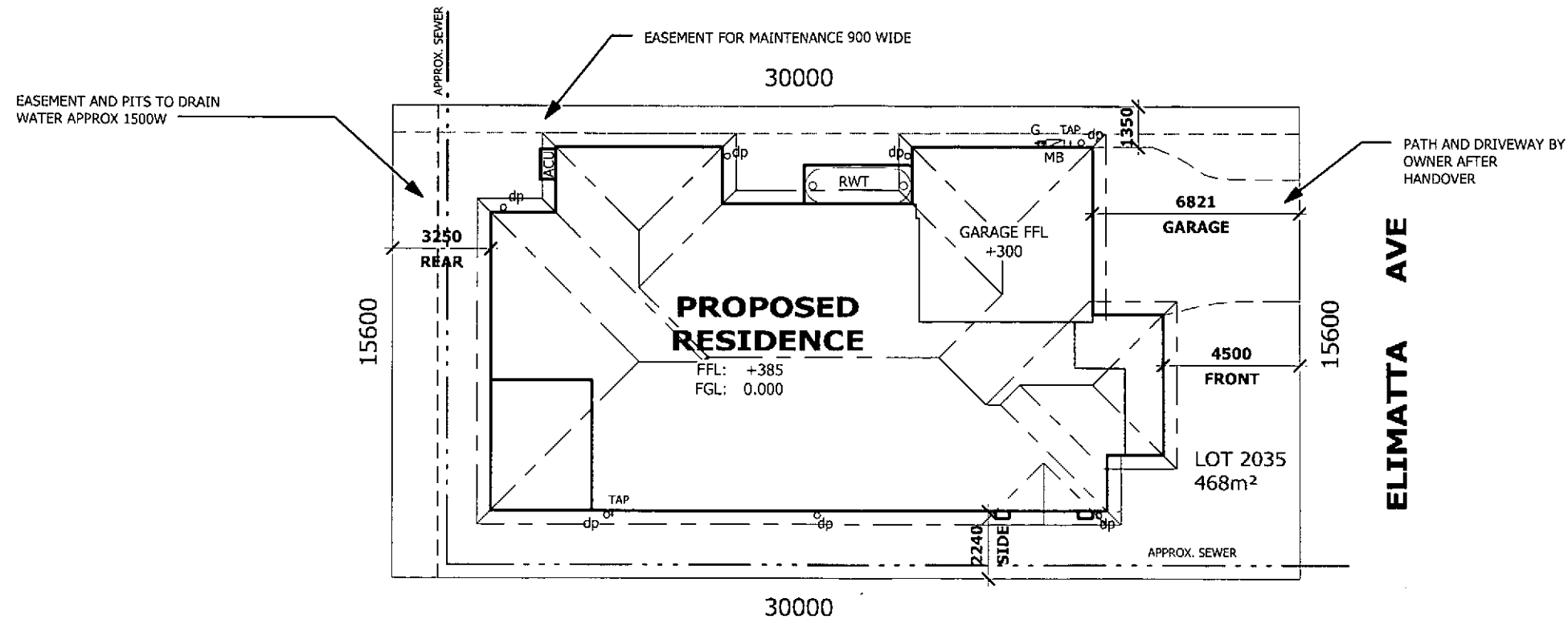
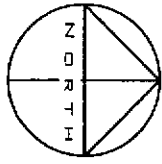
Proposed Electrical Substation  
Refer to Draft 88b for easements and restrictions





**SITE NOTES:**

- BEFORE STARTING WORK ON SITE CHECK FOLLOWING:
1. SERVICE LOCATIONS
  2. SEWER CONNECTION POSITION
  3. DRIVEWAY ALIGNMENT & LEVELS
- dp INDICATES DOWNPIPE LOCATION



**PRELIMINARY  
SITE PLAN**

**POSSIBLE  
B.A.S**



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UNIT 34/22-21 UNDERWOOD ROAD  
HOMEBUSH NSW 2140  
TELEPHONE 02 9764 6442  
FAX 02 9764 6992  
Builder's licence No. 33493C



CLIENT:  
MR SU & MRS ZHUO

SITE ADDRESS:  
LOT 2035  
ELIMATTA AVE  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: METFORD 24  
FACADE: REGAL  
TYPE: DOUBLE GARAGE  
SPECIFICATION: GOLD

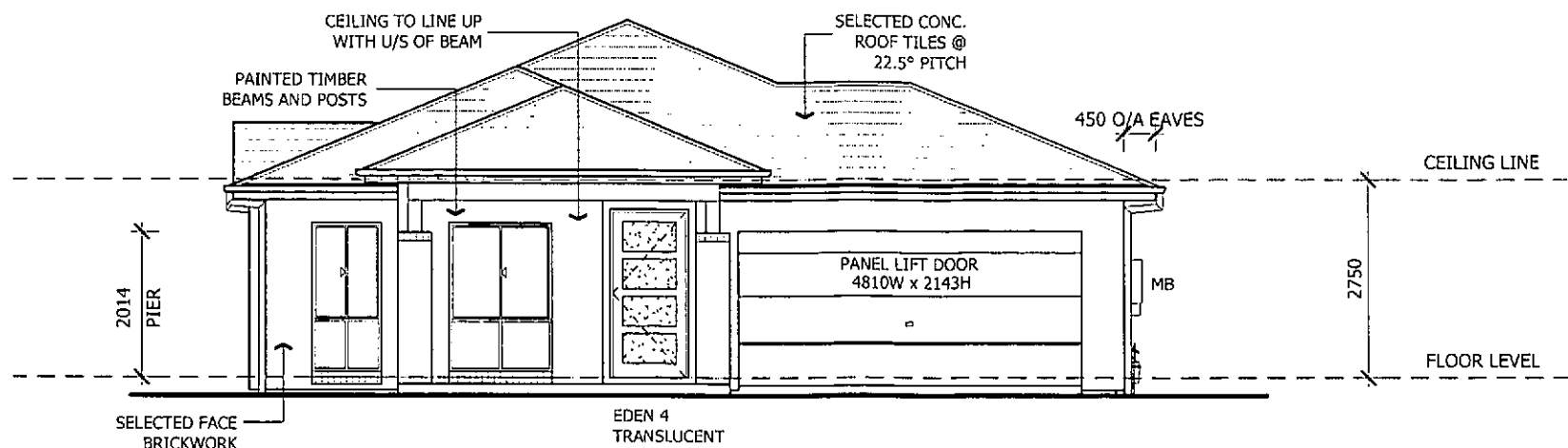
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**SITE PLAN**

DRAWN BY: AM	DATE DRAWN: 06/26/07	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: 1002713		DRWG No: 2	ISSUE: B

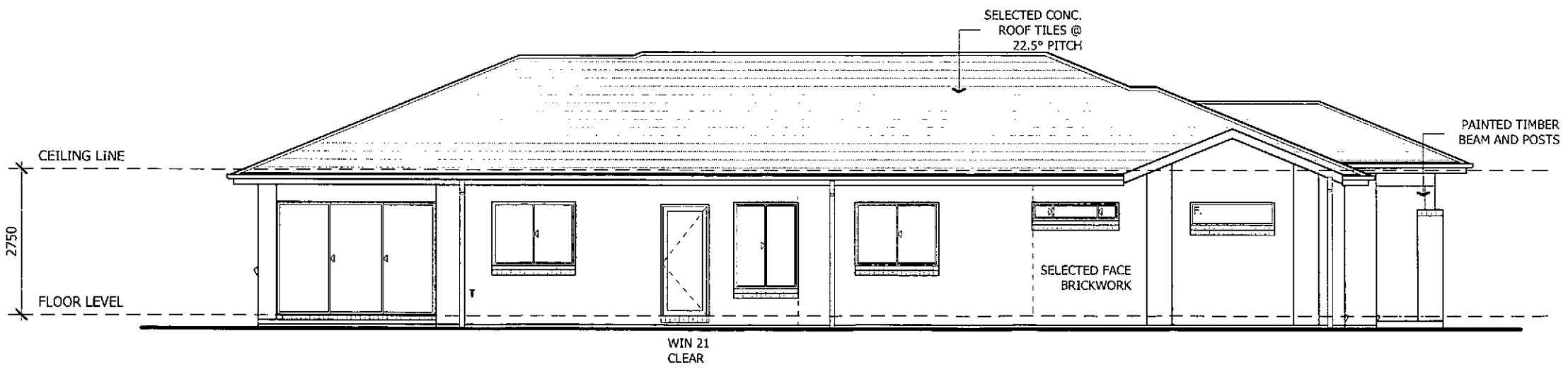


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MESH FLY SCREENS TO ALL OPENING WINDOWS AND SLIDING DOORS



**ELEVATION 1**



**ELEVATION 2**

NOTES:  
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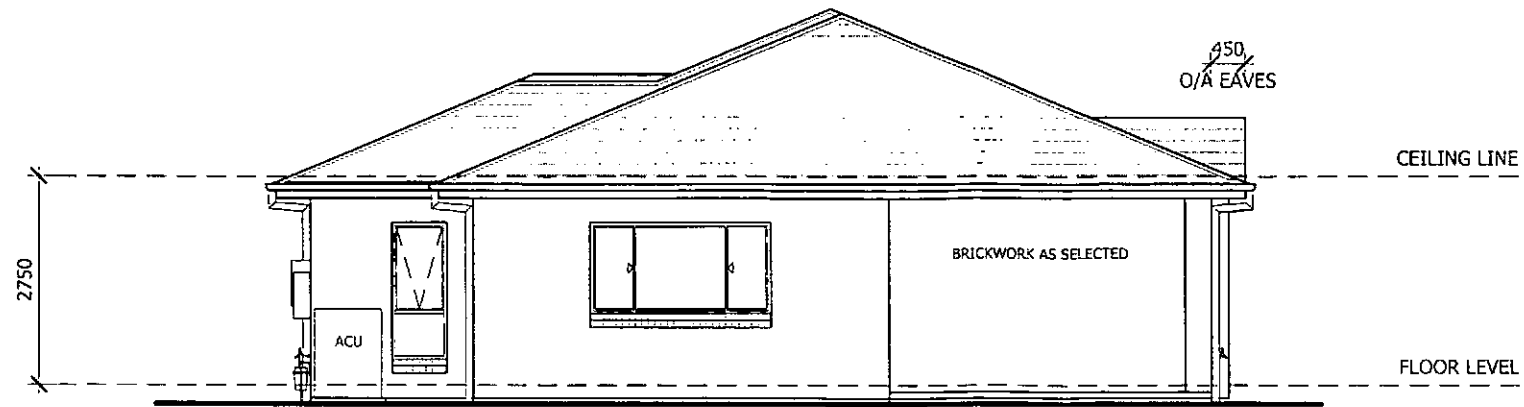
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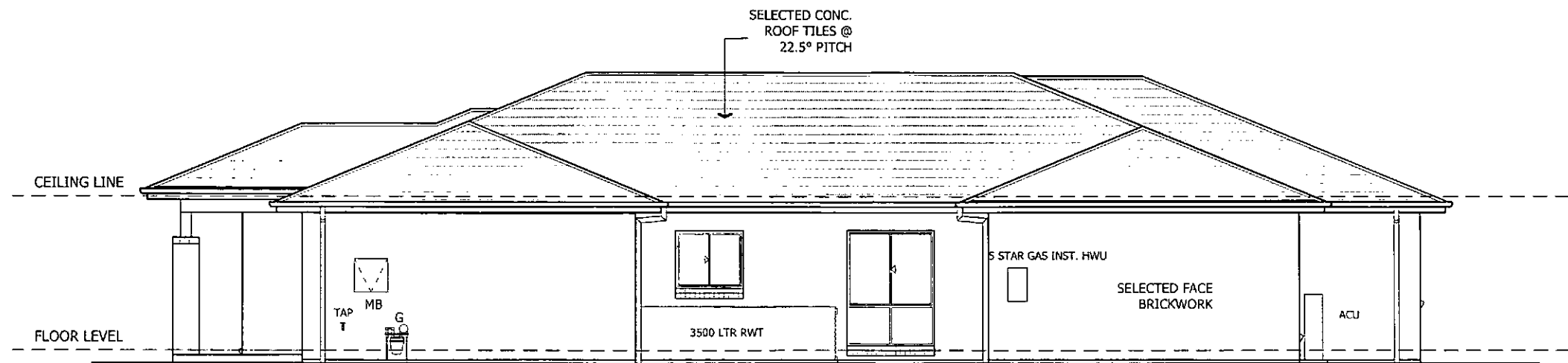
CLIENT:  
MR SU & MRS ZHUO  
SITE ADDRESS:  
LOT 2035  
ELIMATTA AVE  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: METFORD 24  
FACADE: REGAL  
TYPE: DOUBLE GARAGE  
SPECIFICATION: GOLD  
DRAWING TITLE:  
**ELEVATIONS 1-2**

DRAWN BY: AM	DATE DRAWN: 06/26/07	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002713	DRWG No: 4	ISSUE: B	



**ELEVATION 3**



**ELEVATION 4**

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CLIENT:  
MR SU & MRS ZHUO

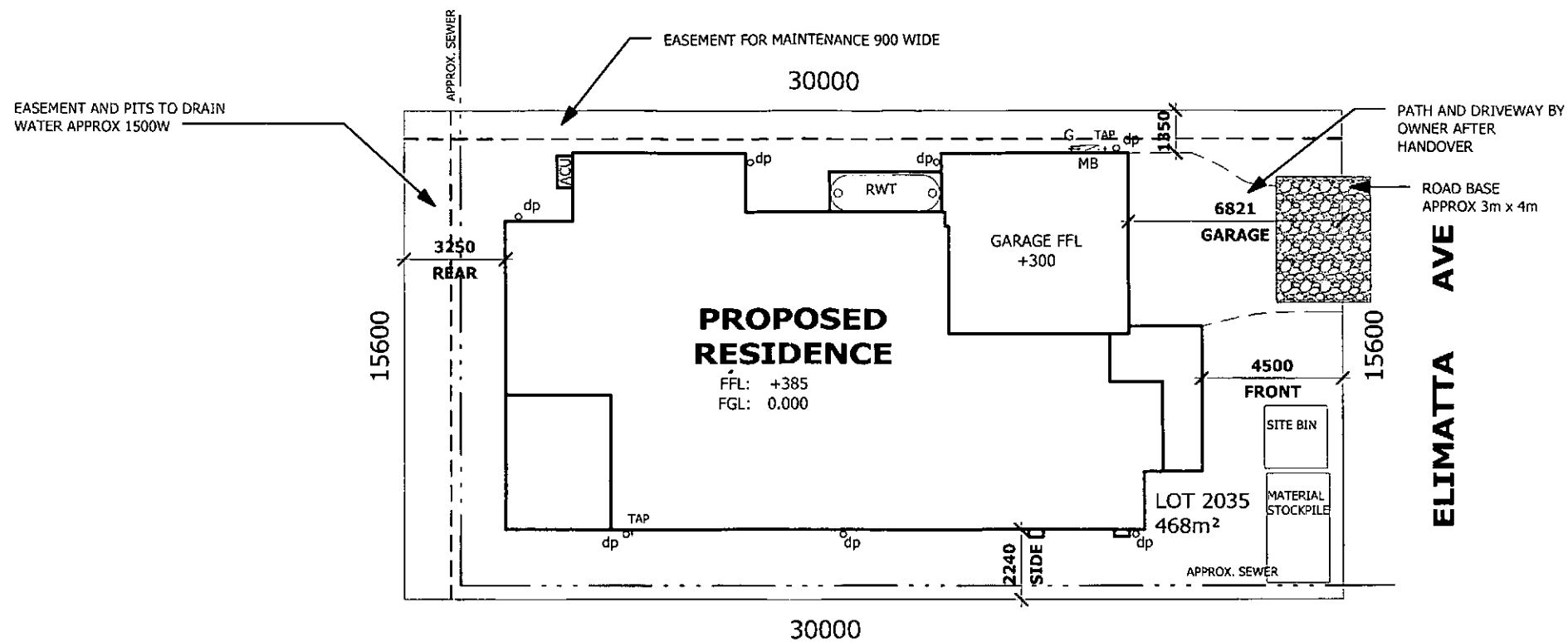
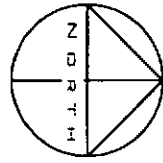
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LOT 2035  
ELIMATTA AVE  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: METFORD 24  
FACADE: REGAL  
TYPE: DOUBLE GARAGE  
SPECIFICATION: GOLD

DRAWING TITLE:  
ELEVATIONS 3-4

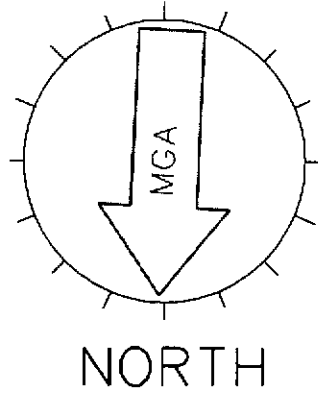
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COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: 1002713	DRWG No: 5	ISSUE: B	





### SEDIMENT CONTROL PLAN

NOTES: PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO PLANS INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS * ALL DIMENSIONS ARE IN MILLIMETRES * DO NOT SCALE - USE WRITTEN DIMENSIONS	<b>RAWSON HOMES</b> UNIT 34/22-21 UNDERWOOD ROAD HOMEBUSH NSW 2140 TELEPHONE 02 9764 6442 FAX 02 9764 6992 Builder's licence No. 33493C	CLIENT: MR SU & MRS ZHUO SITE ADDRESS: LOT 2035 ELIMATTA AVE JORDAN SPRINGS	HOUSE TYPE MODEL: METFORD 24 FACADE: REGAL TYPE: DOUBLE GARAGE SPECIFICATION: GOLD	DRAWN BY: AM	DATE DRAWN: 04/17/13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
			DRAWING TITLE: <b>SEDIMENT CONTROL PLAN</b>	COUNCIL AREA: PENRITH	SCALE: 1 : 200	JOB No: J002713	DRWG No: 9



NORTH

A: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE  
 C: EASEMENT TO DRAIN WATER 2 WIDE  
 L: RESTRICTION ON THE USE OF LAND

NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

LOCATION PLAN

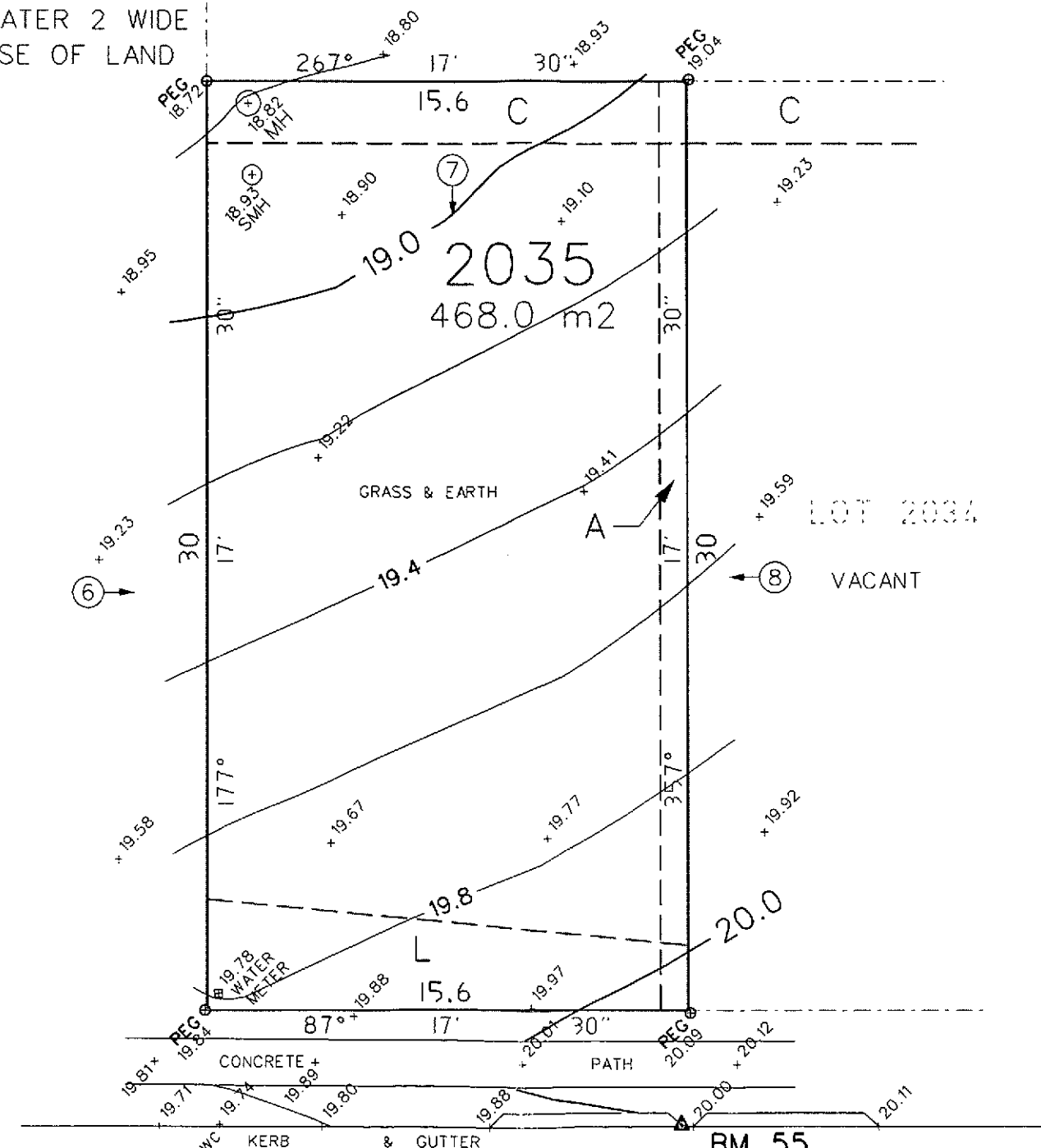
UBD REF: 144, G14



99 DENOTES PHOTO POINT

**LEGEND**

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR BOX
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE



TENGALA DRIVE

ELIMATTA AVENUE

BM 55  
 NAIL IN KERB  
 RL 20.00  
 (ASSUMED)

LEGEND  
 KO: DENOTES KERB OUTLET  
 WC, EC, TC: DENOTES SERVICE CONDUIT  
 SV: DENOTES STOP VALVE  
 HYD: DENOTES HYDRANT

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**DONOVAN ASSOCIATES**  
 INCORPORATED ENGSURVEY PTY LTD ABN: B4 134 616 078  
 PH/ 9806 3000 F/9891 2806 www.donovanassociates.com  
 15 PARKES STREET PARRAMATTA NSW 2150  
 CIVIL, STRUCTURAL, HYDRAULIC ENGINEERS  
 REGISTERED SURVEYORS & LAND INFORMATION CONSULTANTS

NOTE: CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.  
 DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN DETERMINED BY LAND AND PROPERTY INFORMATION PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.  
 SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.  
 DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.

No.	DATE	NOTATION/AMENDMENT
1		

SCALE 1: 200

DRAWN: IS	JOB 2020/134255	DATE: 20.05.2013
CHECKED: RM	DGN 134255	DATUM: ASSUMED

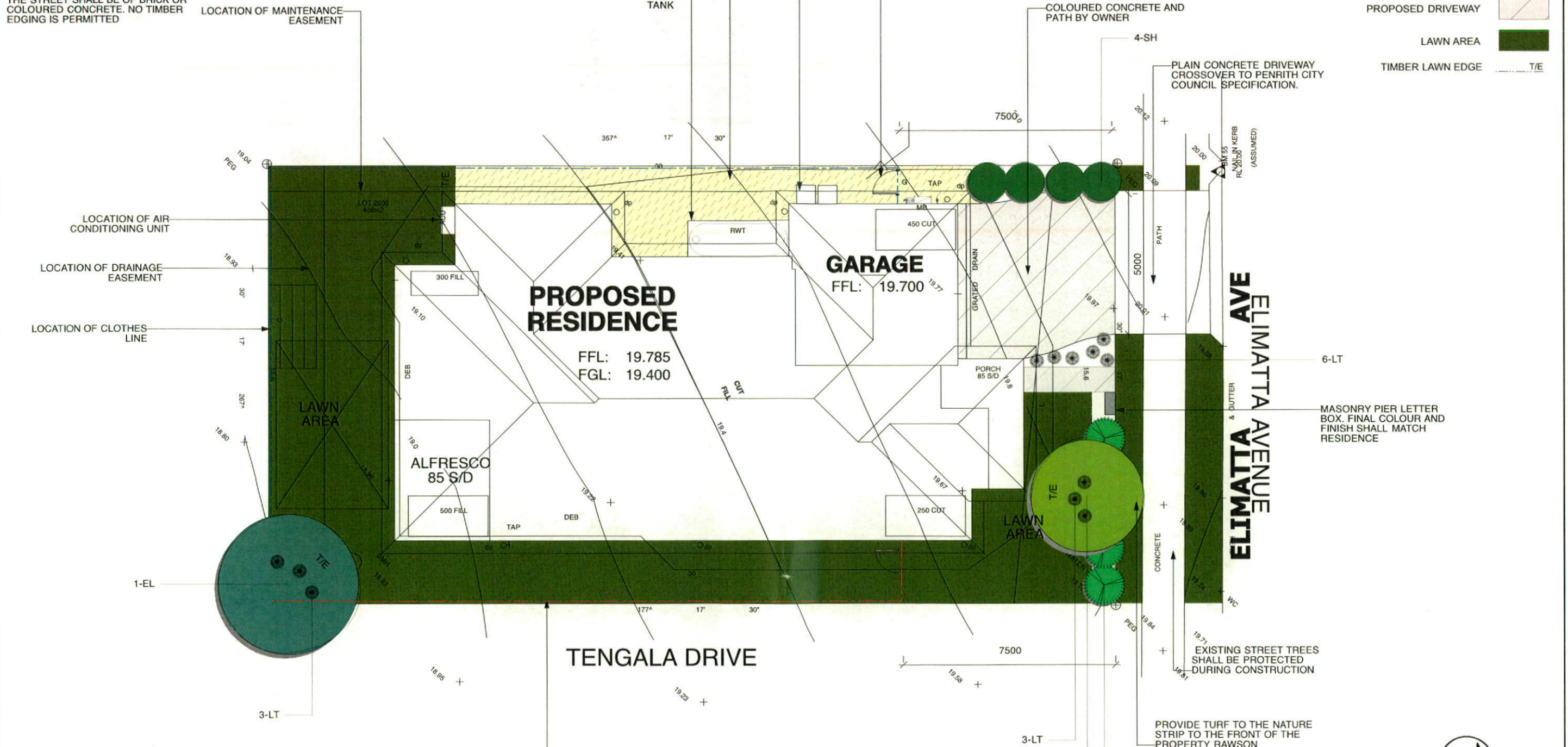
**CONTOUR PLAN**  
 LOT 2035 DP 1168989  
 AT ELIMATTA AVENUE, JORDAN SPRINGS  
 CLIENT: RAWSON HOMES  
 REF: SU & ZHOU J002713



NOTE:  
 - ANY RETAINING WALLS VISIBLE FROM THE STREET OR CONSTRUCTED GREATER THAN 900mm HIGH SHALL BE OF MASONRY CONSTRUCTION  
 - ANY GARDEN EDGING VISIBLE FROM THE STREET SHALL BE OF BRICK OR COLOURED CONCRETE. NO TIMBER EDGING IS PERMITTED

**LEGEND**

- PROPOSED LEVEL FFL.RL. 34.522
- MULCHED ACCESS PATH
- PROPOSED DRIVEWAY
- LAWN AREA
- TIMBER LAWN EDGE T/E



NOTE: AT LEAST 50% OF PROPOSED PLANTS ARE AUSTRALIAN NATIVES AS PER DEVELOPERS GUIDELINES

\* = AUSTRALIAN NATIVE

**PLANTING SCHEDULE**

ID	Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
ACS	Acmena smithii	Lillypilly	1	25lt	4000	8000
EL	Elaeocarpus reticulatus	Blueberry Ash	1	25lt	5000	12000
LT	Lomandra 'Tanika'	Dwarf Lomandra	12	5lt	500	500
MVF	Metrosideros 'Fiji'	NZ Xmas Bush 'Fiji'	5	15lt	1500	1500
SH	Syzygium 'Cascade'	Lillypilly	4	15lt	1500	2500

**Notes:**  
 1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.  
 2. All details of drainage to paved areas shall be by others.  
 3. All levels shall be determined by others and approved on site by client.  
 4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.  
 5. Do not scale from drawings.  
 6. If in doubt contact the Landscape Architect.  
 7. All boundaries shall be surveyed prior to commencement of construction works.  
 8. This plan is for DA purposes only. It has not been detailed for construction.  
 9. All dimensions, levels and boundaries are nominal only.  
 10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

DATE: 09/08/13	REVISION D' Amendments made as per developers request
<b>PROPOSED LANDSCAPE PLAN</b>	
ADDRESS: LOT 2035 ELIMATTA AVE, JORDAN SPRINGS	PROJECT # Rawson
CLIENT: MR SU & MRS ZHUO	DATE # 29/04/13 DWG # L/01
<b>A Total Concept Landscape Architects &amp; Swimming Pool Designers</b>	
65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fax: (02) 9957 5922	



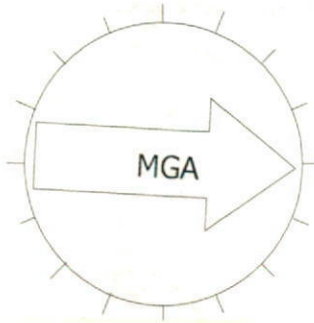


**SITE NOTES:**

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1. SERVICE LOCATIONS
  2. SEWER CONNECTION POSITION
  3. DRIVEWAY ALIGNMENT & LEVELS

dp INDICATES DOWNPIPE LOCATION

NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY



NORTH

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- C: EASEMENT TO DRAIN WATER 2 WIDE
- L: RESTRICTION ON THE USE OF LAND

**LOCATION PLAN**

UBD REF: 144, G14

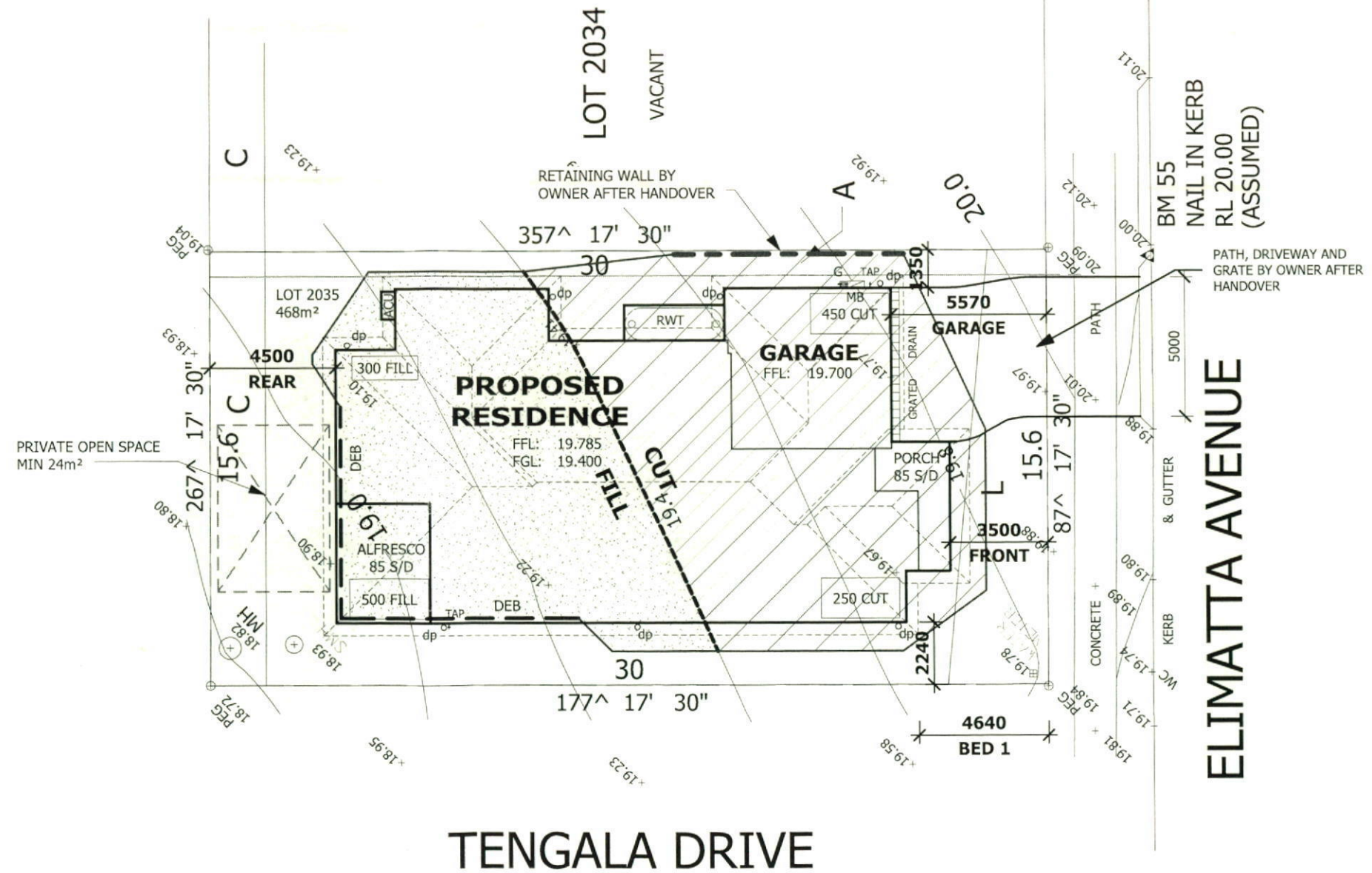


**LEGEND**

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE

LEGEND  
 KO: DENOTES KERB OUTLET  
 WC, EC, TC: DENOTES SERVICE CONDUIT  
 SV: DENOTES STOP VALVE  
 HYD: DENOTES HYDRANT

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TENGALA DRIVE

**POSSIBLE B.A.S**

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 Builder's licence No. 33493C



CLIENT:  
 MR SU & MRS ZHUO

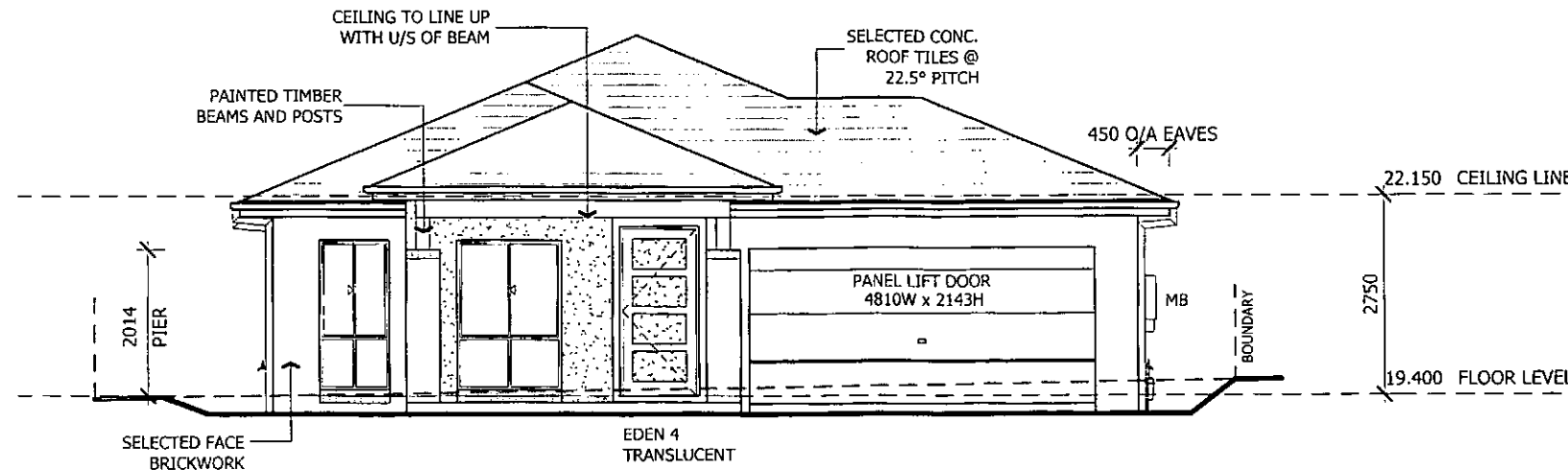
SITE ADDRESS:  
 LOT 2035  
 ELIMATTA AVE  
 JORDAN SPRINGS

HOUSE TYPE  
 MODEL: METFORD 24  
 FACADE: REGAL  
 TYPE: DOUBLE GARAGE  
 SPECIFICATION: GOLD

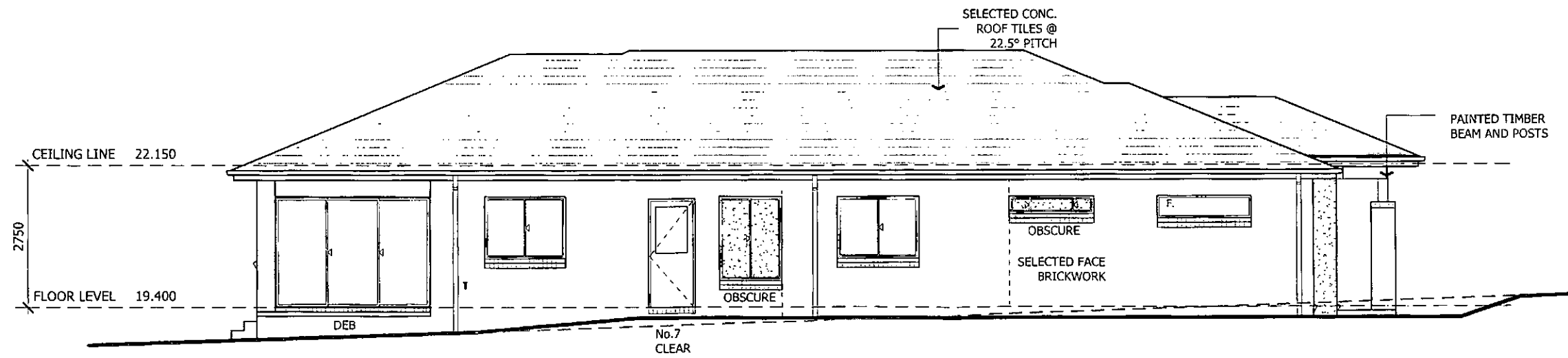
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 SITE PLAN

DRAWN BY: AM	DATE DRAWN: 06/26/07	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002713	DRWG No: 2	ISSUE: D	

MESH FLY SCREENS TO ALL OPENING  
WINDOWS AND SLIDING DOORS



**ELEVATION 1**



**ELEVATION 2**

**NOTES:**

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO PLANS INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

- \* ALL DIMENSIONS ARE IN MILLIMETRES
- \* DO NOT SCALE - USE WRITTEN DIMENSIONS

**RAWSON HOMES**

UNIT 34/22-21 UNDERWOOD ROAD  
HOMEBUSH NSW 2140  
TELEPHONE 02 9764 6442  
FAX 02 9764 6992  
Builder's licence No. 33493C



CLIENT:  
MR SU & MRS ZHUO

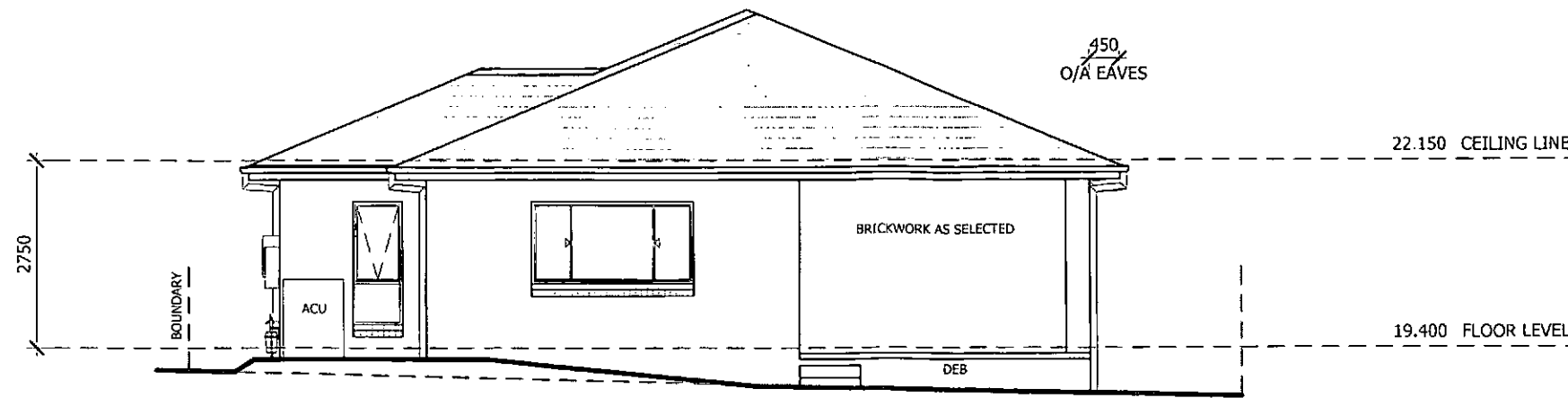
SITE ADDRESS:  
LOT 2035  
ELIMATTA AVE  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: METFORD 24  
FACADE: REGAL  
TYPE: DOUBLE GARAGE  
SPECIFICATION: GOLD

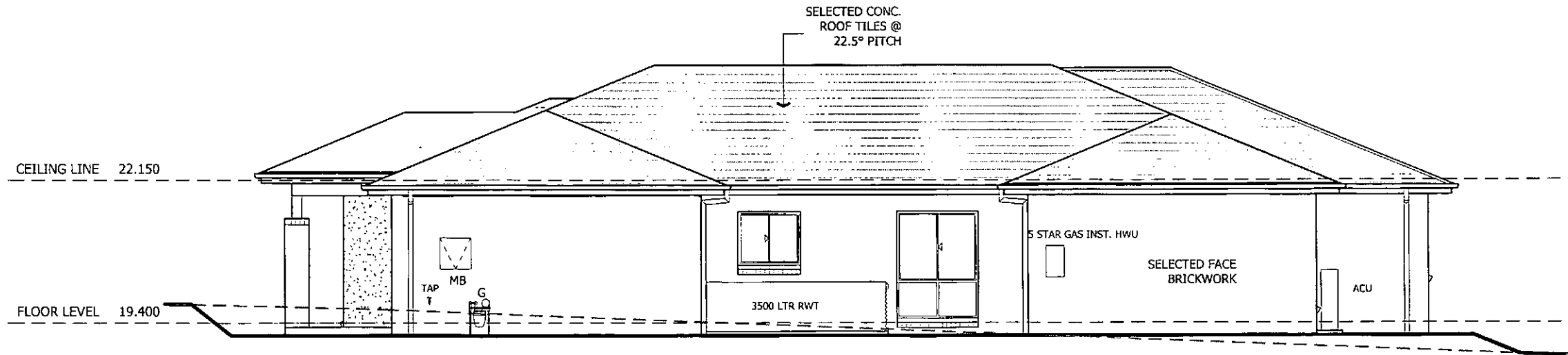
DRAWING TITLE:  
ELEVATIONS 1-2

DRAWN BY: AM	DATE DRAWN: 06/26/07	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002713	DRWG No: 4	ISSUE: D	





**ELEVATION 3**



**ELEVATION 4**

**NOTES:**

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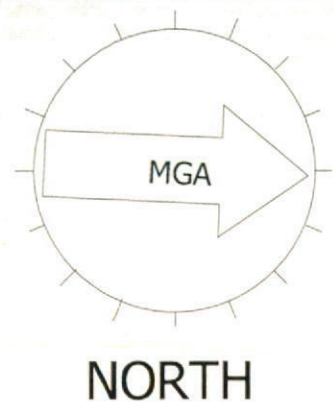
CLIENT:  
MR SU & MRS ZHUO

SITE ADDRESS:  
LOT 2035  
ELIMATTA AVE  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: METFORD 24  
FACADE: REGAL  
TYPE: DOUBLE GARAGE  
SPECIFICATION: GOLD

DRAWING TITLE:  
ELEVATIONS 3-4

DRAWN BY: Author	DATE DRAWN: 06/01/10	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002713	DRWG No: 5	ISSUE: D	



A: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE  
 C: EASEMENT TO DRAIN WATER 2 WIDE  
 L: RESTRICTION ON THE USE OF LAND

**LOCATION PLAN**



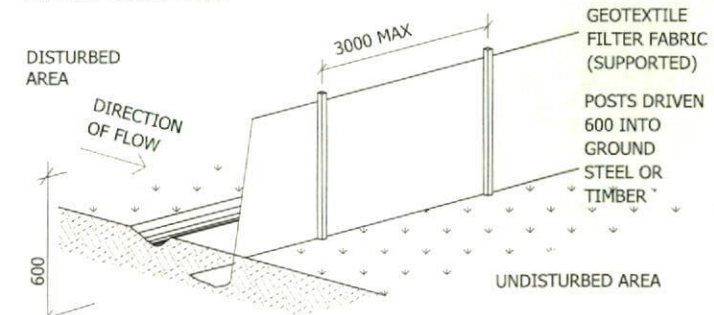
NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

**LEGEND**

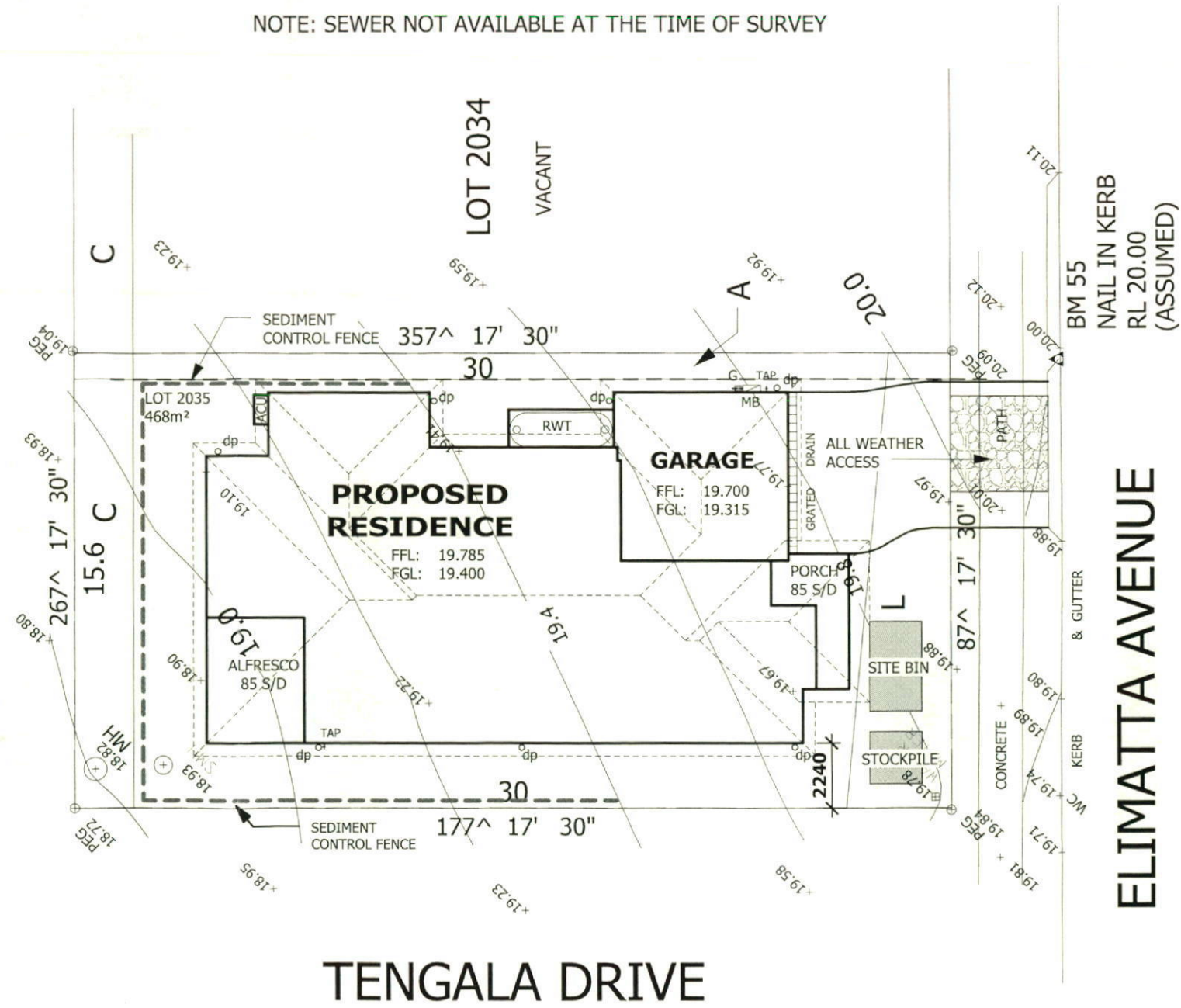
- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- ▭ VEHICLE CROSSING
- ▭ KERB INLET PIT
- LIGHT POLE
- ELEC POLE
- ELEC BOX
- HYD
- SV
- TREE (DIA/HEIGHT)
- BORE HOLE

**SEDIMENT CONTROL**  
 INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANGEMENT.



**SEDIMENT FENCE DETAIL**  
 SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX



ELIMATTA AVENUE

LEGEND  
 KO: DENOTES KERB OUTLET  
 WC, EC, TC: DENOTES SERVICE CONDUIT  
 SV: DENOTES STOP VALVE  
 HYD: DENOTES HYDRANT

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**DIAL 1100**  
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NOTES:  
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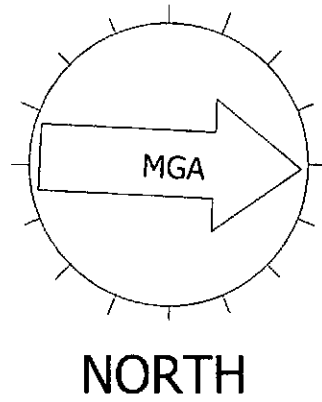
CLIENT:  
 MR SU & MRS ZHUO

SITE ADDRESS:  
 LOT 2035  
 ELIMATTA AVE  
 JORDAN SPRINGS

HOUSE TYPE  
 MODEL: METFORD 24  
 FACADE: REGAL  
 TYPE: DOUBLE GARAGE  
 SPECIFICATION: GOLD

DRAWING TITLE:  
**SEDIMENT CONTROL PLN**

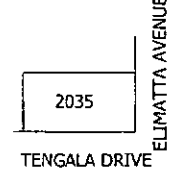
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COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: 1002713	DRWG No: 9	ISSUE: D	



A: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE  
C: EASEMENT TO DRAIN WATER 2 WIDE  
L: RESTRICTION ON THE USE OF LAND

LOCATION PLAN

UBD REF: 144, G14



NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

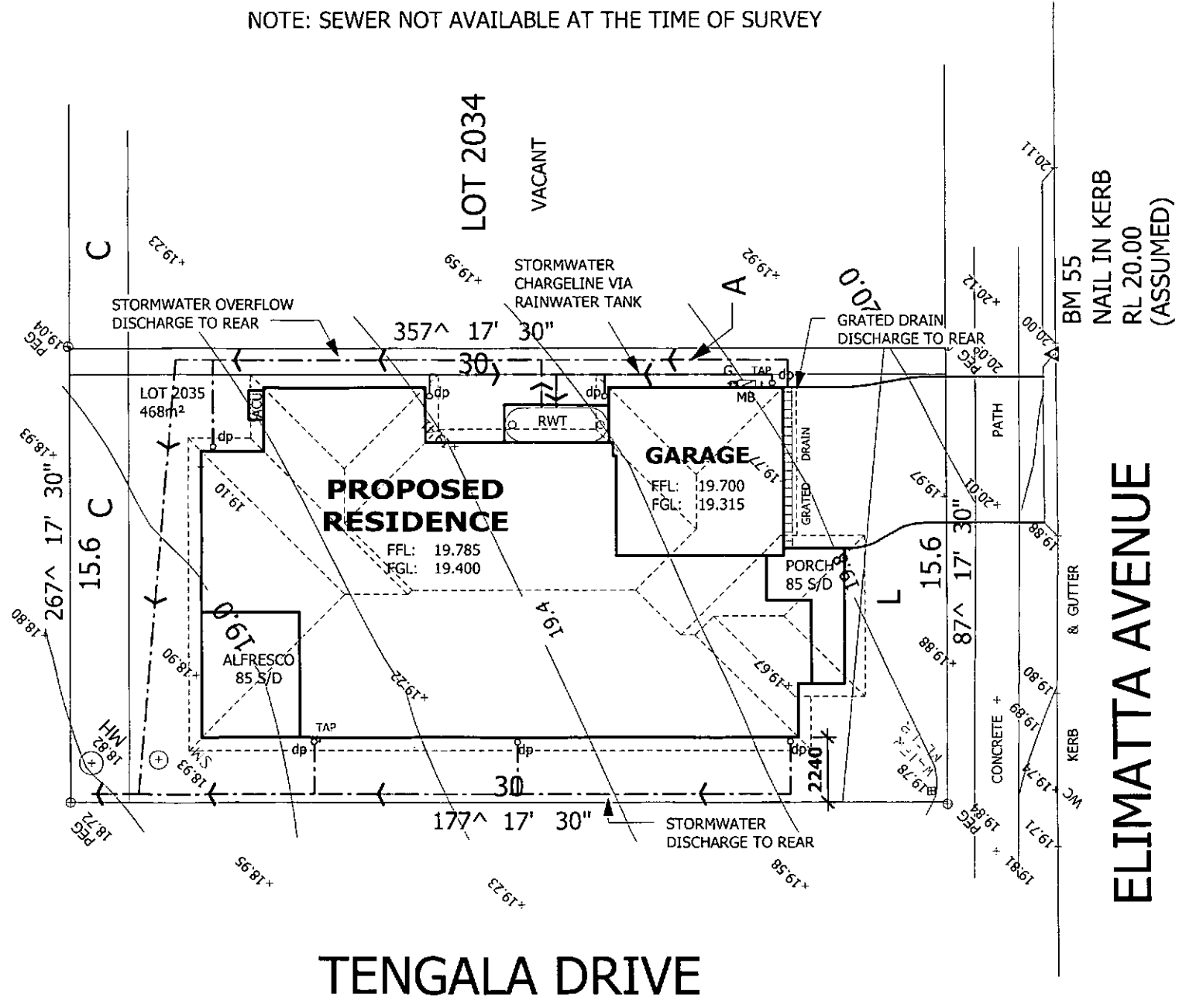
**LEGEND**

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE

LEGEND  
KO: DENOTES KERB OUTLET  
WC, EC, TC: DENOTES SERVICE CONDUIT  
SV: DENOTES STOP VALVE  
HYD: DENOTES HYDRANT

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CLIENT:  
MR SU & MRS ZHUO

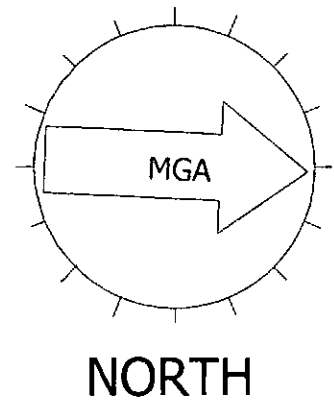
SITE ADDRESS:  
LOT 2035  
ELIMATTA AVE  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: METFORD 24  
FACADE: REGAL  
TYPE: DOUBLE GARAGE  
SPECIFICATION: GOLD

DRAWING TITLE:  
**STORMWATER PLAN**

DRAWN BY: Author	DATE DRAWN: 06/26/07	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002713	DRWG No: 10	ISSUE: D	

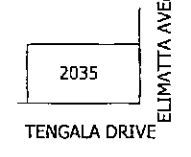




A: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE  
 C: EASEMENT TO DRAIN WATER 2 WIDE  
 L: RESTRICTION ON THE USE OF LAND

LOCATION PLAN

UBD REF: 144, G14



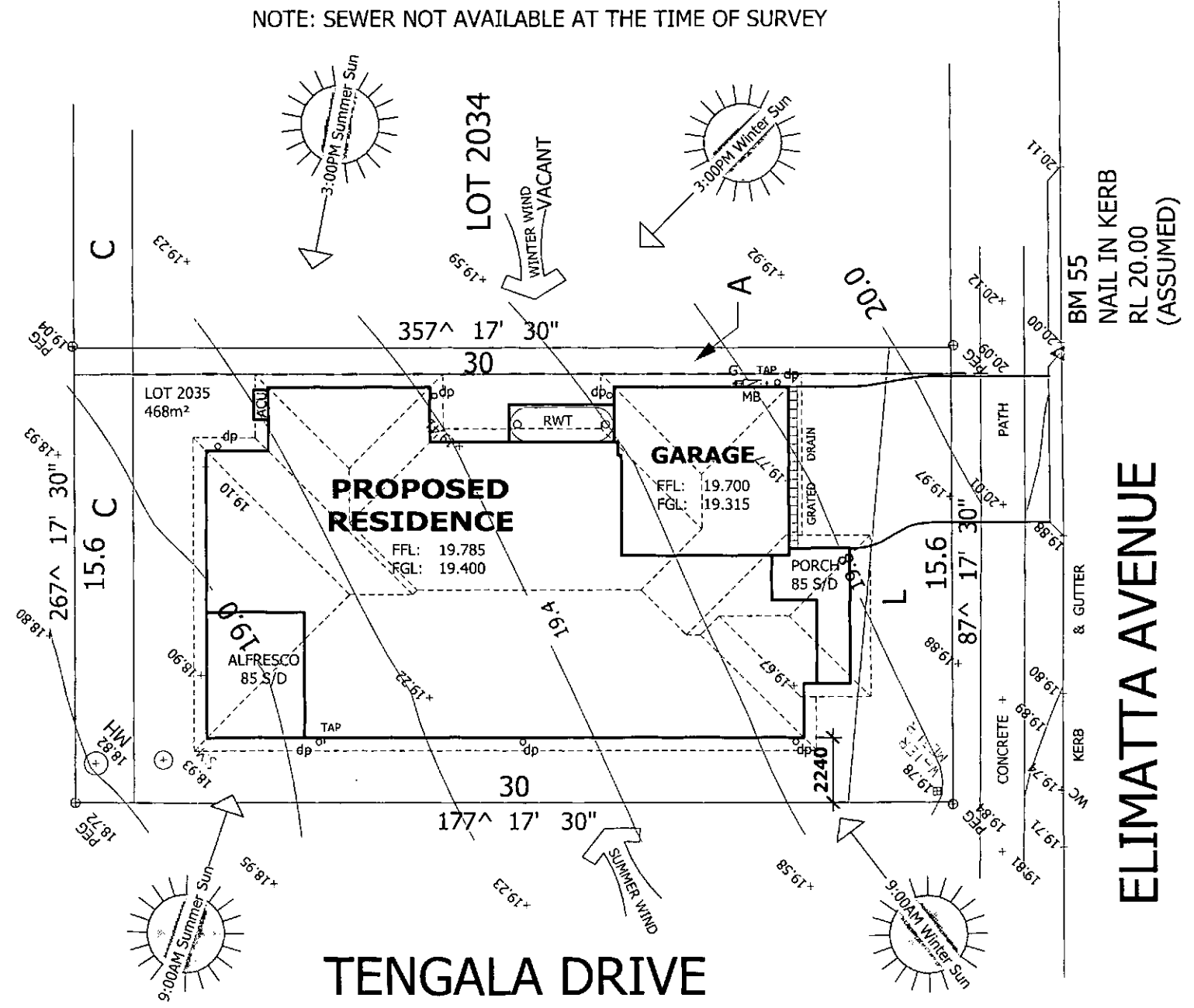
**LEGEND**

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE

LEGEND  
 KO: DENOTES KERB OUTLET  
 WC, EC, TC: DENOTES SERVICE CONDUIT  
 SV: DENOTES STOP VALVE  
 HYD: DENOTES HYDRANT

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CLIENT:  
 MR SU & MRS ZHUO

SITE ADDRESS:  
 LOT 2035  
 ELIMATTA AVE  
 JORDAN SPRINGS

HOUSE TYPE  
 MODEL: METFORD 24  
 FACADE: REGAL  
 TYPE: DOUBLE GARAGE  
 SPECIFICATION: GOLD

DRAWING TITLE:  
 SITE ANALYSIS

DRAWN BY: Author	DATE DRAWN: 07/09/13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002713	DRWG No: 11	ISSUE: D	