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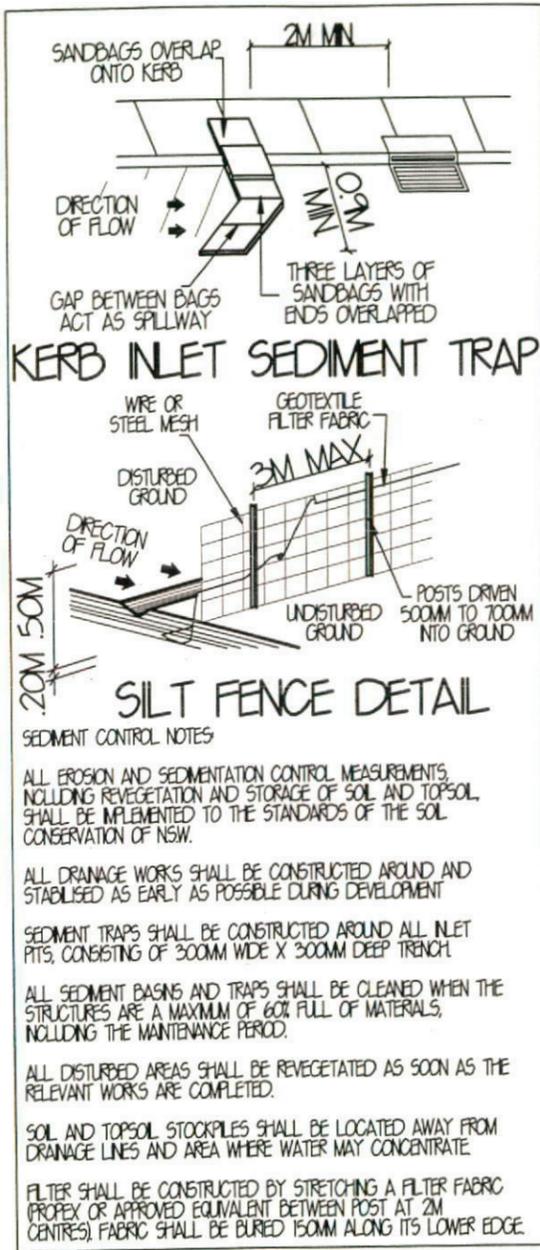
BARTLETT PLACE

SITE DATA

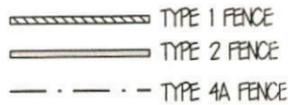
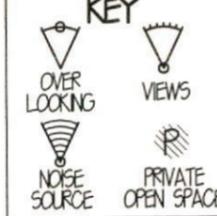
TOTAL SITE AREA 324.5 M ²	
PRIVATE OPEN SPACE REQUIRED = 20% OF TOTAL SITE AREA OR 64.950M ² PROVIDED = 22% OF TOTAL SITE AREA OR 71.850M ²	
UNIT NUMBER	ALLOCATED PRIVATE OPEN SPACE PER UNIT
1	28.6 M ²
2	33.4 M ²
3	9.8 M ²

FLOOR AREAS

UNIT NUMBER	1	UNIT NUMBER	2	UNIT NUMBER	3
GROUND	89.2 M ²	GROUND	8.9 M ²	GROUND	10.1 M ²
GARAGE	19.3 M ²	GARAGE	19.3 M ²	GARAGE	19.5 M ²
VERANDAH	11.2 M ²	PORCH	2.7 M ²	PORCH	0.6 M ²
TOTAL	119.7 M ² OR 12.9 SQ	FIRST	96.1 M ²	FIRST	68.8 M ²
		BALCONY	11.2 M ²	BALCONY	4.1 M ²
		TOTAL	138.2 M ² OR 14.9 SQ	DECK	4.8 M ²
				TOTAL	107.9 M ² OR 11.6 SQ



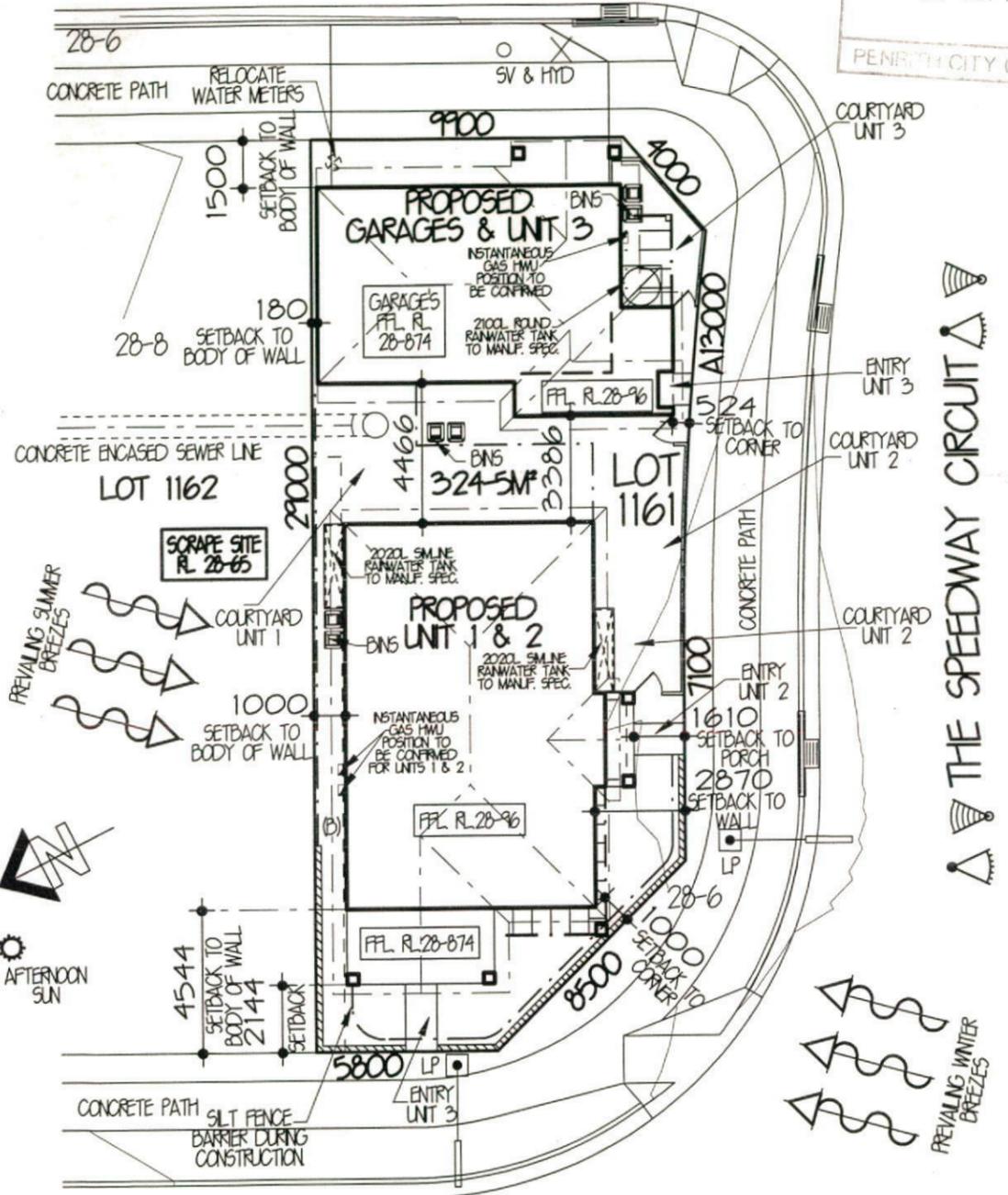
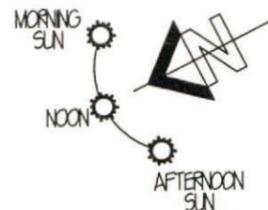
SITE ANALYSIS KEY



REFER TO LANDSCAPE PLANS FOR FENCING TYPES LOCATIONS & HEIGHTS TOGETHER WITH LETTERBOX LOCATION & RETAINING WALL DETAILS

SITE ANALYSIS & SITE PLAN 1:200

PRELIMINARY SITING ONLY



SYDNEY SMITH DRIVE

(B) PROPOSED EASEMENT FOR SERVICES, OVERHANG, ACCESS & MAINTENANCE 0.9 M WIDE

No: 130235

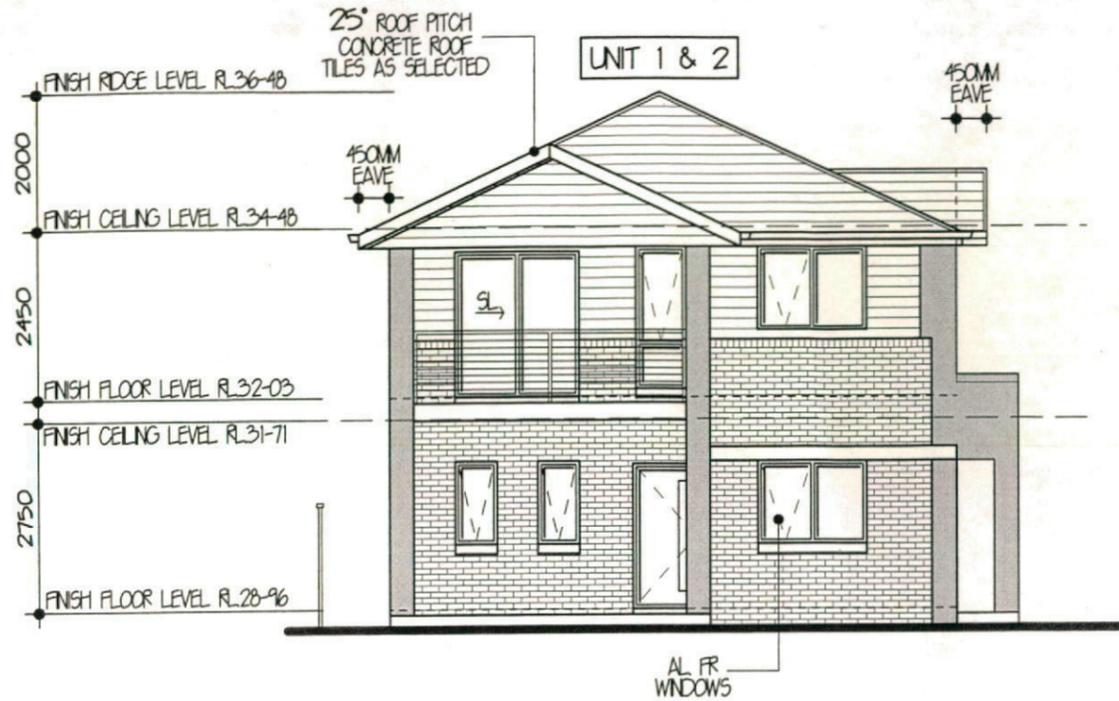
RAWSON HOMES
UNIT 34/11-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
PH: 02 9164 6442
FAX: 02 9164 6912
WWW.RAWSONHOMES.NET.AU

FOR	RAWSON HOMES	STAGE	DA PLANS
AT	LOT 1161 SYDNEY SMITH DRIVE, THORNTON	FACADE	CUSTOM
THORNTON BLOCK PLAN LABEL	JOB NO.	DATE	DWG NO.
C / 55	---	SEPT 12	A18839
		PAGE NO.	1 OF 7

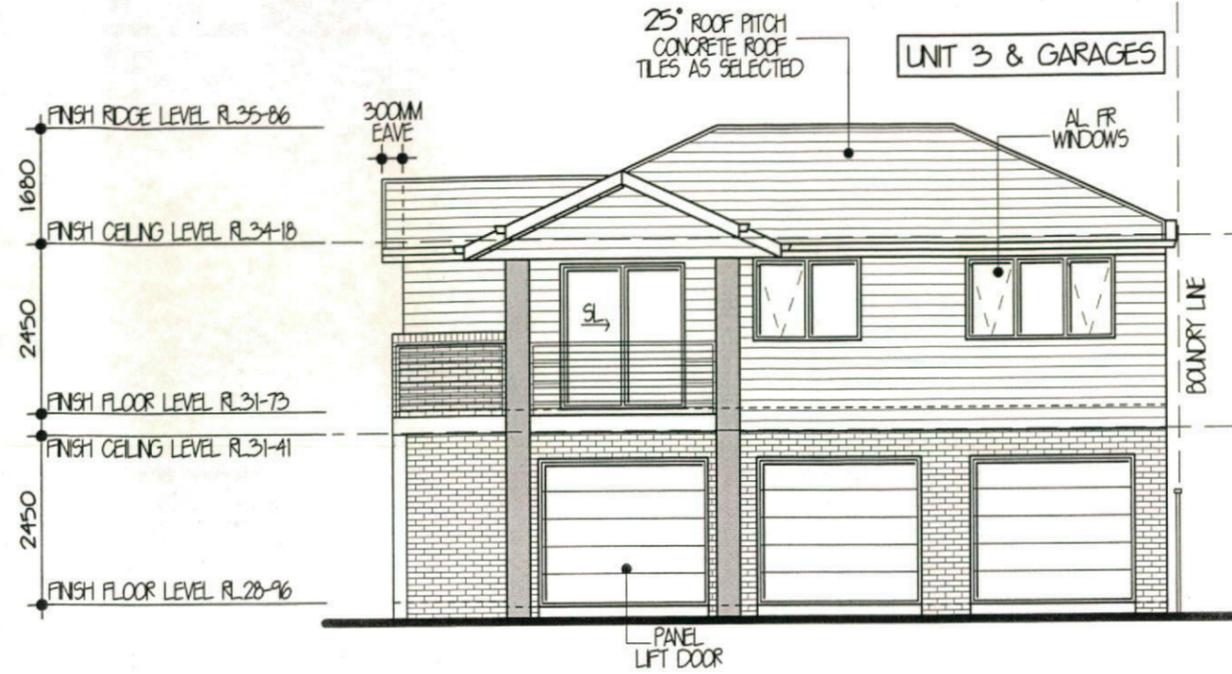
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E	6-5-13	AMENDMENTS	CL

AS/N DESIGN SYDNEY
LEVEL 2 SUITE 216 MACARTHUR POINT
NO. 25-27 SOLENT CIRCUIT
BALLKHAM HILLS
PO BOX 6410 BALLKHAM HILLS
BUSINESS CENTRE NSW, 2155
PHONE (02) 8824 3333
FAX (02) 8824 3544
WWW.ASNDISIGNSYDNEY.COM.AU



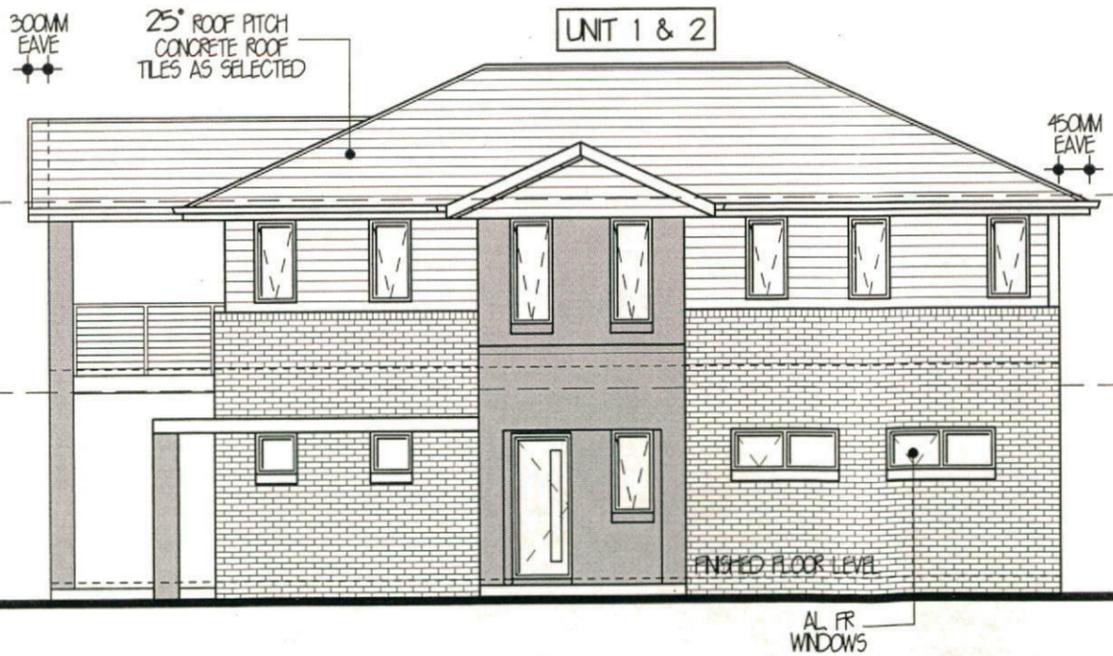
SYDNEY SMITH DRIVE
NORTH WEST ELEVATION 1:100



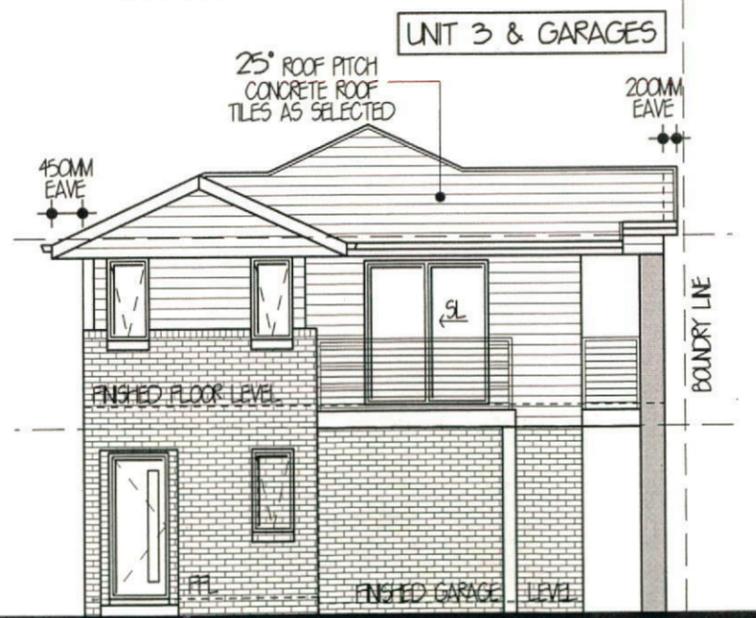
BARTLETT PLACE
SOUTH EAST ELEVATION 1:100

WALL FINISHES SCHEDULE

	FACE BRICKWORK AS SELECTED
	FEATURE MASONRY TO BRICKWORK
	CLADDING AS SELECTED



THE SPEEDWAY CIRCUIT
SOUTH WEST ELEVATION 1:100



This plan/document relates to:
Development Application
No: 130233

(COUNCIL DOES NOT ATTEST TO THE ACCURACY OF THIS PLAN)

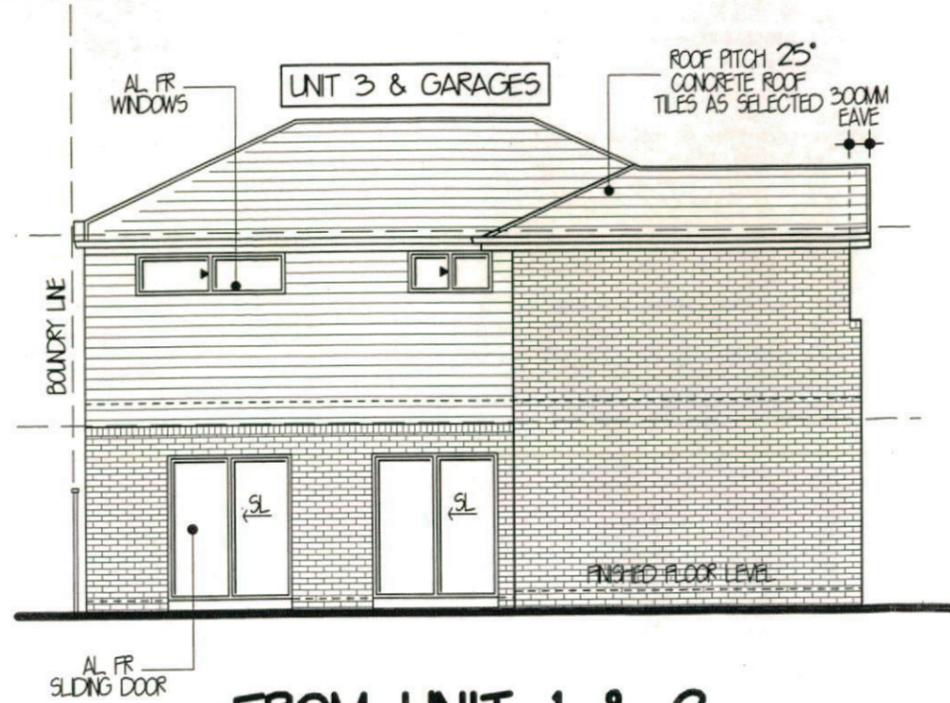
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UNIT 34/11-21 UNDERWOOD ROAD
HOME BUSH NSW 2140
PH: 02 9164 6442
FAX: 02 9164 6442
WWW.RAWSONHOMES.NET.AU

FOR	RAWSON HOMES	STAGE	DA PLANS
AT	LOT 1161 SYDNEY SMITH DRIVE, THORNTON	FACADE	CUSTOM
THORNTON BLOCK PLAN LABEL	JOB NO.	DATE	DWG NO.
C / 55	---	SEPT 12	A18839
		PAGE NO.	4 OF 7

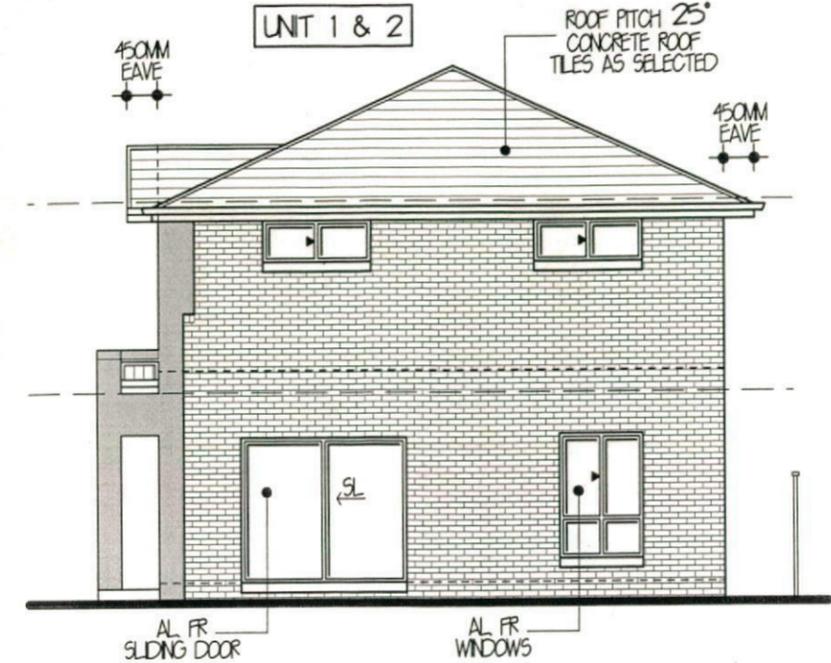
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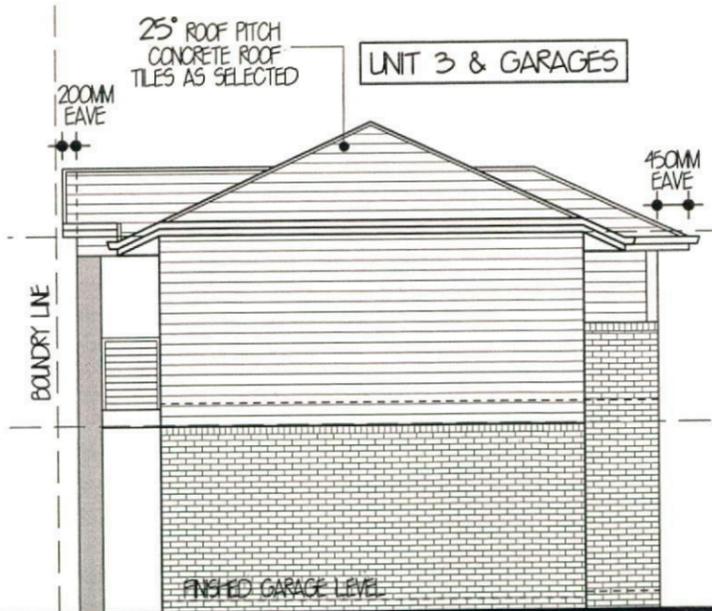
A&N DESIGN SYDNEY
LEVEL 2 SUITE 216 MACARTHUR POINT
NO. 25-27 SOLENT CIRCUIT
BALKHAM HILLS
PO BOX 6410 BALKHAM HILLS
BUSINESS CENTRE NSW 2153
PHONE: (02) 8824 3535
FAX: (02) 8824 3544
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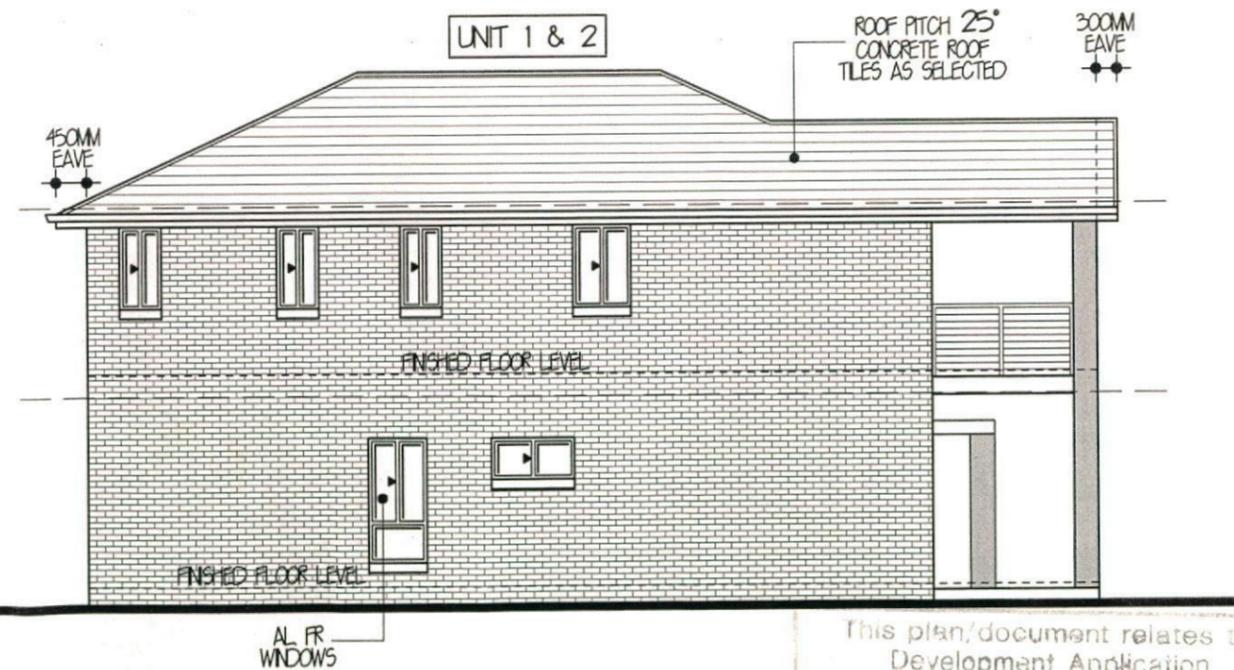
FROM UNIT 1 & 2
NORTH WEST ELEVATION 1:100



FROM UNIT 3 & GARAGES
SOUTH EAST ELEVATION 1:100



FROM LOT 1162
NORTH EAST ELEVATION 1:100



WALL FINISHES SCHEDULE

	FACE BRICKWORK AS SELECTED
	FEATURE MASONRY TO BRICKWORK
	CLADDING AS SELECTED

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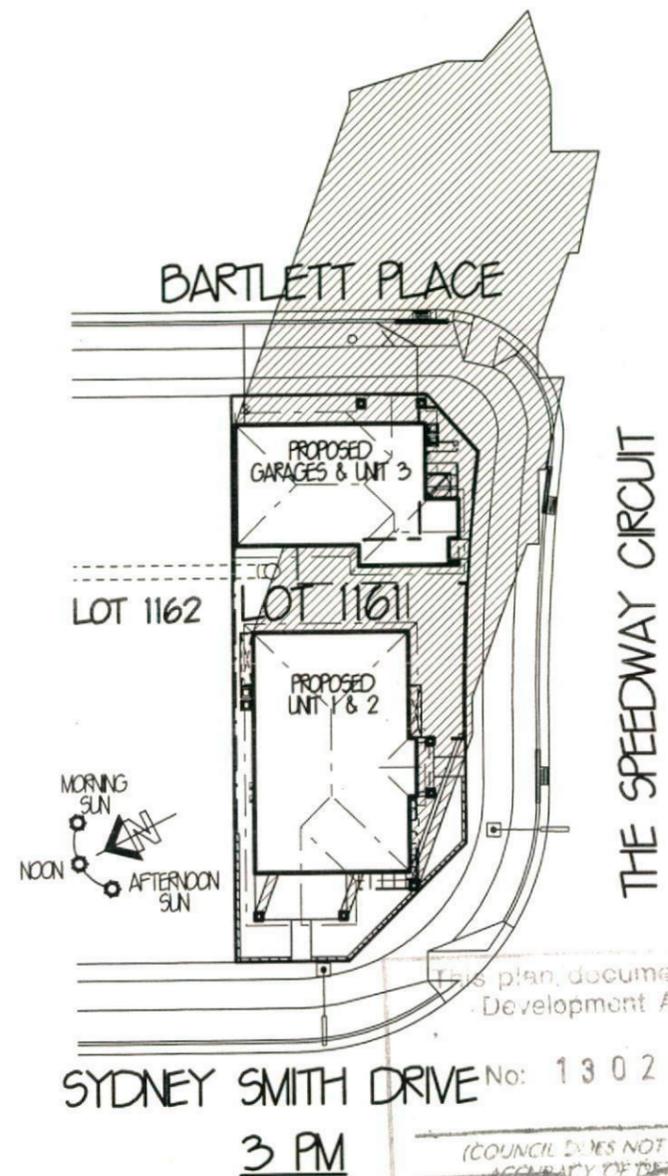
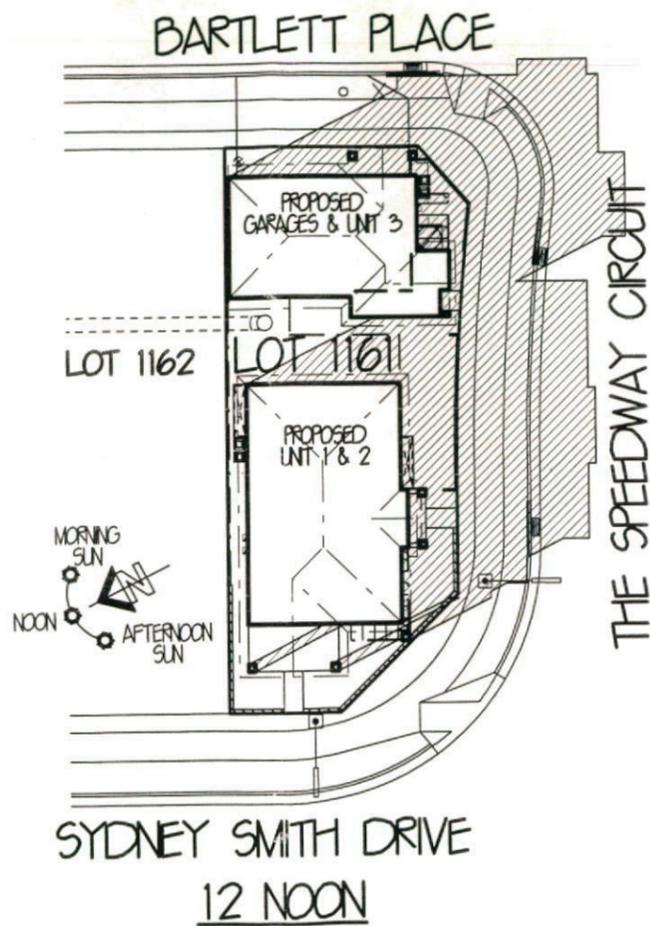
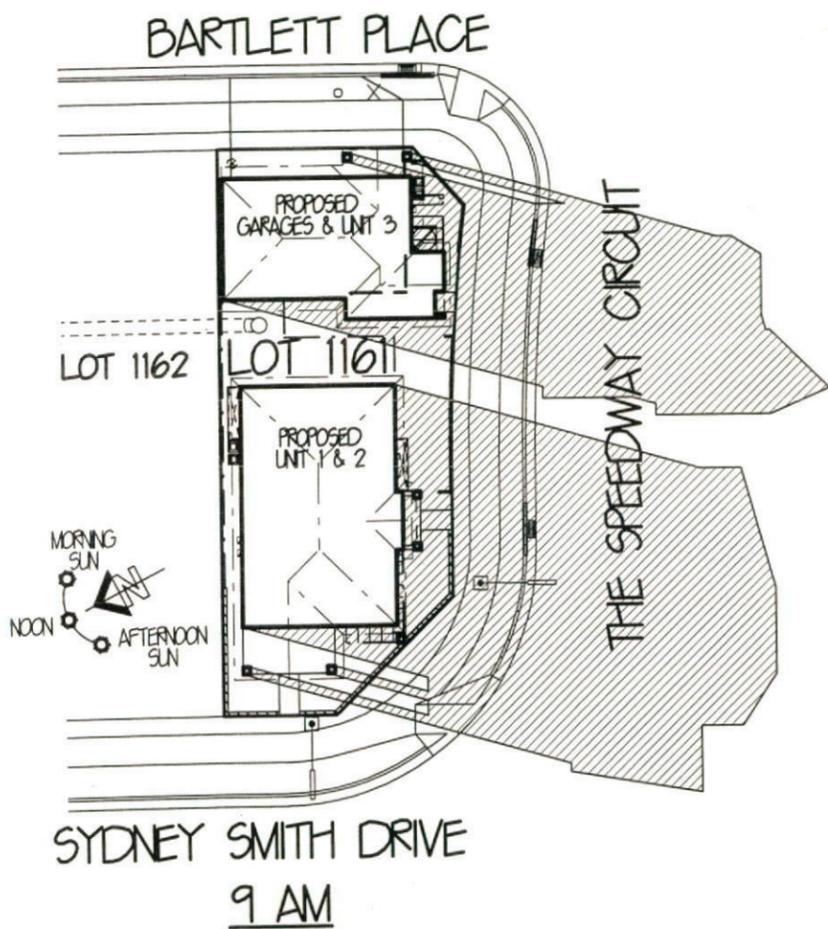
FOR	RAWSON HOMES	STAGE	DA PLANS
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THORNTON BLOCK PLAN LABEL	JOB NO.	DATE	DWG NO.
C / 55	---	SEPT 12	A18839
			PAGE NO.
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A&N DESIGN SYDNEY

LEVEL 2 SUITE 216 MACARTHUR POINT
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No: 130233

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SHADOW DIAGRAMS JUNE 21ST MID-WINTER 1:350

SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY SITE CONDITIONS MAY CAUSE VARIATIONS

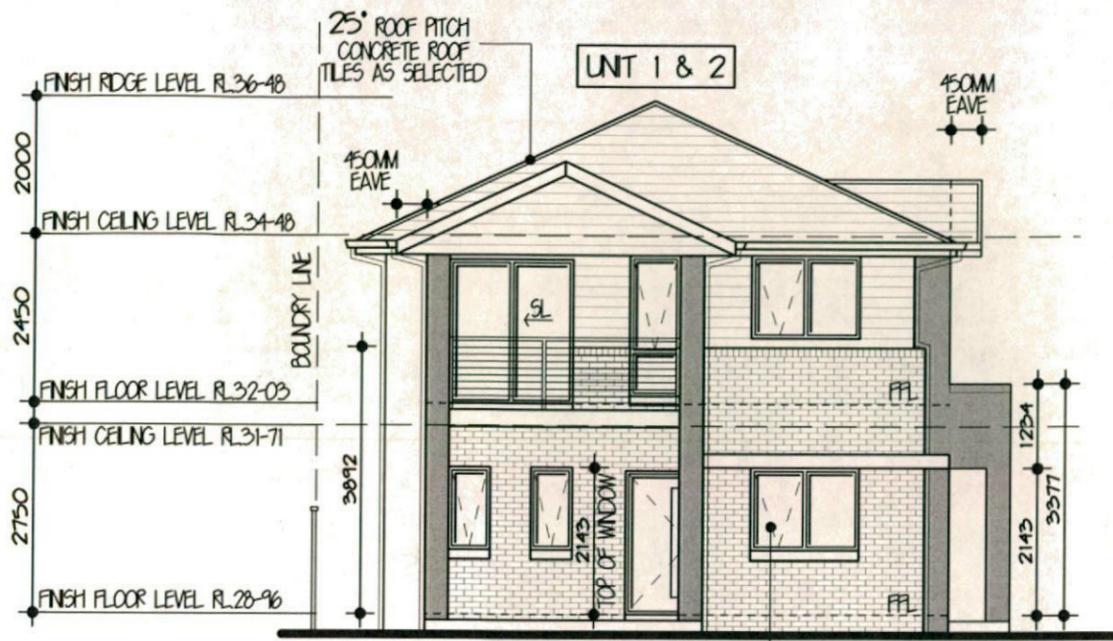
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THORNTON BLOCK PLAN LABEL	JOB NO.	DATE	DWG NO.
C / 55	---	SEPT 12	A18839
			PAGE NO.
			7 OF 7

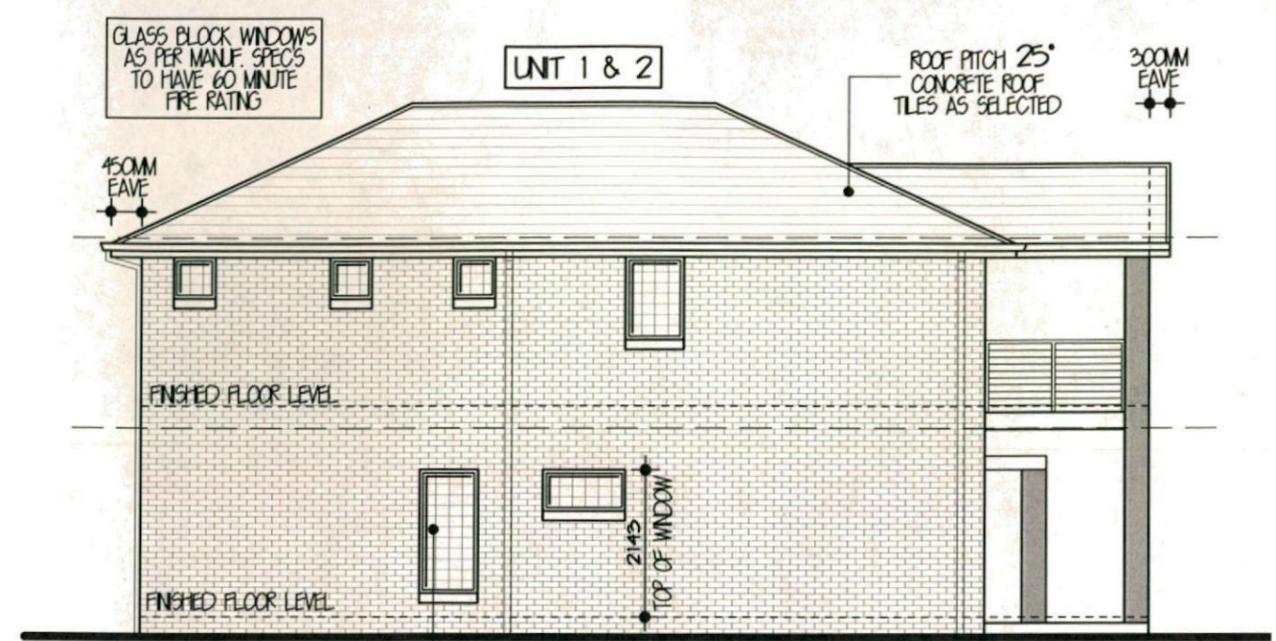
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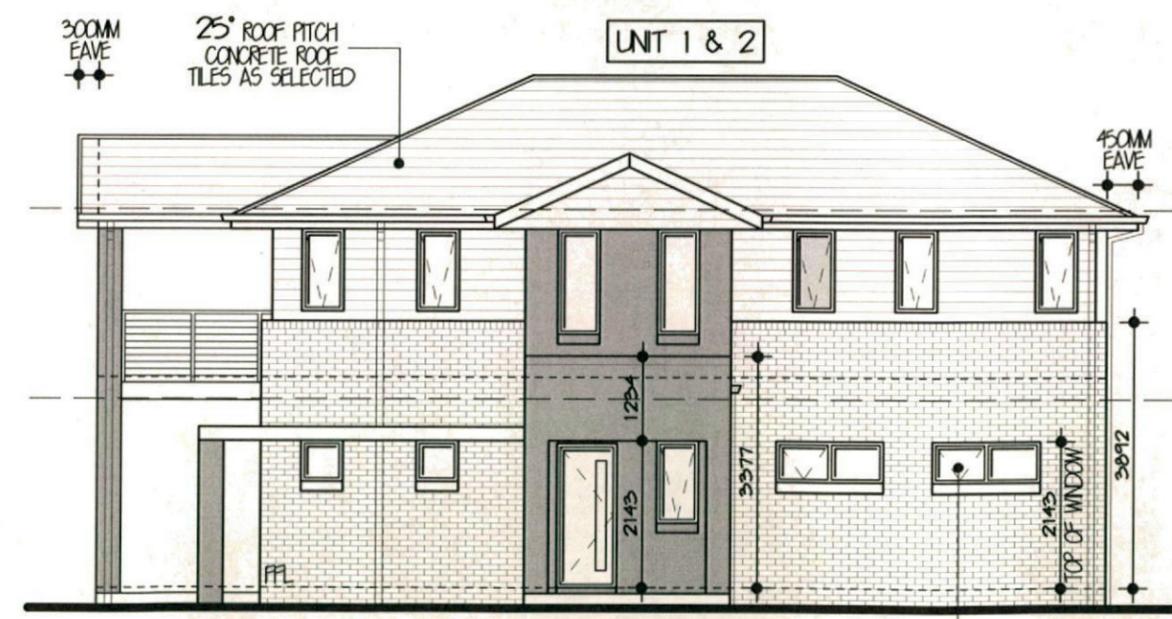
SYDNEY SMITH DRIVE
NORTH WEST ELEVATION 1:100



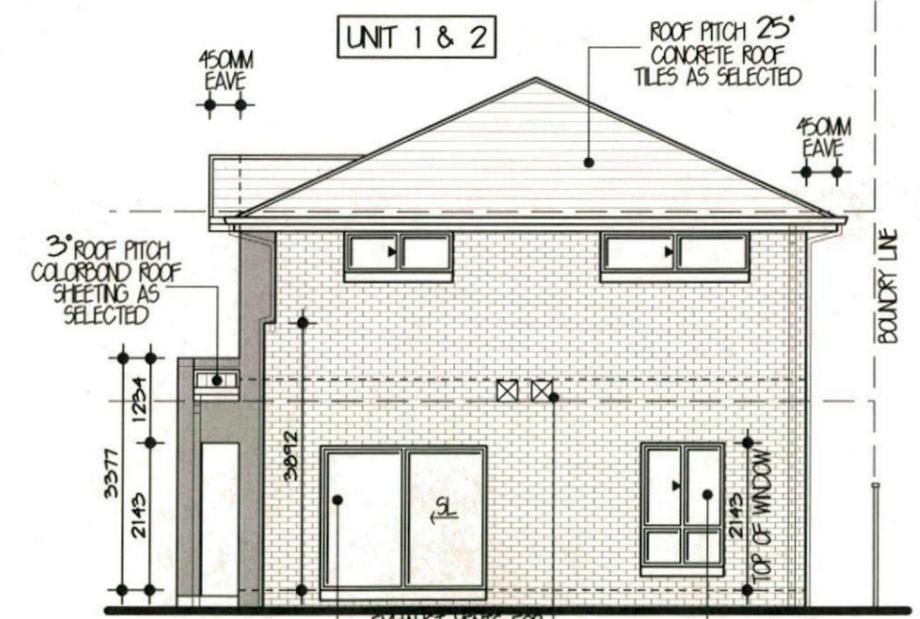
FROM LOT 1162
NORTH EAST ELEVATION 1:100

WALL FINISHES SCHEDULE

	FACE BRICKWORK AS SELECTED
	FEATURE MOROKA TO BRICKWORK
	CLADDING AS SELECTED



EMPIRE CIRCUIT
SOUTH WEST ELEVATION 1:100



FROM UNIT 3 & GARAGES
SOUTH EAST ELEVATION 1:100

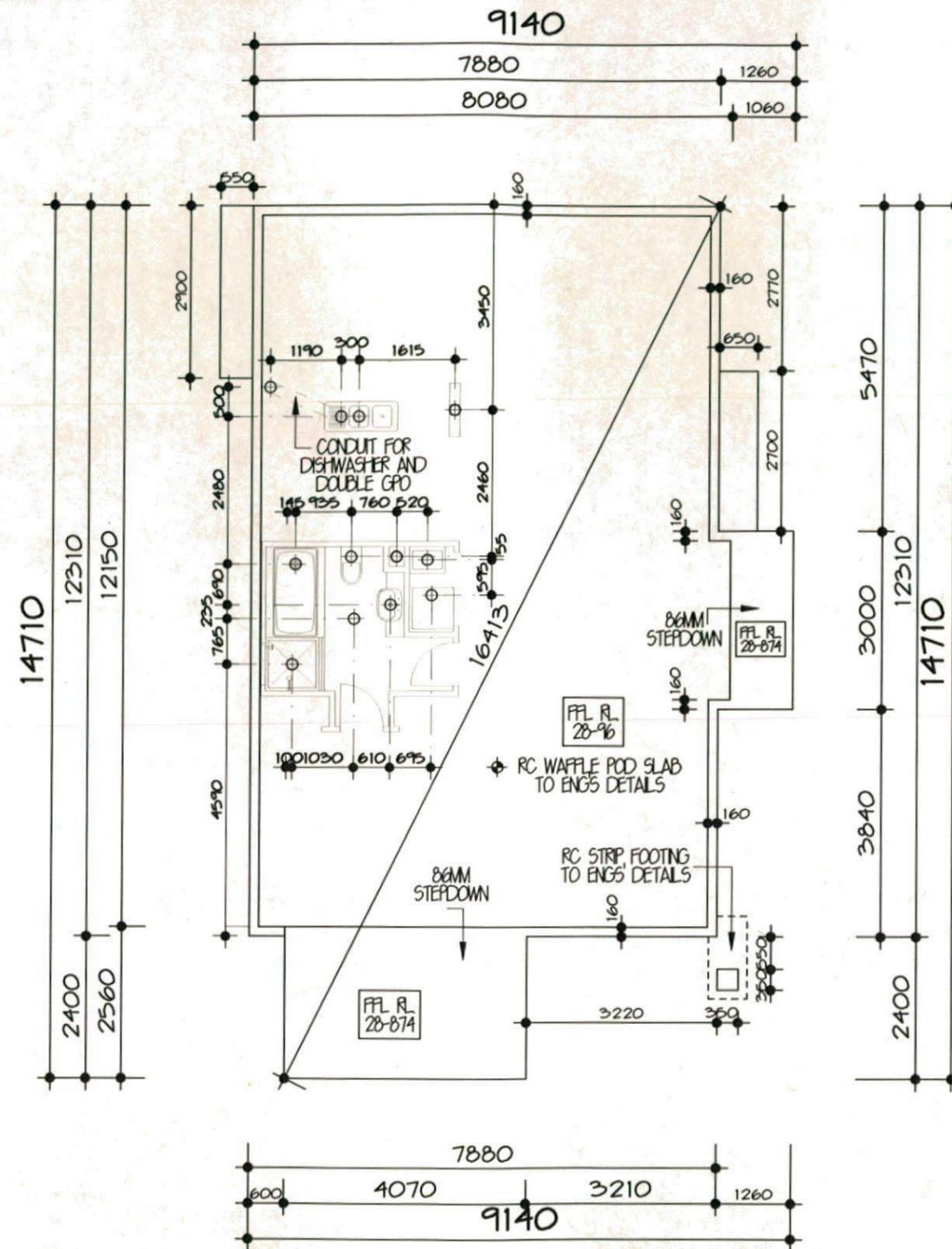
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FOR	MARTISE INVESTMENTS	STAGE	CC PLANS
AT	LOT 1161 SYDNEY SMITH DRIVE, THORNTON	FACADE	CUSTOM
THORNTON BLOCK PLAN LABEL	JOB NO. 002975	DATE SEPT 12	DWG NO. A18839
C / 55			PAGE NO. 4 OF 14

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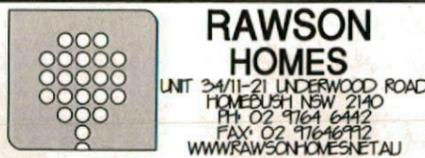
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F	11-7-13	CC PLANS	AL
G	23-8-13	AMENDMENTS	RR
H	10-10-13	ACOUSTIC AMENDMENTS	DT

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LEVEL 2 SUITE 216 MACARTHUR POINT
NO. 25-27 SOLENT CIRCUIT
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BUSINESS CENTRE NSW 2155
PHONE (02) 8824 3525
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SLAB FLOOR PLAN 1:100

SLAB PLAN TO BE CROSS REFERENCED WITH FLOOR PLANS, ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING



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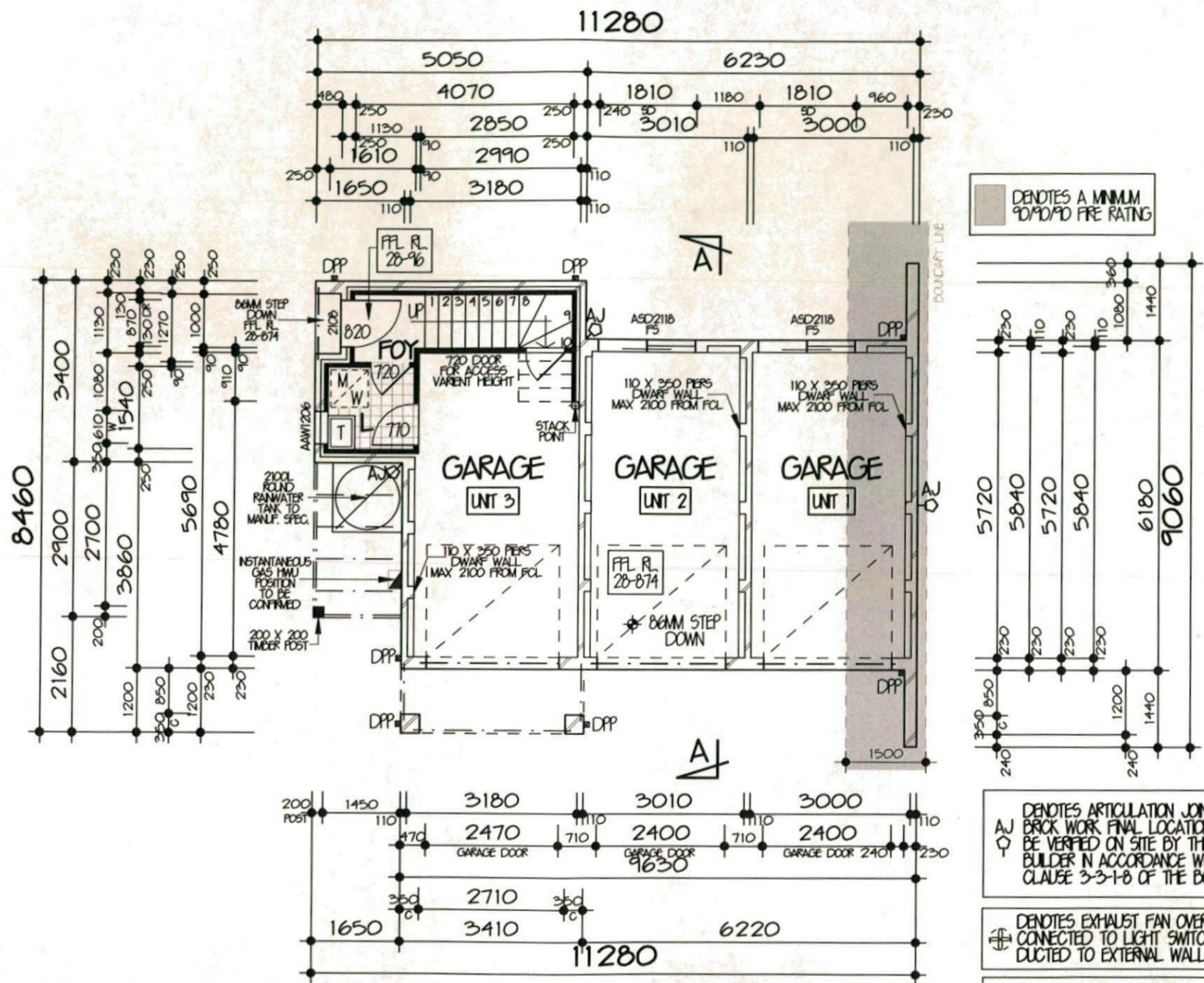
FOR	MARTISE INVESTMENTS	STAGE	CC PLANS
AT	LOT 1161 SYDNEY SMITH DRIVE, THORNTON	FACADE	CUSTOM
THORNTON BLOCK PLAN LABEL	JOB NO.	DATE	DWG NO.
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			PAGE NO.
			6 OF 14

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LEVEL 2 SUITE 216 MACARTHUR POINT
NO. 25-27 SOLENT CIRCUT
BALLKHAM HILLS
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GROUND FLOOR PLAN 1:100

**UNIT 1, 2 & 3 GARAGE
UNIT 3 FOYER & LAUNDRY**

⊞ DENOTES A MINIMUM 90/90/90 FIRE RATING

AJ ⊞ DENOTES ARTICULATION JOINT IN BRICK WORK. FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER IN ACCORDANCE WITH CLAUSE 3-3-1-B OF THE BCA

⊞ DENOTES EXHAUST FAN OVER CONNECTED TO LIGHT SWITCH DUCTED TO EXTERNAL WALL

⊞ ALL WET AREAS TO BE PROVIDED WITH FLOOR WASTE

⊞ DENOTES LOCATION OF SMOKE DETECTOR

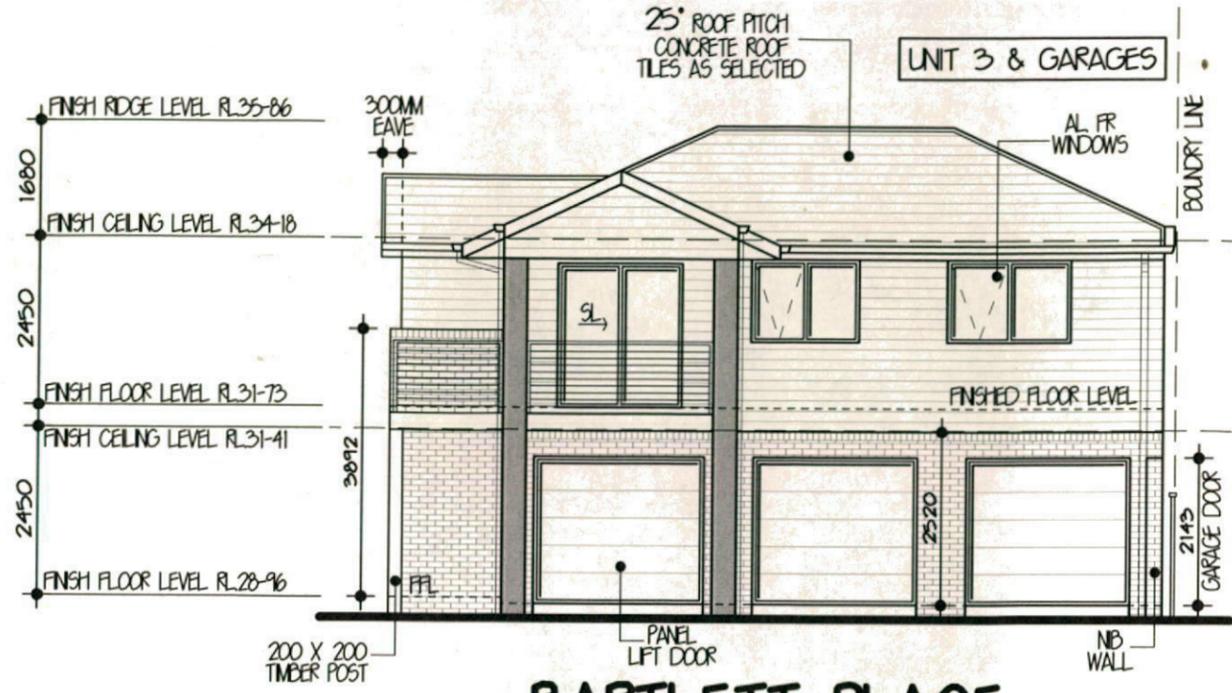
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 FAX 02 9764 6442
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FOR	MARTISE INVESTMENTS	STAGE	CC PLANS
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THORNTON BLOCK PLAN LABEL	JOB NO. 002975	DATE	SEPT 12
C / 55		DWG NO.	A18839
		PAGE NO.	8 OF 14

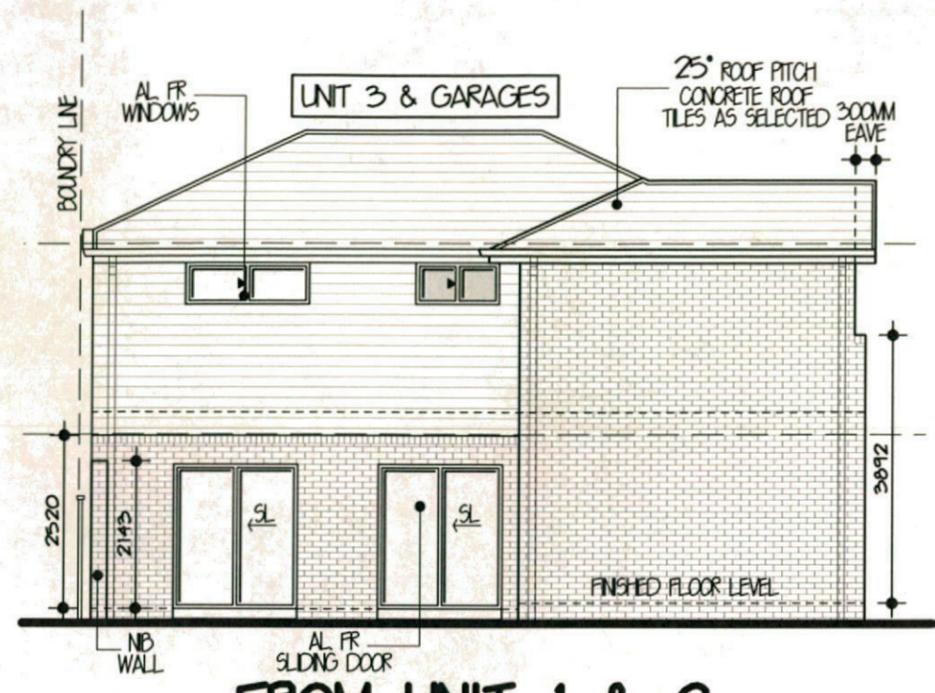
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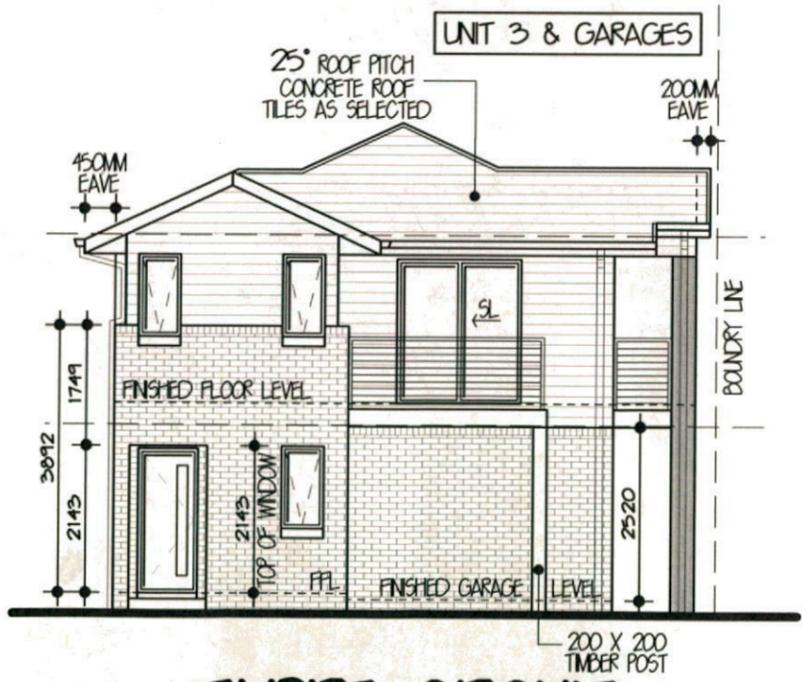
BARTLETT PLACE
SOUTH EAST ELEVATION 1:100



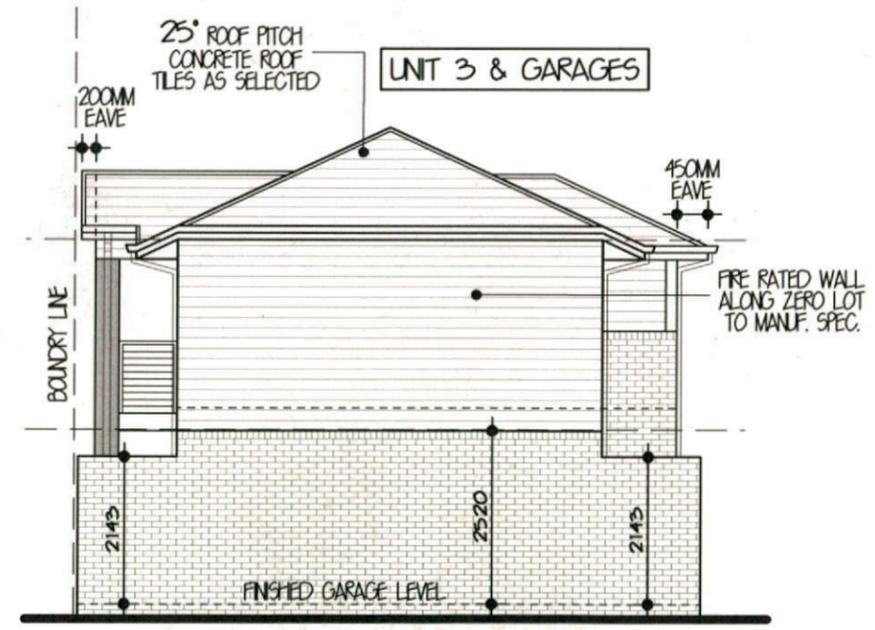
FROM UNIT 1 & 2
NORTH WEST ELEVATION 1:100

WALL FINISHES SCHEDULE

	FACE BRICKWORK AS SELECTED
	FEATURE MOSAIC TO BRICKWORK
	CLADDING AS SELECTED



EMPIRE CIRCUIT
SOUTH WEST ELEVATION 1:100



FROM LOT 1162
NORTH EAST ELEVATION 1:100

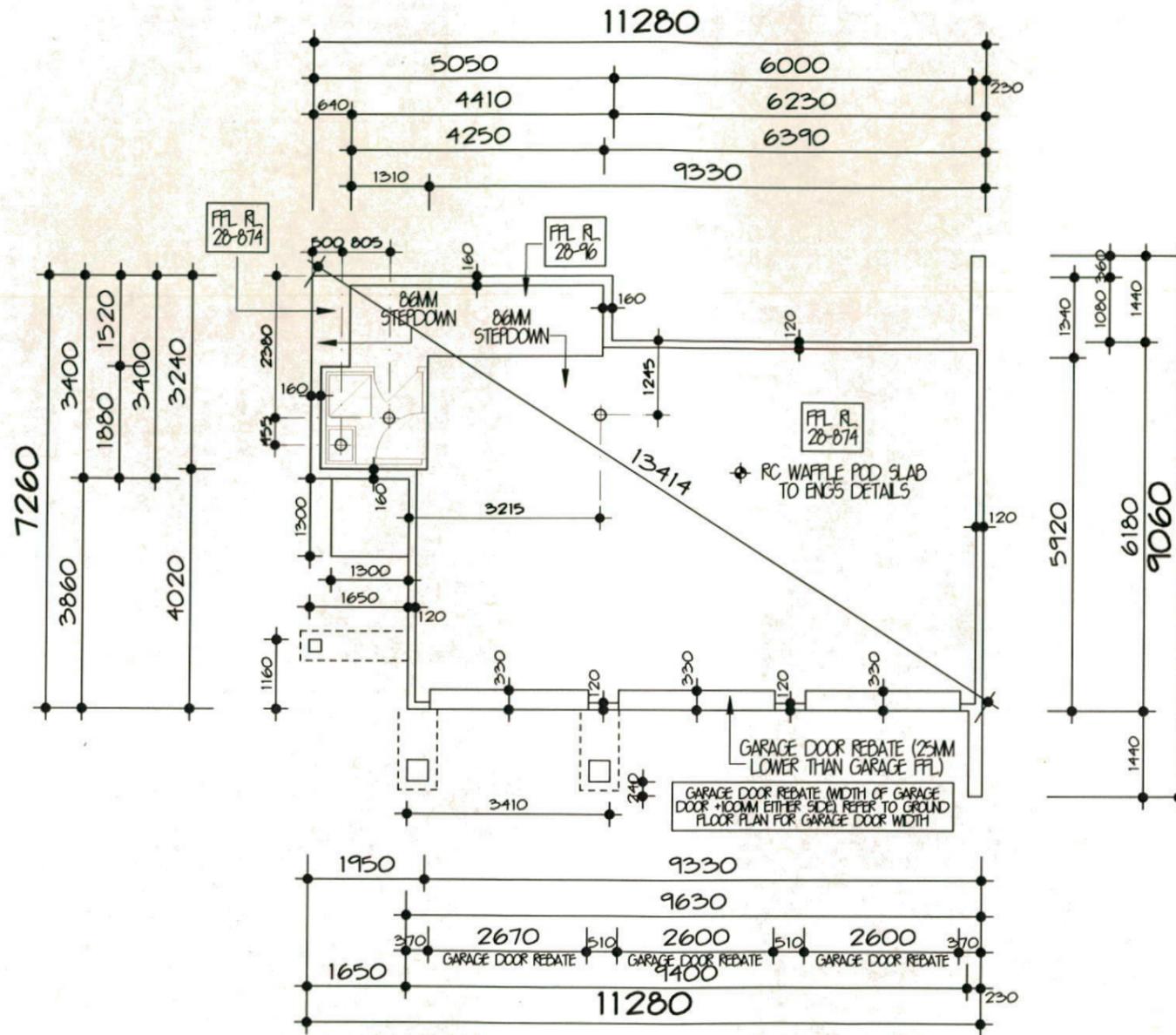
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FOR	MARTISE INVESTMENTS	STAGE	CC PLANS
AT	LOT 1161 SYDNEY SMITH DRIVE, THORNTON	FACADE	CUSTOM
THORNTON BLOCK PLAN LABEL	JOB NO.	DATE	DWG NO.
C / 55	002975	SEPT 12	A18839
			PAGE NO.
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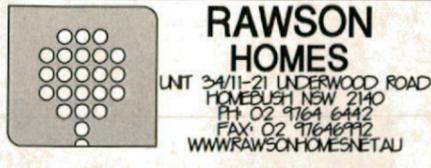
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FAX: 02 9764 6712
WWW.RAWSONHOMES.NE.TAU

FOR **MARTISE INVESTMENTS**
AT **LOT 1161 SYDNEY SMITH DRIVE, THORNTON**
THORNTON BLOCK PLAN LABEL **C / 55**
JOB NO. **002975**

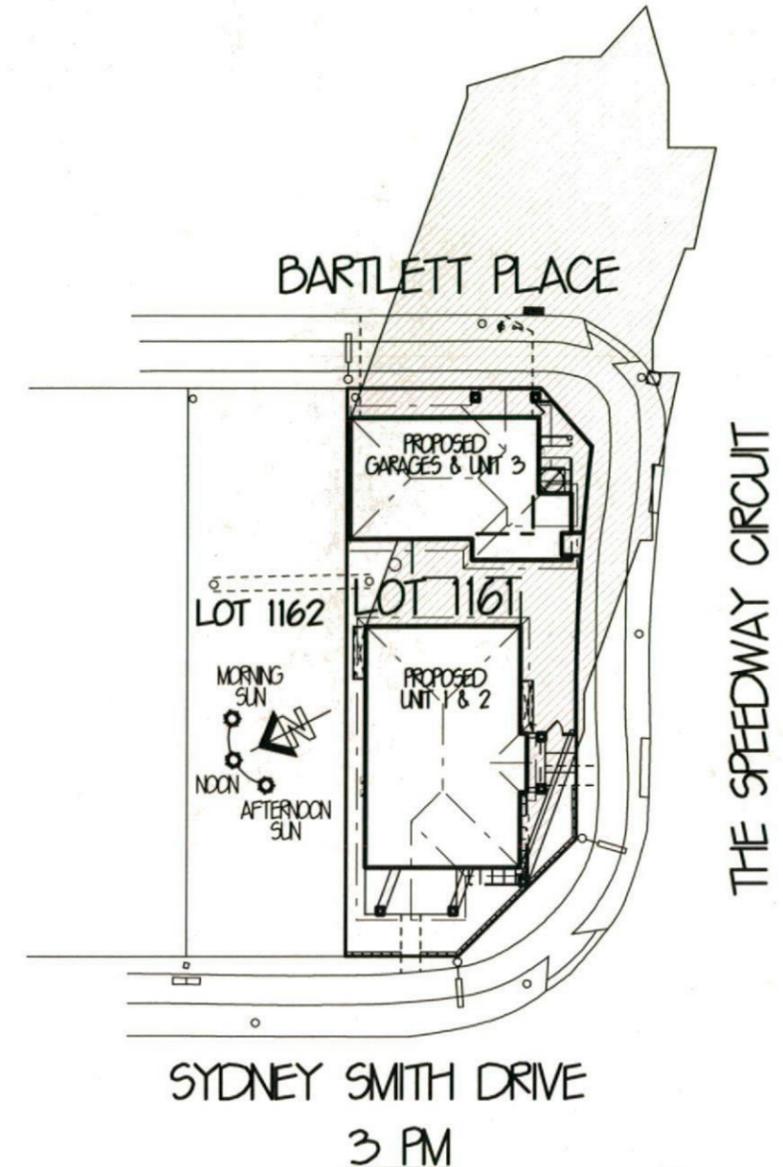
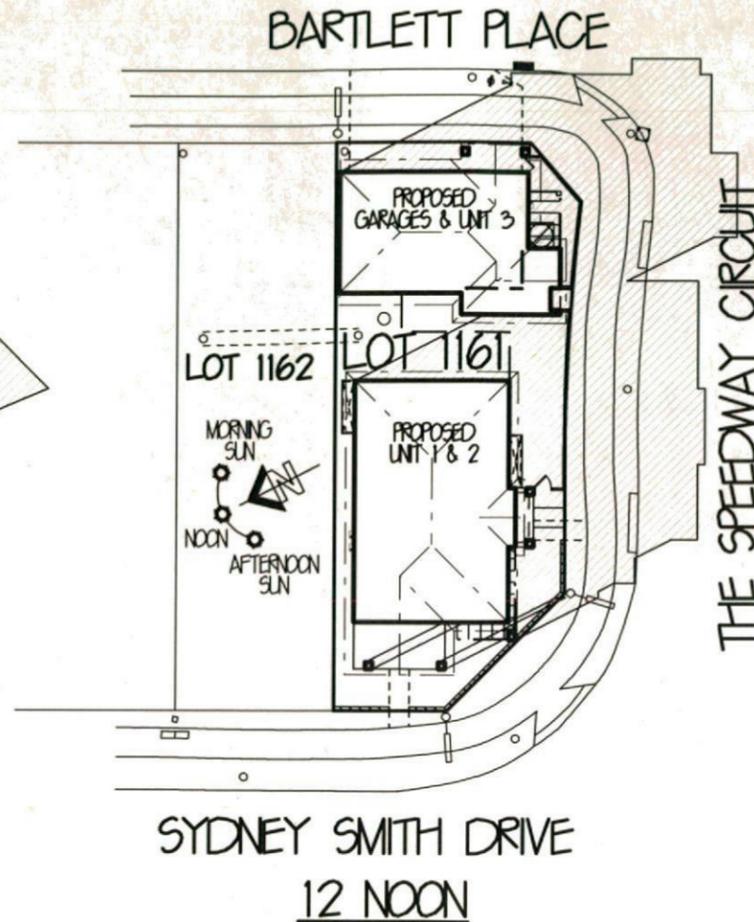
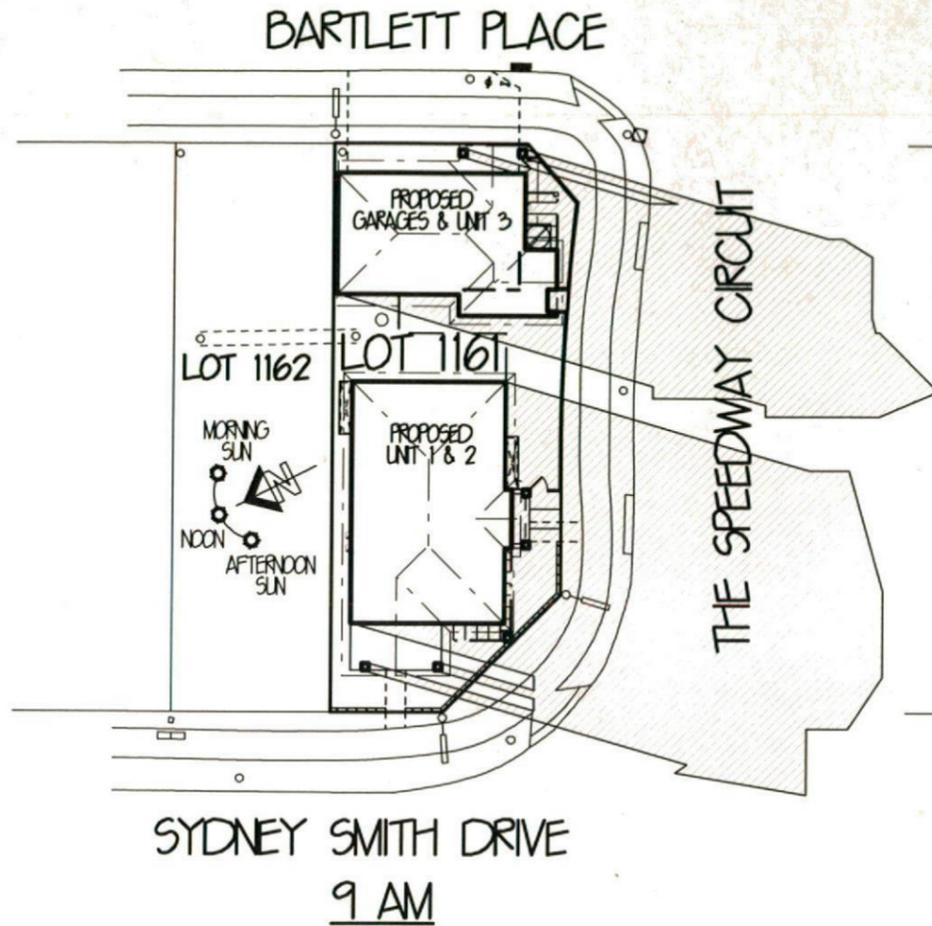
STAGE **CC PLANS**
FACADE **CUSTOM**
HAND **REAR LOADED**
DATE **SEPT 12**
DWG NO. **A18839**
PAGE NO. **12 OF 14**

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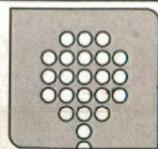


LEVEL 2 SUITE 216 MACARTHUR POINT
NO. 25-27 SOLENT CIRCUIT
BALLKHAM HILLS
PO BOX 6410 BALLKHAM HILLS
BUSINESS CENTRE NSW 2153
PHONE (02) 8824 3533
FAX (02) 8824 3544
WWW.ADESIGNSYDNEY.COM.AU



SHADOW DIAGRAMS JUNE 21ST MID-WINTER 1:350

SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY SITE CONDITIONS MAY CAUSE VARIATIONS



RAWSON HOMES
 UNIT 34/11-21 UNDERWOOD ROAD
 HOMEBUSH NSW 2140
 PH: 02 9764 6442
 FAX: 02 9764 6442
 WWW.RAWSONHOMES.NE.TAU

FOR **MARTISE INVESTMENTS**
 AT **LOT 1161 SYDNEY SMITH DRIVE, THORNTON**
 THORNTON BLOCK PLAN LABEL **C / 55**
 JOB NO. **002975**

STAGE **CC PLANS**
 FACADE **CUSTOM**
 HAND REAR **LOADED**
 DATE **SEPT 12**
 DWG NO. **A18839**
 PAGE NO. **14 OF 14**

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ISSUE	DATE	REVISION	DRAWN
B	09-10-12	AMENDMENTS	AL
C	17-1-13	AMENDMENTS	CL
D	21-01-13	SHADOWS	SK
E	6-5-13	AMENDMENTS	CL
F	11-7-13	CC PLANS	AL
G	23-8-13	AMENDMENTS	RK
H	10-10-13	ACOUSTIC AMENDMENTS	DT



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