

SLIMLINE RAIN WATER TANK PAD

2-N12 BARS 1500 LONG, TYPICAL, TIED TO UNDERSIDE OF FABRIC.

EXTERNAL DEEP BEAM REFER TO PAGE 3 FOR SPECIFICATIONS

USE 225 PODS

USE 300 PODS

160 STEP DOWN

150

86 STEP DOWN

SP \*

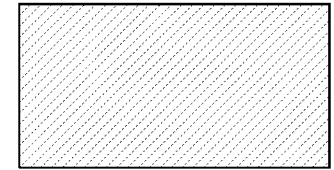
CUT & FILL LINE

ZONE OF INFLUENCE

STRIP FOOTING 300 WIDE 400 DEEP 3L-11 TM TOP & BTM R6 TIES @ 900 CTS WIDEN FOOTING AS REQUIRED UNDER COLUMN, 100mm PAST FACE OF BRICKWORK.

REFER TO PAGES 4 FOR SEWER DETAILS

THIS IS TO CERTIFY THAT THE SLAB HAS BEEN DESIGNED FOR SALINE AFFECTED SOILS. REFER TO PAGES 1 & 2 FOR SALINITY REQUIREMENTS.



HATCHED AREA DENOTES 150 THICK INFILL SLAB SL72 FABRIC TOP/BTM 25 COVER ON COMPACTED FILL

FORMWORK LEVEL CHECK BOOKED   
FORMWORK LEVEL CHECK COMPLETE

**CONSTRUCTION NOTES**

**GENERAL:** UNLESS NOTED OTHERWISE THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS AND SPECIFICATIONS AND ANY OTHER WRITTEN INSTRUCTIONS ISSUED DURING CONSTRUCTION. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE ENGINEER, BEFORE PROCEEDING WITH THE WORK.

DURING CONSTRUCTION THE STRUCTURE AND ANY ADJACENT STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.

THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE LOCATION, SIZE AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.

ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB-CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL SUPERVISOR/BUILDER HAS IDENTIFIED AND APPROPRIATELY ACTED ON ANY POTENTIAL HAZARDS.

UNLESS REQUESTED AND PRODUCED ON THE PLANS, BUILDER IS TO ENSURE THAT ARTICULATION JOINTS ARE SHOWN ON THEIR ARCHITECTURAL DRAWINGS AND BE SATISFIED THEY ARE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES.

ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY

FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100kPa. PIER HOLES ARE DESIGNED FOR ALLOWABLE BEARING PRESSURE OF 200kPa. FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION

ADDITIONAL CONCRETE PIERS MAY BE REQUIRED UNDER SLAB TO EVEN BEARING IN SOIL AS RECOMMENDED BY AUSTRALIAN STANDARD AS 2870.

ADDITIONAL PIERS IN THE CUT SECTION OF BUILDING PLATFORM MAY ALSO BE REQUIRED TO ACHIEVE THE SAME BEARING AS PIERS IN THE FILL SECTION.

A 1 METRE WIDE APRON, WITH 25 CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB WHERE APPLICABLE

IF THE LOCATION OF THE SLAB IS NEXT TO AN ABOVE OR BELOW ON SITE DETENTION SYSTEM OR BELOW GROUND RAINWATER TANK, THE BUILDER IS TO ADVISE ENGINEER IN ORDER TO ENSURE THAT CONCRETE PIERS ARE TAKEN 500mm BELOW THE INVERT LEVEL OF TANK OR THE FOOTING OF THE SUPPORTING WALL FOR AN ABOVE GROUND DETENTION SYSTEM.

ALL SITE FILLING PLACED BENEATH SLAB TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.4. OF AS 2870.2 - 2011.

REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF RAINWATER TANK AC, HWS AND LPG UNITS.

CONCRETE SPECIFICATION (F<sub>c</sub> 28 DAYS) TO BE AS FOLLOWS: ADOPT TYPE 'A' CEMENT WITH MAX AGGREGATE SIZE OF 20mm AND 80mm SLUMP

LOCATION	NORMAL F <sub>c</sub>	SALINE AFFECTED F <sub>c</sub>
PIERS	20 MPa	32 MPa
SLAB	20 MPa	32 MPa
STRIP FOOTINGS	25 MPa	32 MPa

CLEAR COVER TO REINFORCEMENT TO BE AS FOLLOW:

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	65
BEAMS	25	40	65
COLUMNS	40	50	—
STRIP FOOTING	—	—	65

REINFORCEMENT SYMBOLS ARE AS FOLLOWS:  
(N) - HOT ROLLED DEFORMED BARS (400 n)  
(SL) - HARD-DRAWN WIRE REINFORCING FABRIC (450 sl)  
(S) - STRUCTURAL GRADE DEFORMED BARS

NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR ENGINEERS APPROVAL.

CONSTRUCTION JOINTS THAT ARE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.

ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE

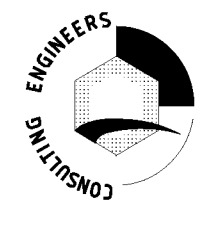
PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.

ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK

BUILDER TO ADHERE TO ANY GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED FOR THE SITE.

REINFORCED CONC. PIER   
 SEWER AFFECTED PIER   
 SCREW PIER  
 UNREINFORCED CONC. PIER   
 ARTICULATION JOINT   
 STARTING POINT  
DESIGNED TO AS 2870 - 2011 SLAB AND FOOTING CODE

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KINGSGROVE NSW 2208  
PO BOX 91 KINGSGROVE NSW 2208



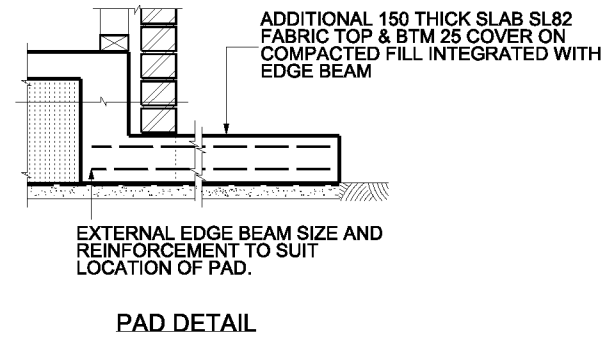
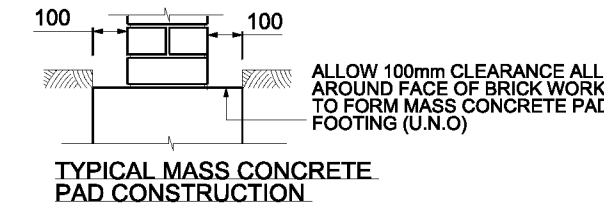
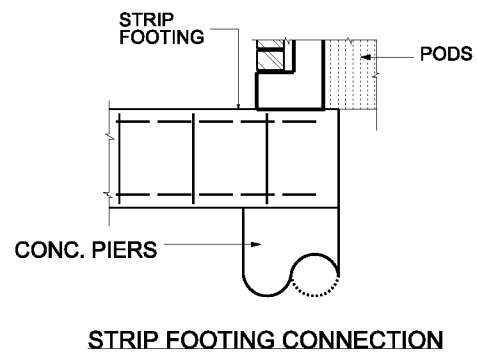
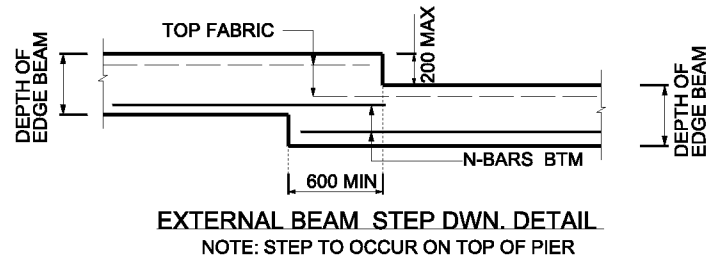
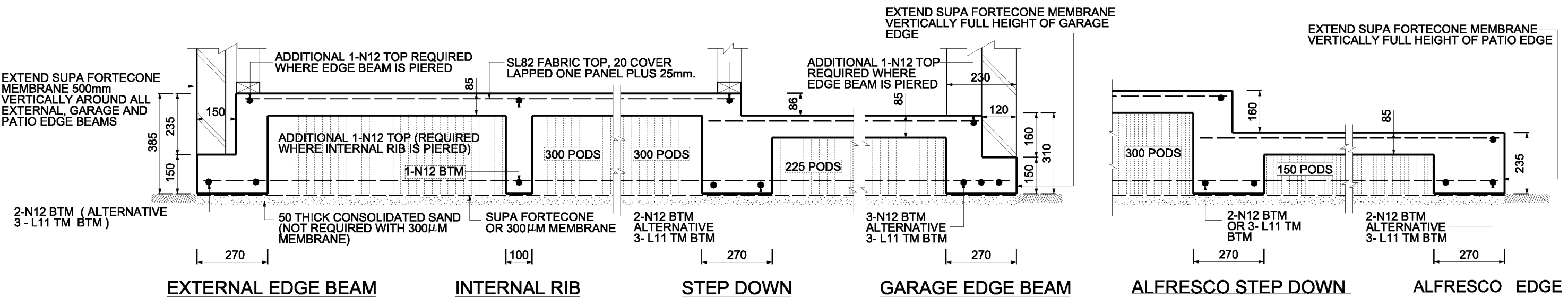
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*[Signature]*  
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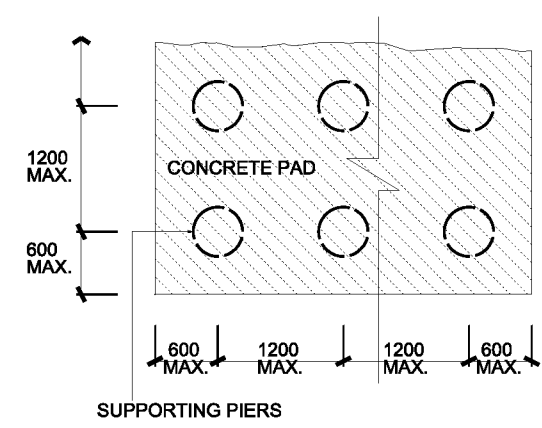
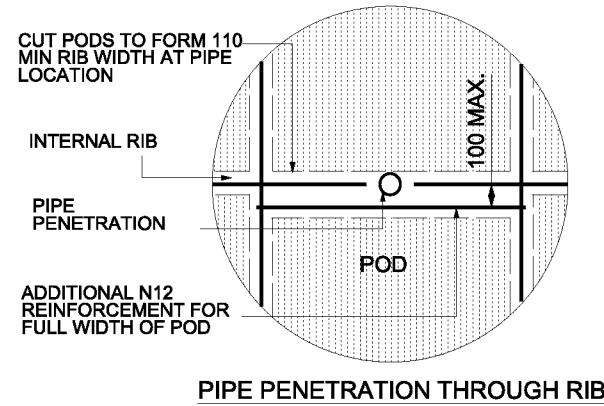
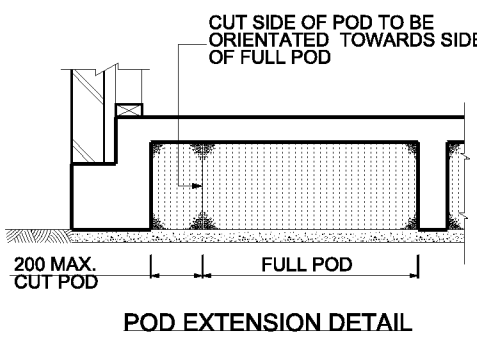
**teden brae**  
homes

STRUCTURAL SLAB DETAIL PLAN				
CLIENT LOCATION	CONNECT HOMES LOT 2297 BINALONG STREET, JORDAN SPRINGS			
CLASSIFICATION	H1	DRAWN	N.P	SCALE 1:100
REFERENCE	10637	ISSUE	A	DATE 01/07/13
			SHEET No.	1
			JOB No.	55868EB

A3

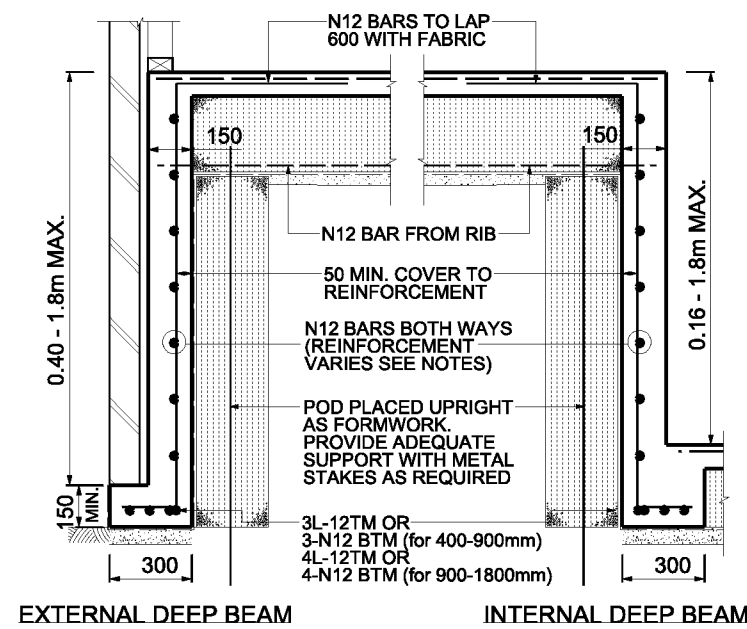


- FOR RAINWATER TANK, LPG & A/C UNITS ETC. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- SPACE PIERS AS REQUIRED TO SUIT PAD SIZE:
- 500 MAXIMUM TO EDGE OF SLAB FOR PERIMETER PIERS.
- 1000 MAXIMUM CENTRES IF ADDITIONAL INTERNAL PIERS ARE REQUIRED FOR PAD SIZE.



AT ALL EXTERNAL BEAM CORNER LOCATIONS: ( TOP & BTM )  
 PROVIDE ADDITIONAL 1200 LONG BENT CORNER LAP BARS AROUND CORNER WHERE BOTTOM N12 EDGE BEAM REINFORCEMENT IS DISCONTINUOUS.  
 OR  
 BEND BOTTOM N12 EDGE BEAM REINFORCEMENT AROUND CORNER TO PROVIDE 600 MINIMUM LAP.  
 EXTERNAL LOAD BEARING BEAM AND PIERS.  
 INTERNAL RIB BEAM PIERS.  
 WHERE INTERNAL RIB BEAMS OR CONCRETE PADS ARE PIERED, THEN ADDITIONAL 1-N12 TOP BAR ALONG THE RIB IS REQUIRED IN ONE DIRECTION ONLY AND IS TO BEGIN FROM THE EXTERNAL EDGE BEAM AND EXTEND 2000 BEYOND LAST PIER.

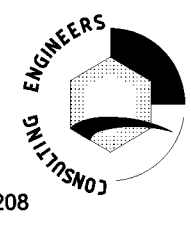
THIS IS TO CERTIFY THAT THE SLAB HAS BEEN DESIGNED FOR SALINE AFFECTED SOILS.  
 PROVIDE 400 DIA. CONCRETE PIERS TO CLAY AND SAND, OR 300 DIA. TO ROCK OR SHALE.  
 SPACE PIERS AT 2400 CTS AS SHOWN ALONG EXTERNAL EDGE BEAM, UNLESS NOTED OTHERWISE  
 PIERS REQUIRED UNDER INTERNAL RIB BEAMS WHEN CONSTRUCTED ON MORE THAN 300mm OF UNCONTROLLED/NON-COMPACTED MATERIAL, OR AS SHOWN.  
 N12 BARS CAN BE REPLACED WITH 10.65mm HDW (450MPa STRESS GRADE)



DEEP BEAM DEPTH	BEAM REINFORCEMENT
160 - 400mm	N12 BARS AT 1200 CENTRES & 1-N12 HORIZONTAL
400 - 900mm	N12 BARS AT 600 CENTRES & 1-N12 CENTRALLY
900 - 1500mm	N12 BARS AT 300 CENTRES BOTH WAYS
1500 - 1800mm	N12 BARS AT 200 CENTRES BOTH WAYS

REINFORCEMENT FOR RIBS AND BEAMS		
WIDTH	TOP STEEL	BTM STEEL
271-330	1-N12	3-N12
331-440	2-N12	4-N12
441-550	3-N12	5-N12
551-660	4-N12	6-N12

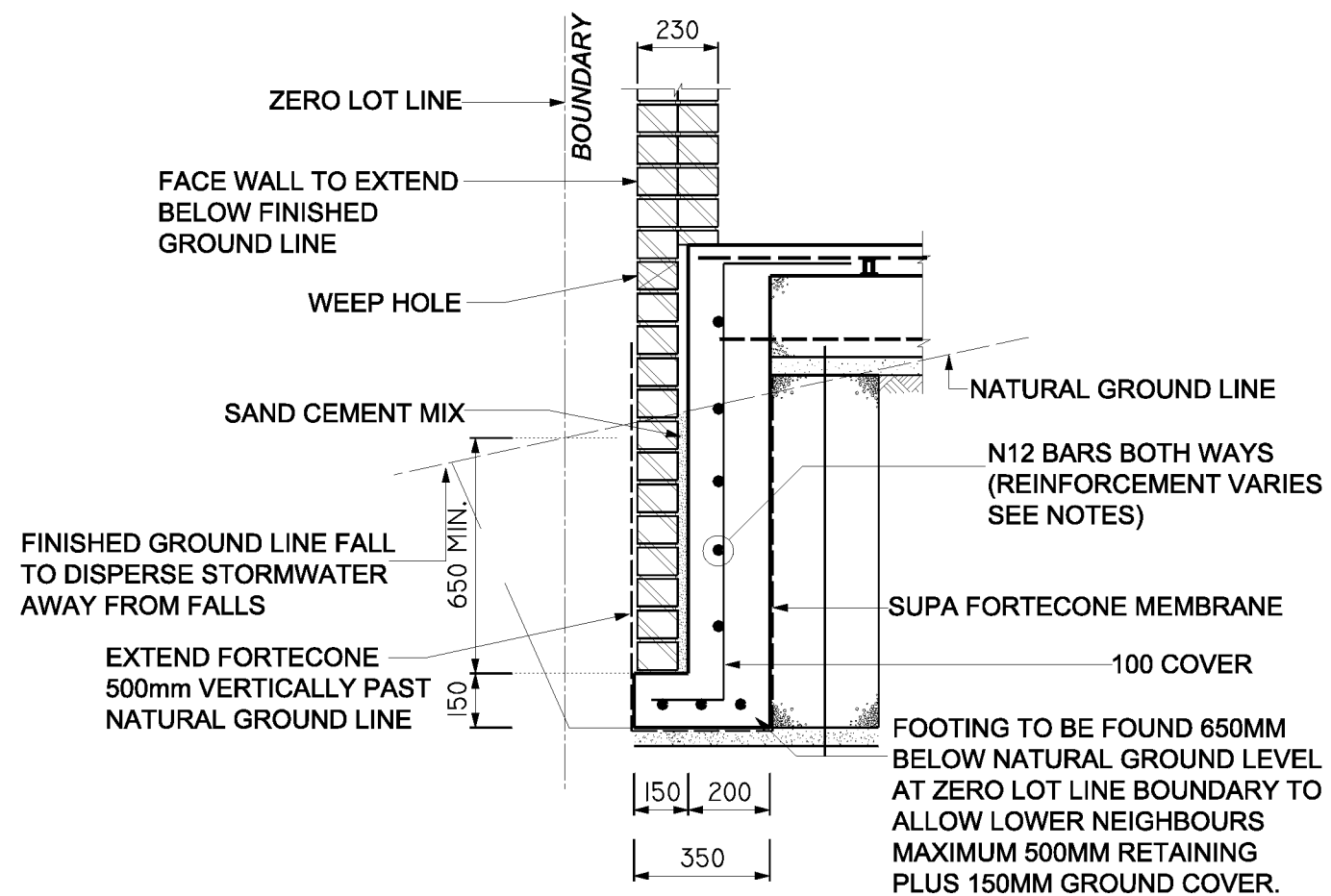
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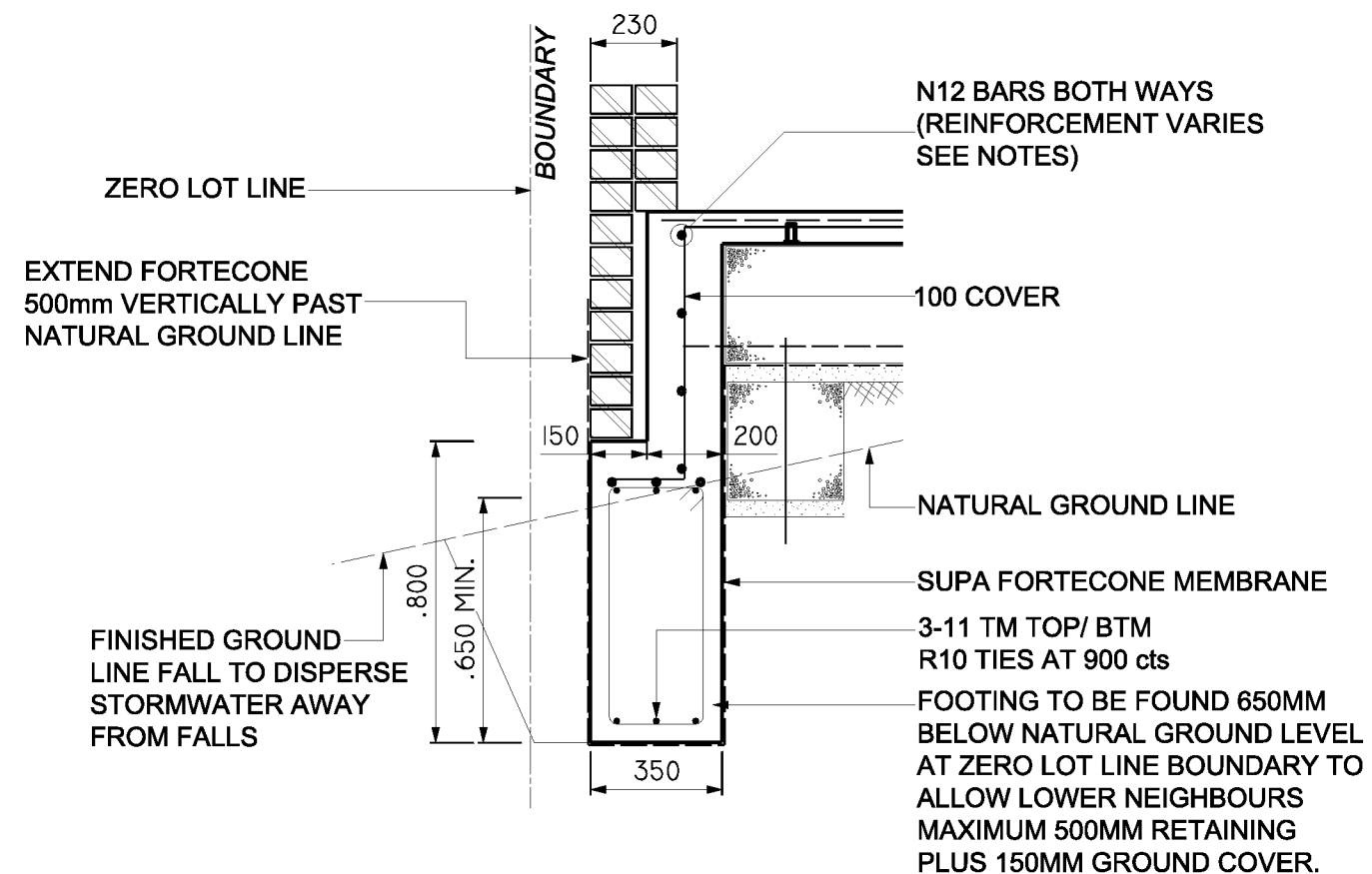
STRUCTURAL DETAIL PLAN					
CLIENT LOCATION	CONNECT HOMES LOT 2297 BINALONG STREET, JORDAN SPRINGS				
SALINE AFFECTED	CLASSIFICATION	H1	SCALE	NTS.	SHEET No. 2
300.82 .2 .S	ISSUE	A	DATE	01/07/13	JOB No. 55868EB



**GARAGE WALL DEEPEDED  
EDGE BEAM / RETAINING WALL**

**SECTION X-X**

• NOTE: TERMGUARD POSITION TO BE CONFIRMED BY PEST CONTROLLER



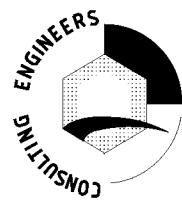
**EDGE BEAM  
RETAINING WALL**

**SECTION X-X**

• NOTE: TERMGUARD POSITION TO BE CONFIRMED BY PEST CONTROLLER

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CLASSIFICATION H1  
REFERENCE 10637

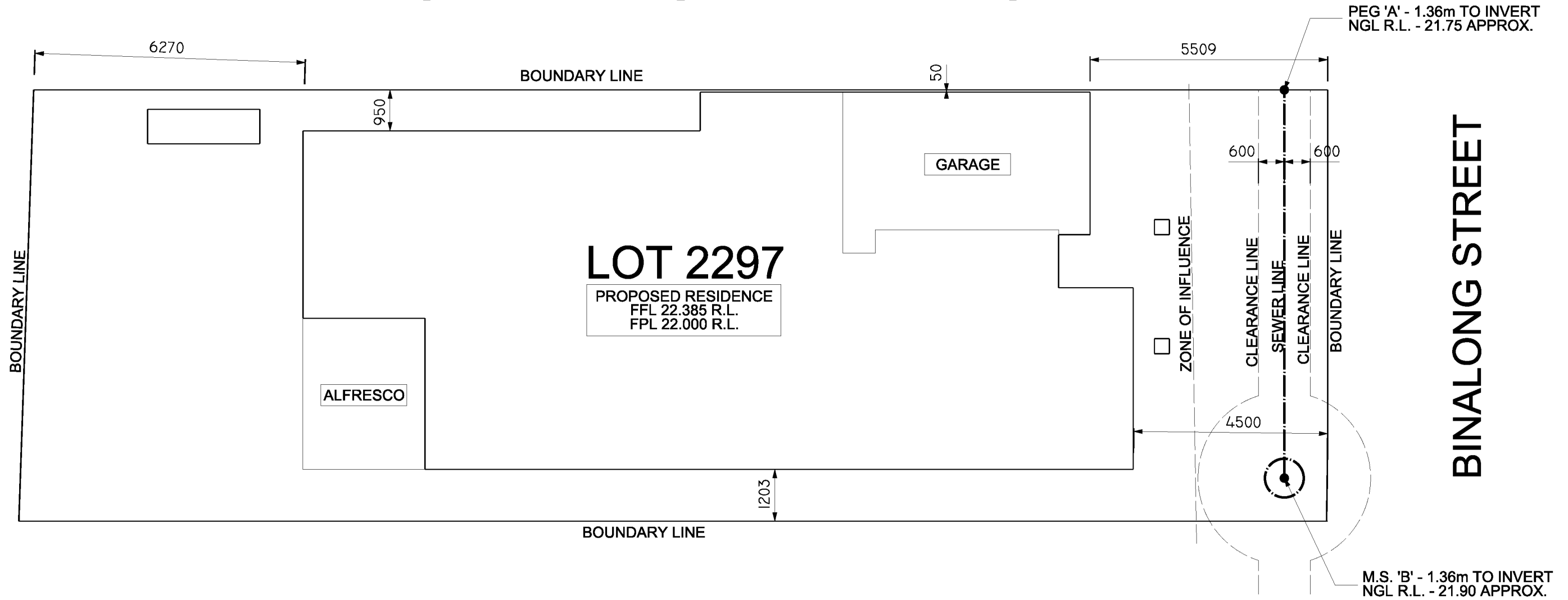
**STRUCTURAL SLAB DETAIL PLAN**

CLIENT LOCATION	CONNECT HOMES LOT 2297 BINALONG STREET, JORDAN SPRINGS						A3
DRAWN	N.P	SCALE	1:100	SHEET No.	3		
ISSUE	A	DATE	01/07/13	JOB No.	55868EB		

**SEWER NOTES:**

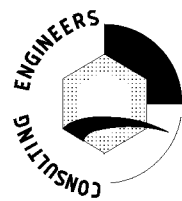
- \* POSITION OF SEWER IS ONLY APPROXIMATE
- \* POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- \* PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- \* PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY

# NOT AFFECTED BY Z.O.I



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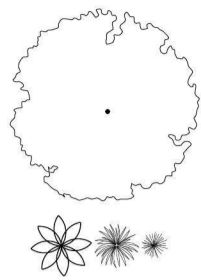
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CLASSIFICATION H1  
REFERENCE 10637

SITE AND B.A.S/B.O.S DETAIL PLAN						
CLIENT LOCATION	CONNECT HOMES LOT 2297 BINALONG STREET, JORDAN SPRINGS					A3
DRAWN	N.P	SCALE	1:100	SHEET No.	4	
ISSUE	A	DATE	01/07/13	JOB No.	55868EB	



**LEGEND**

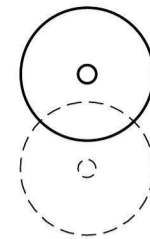
Proposed trees - refer to plant schedule

Proposed accents & grasses - refer to plant schedule



Proposed shrubs - refer to plant schedule  
 Proposed groundcovers and grasses - refer to plant schedule  
 Existing levels  
 Proposed levels  
 Proposed Top Of Wall levels

Boundary  
 Fence  
 Garden edging  
 Timber retaining walls  
 Masonry retaining walls  
 Existing contours



Existing tree to be retained  
 Existing tree to be removed

**PLANT SCHEDULE Prepared by H2O Pty Ltd**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Ca	*Cupaniopsis anarcardioides	Tuckeroo	1	45L	10m
Dcl	*Dianella caerulea 'Little Jess'	Compact Blue Flax Lily	8	150mm	0.3m
Er	*Elaeocarpus reticulatus	Blueberry Ash	1	25L	9m
Lt	*Lomandra 'Tanika'	Fine-leaved Mat Rush	9	150mm	0.5m
Wfz	*Westringia fruticosa 'Zena'	Dwarf Native Rosemary	6	200mm	0.9m

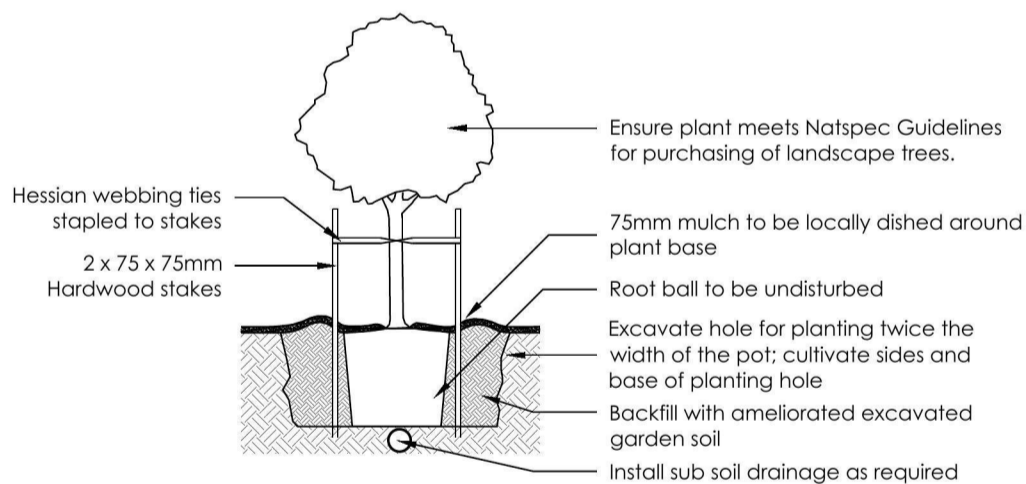
\*Australian native plants

**PLANTING SUMMARY**

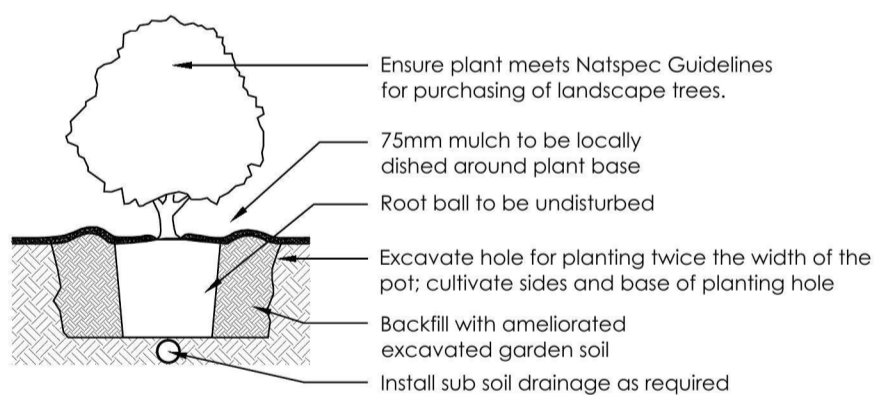
Total Plants	Total Native Plants	Total Exotic Plants	% Native Plants**	Total Trees***
25	25	0	100%	2

\*\* Minimum required 50%

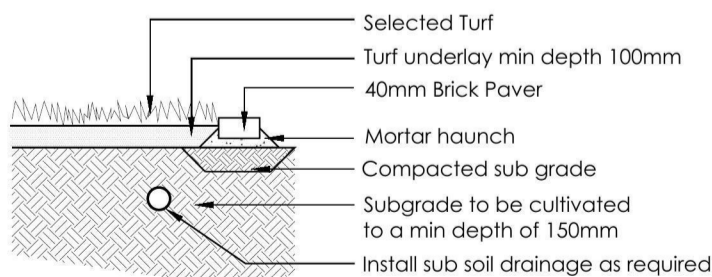
\*\*\* Minimum 2 trees



1 Tree Planting Detail  
 NTS 25L - 75L Pot Size



2 Planting Detail  
 NTS Tube, 150mm, 200mm Pot Size



3 Turf Detail  
 NTS Brick Paver Edge

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	SUBMITTED FOR APPROVAL	BT	MD	11-07-13



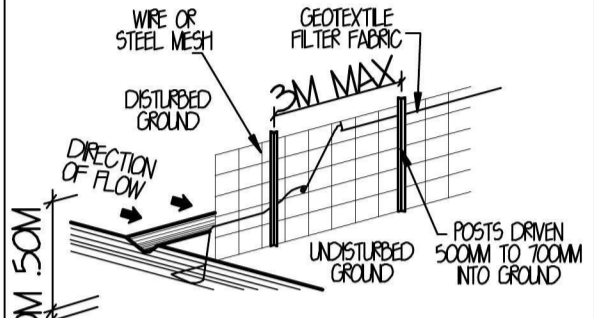
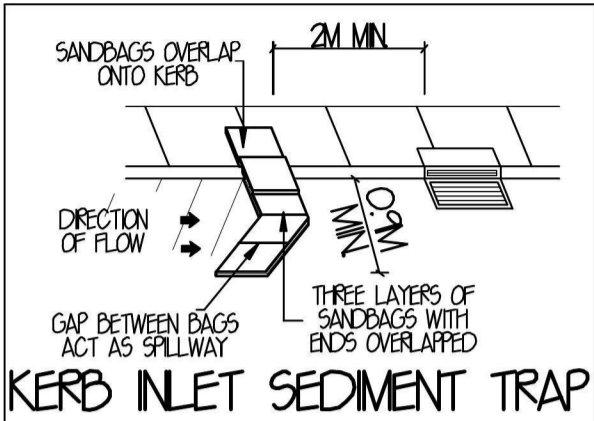
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PROJECT	NEW RESIDENCE		
DRAWING	LANDSCAPE PLAN		
SCALE	1:100 @ A3	DATE	DA
		SHEET	L - 02
DRAWN	BY	CHECK	MD
		DATE	11-07-13
CLIENT	CONNECT HOMES		
REVISION	A		



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**KERB INLET SEDIMENT TRAP**

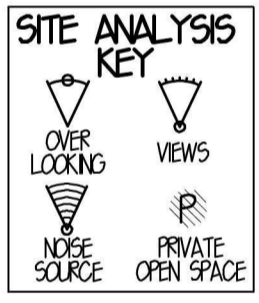
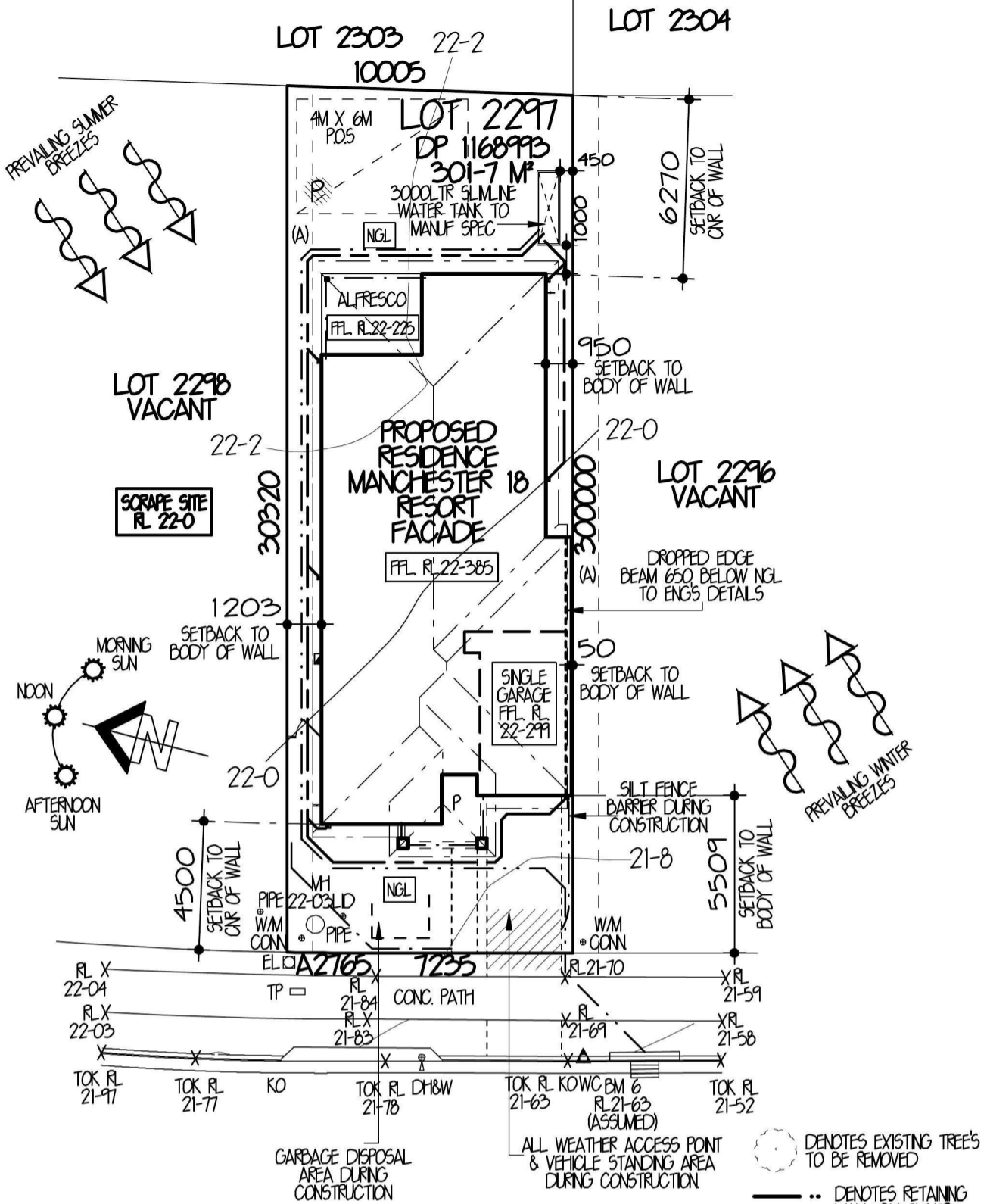
**SILT FENCE DETAIL**

SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRES). FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

**GENERAL NOTES:**

- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
- SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING
- SITE CLASSIFICATION HI
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL 22-0 GARAGE TO RL 22-0
- HOUSE FLOOR LEVEL RL 22-385, 385MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL 22-299, 299MM ABOVE PLATFORM LEVEL.
- TOTAL ROOF AREA = 176.6 M<sup>2</sup>



**BINALONG STREET**

**SITE ANALYSIS & SITE PLAN 1:200**

(A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 M WIDE

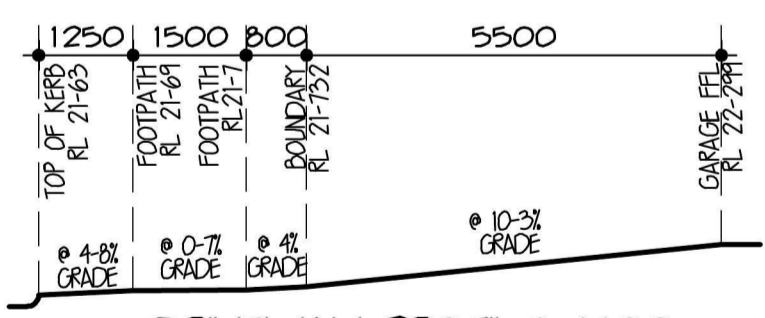
**(DRAINAGE PLAN)**

- DENOTES EXISTING TREES TO BE REMOVED
- .. DENOTES RETAINING WALL BY OWNER
- - - DENOTES SILT FENCE BARRIER
- - - - DENOTES DROPPED EDGE BEAM
- ||||| DENOTES LINE OF BATTER TO CUT OR FILL

DENOTES STORMWATER TO BE DIRECTED INTO RAINWATER TANK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

DENOTES STORMWATER TO BE DIRECTED INTO KERB & GUTTER FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

DUE TO SALINE AFFECTED SOIL A HI-SITE CLASSIFICATION IS REQUIRED IN ORDER TO COMPLY WITH COUNCIL REQUIREMENTS  
 32MPA CONCRETE TO PIERS AND SLAB  
 HIGH IMPACT PLASTIC WATERPROOF MEMBRANE TO UNDERSIDE OF SLAB



**DRIVEWAY PROFILE 1:100**

**SITE DATA**

SITE AREA = 301.7 M<sup>2</sup>

PRIVATE OPEN SPACE =

REQUIRED = 15% OR 45.3 M<sup>2</sup>

PROVIDED = 25.7% OR 77.5 M<sup>2</sup>

**FLOOR AREAS**

FLOOR AREA = 126 M<sup>2</sup> (NOT INCLUDING GARAGE)

GARAGE FLOOR AREA = 18.8 M<sup>2</sup>

PORCH FLOOR AREA = 5.1 M<sup>2</sup>

ALFRESCO FLOOR AREA = 10 M<sup>2</sup>

TOTAL FLOOR AREA = 159.9 M<sup>2</sup> OR 17.2 SOG

**EDEN BRAE CONNECT HOMES**  
 LEVEL 3, 22 BROOKHOLLOW AVENUE,  
 NORTHWEST BUSINESS PARK,  
 Baulkham Hills NSW 2153  
 P: 8860 9222  
 F: 8860 9233

FOR **CONNECT HOMES** LBD AREA: SYD REVISION: B MAP: 144 REF: 112

**LOT 2297 BINALONG STREET**  
**JORDAN SPRINGS DP 1168993**

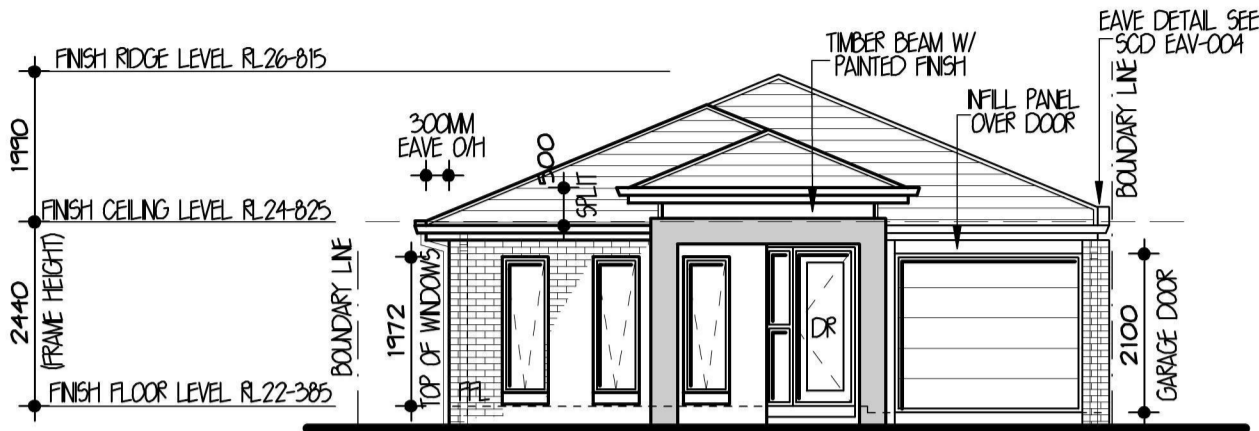
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FACADE <b>RESORT</b> (SMART LIVING SERIES)	HAND
	<b>R1</b>
MASTER	PAGE NO.
<b>A19988</b>	<b>1 OF 7</b>
DWG NO.	
<b>A19960</b>	

**A&N DESIGN SYDNEY**

LEVEL 2 SUITE 216 MACARTHUR POINT  
 NO. 25-27 SOLENT CIRCUIT Baulkham Hills  
 PO BOX 6410 Baulkham Hills  
 BUSINESS CENTRE NSW, 2153  
 PHONE: (02) 8824 3533  
 FAX: (02) 8824 3544  
 WWW.AANDDESIGNSYDNEY.COM.AU

ISS	DATE	REVISION	DRAWN
A	6-6-13	CC PLANS	CL
B	18-6-13	AMEND + BASIS	AD
C	29-7-13	AMENDMENTS	AD

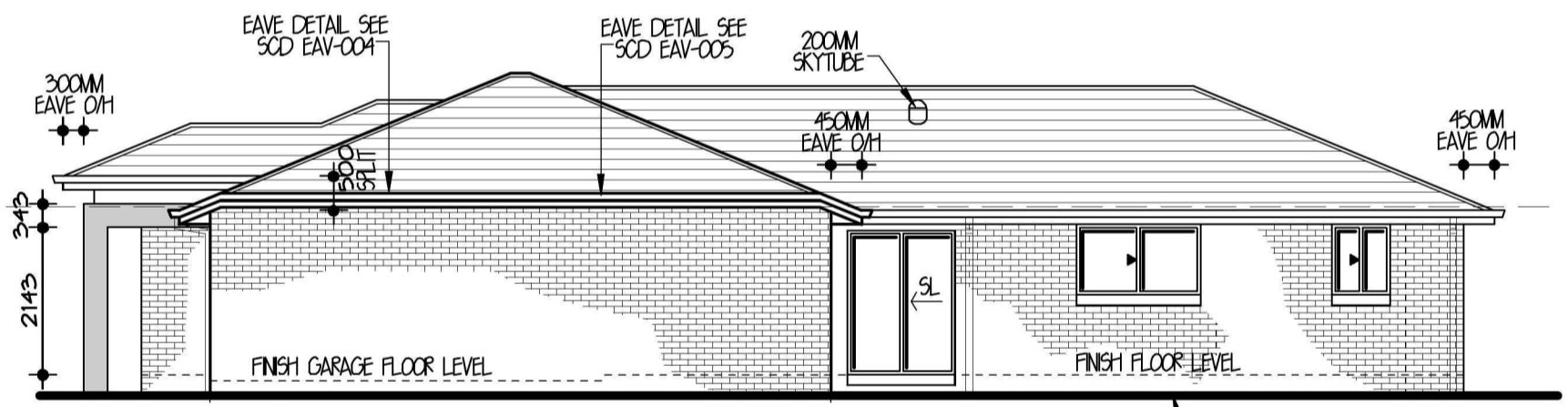
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**WEST ELEVATION 1:100** SCRAPE SITE @ R.22-0



**NORTH ELEVATION 1:100** SCRAPE SITE @ R.22-0



**SOUTH ELEVATION 1:100** SCRAPE SITE @ R.22-0



**EAST ELEVATION 1:100** SCRAPE SITE @ R.22-0

**EDEN BRAE CONNECT HOMES**  
 LEVEL 3, 22 BROOKHOLLOW AVENUE,  
 NORTHWEST BUSINESS PARK,  
 BULKHAM HILLS NSW 2153  
 P: 8860 9222  
 F: 8860 9233

FOR **CONNECT HOMES** LBD AREA: SYD REVISION#8 MAP144 REF#112

LOT 2297 BNALONG STREET  
 JORDAN SPRINGS DP116099B

TYPE **MANCHESTER 18** JOB NO. **10637**

FACADE **RESORT** (SMART LIVING SERIES) HAND **RH**

MASTER **A19988** DWG NO. **A19960** PAGE NO. **3 OF 7**

**AG DESIGN SYDNEY**

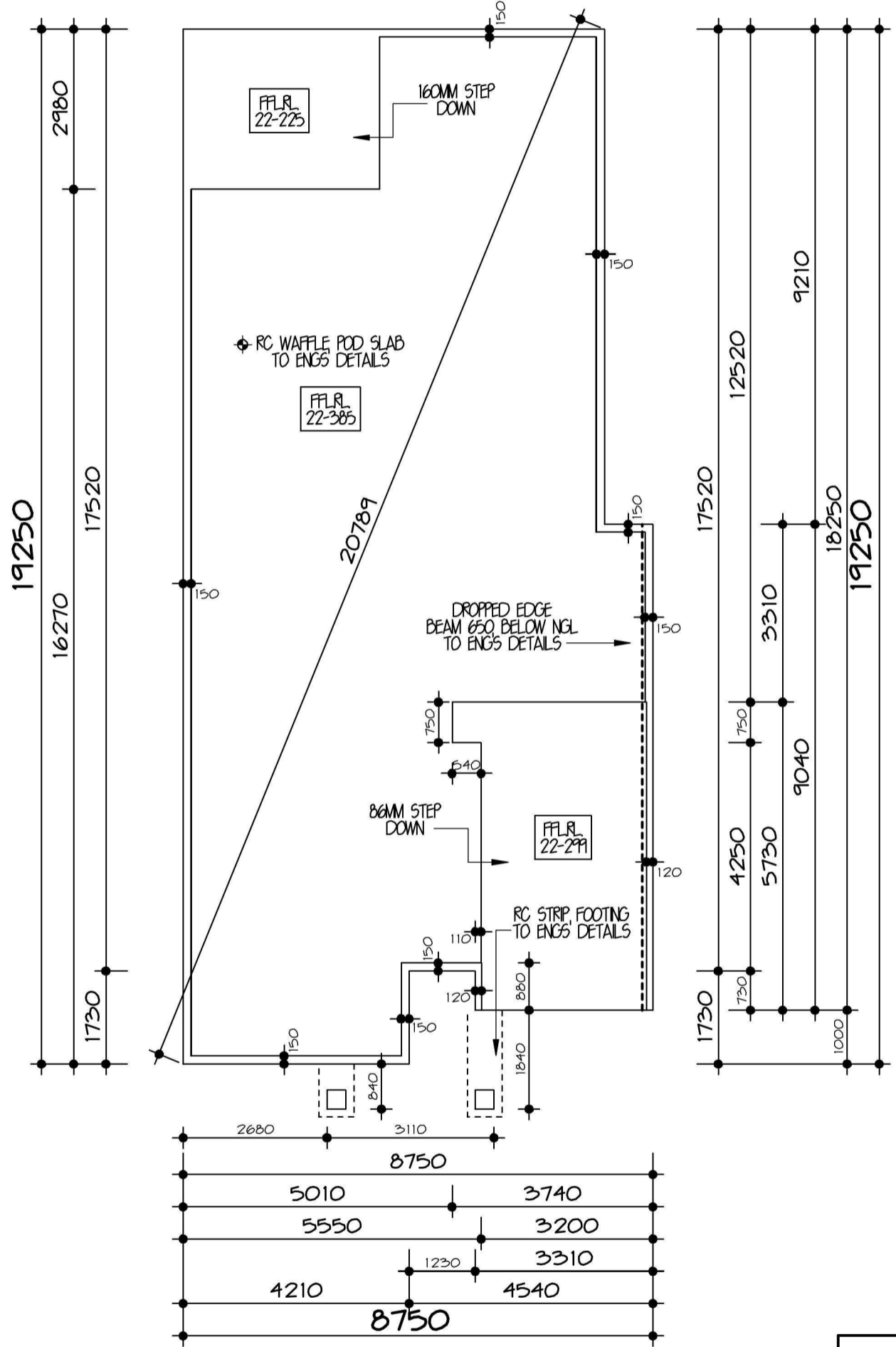
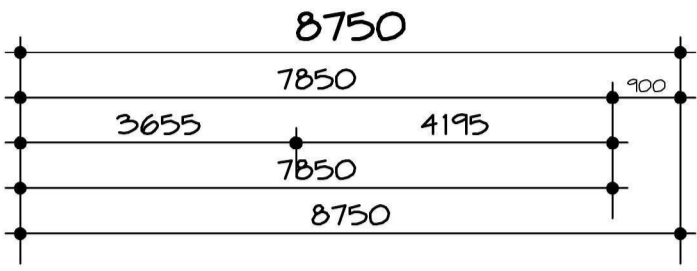
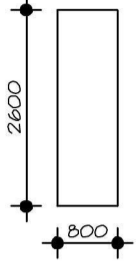
LEVEL 2 SUITE 216 MACARTHUR POINT  
 NO. 25-27 SOLENT CIRCUIT BULKHAM HILLS  
 PO BOX 6410 BULKHAM HILLS  
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DUE TO SALINE AFFECTED SOIL A H-SITE CLASSIFICATION IS REQUIRED IN ORDER TO COMPLY WITH COUNCIL REQUIREMENTS  
 32MPA CONCRETE TO PIERS AND SLAB  
 HIGH IMPACT PLASTIC WATERPROOF MEMBRANE TO UNDERSIDE OF SLAB

DETACHED SLAB FOR RAINWATER TANK REFER TO SITE PLAN FOR LOCATION



# SLAB FLOOR PLAN 1:100

SLAB PLAN TO BE CROSS REFERENCED WITH FLOOR PLANS, ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING

**EDEN BRAE CONNECT HOMES**  
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FOR **CONNECT HOMES** UBD AREA: SYD REVISION: B MAP: 144 REF: 112

**LOT 2297 BINALONG STREET**  
**JORDAN SPRINGS DP116099B**

TYPE **MANCHESTER 18** JOB NO. **10637**

FACADE **RESORT** HAND **RH**  
 (SMART LIVING SERIES)

MASTER **A19988** DWG NO. **A19960** PAGE NO. **5 OF 7**

**AGN SYDNEY DESIGN**

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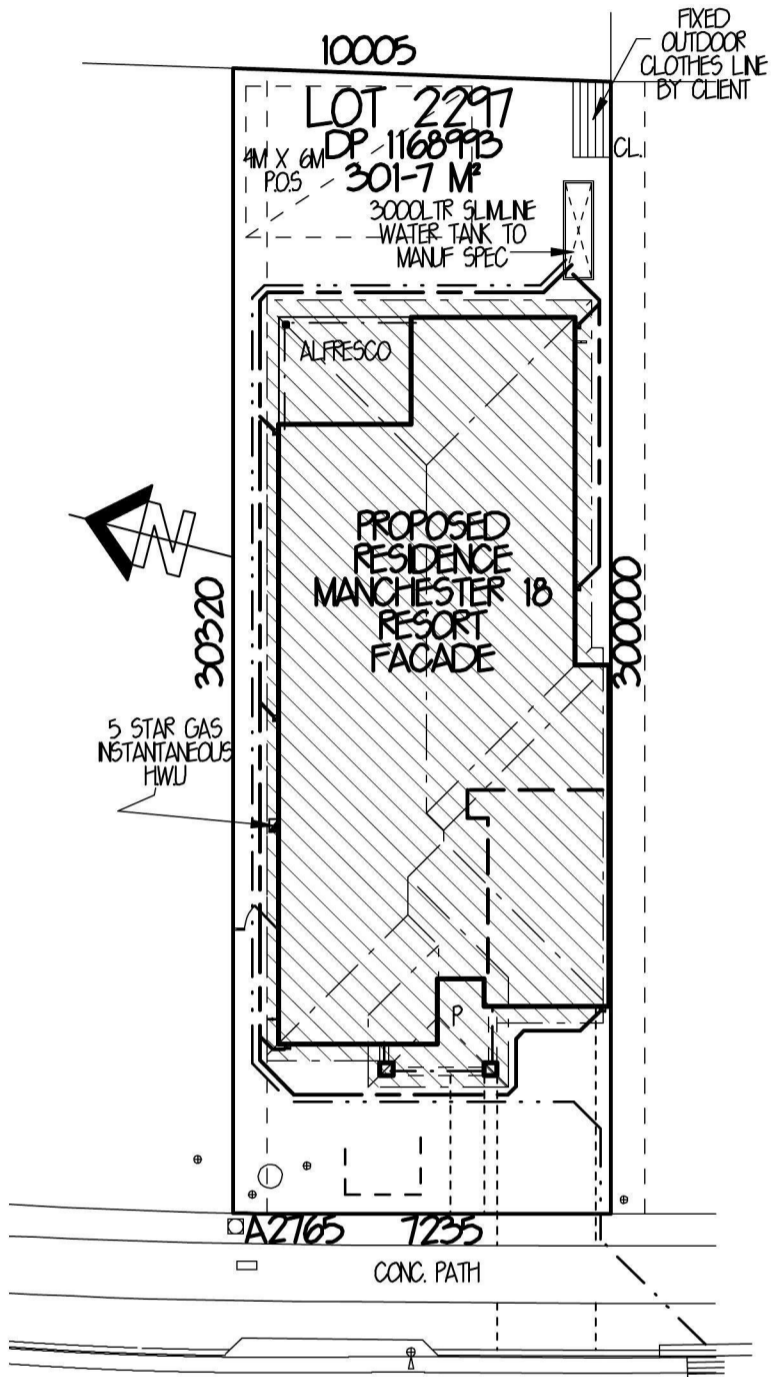
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**THERMAL COMFORT**

THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE CERTIFICATE N° 4879725\_03 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE CERTIFICATE N° 4879725\_03



**BINALONG STREET  
BASIX PLAN  
1:200**

DENOTES 150M² OF ROOF TO BE COLLECTED

**(BASIX CERTIFICATE NUMBER: 4879725\_03)**

**STORMWATER / WATER**

**COLLECTION OF RAINWATER & STORMWATER:**  
THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

**RAINWATER TANK:**

THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 150 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 3000 LITRES.

**SHOWERHEADS:**

THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (75 BUT ≤9L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT

**TOILETS:**

THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT.

**TAP FITTINGS:**

THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 3 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT

**ENERGY**

**HOT WATER:**

THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT: GAS INSTANTANEOUS - 5 STARS. (OR ONE WITH A HIGHER STAR RATING)

**ACTIVE COOLING:**

THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING; ENERGY RATING: EER 25 - 30, 1 BEDROOM: 3 PHASE AIRCONDITIONING; ENERGY RATING: EER 25 - 30

**ACTIVE HEATING:**

THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING; ENERGY RATING: EER 30 - 35, 1 BEDROOM: 3 PHASE AIRCONDITIONING; ENERGY RATING: EER 30 - 35

**VENTILATION:**

THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT: AT LEAST 1 BATHROOM: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF

KITCHEN: INDIVIDUAL FAN NOT DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF

LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY; OPERATION CONTROL: N/A

**NATURAL LIGHTING:**

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 1 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

**COOKING:**

THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

THE APPLICANT MUST CONSTRUCT EACH REFRIGERATOR SPACE IN THE DEVELOPMENT SO THAT IT IS 'WELL VENTILATED', AS DEFINED IN THE BASIX

**OTHER:**

THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

**INSULATION**

R2-0 WALL INSULATION  
R3-5 CEILING INSULATION (EXCLUDING GARAGE & ALFRESCO)  
ROOF SARKING

**BASIX SCORE**

WATER - 40% (TARGET 40%)  
THERMAL COMFORT - PASS (TARGET PASS)  
ENERGY - 41% (TARGET 40%)

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FOR **CONNECT HOMES** LBD AREA: SYD  
REVISION: B  
MAP144 REF112

AT **LOT 2297 BINALONG STREET**  
**JORDAN SPRINGS DP116899B**

TYPE **MANCHESTER 18** JOB NO. **10637**

FACADE **RESORT** HAND **RH**  
(SMART LIVING SERIES)

MASTER **A19988** DWG NO. **A19960** PAGE NO. **7 OF 7**

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