

Drawing No:	Drawing Name	Issued for	Revision
A01	COVER SHEET	DA	C
A02	SITE PLAN 1:500	DA	C
A03	SITE PLAN 1:200	DA	C
A04	DEMOLITION	DA	C
A05	GROUND FLOOR PLAN	DA	C
A06	GROUND FLOOR RCP	DA	C
A07	ROOF PLAN	DA	C
A08	ELEVATIONS 01	DA	C
A09	ELEVATIONS 02	DA	C
A10	SECTIONS 1	DA	C
A11	SECTIONS 2	DA	C
A12	DETAILS ACCESS WC - SHEET 01	DA	C
A13	DETAILS ACCESS WC - SHEET 02	DA	C
A14	DOOR SCHEDULE	DA	C
A15	WINDOW SCHEDULE	DA	C
A16	ACCESSIBLE PARKING DETAIL	DA	C
A17	DETAILS NAPPY CHANGE - SHEET 02	DA	C
A18	DETAILS WC1 - SHEET 03	DA	C
A19	DETAILS WC2 - SHEET 04	DA	C
A20	DETAILS STORAGE AREAS - SHEET 05	DA	C
A21	DETAILS - STAFF ROOM - SHEET 06	DA	C
A22	DETAILS - OFFICE - SHEET 07	DA	C
A23	SURVEY EXISTING	DA	C
A24	LANDSCAPE CONCEPT PLAN	DA	C

### Compliance Summary/Checklist

This is a brief summary, please refer to the details of the report of further information on the construction methods and assumptions used throughout the report.

Part	Name	Description
J1.3	Roof & ceiling construction	Existing metal roof
J1.4	Roof lights	Replace existing skylight with Uw 3.9 & SHGC 0.49
J1.5	Walls	Existing clad walls, if making good provide a breathable membrane & R1.5 insulation Existing cavity brick walls, if making good can be uninsulated
J1.5	Glazing	Existing windows
J1.6	Floors	Existing concrete slab on ground
J3	Building sealing	<ul style="list-style-type: none"> <li>Dampeners to any flues</li> <li>Sealed skylights</li> <li>Seals/weatherstripping to windows &amp; doors</li> <li>Self-closing doors</li> <li>Dampener/Self closing device to exhaust fans</li> </ul>
J5	Air conditioning & ventilation systems	Refer to section & specialist contractor
J6	Artificial light & power	Refer to section and ABCB lighting calculator
J7	Heated water supply, swimming pool & spa plant	9 litres/min fixtures
J8	Facilities for energy monitoring	No requirements

### GENERAL ACCESS SPECIFICATIONS 20074 B

Applies to New areas, modified areas and areas within the affected path (ie from main entry doorways to the new and modified areas)

#### All Doors:

- Except for non-accessible sanitary facilities, all single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1-2009.
- When using sliding doors / bifold doors, flush transition is required so provide fully recessed floor tracks. Also, all sliding doors to have 530mm minimum available to latch side of the sliding door to enable access to door handle.
- All glazed doors and other glazed areas to have glazing strips. The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.
- All doorways to have a minimum luminance contrast of 30% provided between, Door leaf and door jamb or Door leaf and adjacent wall or Architrave and wall or Door leaf and architrave or Door jamb and adjacent wall. The minimum width of the luminance contrast to be 50mm.
- All external doorways can either have flush door thresholds or can have a max drop of 35mm at threshold when used in combination with a doorway threshold ramp of 1:8 grade within 200mm of the door leaf.

#### Door hardware requirements:

- D shaped door handles to be used, located at 900-1100mm above FFL
- Clearance between the handle and the back plate or the door face at the center grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle

#### All 1:20 walkways require the following

- For 1:20 grade walkways, 1.2M length (in direction of travel) landings are required every 15M.
- The floor surface abutting the sides of the walkway to be provided with a firm and level surface (of a different material) at the same level and grade of the walkway and extend horizontally for a minimum of 600mm unless one of the following is provided: kerb, kerb-rail and handrail or wall of minimum 450mm height.

#### Braille / Tactile Signage as per BCA requirements to be provided to:

- All doors nominated as Exit doors require signage
- All Sanitary Facilities and airlocks to sanitary facilities including accessible and ambulant toilets require signage
- All non-accessible entry points from the site boundary require signage with arrow pointing towards the accessible entry.

#### Floor or ground surfaces

- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability.
- Abutment of surfaces is to have a smooth transition (this includes door thresholds of accessible sanitary facilities).
- Construction tolerances to be +/- 3mm vertical or +/-5mm (provided the edges have a bevelled or rounded edge).
- Grates (if used in the accessible path of travel) are required to comply with AS1428.1.

#### Accessible Car parking to fully comply with AS2890.6, including the following:

- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M to be at the same level
- Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors
- Central Bollard in shared space at 800+/-50mm from entry point
- Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point
- Minimum headroom of 2.2M at entrances and 2.5M is required over shared zones as well as dedicated spaces
- Non-trafficked area of the shared space to have yellow marking strips at 45°, 150-200mm wide at 200mm-300mm spaces
- The pavement marking shall have the appropriate slip resistance for the location.

#### Slip resistance requirements:

- Slip resistance to be as per BCA Table D2.14 when tested in accordance with AS4586.
- Refer to guide HB 197 / 198 for details in regards to compliance requirements.

#### Accessible toilet:

- The Accessible toilet to be constructed as per requirements of AS1428.1-2009
- Setout of pan to be 800+/-10mm from rear wall and the c/l of pan is to be 450-460mm from side wall. Top of seat of WC pan is to be 460-480mm above FFL
- The top of the washbasin is to be between 800-830mm above FFL. Water taps to be lever or sensor with 50mm clear from any surface
- Seat to be full round, take 150kg weight and provide 30% luminance contrast to the background
- Backrest to be 150-200mm height, 350-400mm width and 120-150mm above the seat at an angle of 95°-100° back from seat hinge
- Flushing control to be proud of surface and located between 600-1100mm above FFL at back or side wall, clear of grabrail area
- Top of toilet paper dispenser is to be located maximum of 700mm above FFL and maximum of 300mm from edge of pan
- Grabrails, 30-40mm diameter, placed 50-60mm clearance from wall, with no obstructions to top 270° arc, are to be provided to rear and side wall (90° or 30°-45°). Horizontal component to be 800-810mm above FFL. Fastenings and construction of grabrails to be capable to withstand 1100N of force.
- Mirror to start from 900mm above FFL, till minimum of 1850mm above FFL
- Clothes hanging device to be at height of 1200-1350mm above FFL and at least 500mm from any internal corner
- Shelf to be 300-400mm length and 120-150mm wide and located 900-1000mm above FFL
- Soap and paper towel dispensers where provided, to be installed with height of the operative component between 900-1100mm above FFL and no closer than 500mm from an internal corner.
- Door to the Accessible toilet requires AS1428.1 compliant door circulation spaces. When door swings next to the washbasin a clear 300mm is required between the door swing and the washbasin.

#### Accessible Shower:

Showers for Accessible use are to be designed in accordance with AS1428.1.

- Flooring to be slip-resistant
- Folding seat to be self-draining, slip-resistant, corners rounded to 10-15mm, fold in upwards direction and fastenings, materials and construction to be able to withstand a force of 1100N
- Not less than 2 clothes hanging devices, one within 400+/-10mm and other within 600+/-10mm of the folding seat. Clothes hanging device to be at height of 1200-1350mm above FFL and at least 500mm from any internal corner
- The floor of shower recess to have a floor grade between 1:60 to 1:80 and the remainder area of bathroom to be between 1:80 and 1:100
- Waste outlet to be center of the shower recess, alternatively a strip drain against the wall is also permissible.
- Showerhead to be hand-held type adjustable between 1000-1800mm above FFL on shower head support rail
- Water outlet for shower and back flow prevention device to be located 700mm above FFL.

Issue	Date	Amendments
A	17/09/18	Sketch design
B	13/02/20	Construction Documentation - For Comment
C	17/04/20	Development application

Scale 1:100



#### NOTES

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Refer to Specifications.

NOTE - tempering valves to all hot water provisions.  
Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.



Client  
Penrith City Council  
601 High Street Penrith NSW

Address

Jamisontown Childcare Centre  
70 Glenbrook St, Jamisontown  
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Stage

Development Application

Drawing Title

COVER SHEET

Drawing No.

200201A01

Date

01/04/20

Drawn by

A3

Sheet size

A3

Project No.

200201

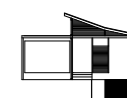
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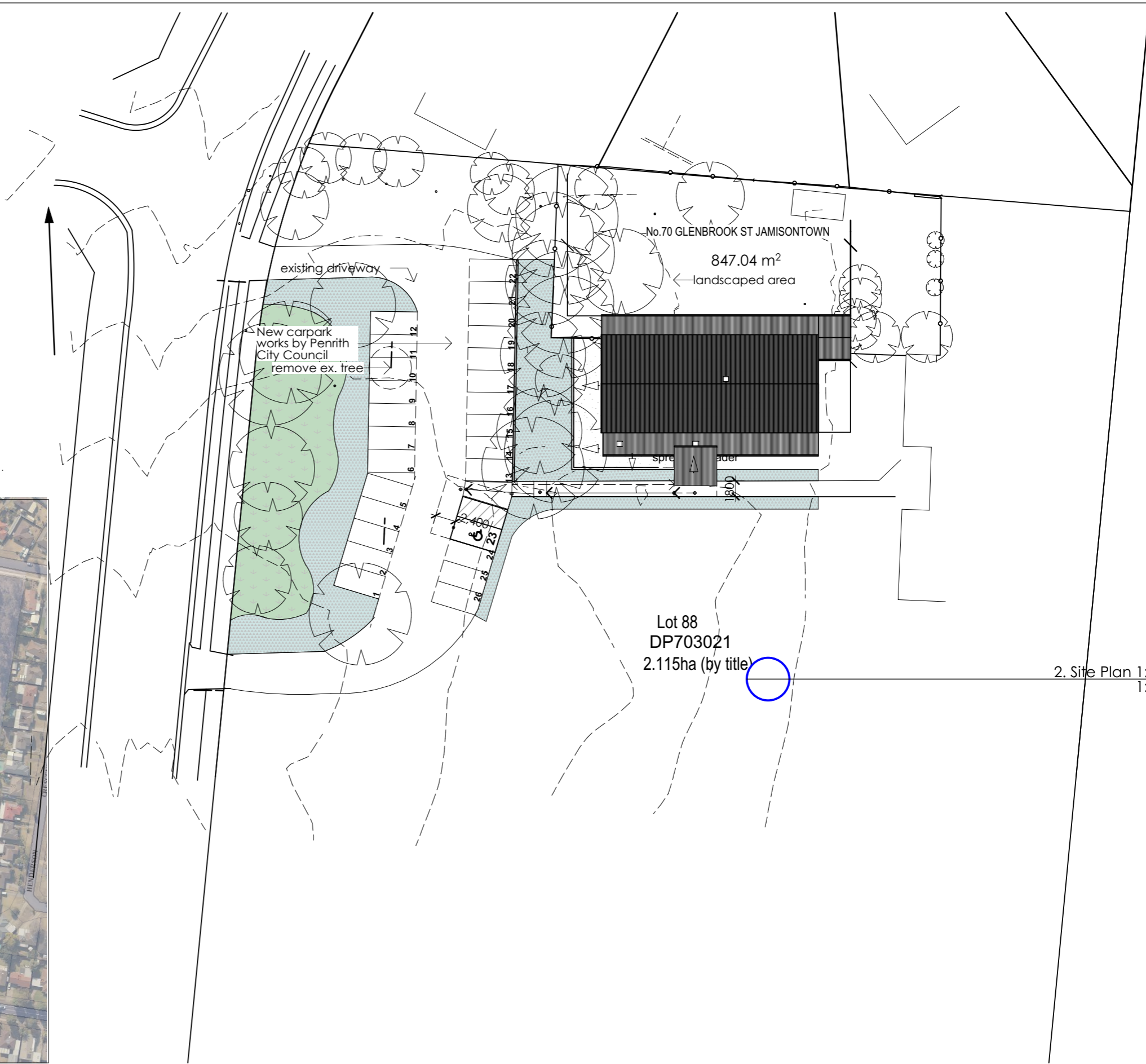
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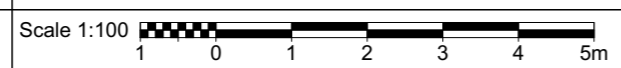




Lot 88  
DP703021  
2.115ha (by title)

2. Site Plan 1:500  
1:500

Issue	Date	Amendments
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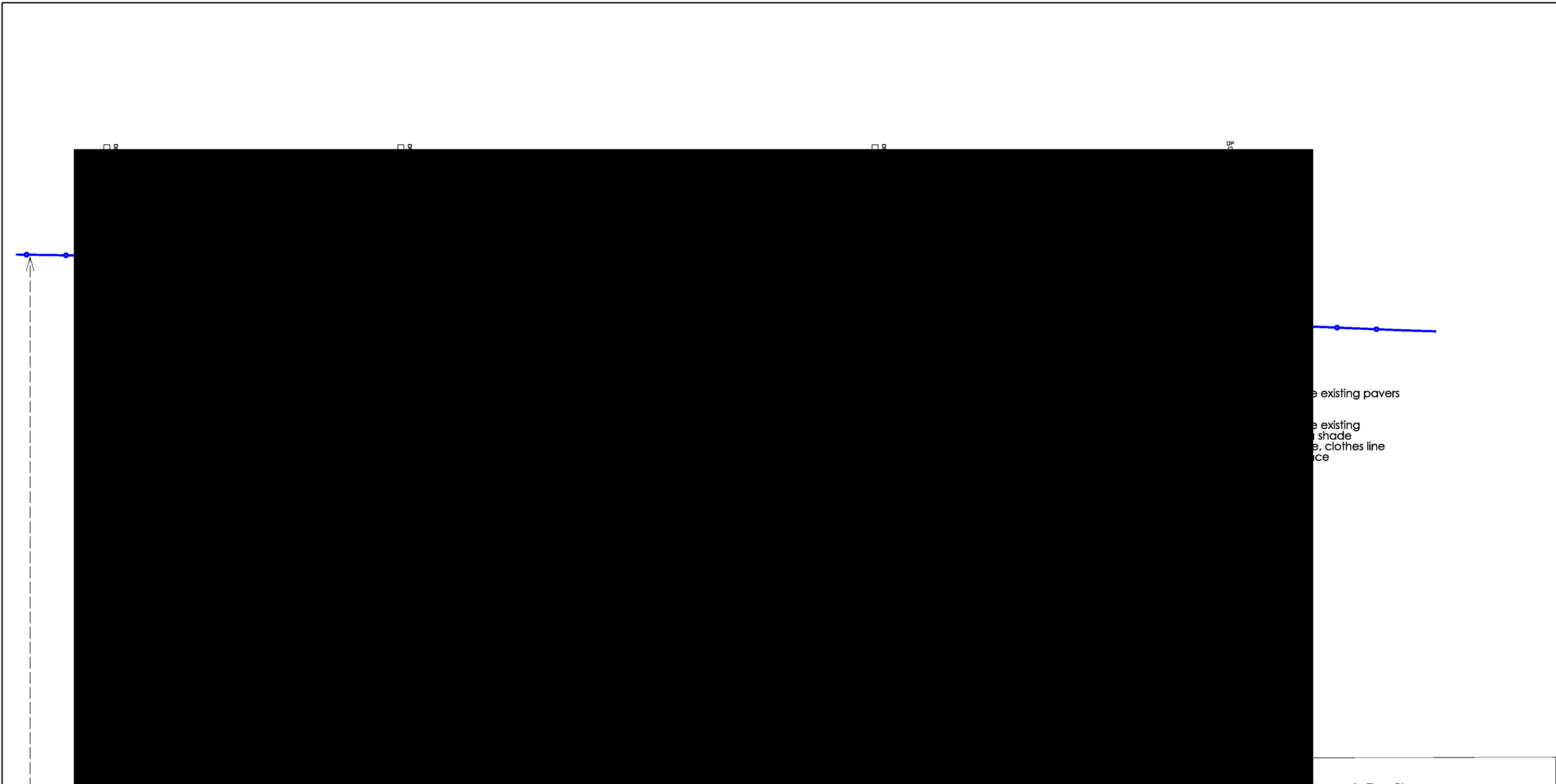
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<b>01/04/20</b>		<b>A3</b>	<b>200201</b>	<b>C</b>

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Remove existing pavers  
 Remove existing shade  
 Remove clothes line  
 Remove fence

Remove existing shelving

**PORCH**  
 5.0 x 4.1  
 Remove existing gate  
 Remove existing porch slab  
 Relocate drainage pit inv 41.31

**Legend - Floor Plan**

- Existing wall to be retained
- Existing wall to be demolished
- Existing wall to be retained, existing door to be removed
- Existing wall and door to be demolished

**0. GROUND FLOOR DEMOLITION**  
 1:100

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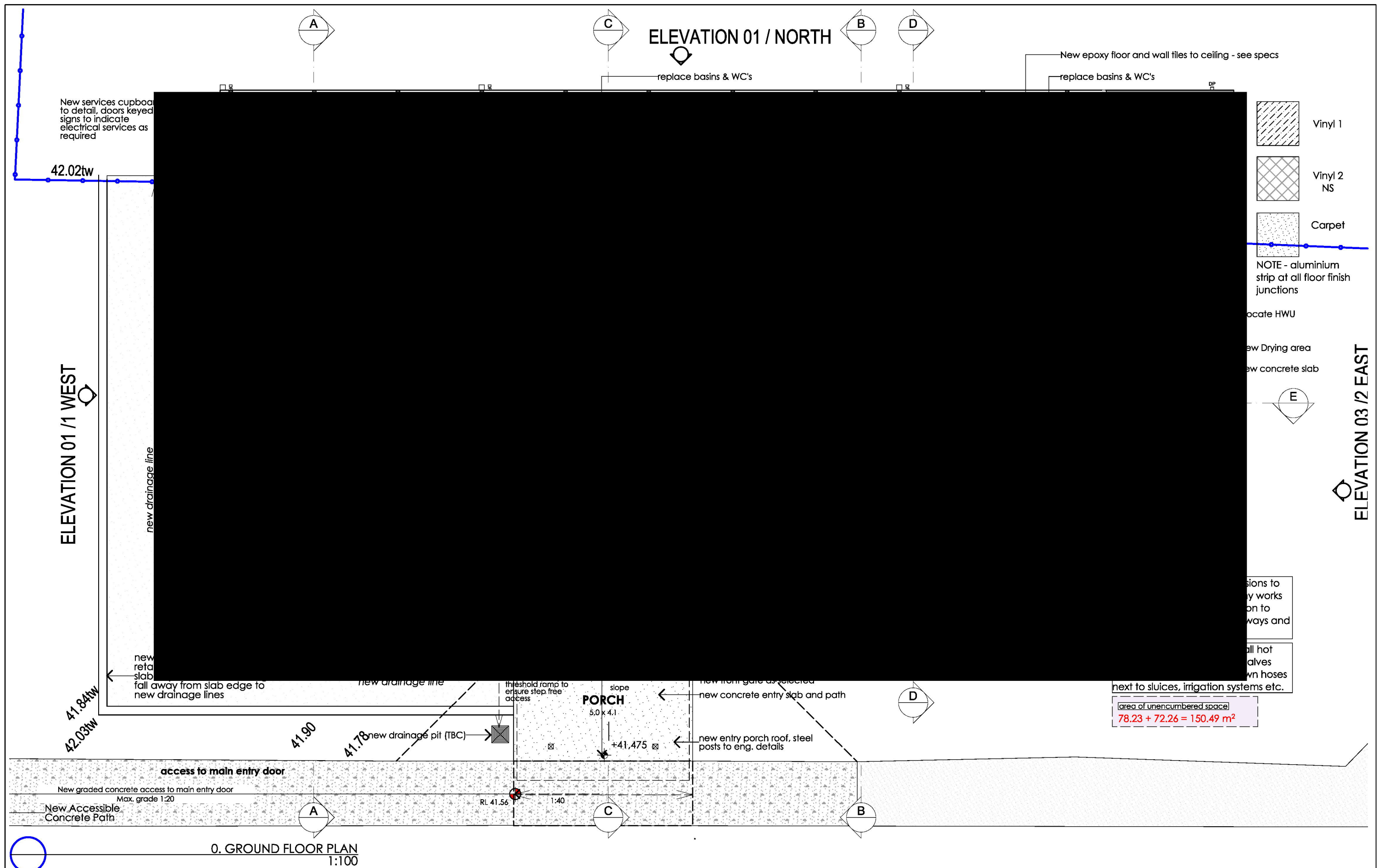
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Development Application				
Drawing Title DEMOLITION				
Drawing No. 200201A04				
Date 01/04/20	Drawn by	Sheet size A3	Project No. 200201	Issue C

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Scale 1:100

0. GROUND FLOOR PLAN  
1:100

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

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-  MOTION DETECTOR
-  SMOKE DETECTOR/ALARM
-  EXHAUST FAN - 10min DELAY
-  EXIT SIGN LIGHT
-  EMERGENCY LIGHTING
- \* Smoke alarm back to base, with NESS Secure Link GP, (PSTN, GSM + GPRS dialer)
- \* Heat alarm to canteen only
-  FANS - to be upgraded to new HPM 4 blade fans with dropper post if required

-  FL01
-  FL02
-  FL
- \* All lights and light fittings to specification
- \* Location of lights to be confirmed prior to installation
- \* External lights to be connected to PE cell
- \* Exhaust fans to be linked to lights with 10 minute delay

- \* Electrical Design by contractor unless otherwise noted
- \* Security system by PCC nominated contractor
- \* All thermal alarms linked to Comms system
- \* All smoke alarms linked to Comms system
- \* Ducted A/C Units to be fitted with cut out switch connected to existing smoke detection systems on site
- \* Existing smoke detection system runs via security system (provides notification of smoke alarm to Council's security team).

locate HWU from room

units

s and

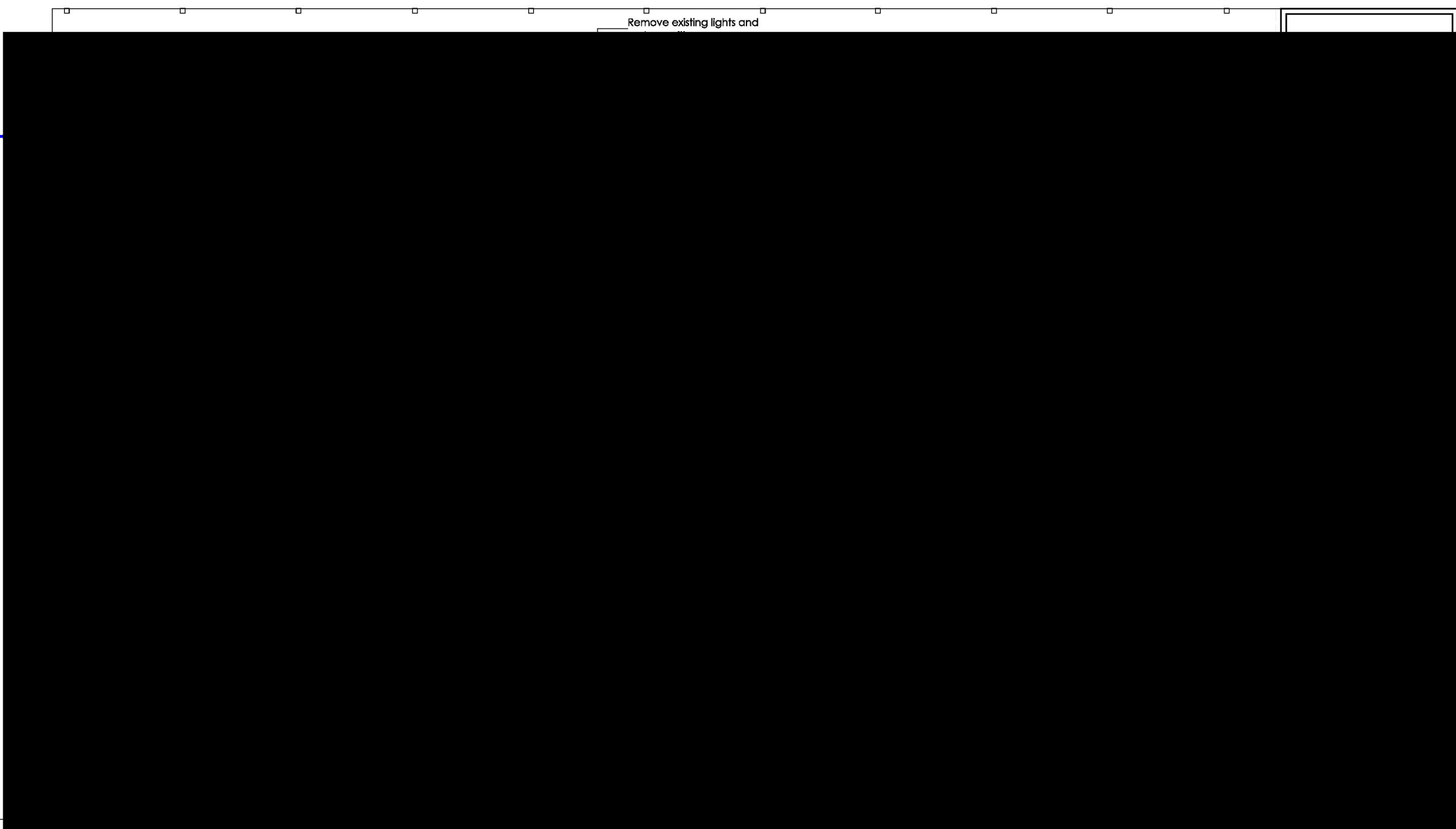
room A/C

and make good

ts, fans, smoke

- generally to

ected by new



**Compliance Summary/Checklist**

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Part	Name	Description
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J1.6	Floors	Existing concrete slab on ground
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J6	Artificial light & power	Refer to section and ABCB lighting calculator
J7	Heated water supply, swimming pool & spa plant	9 litres/min fixtures
J8	Facilities for energy monitoring	No requirements

0. GROUND FLOOR RCP  
1:100

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Stage  
Development Application

Drawing Title  
GROUND FLOOR RCP

Drawing No.  
200201A06

Date  
01/04/20

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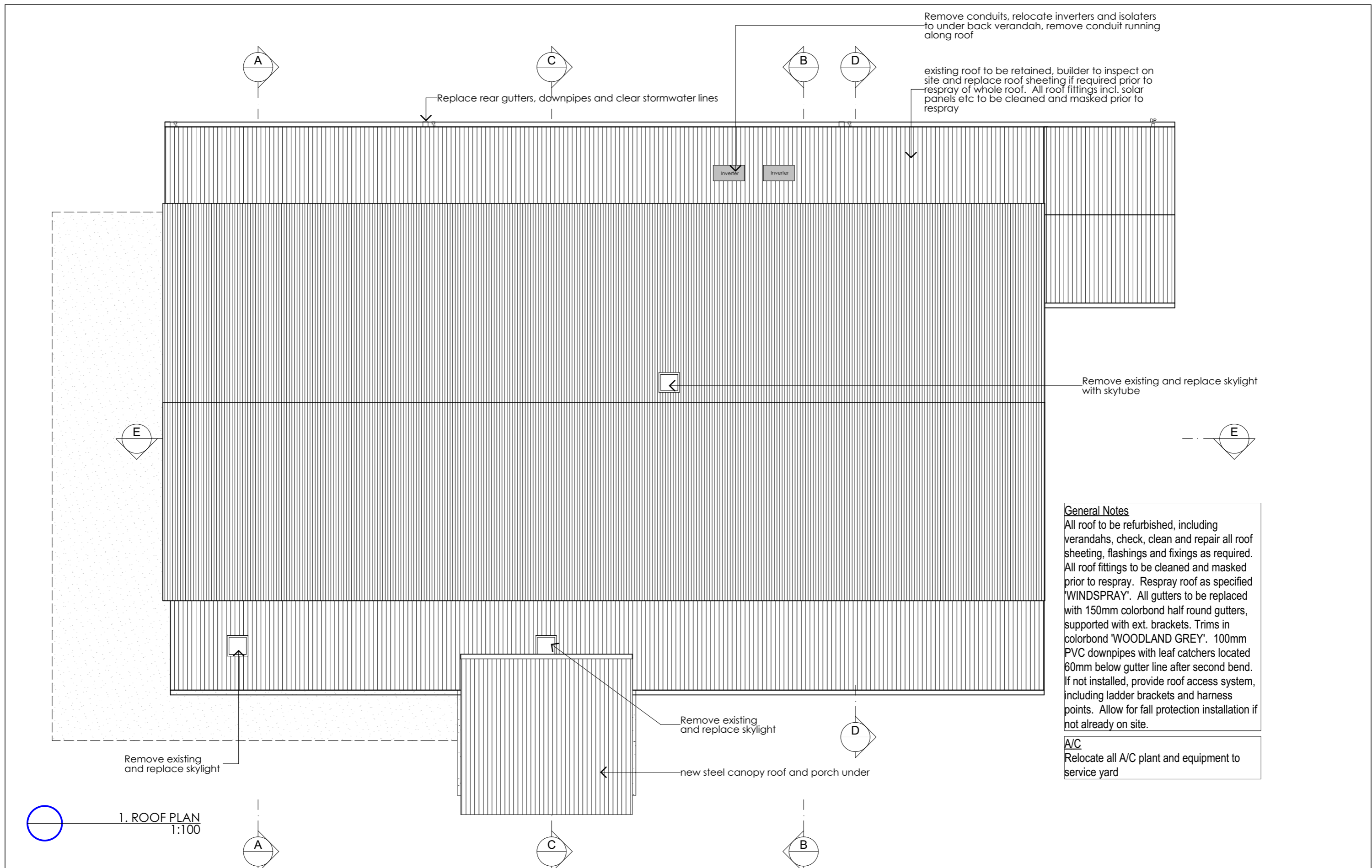
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**General Notes**  
 All roof to be refurbished, including verandahs, check, clean and repair all roof sheeting, flashings and fixings as required. All roof fittings to be cleaned and masked prior to respray. Respray roof as specified 'WINDSPRAY'. All gutters to be replaced with 150mm colorbond half round gutters, supported with ext. brackets. Trims in colorbond 'WOODLAND GREY'. 100mm PVC downpipes with leaf catchers located 60mm below gutter line after second bend. If not installed, provide roof access system, including ladder brackets and harness points. Allow for fall protection installation if not already on site.

**A/C**  
 Relocate all A/C plant and equipment to service yard

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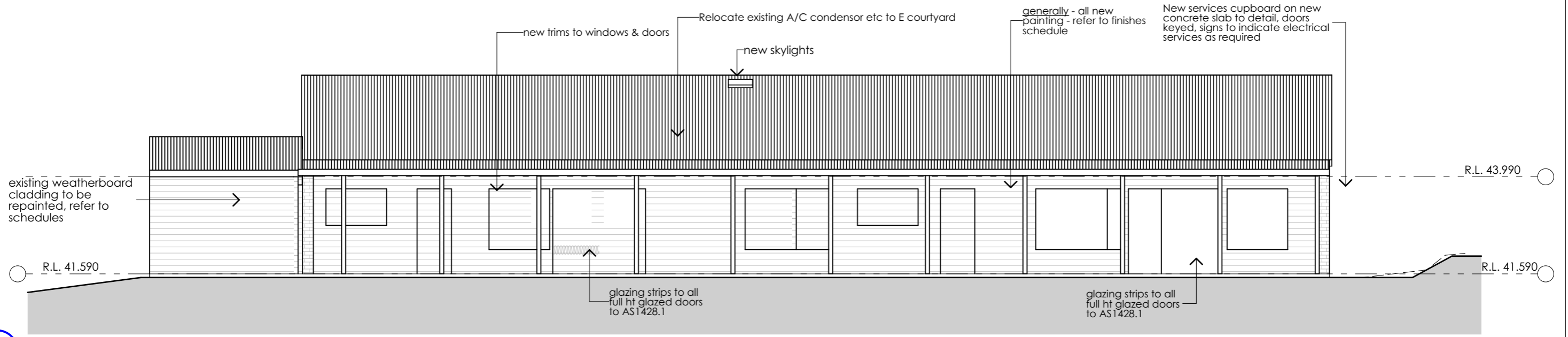
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Drawing Title ROOF PLAN				
Drawing No. 200201A07				
Date 01/04/20	Drawn by	Sheet size A3	Project No. 200201	Issue C

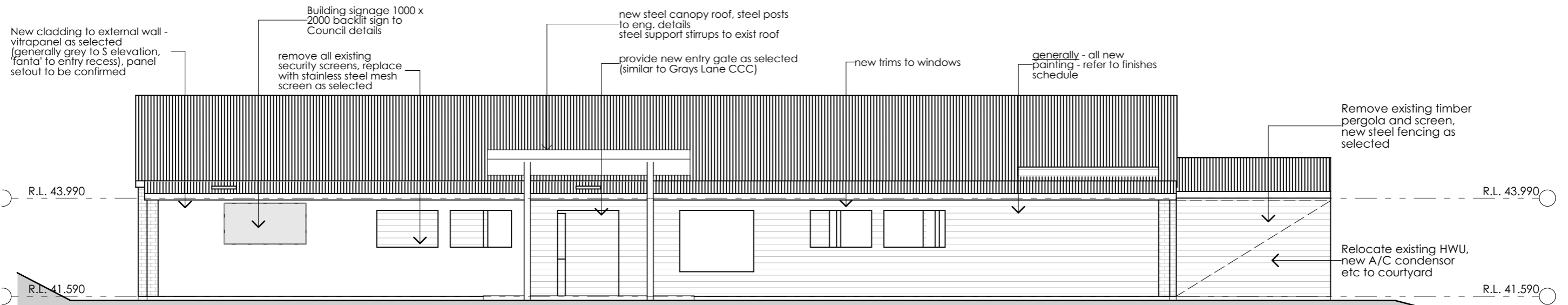
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ELEVATION 01 / NORTH  
1:100



ELEVATION 03 / SOUTH  
1:100

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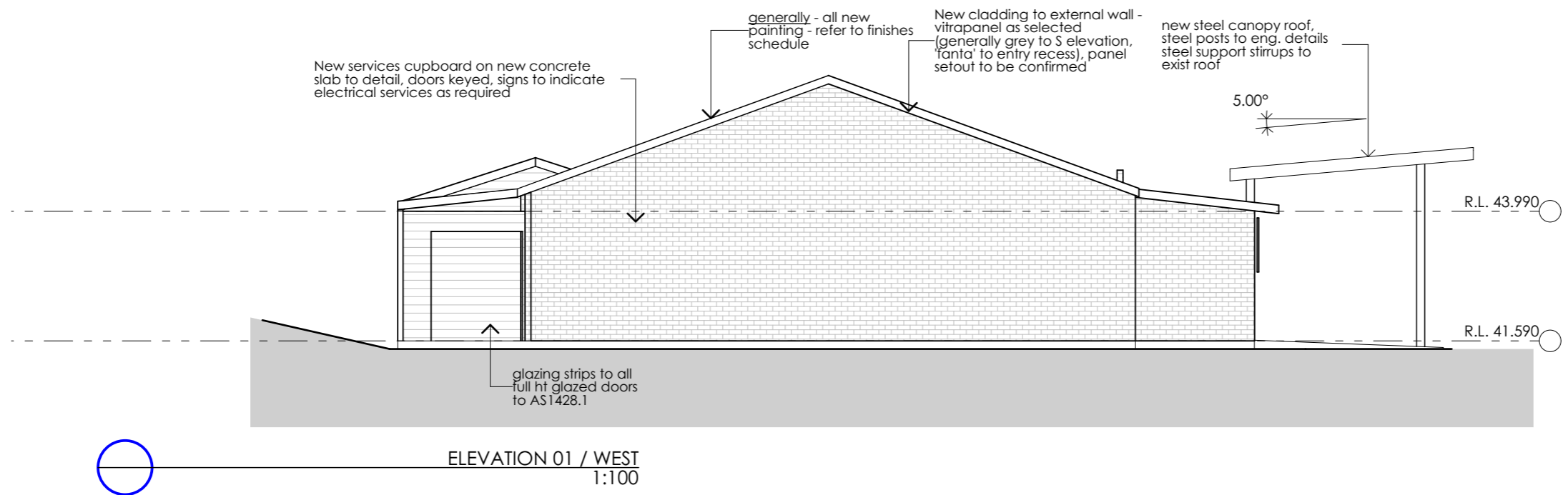
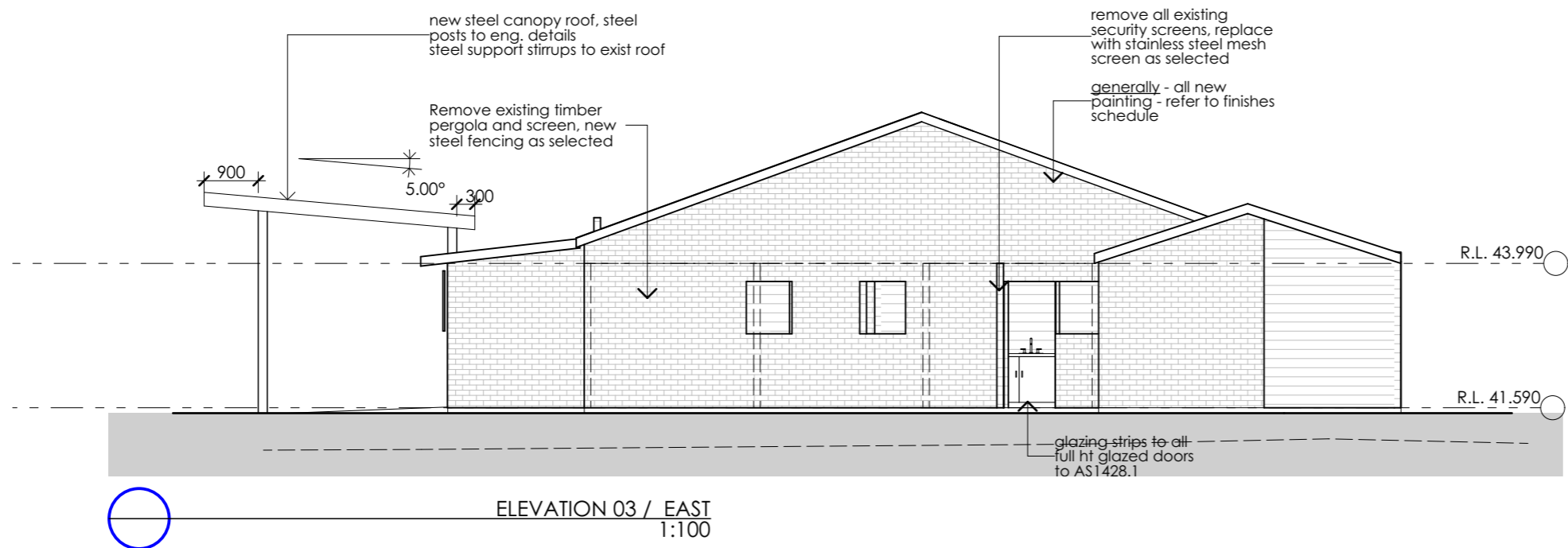
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Drawing No. <b>200201A08</b>				
Date <b>01/04/20</b>	Drawn by	Sheet size <b>A3</b>	Project No. <b>200201</b>	Issue <b>C</b>

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Stage				
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Drawing Title ELEVATIONS 02				
Drawing No. 200201A09				
Date 01/04/20	Drawn by	Sheet size A3	Project No. 200201	Issue C

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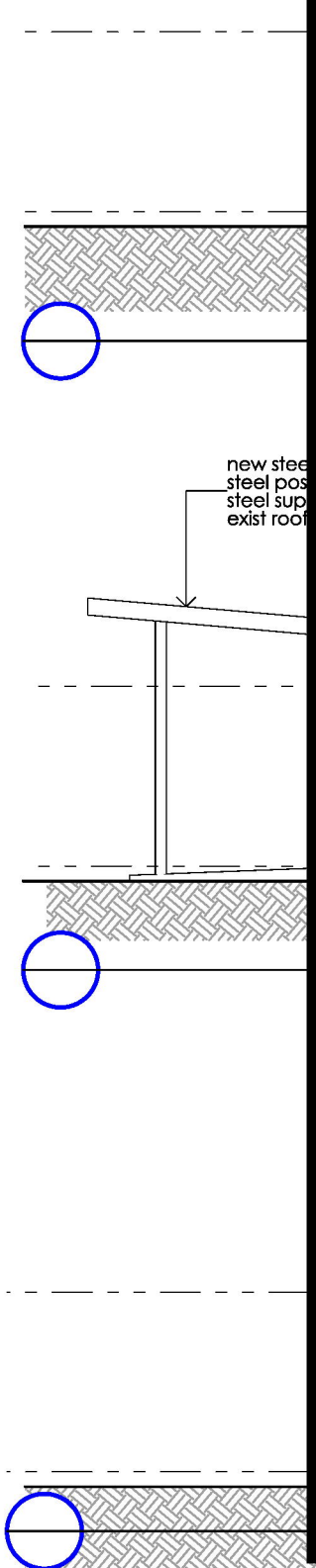
existing roof to be retained, builder to inspect on site and replace roof sheeting if required prior to respray of whole roof. All roof fittings incl. solar panels etc to be cleaned and masked prior to

replace existing skylight



new steel canopy roof, steel posts to eng. details  
steel support stirrups to exist roof

new an



new steel  
steel post  
steel sup  
exist roof



remove existing wall and door, new wall and DDA compliant door  
fill window and make good  
new cladding to external wall - parapanel as selected (generally, panel to entry recess), panel setout to be confirmed

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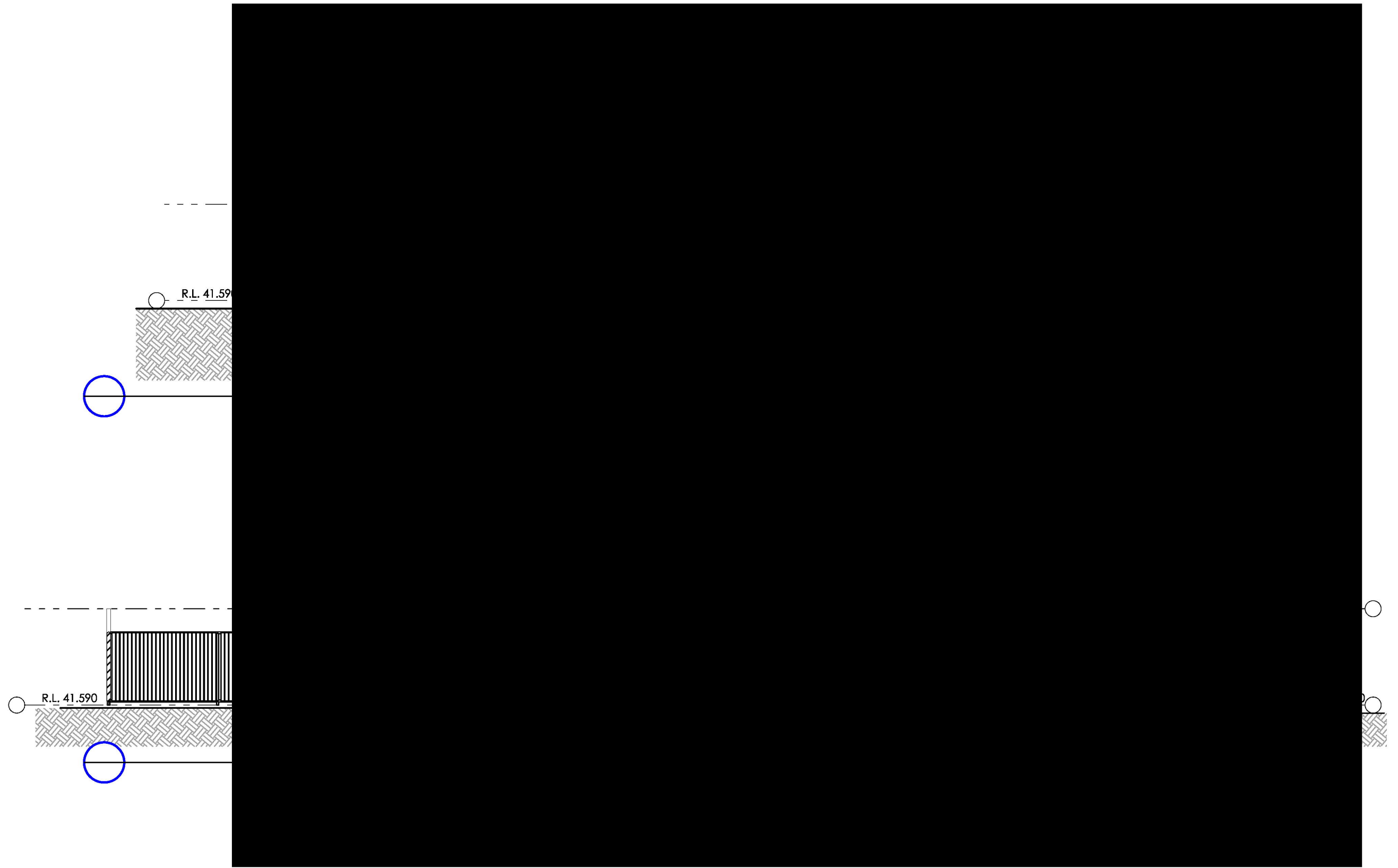
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70 Glenbrook St, Jamisontown  
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Stage  
Development Application  
Drawing Title  
SECTIONS 1  
Drawing No.  
200201A10  
Date  
01/04/20  
Drawn by  
Sheet size  
A3  
Project No.  
200201  
Issue  
C

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Issue	Date	Amendments
A	17/09/18	Sketch design
B	13/02/20	Construction Documentation - For Comment
C	17/04/20	Development application



**NOTES**

Structural engineering as required for all new structural works, including paths, slabs, new walls, roof, columns, beams. Refer to Access report for accessibility requirements. Refer to Specifications.

NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

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Stage				
<b>Development Application</b>				
Drawing Title <b>SECTIONS 2</b>				
Drawing No. <b>200201A11</b>				
Date <b>01/04/20</b>	Drawn by	Sheet size <b>A3</b>	Project No. <b>200201</b>	Issue <b>C</b>

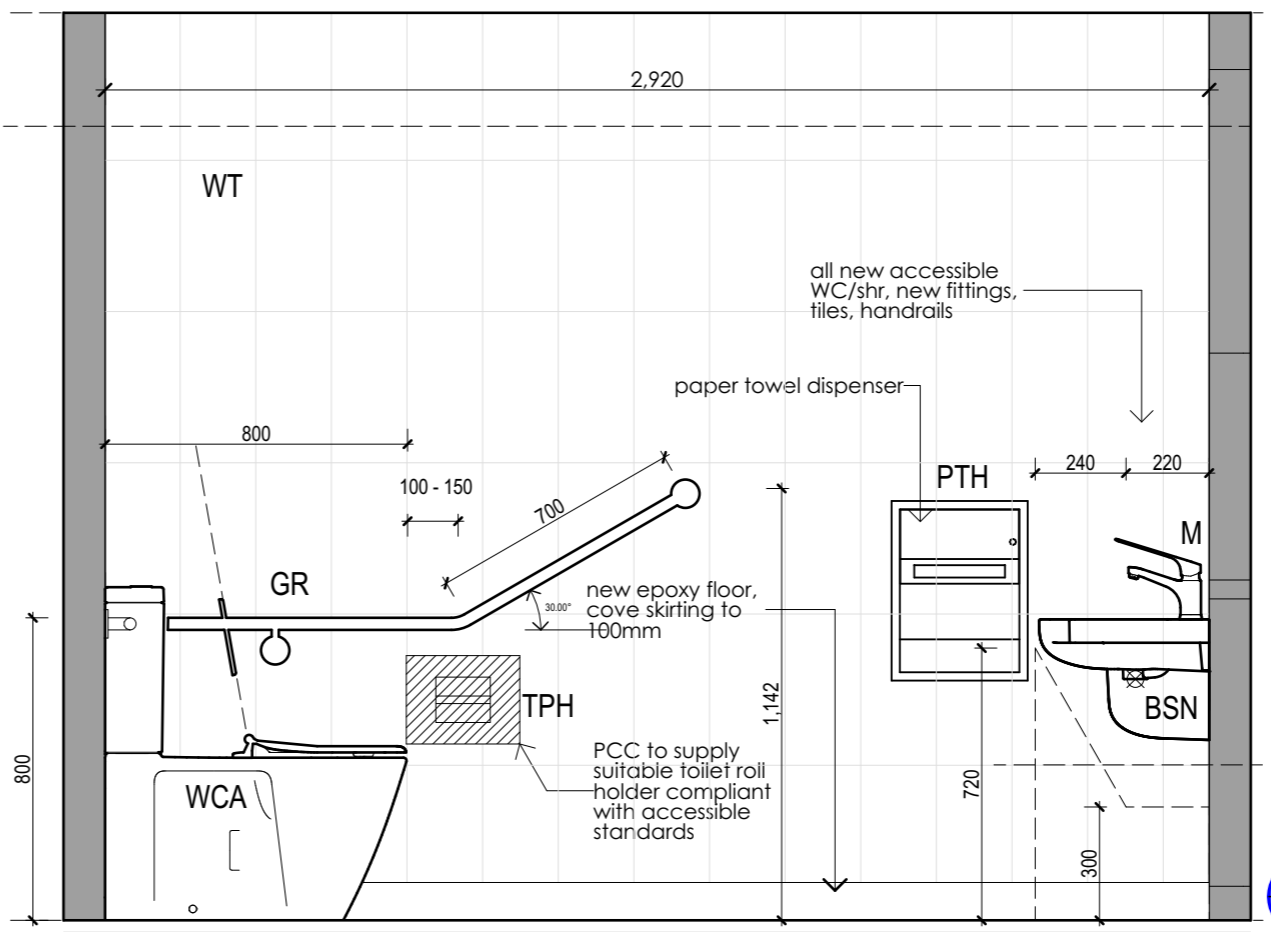
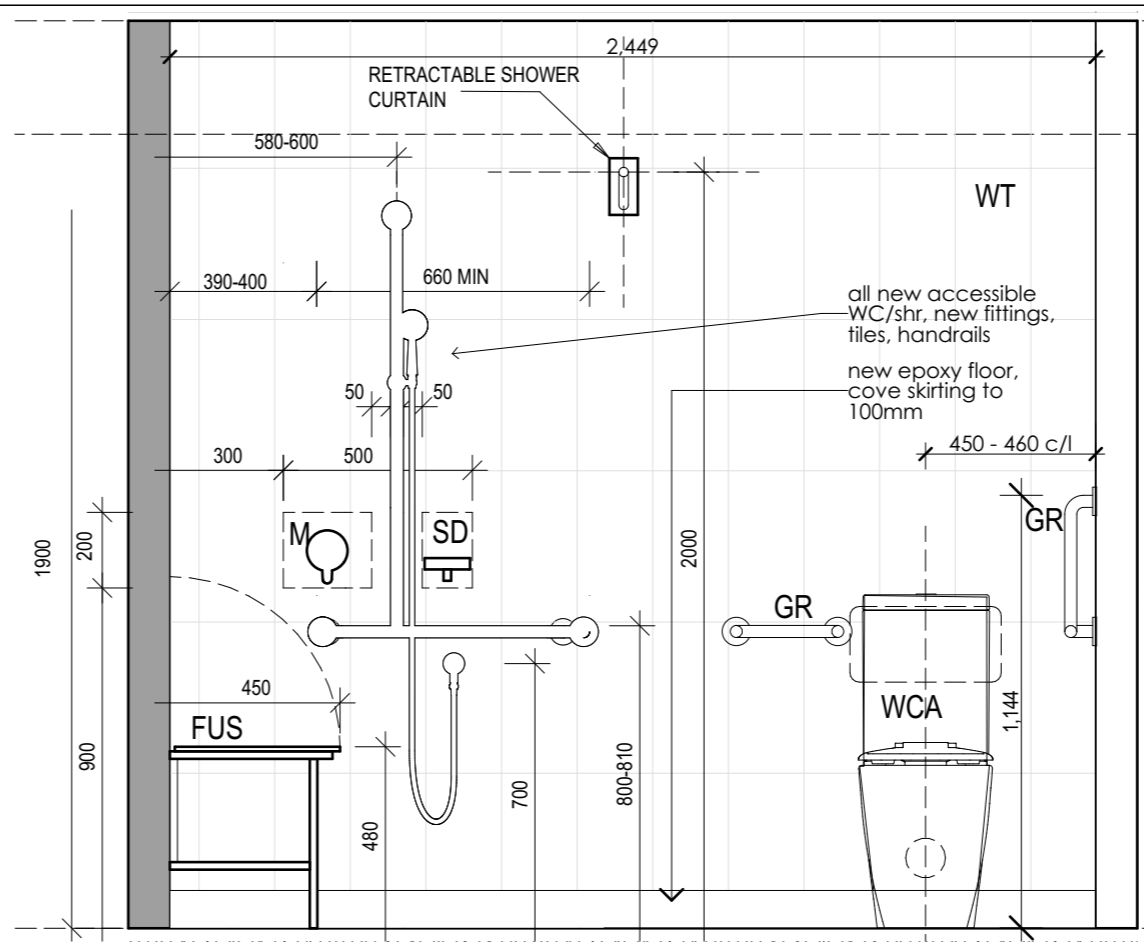
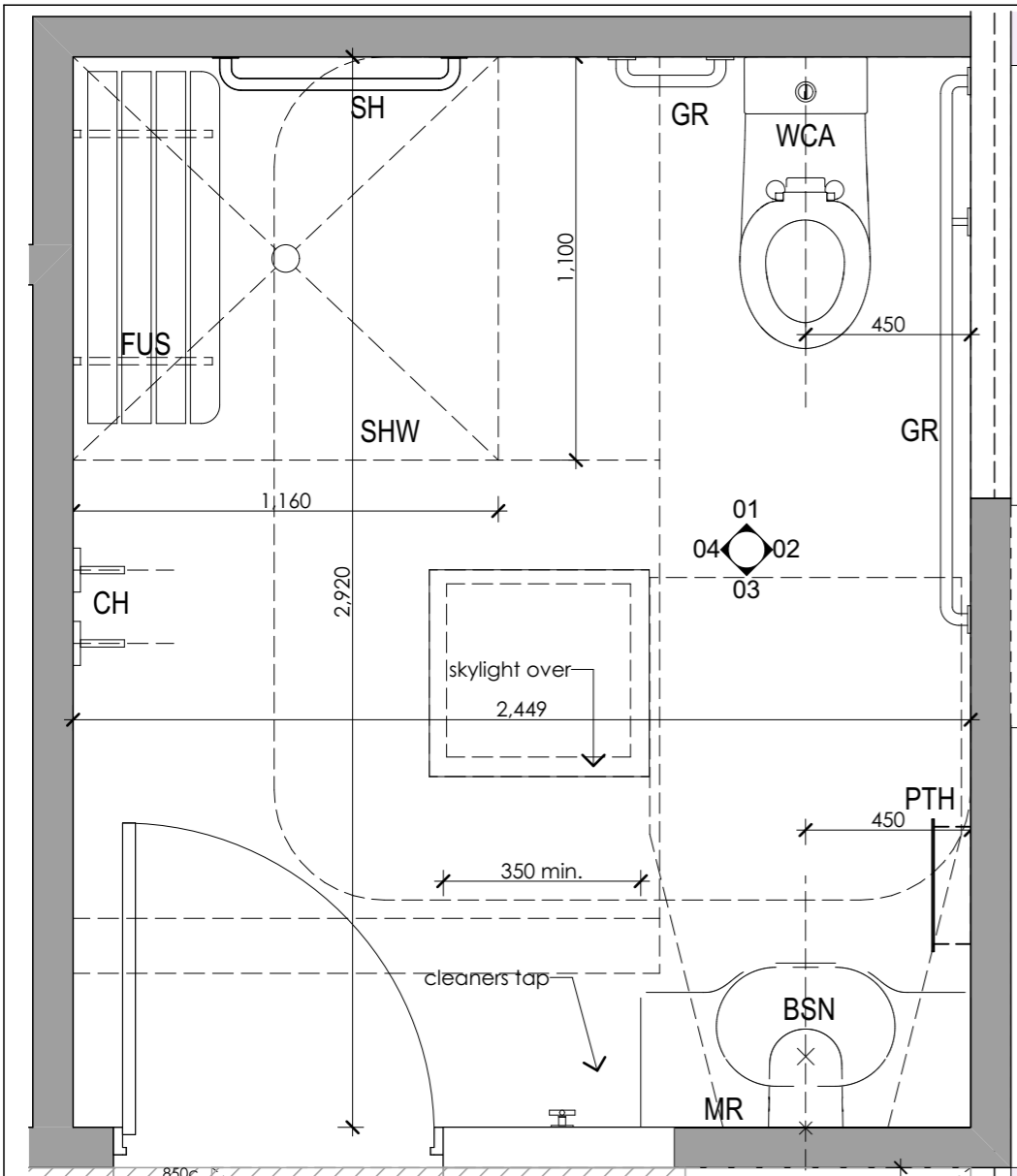


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NOTE:  
Refer to schedules for selections, fixtures and finishes.

Legend - Wet Area Details

BCH	Bench
BCT	Baby Change Table
HNP	Hydraulic Nappy Change
BSN	Basin
BB	Baby Bath
CH	Coat hook
MR	Mirror
DCD	Disposable cover dispenser
FUS	Fold up seat
GR	Grab Rail
M	Mixer
PF	Paint finish
PTH	paper towel holder
TP	Toilet partition
TPH	toilet paper holder
S	Shelf
SL	Sloppopper
SH	Shower head
SD	Soap dispenser
SHW	Shower
SP	Shower partition
TMV	Thermostatic mixing valve
WT	Wall tiles
U	Urinal
WC	Toilet pan
WCA	Toilet pan - Ambulant

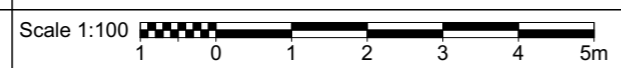
Door Number  
 Door Type

01 WC  
1:20

NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

02 WC  
1:20

Issue	Date	Amendments
A	17/09/18	Sketch design
B	13/02/20	Construction Documentation - For Comment
C	17/04/20	Development application



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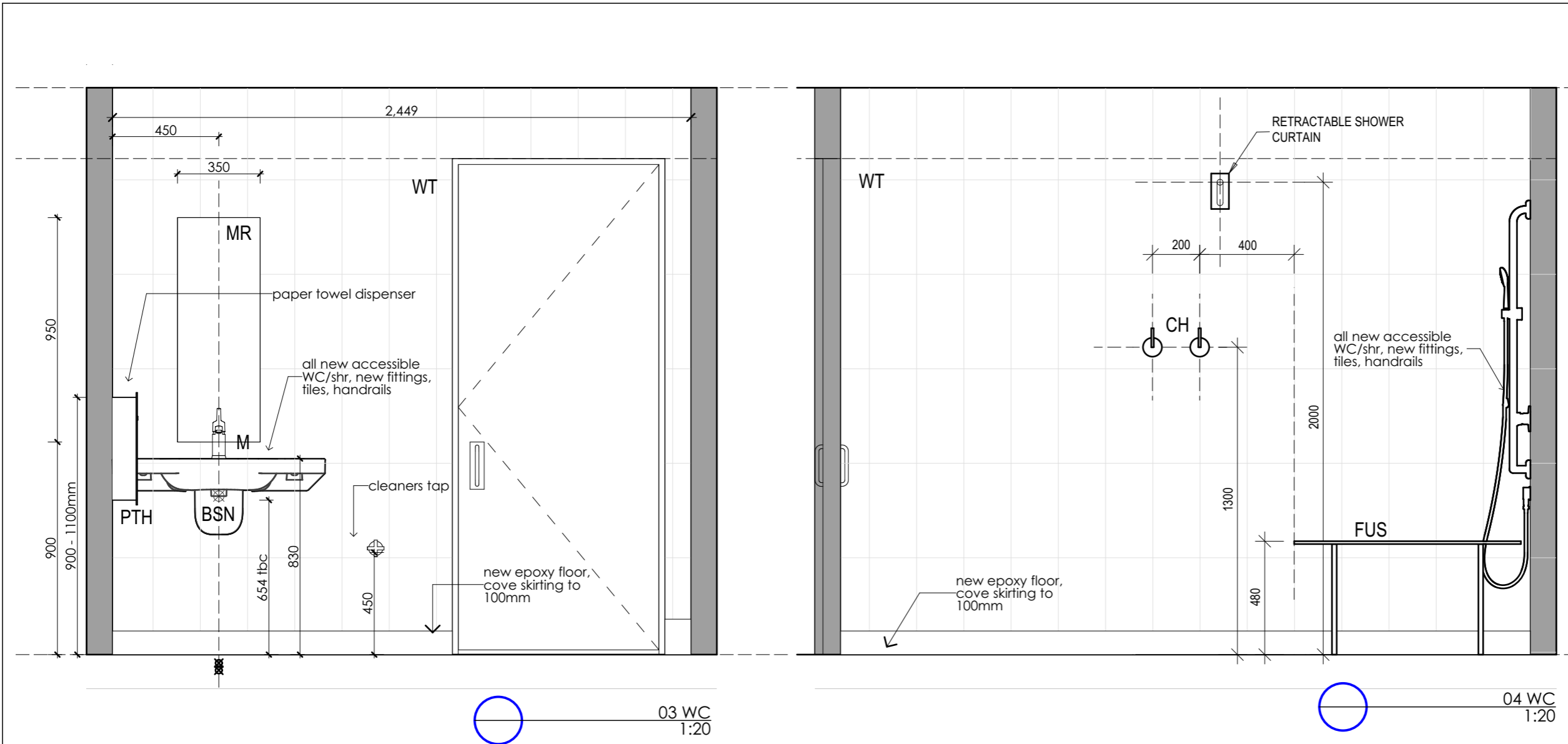
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Drawing No. <b>200201A12</b>				
Date <b>01/04/20</b>	Drawn by	Sheet size <b>A3</b>	Project No. <b>200201</b>	Issue <b>C</b>

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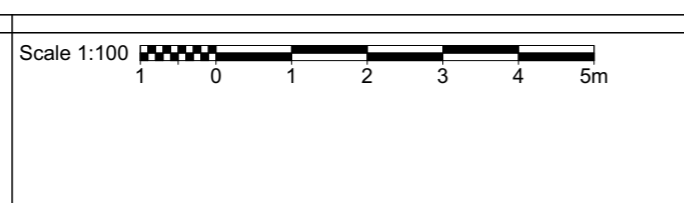
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- NOTE:**  
Refer to schedules for selections, fixtures and finishes.
- Legend - Wet Area Details**
- BCH Bench
  - BCT Baby Change Table
  - HNP Hydraulic Nappy Change
  - BSN Basin
  - BB Baby Bath
  - CH Coat hook
  - MR Mirror
  - DCD Disposable cover dispenser
  - FUS Fold up seat
  - GR Grab Rail
  - M Mixer
  - PF Paint finish
  - PTH paper towel holder
  - TP Toilet partition
  - TPH toilet paper holder
  - S Shelf
  - SL Slophopper
  - SH Shower head
  - SD Soap dispenser
  - SHW Shower
  - SP Shower partition
  - TMV Thermostatic mixing valve
  - WT Wall tiles
  - U Urinal
  - WC Toilet pan
  - WCA Toilet pan - Ambulant
- D03 Door Number  
 1B Door Type

**NOTE -** tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

Issue	Date	Amendments
A	17/09/18	Sketch design
B	13/02/20	Construction Documentation - For Comment
C	17/04/20	Development application



**NOTES**

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NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

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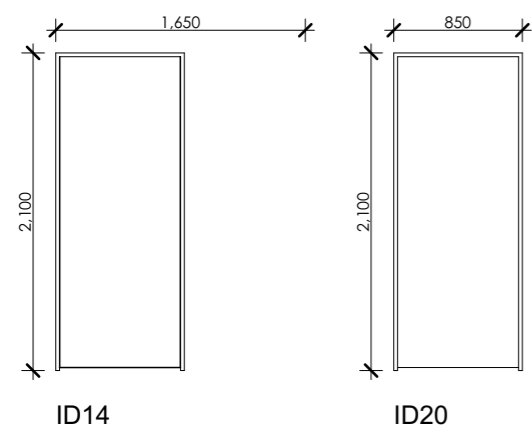
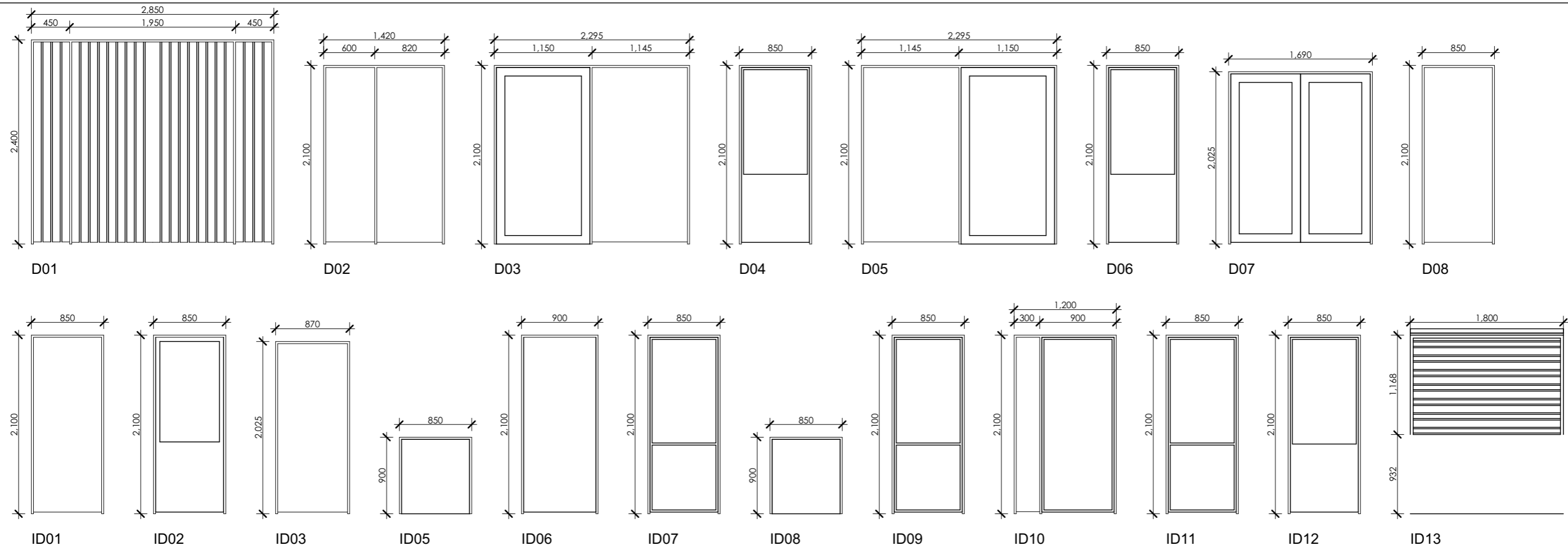
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**Jamisontown Childcare Centre**  
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Stage				
<b>Development Application</b>				
Drawing Title				
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Drawing No.		Date		
200201A13		01/04/20		
Date	Drawn by	Sheet size	Project No.	Issue
01/04/20		A3	200201	C

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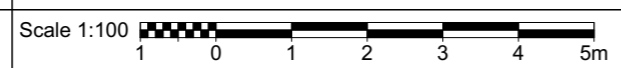
DOORS - note nominal opening only, ensure clear widths maintained for accessibility				
No.	Width	Height	Notes	Renovation Status
D01	2,850	2,400	Metal Security Gate, Min. clear opening 2 x 850mm	New
D02	1,500	2,100	New door/window min. clear opening 850mm	New
D03	2,295	2,100	min. clear opening 850mm	Existing
D04	850	2,100	min. clear opening 850mm	New
D05	2,295	2,100	min. clear opening 850mm	Existing
D06	850	2,100	min. clear opening 850mm	New
D07	1,690	2,025	store door	Existing
D08	850	2,100	min. clear opening 850mm	New
ID01	850	2,100	min. clear opening 850mm	New
ID02	850	2,100	min. clear opening 850mm	New
ID03	870	2,025	kitchen cavity slider to be replaced	New
ID05	850	900	1/2 height 900mm solid core door	New

DOORS - note nominal opening only, ensure clear widths maintained for accessibility				
No.	Width	Height	Notes	Renovation Status
ID06	900	2,100	min. clear opening 850mm	New
ID07	850	2,100	min. clear opening 850mm	New
ID08	850	900	1/2 height 900mm solid core door	New
ID09	850	2,100	Existing	Existing
ID10	1,200	2,100	min. clear opening 850mm	New
ID11	850	2,100	min. clear opening 850mm	New
ID12	850	2,100	min. clear opening 850mm	New
ID13	1,800	1,168	kitchen roller door	New
ID14	850	2,100	min. clear opening 850mm	Existing
ID20	850	2,100	store door	Existing
ID21	799	2,025	office door	To Be Demolished
ID22	900	2,100	WC gate	To Be Demolished

NOTE - Dxx - refers to external doors, IDxx refers to internal doors  
 NOTE - All door dimensions nominal, ensure structural openings modified to allow 850mm clear opening width per DDA requirements, and AS1428.1. All new door hardware as selected.  
 NOTE - Glazing strips to all fully glazed doors to AS1428.1  
 NOTE - ID05, ID08 new lever passage handle set, D04, D06 external keyed, internal snib lever handle

**NEW DOOR SCHEDULE**  
1:50

Issue	Date	Amendments
A	17/09/18	Sketch design
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C	17/04/20	Development application



**NOTES**  
 Structural engineering as required for all new structural works, including paths, slabs, new walls, roof, columns, beams.  
 Refer to Access report for accessibility requirements. Refer to Specifications.  
 NOTE - Tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

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Stage  
**Development Application**

Drawing Title  
**DOOR SCHEDULE**

Drawing No.  
**200201A14**

Date  
**01/04/20**

Drawn by

Sheet size  
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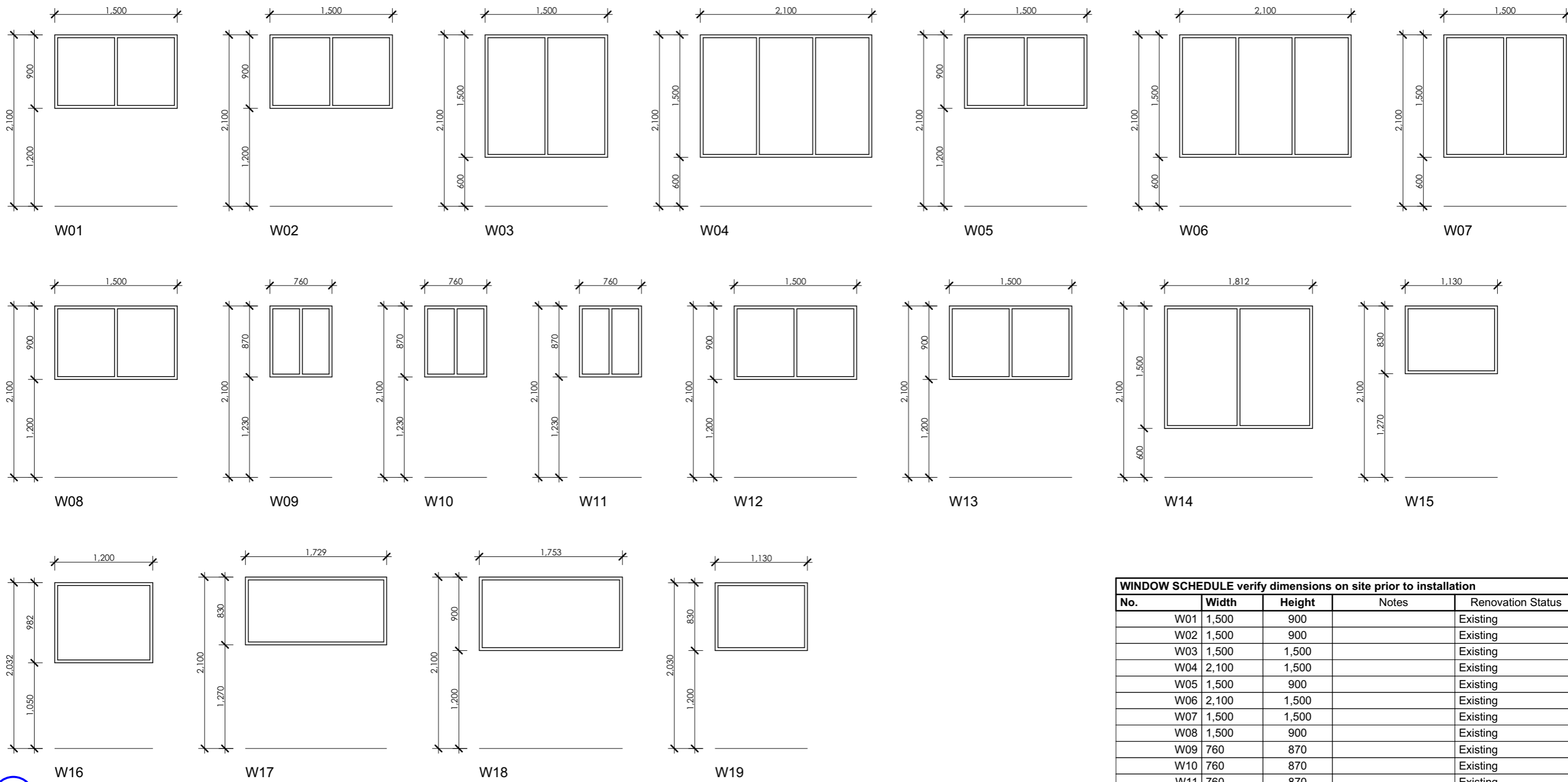
Project No.  
**200201**

Issue  
**C**

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**WINDOW SCHEDULE verify dimensions on site prior to installation**

No.	Width	Height	Notes	Renovation Status
W01	1,500	900		Existing
W02	1,500	900		Existing
W03	1,500	1,500		Existing
W04	2,100	1,500		Existing
W05	1,500	900		Existing
W06	2,100	1,500		Existing
W07	1,500	1,500		Existing
W08	1,500	900		Existing
W09	760	870		Existing
W10	760	870		Existing
W11	760	870		Existing
W12	1,500	900		Existing
W13	1,500	900		Existing
W14	1,812	1,500		Existing
W15	1,130	830		Existing
W16	1,200	982		New
W17	1,729	830		Existing
W18	1,753	900		Existing
W19	1,130	830		Existing
W20	900	900		To Be Demolished
W21	1,220	856		To Be Demolished
W22	1,753	900		To Be Demolished

NOTE - All window dimensions nominal (cos)

W16  
WINDOW SCHEDULE  
1:50

Issue	Date	Amendments
A	17/09/18	Sketch design
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C	17/04/20	Development application



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Stage  
**Development Application**  
Drawing Title  
**WINDOW SCHEDULE**  
Drawing No.  
**200201A15**  
Date  
**01/04/20**  
Drawn by  
**A3**  
Sheet size  
**200201**  
Project No.  
**C**  
Issue

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**SPACE IDENTIFICATION**

EACH DEDICATED SPACE SHALL BE IDENTIFIED BY MEANS OF A WHITE SYMBOL OF ACCESS IN ACCORDANCE WITH AS 1428.1 BETWEEN 800 MM AND 1000 MM HIGH PLACED ON A BLUE RECTANGLE WITH NO SIDE MORE THAN 1200 MM, PLACED AS A PAVEMENT MARKING IN THE CENTRE OF THE SPACE BETWEEN 500 MM AND 600 MM FROM ITS ENTRY POINT AS ILLUSTRATED

**SPACE DELINEATION**

PAVEMENT MARKINGS SPECIFIED IN ITEMS (A) AND (B) OF THIS CLAUSE SHALL BE YELLOW AND SHALL HAVE A SLIP RESISTANT SURFACE. RAISED PAVEMENT MARKERS SHALL NOT BE USED FOR SPACE DELINEATION.

PAVEMENT MARKINGS SHALL BE PROVIDED AS FOLLOWS:

**1. LINEMARKING**

1.1. DEDICATED PARKING SPACES SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100 MM WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.

**2. SHARED AREAS SHALL BE MARKED AS FOLLOWS:**

2.1. WALKWAYS WITHIN OR PARTLY WITHIN A SHARED AREA SHALL BE MARKED WITH UNBROKEN LONGITUDINAL LINES ON BOTH SIDES OF THE WALKWAY EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.

2.2. OTHER VACANT NON-TRAFFICKED AREAS, WHICH MAY BE INTENTIONALLY OR UNINTENTIONALLY OBSTRUCTED (E.G. BY UNINTENDED PARKING), SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100 MM WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL, AND MARKED WITH DIAGONAL STRIPES 150 TO 200 MM WIDE WITH SPACES 200 MM TO 300 MM BETWEEN STRIPES. THE STRIPES SHALL BE AT AN ANGLE OF 45 ±10 DEGREES TO THE SIDE OF THE SPACE.

2.3. NO SHARED AREA MARKINGS SHALL BE PLACED IN TRAFFICKED AREAS.

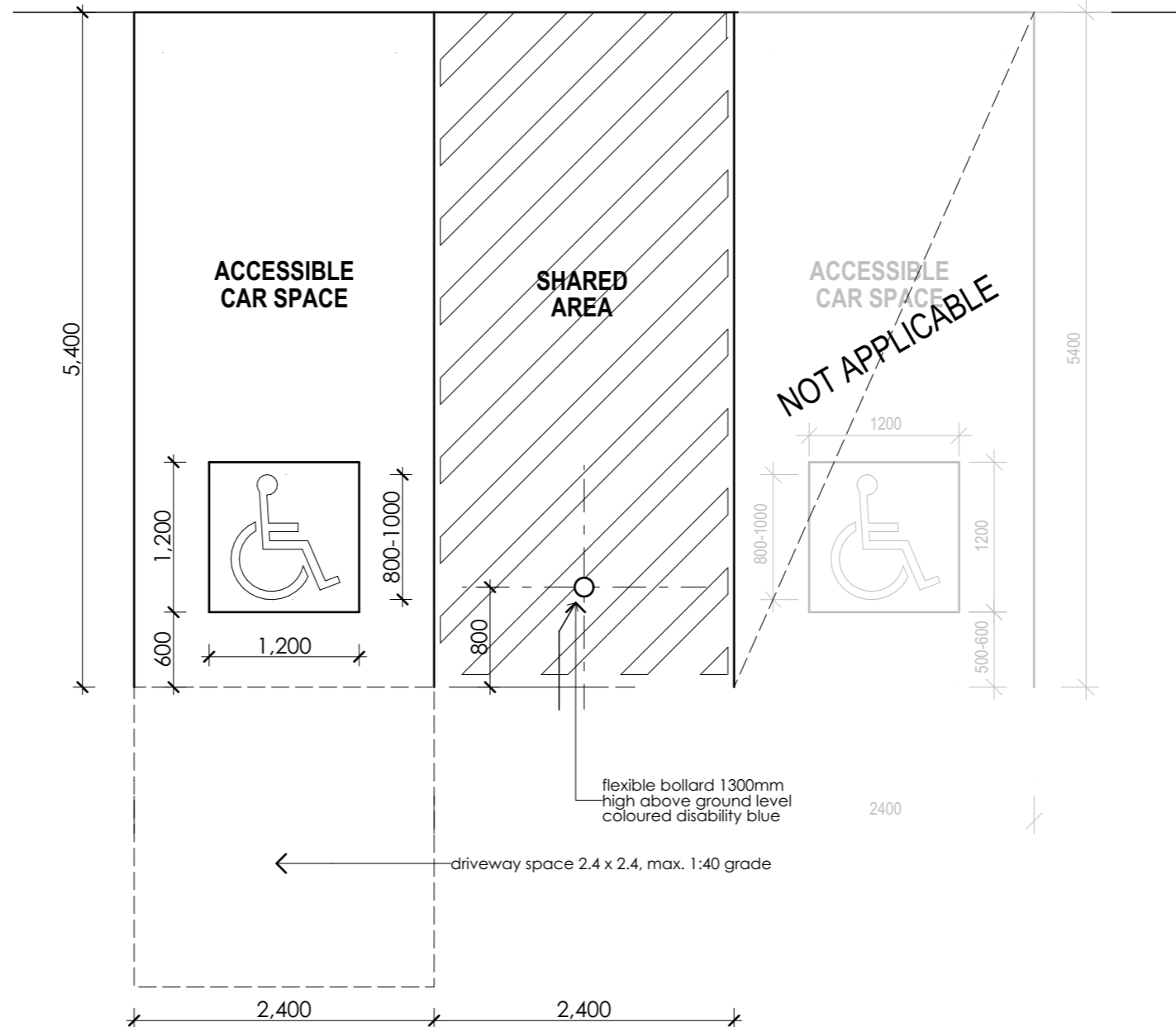
2.4. ALL LINEMARKING MUST BE NON SLIP

**3. BOLLARDS:**

3.1. MINIMUM HEIGHT 1300MM

3.2. RECOMMENDED COLOUR BLUE TO CONTRAST AGAINST YELLOW LINE MARKING

3.3. RECOMMEND FLEXIBLE BOLLARDS TO REDUCE MOTOR VEHICLE DAMAGE



**DOUBLE ACCESSIBLE CAR PARKING SPACES  
IN ACCORDANCE WITH AS2890.6**

Accessible Parking Detail  
1:50

Issue	Date	Amendments
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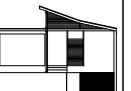
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Stage				
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Drawing No. 200201A16				
Date 01/04/20	Drawn by	Sheet size A3	Project No. 200201	Issue C

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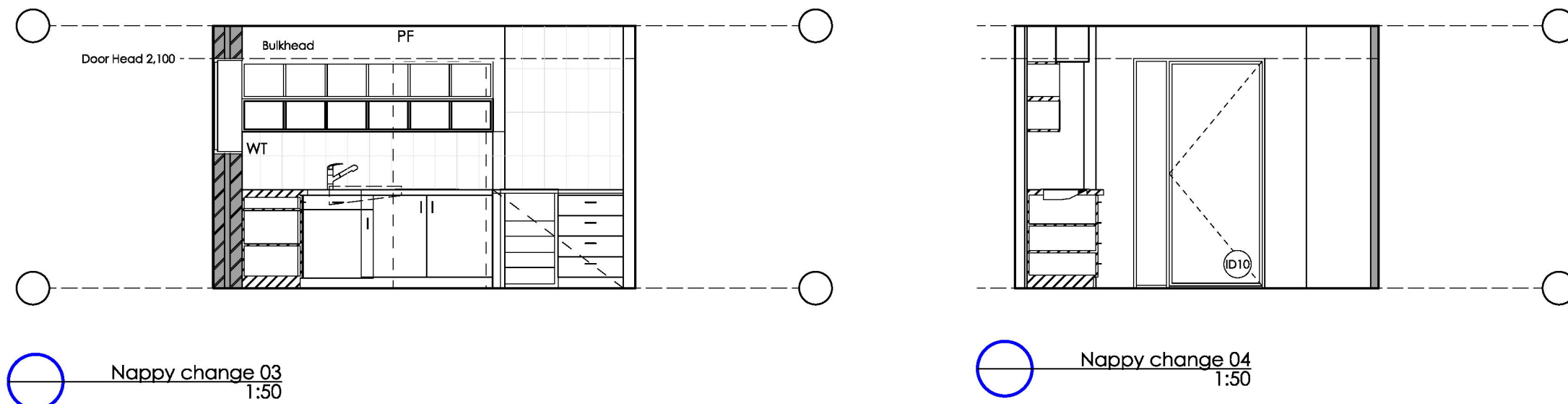
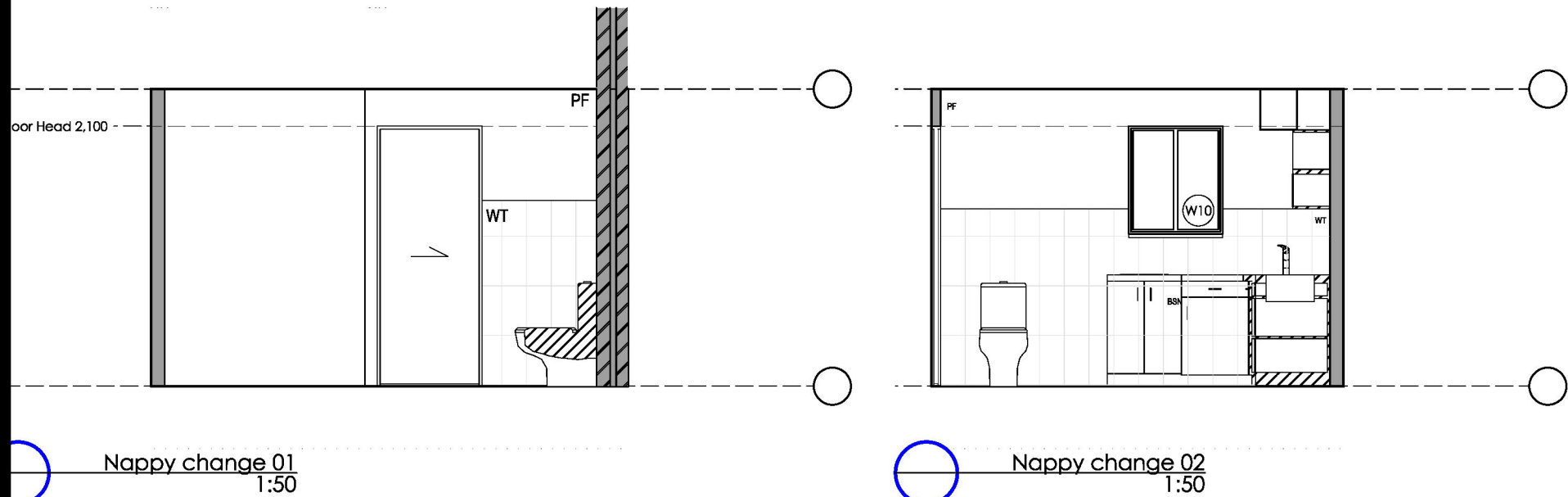
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FOR CONTINUATION OF PLAN, REFER TO DETAIL ABOVE



NOTE:  
Refer to schedules for selections,  
fixtures and finishes.

Legend - Wet Area Details

- BCH Bench
- BCT Baby Change Table
- HNP Hydraulic Nappy Change
- BSN Basin
- BB Baby Bath
- CH Coat hook
- MR Mirror
- DCD Disposable cover dispenser
- FUS Fold up seat
- GR Grab Rail
- M Mixer
- PF Paint finish
- PTH paper towel holder
- TP Toilet partition
- TPH toilet paper holder
- S Shelf
- SL Slophopper
- SH Shower head
- SD Soap dispenser
- SHW Shower
- SP Shower partition
- TMV Thermostatic mixing valve
- WT Wall tiles
- U Urinal
- WC Toilet pan
- WCA Toilet pan - Ambulant



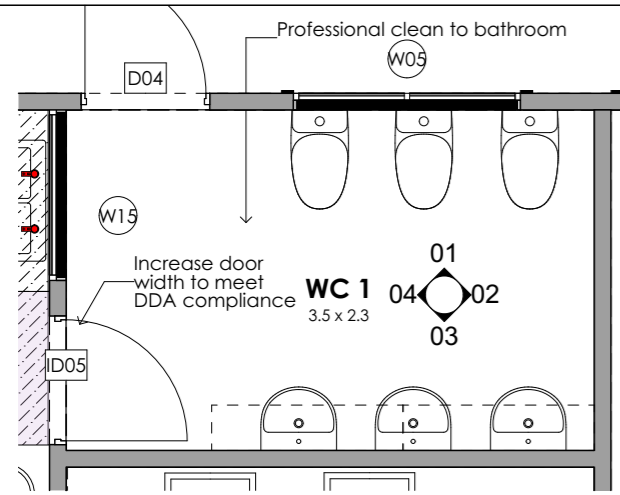
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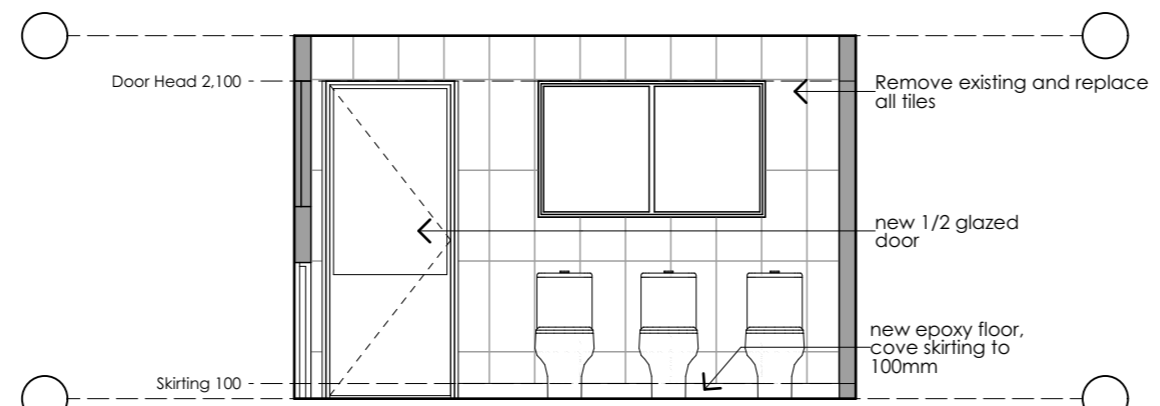
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Stage <b>Development Application</b>				
Drawing Title <b>DETAILS NAPPY CHANGE - SHEET 02</b>				
Drawing No. <b>200201A17</b>				
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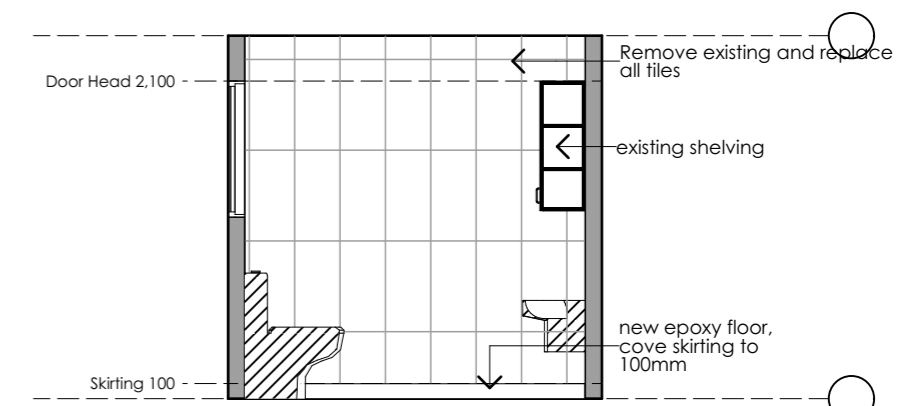
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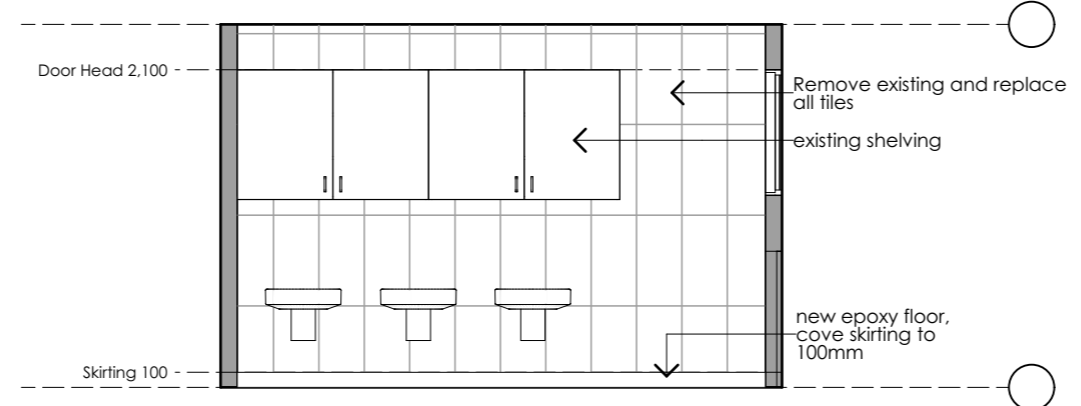
WC 3-5's  
1:50



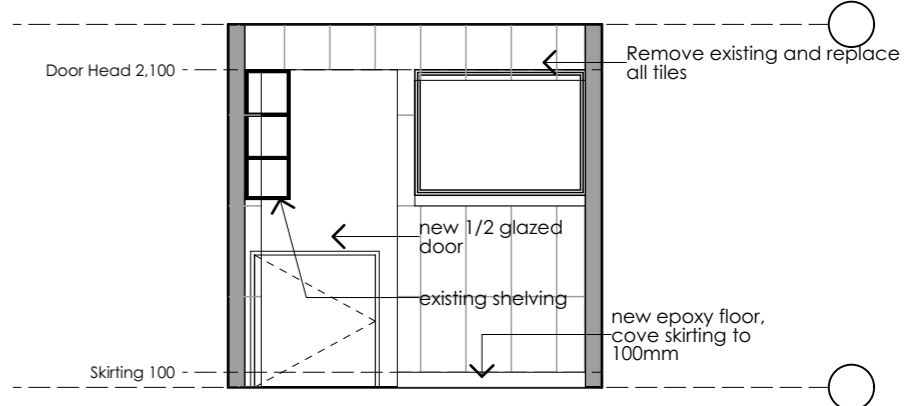
WC1 3-5's 01  
1:50



WC1 3-5's 02  
1:50



WC1 3-5's 03  
1:50



WC1 3-5's 04  
1:50

**NOTE:**  
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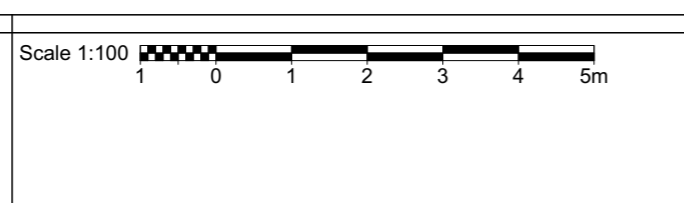
**Legend - Wet Area Details**

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- HNP Hydraulic Nappy Change
- BSN Basin
- BB Baby Bath
- CH Coat hook
- MR Mirror
- DCD Disposable cover dispenser
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- SHW Shower
- SP Shower partition
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- WT Wall tiles
- U Urinal
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Door Number  

 Door Type

Issue	Date	Amendments
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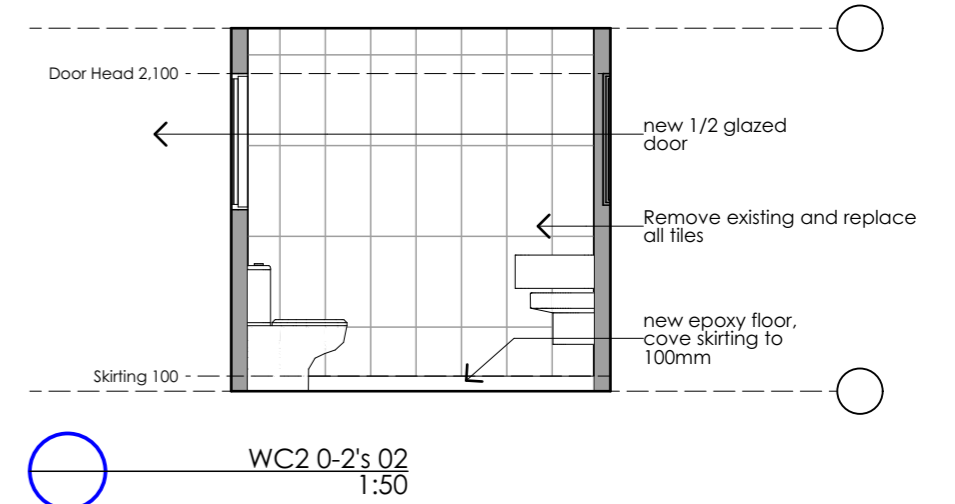
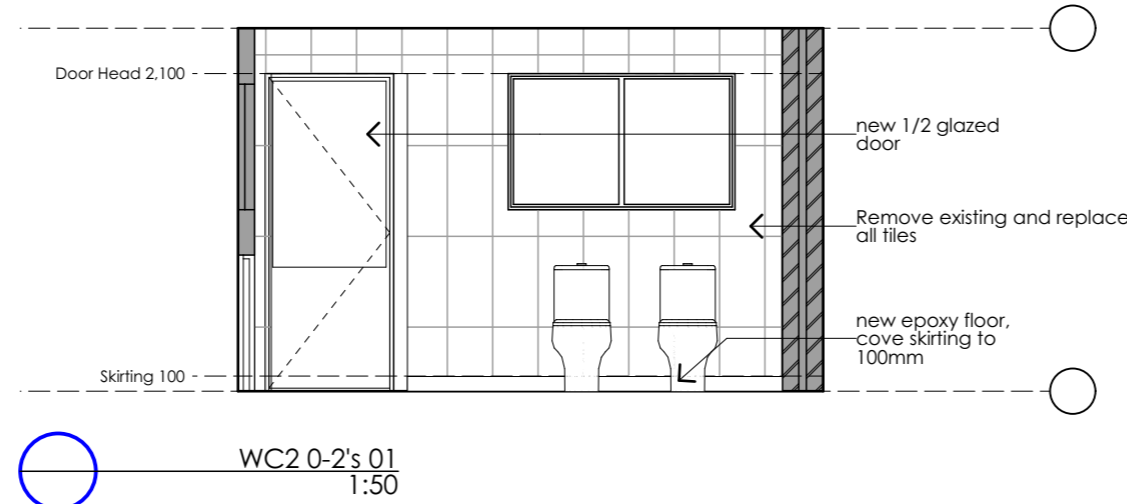
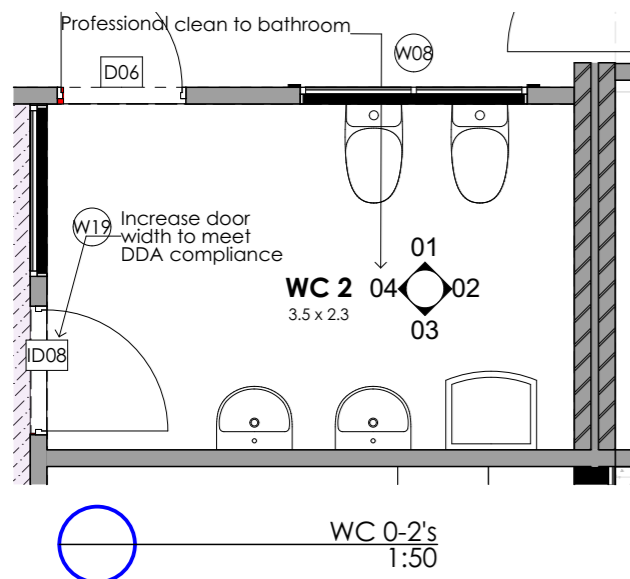
Address  
Jamisontown Childcare Centre  
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Stage				
Development Application				
Drawing Title DETAILS WC1 - SHEET 03				
Drawing No. 200201A18				
Date 01/04/20	Drawn by	Sheet size A3	Project No. 200201	Issue C

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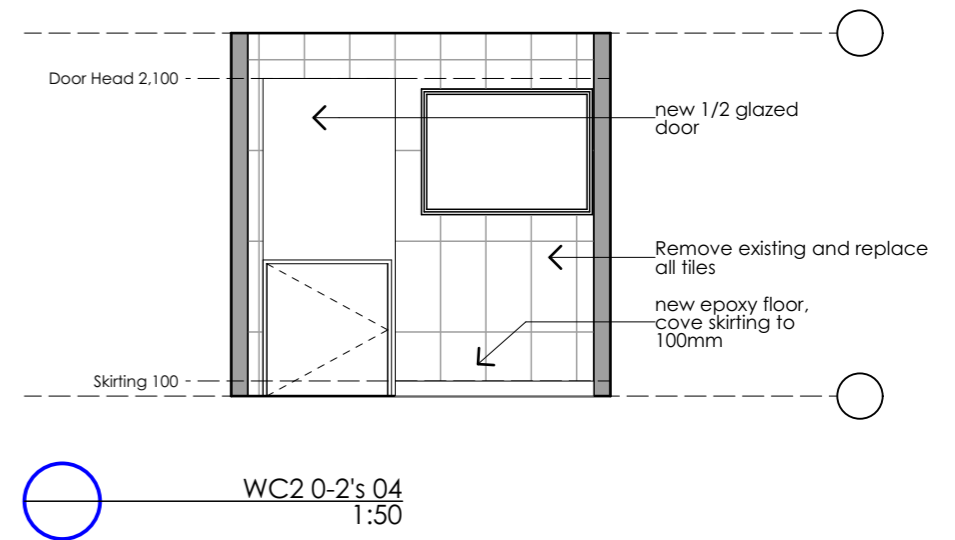
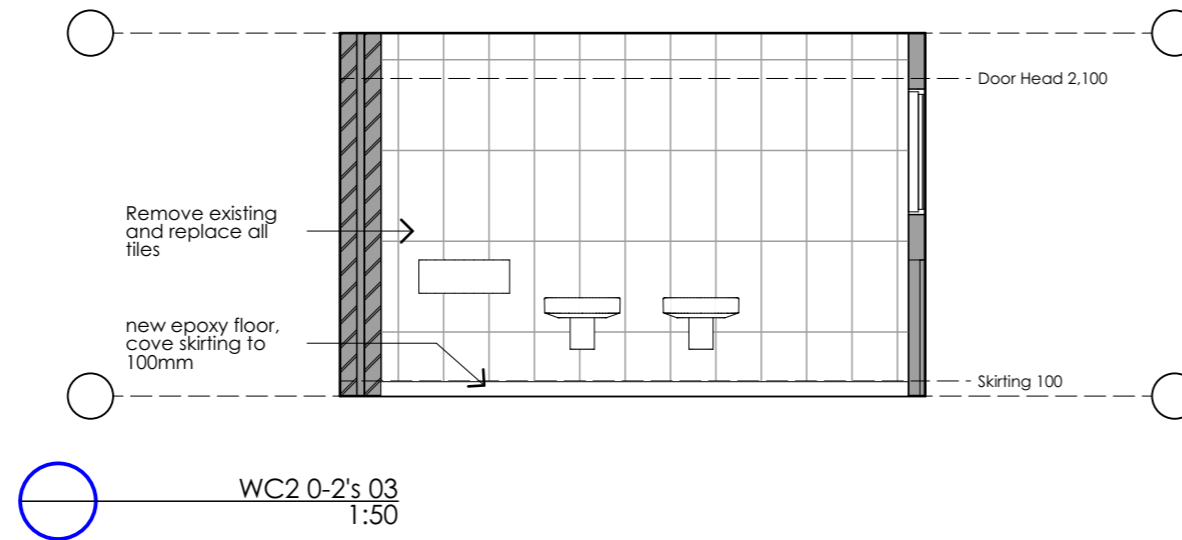
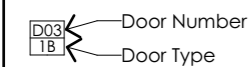
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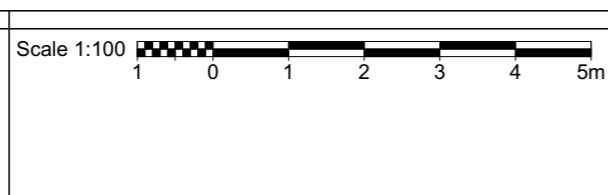
NOTE:  
Refer to schedules for selections, fixtures and finishes.

Legend - Wet Area Details

- BCH Bench
- BCT Baby Change Table
- HNP Hydraulic Nappy Change
- BSN Basin
- BB Baby Bath
- CH Coat hook
- MR Mirror
- DCD Disposable cover dispenser
- FUS Fold up seat
- GR Grab Rail
- M Mixer
- PF Paint finish
- PTH paper towel holder
- TP Toilet partition
- TPH toilet paper holder
- S Shelf
- SL Slophopper
- SH Shower head
- SD Soap dispenser
- SHW Shower
- SP Shower partition
- TMV Thermostatic mixing valve
- WT Wall tiles
- U Urinal
- WC Toilet pan
- WCA Toilet pan - Ambulant



Issue	Date	Amendments
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C	17/04/20	Development application



**NOTES**

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Refer to Access report for accessibility requirements.

Refer to Specifications.

NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

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601 High Street Penrith NSW

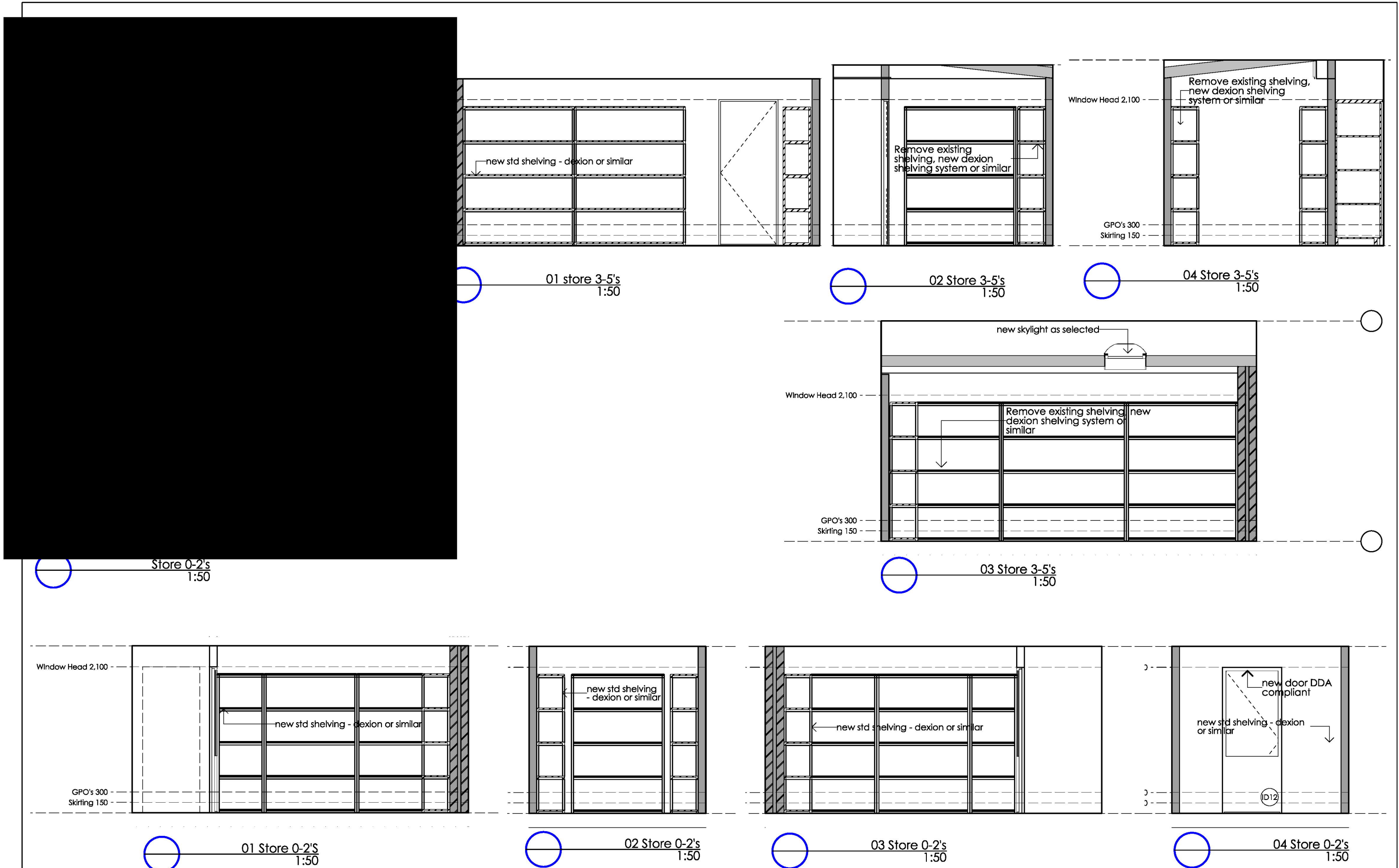
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70 Glenbrook St, Jamisontown  
NSW 2750

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Development Application				
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Drawing No. 200201A19				
Date 01/04/20	Drawn by	Sheet size A3	Project No. 200201	Issue C

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Stage  
Development Application

Drawing Title  
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Drawing No.  
200201A20

Date  
01/04/20

Drawn by  
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Project No.  
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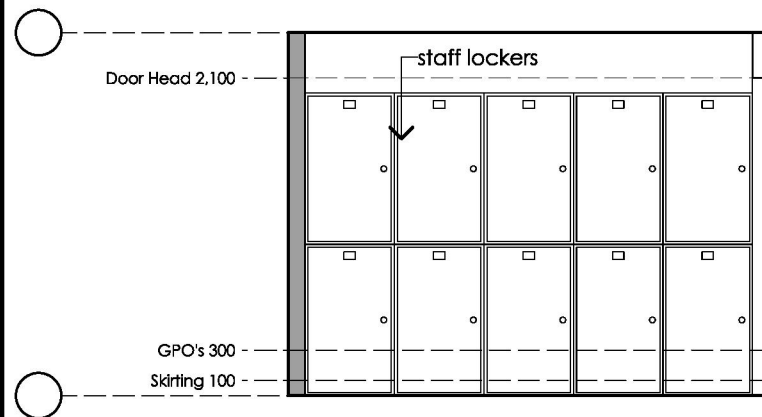
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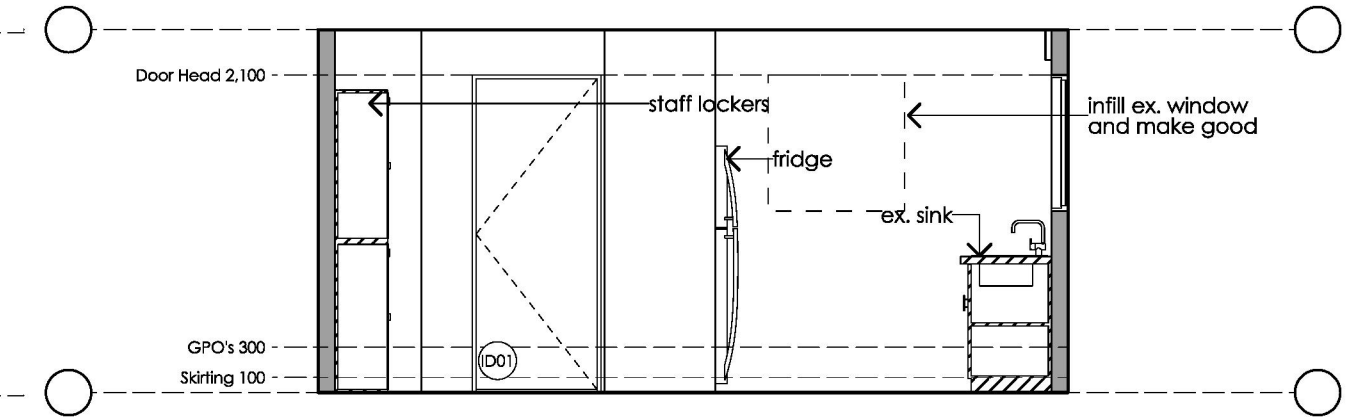
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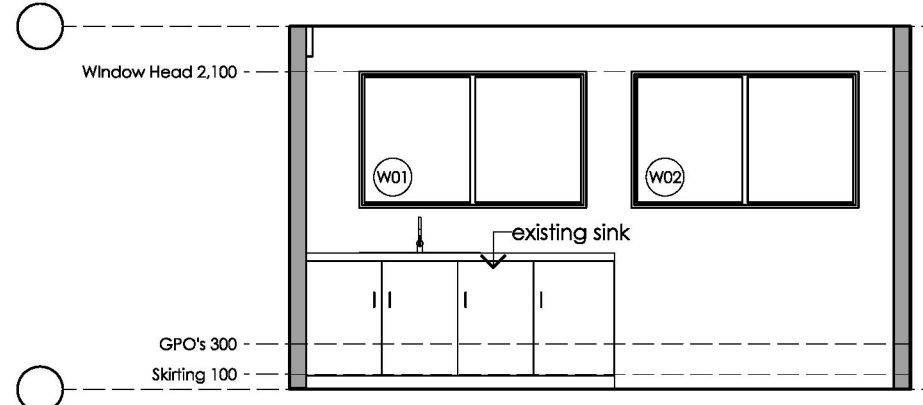




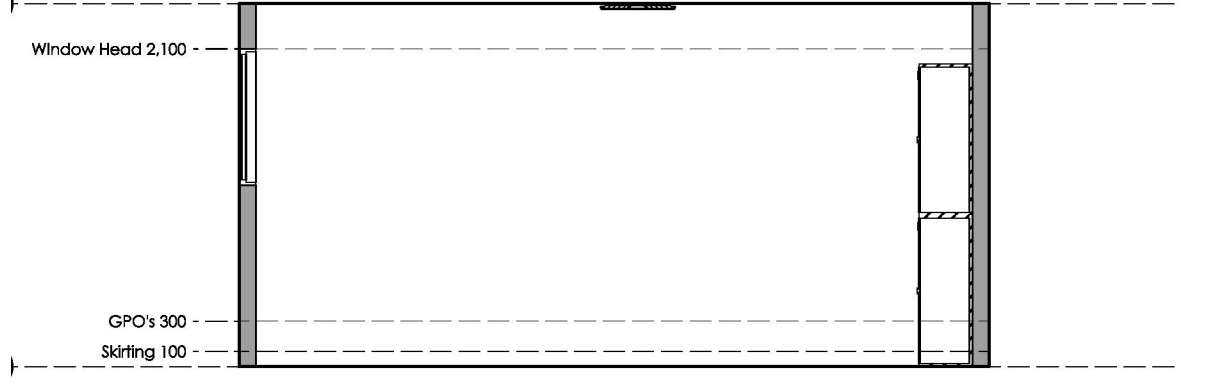
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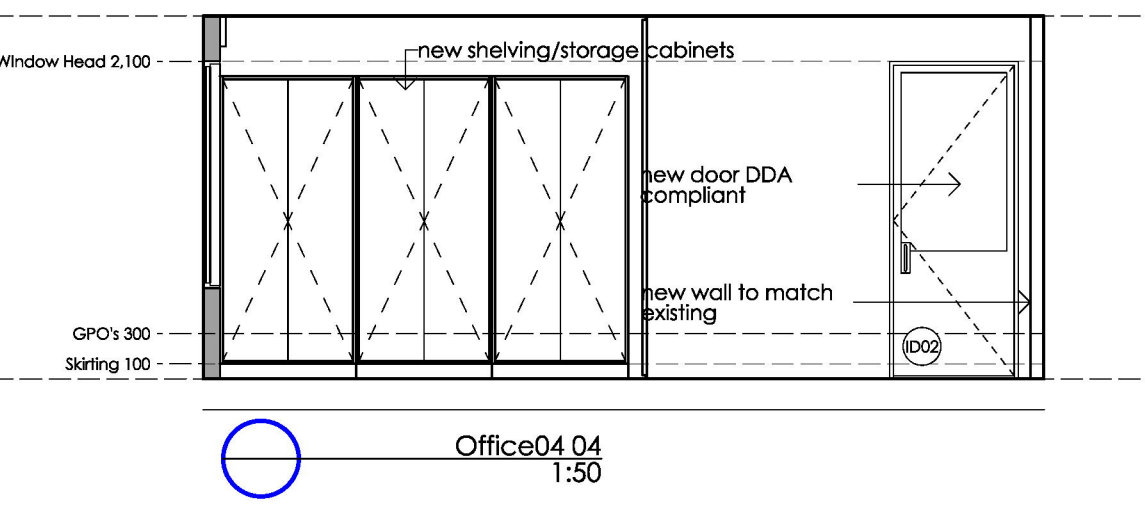
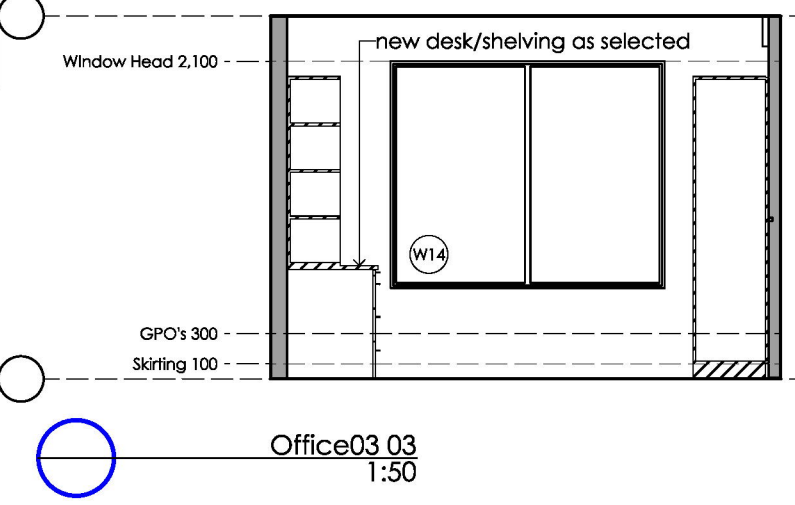
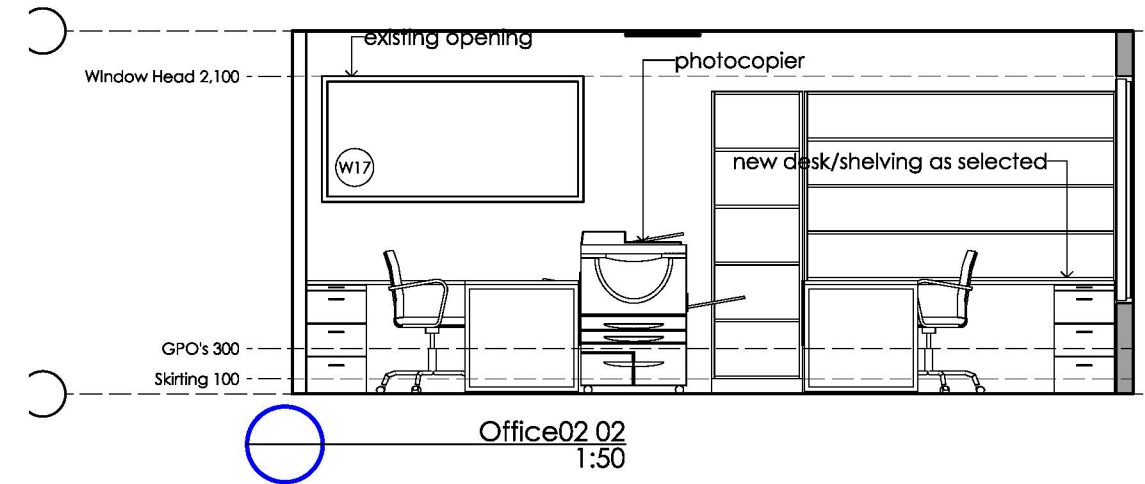
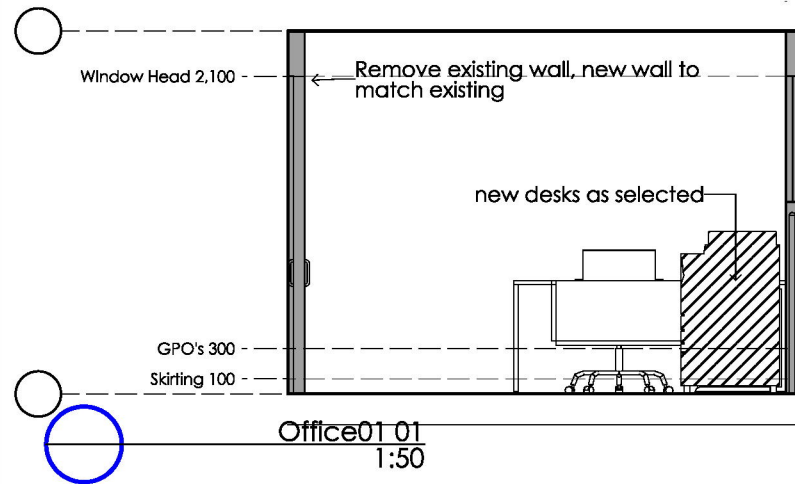
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Date 01/04/20	Drawn by	Sheet size A3	Project No. 200201	Issue C

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
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 70 Glenbrook St, Jamisontown  
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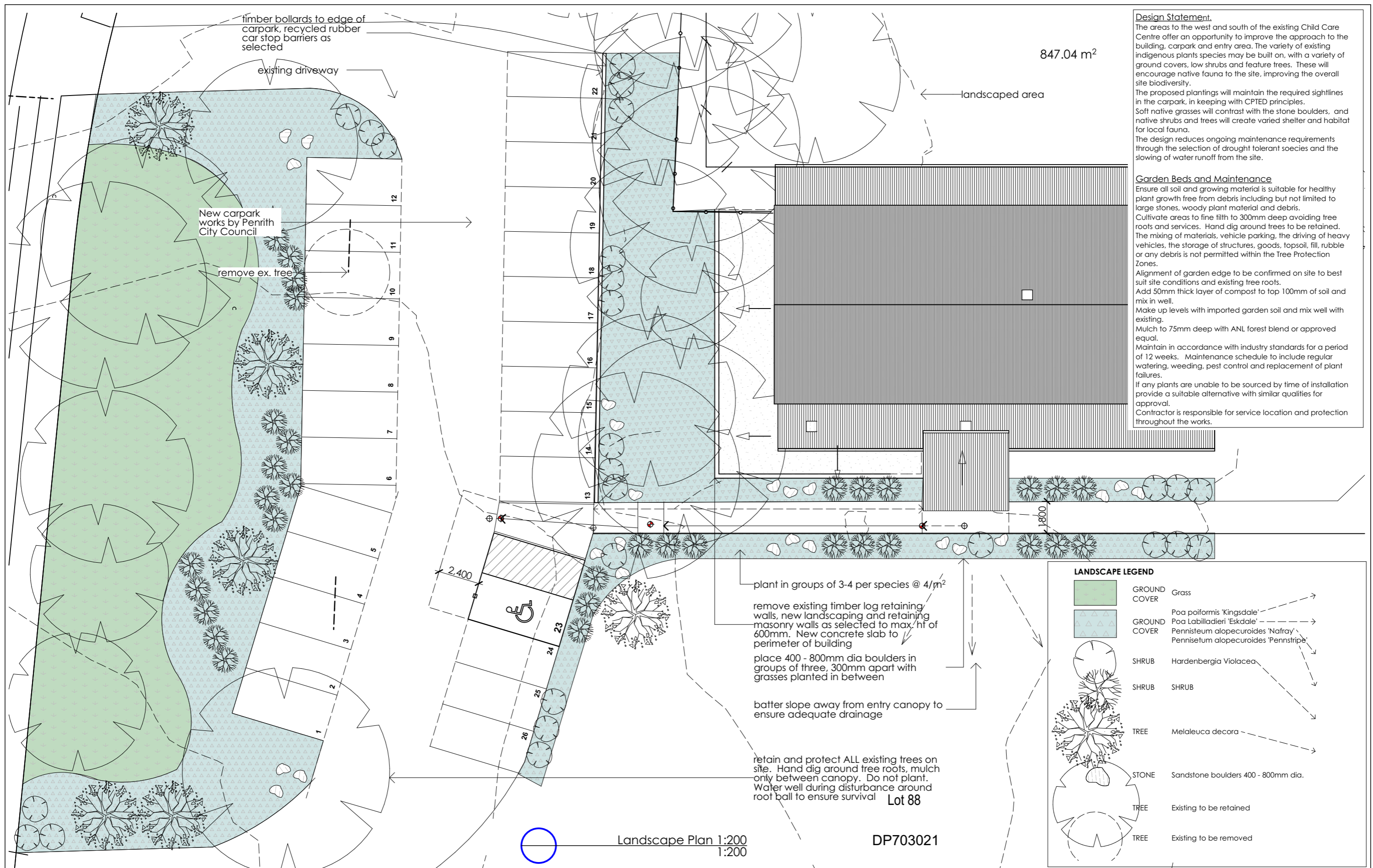
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 Drawn by  
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 Project No.  
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SURVEY - NOT TO SCALE

<p>Issue</p> <p>A</p> <p>B</p> <p>C</p>	<p>Date</p> <p>17/09/18</p> <p>13/02/20</p> <p>17/04/20</p>	<p>Amendments</p> <p>Sketch design</p> <p>Construction Documentation - For Comment</p> <p>Development application</p>		<p>Scale 1:100</p> 	<p><b>NOTES</b></p> <p>Structural engineering as required for all new structural works, including paths, slabs, new walls, roof, columns, beams. Refer to Access report for accessibility requirements. Refer to Specifications.</p> <p>NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.</p>	<p><b>PENRITH CITY COUNCIL</b></p> <p>Client</p> <p><b>Penrith City Council</b> 601 High Street Penrith NSW</p>	<p>Address</p> <p><b>Jamisontown Childcare Centre</b> 70 Glenbrook St, Jamisontown NSW 2750</p>	<p>Stage</p> <p><b>Development Application</b></p> <p>Drawing Title</p> <p><b>SURVEY EXISTING</b></p> <p>Drawing No.</p> <p><b>200201A23</b></p> <p>Date</p> <p><b>01/04/20</b></p> <p>Drawn by</p> <p>Sheet size</p> <p><b>A3</b></p> <p>Project No.</p> <p><b>200201</b></p> <p>Issue</p> <p><b>C</b></p>	<p>PO Box 32 Kurrajong NSW 2758 p 02 4573 1320 e barbara@btarchitects.com.au www.btarchitects.com.au</p>  <p><b>Barbara Tarnawski Architects Pty Ltd</b></p> <p>CHECK ALL DIMENSIONS ON SITE. REFER ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS</p>
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**Design Statement.**  
 The areas to the west and south of the existing Child Care Centre offer an opportunity to improve the approach to the building, carpark and entry area. The variety of existing indigenous plants species may be built on, with a variety of ground covers, low shrubs and feature trees. These will encourage native fauna to the site, improving the overall site biodiversity.  
 The proposed plantings will maintain the required sightlines in the carpark, in keeping with CPTED principles. Soft native grasses will contrast with the stone boulders, and native shrubs and trees will create varied shelter and habitat for local fauna.  
 The design reduces ongoing maintenance requirements through the selection of drought tolerant species and the slowing of water runoff from the site.

**Garden Beds and Maintenance**  
 Ensure all soil and growing material is suitable for healthy plant growth free from debris including but not limited to large stones, woody plant material and debris. Cultivate areas to fine till to 300mm deep avoiding tree roots and services. Hand dig around trees to be retained. The mixing of materials, vehicle parking, the driving of heavy vehicles, the storage of structures, goods, topsoil, fill, rubble or any debris is not permitted within the Tree Protection Zones.  
 Alignment of garden edge to be confirmed on site to best suit site conditions and existing tree roots. Add 50mm thick layer of compost to top 100mm of soil and mix in well. Make up levels with imported garden soil and mix well with existing. Mulch to 75mm deep with ANL forest blend or approved equal. Maintain in accordance with industry standards for a period of 12 weeks. Maintenance schedule to include regular watering, weeding, pest control and replacement of plant failures.  
 If any plants are unable to be sourced by time of installation provide a suitable alternative with similar qualities for approval. Contractor is responsible for service location and protection throughout the works.

847.04 m<sup>2</sup>

landscaped area

New carpark works by Penrith City Council

remove ex. tree

timber bollards to edge of carpark, recycled rubber car stop barriers as selected

existing driveway

plant in groups of 3-4 per species @ 4/m<sup>2</sup>

remove existing timber log retaining walls, new landscaping and retaining masonry walls as selected to max. ht of 600mm. New concrete slab to perimeter of building

place 400 - 800mm dia boulders in groups of three, 300mm apart with grasses planted in between

batter slope away from entry canopy to ensure adequate drainage

retain and protect ALL existing trees on site. Hand dig around tree roots, mulch only between canopy. Do not plant. Water well during disturbance around root ball to ensure survival

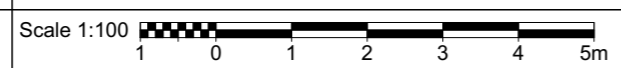
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DP703021

Landscape Plan 1:200  
1:200

LANDSCAPE LEGEND	
	GROUND COVER Grass
	GROUND COVER Poa poiformis 'Kingsdale' Poa Labillardieri 'Eskdale' Pennisetum alopecuroides 'Nafra' Pennisetum alopecuroides 'Penstripe'
	SHRUB Hardenbergia Violacea
	SHRUB SHRUB
	TREE Melaleuca decora
	STONE Sandstone boulders 400 - 800mm dia.
	TREE Existing to be retained
	TREE Existing to be removed

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 NSW 2750

Stage  
**Development Application**  
 Drawing Title  
**LANDSCAPE CONCEPT PLAN**  
 Drawing No.  
**200201A24**  
 Date  
**01/04/20** Drawn by Sheet size Project No. Issue  
**A3 200201 C**

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