

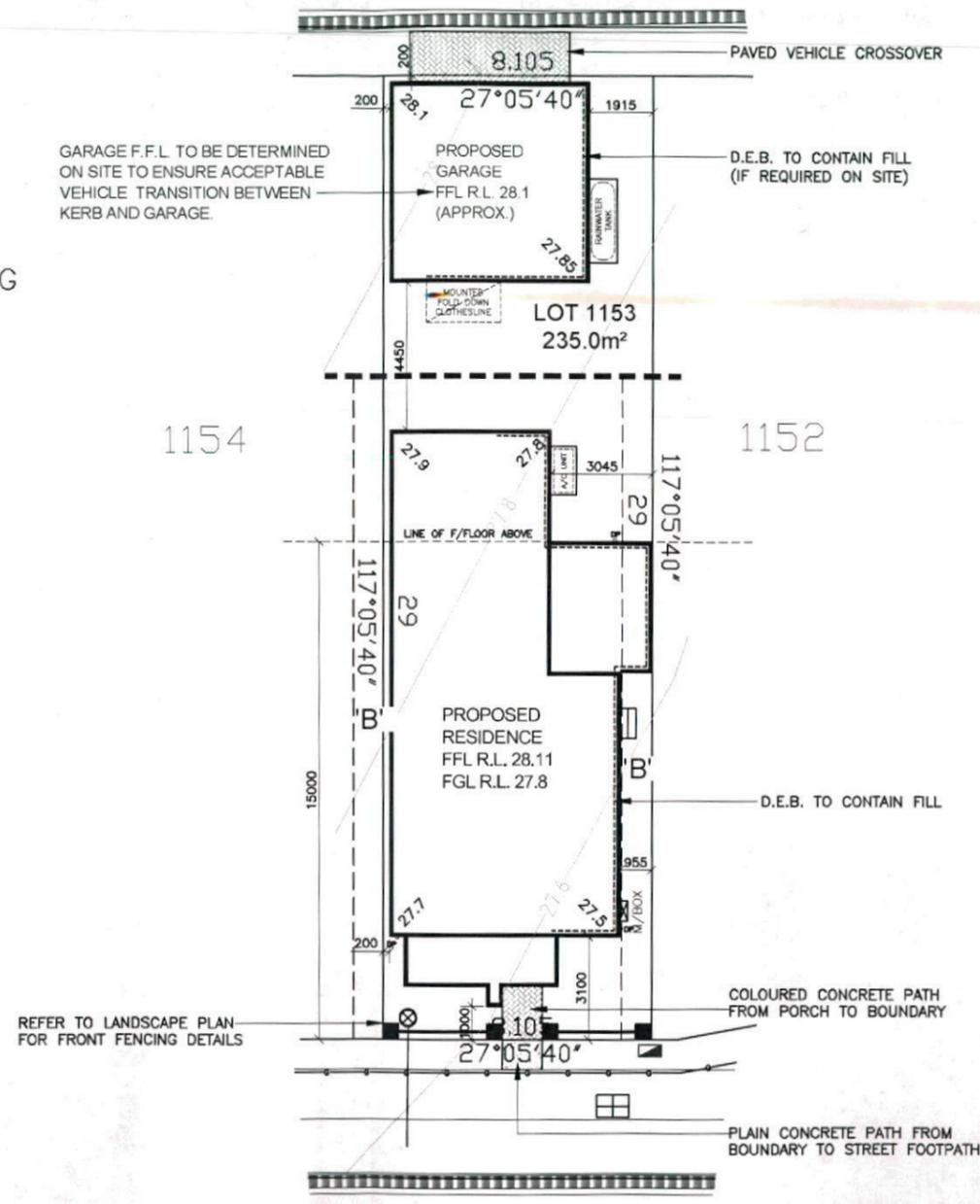
STORMWATER PIT & DRAINAGE LINE  
 SEWER STRUCTURE, LINE & CONCRETE ENCASING  
 WATER MAIN, HYDRANT & STOP VALVE  
 WATER METER  
 STREET LIGHT  
 ELECTRICAL LV PILLAR & CONDUIT  
 NBN PIT & CONDUIT  
 GAS MAIN

'B' - PROPOSED EASEMENT FOR SERVICES, OVERHANG, ACCESS & MAINTENANCE 0.9 WIDE

Lot 1153 Sydney Smith Drive, North Penrith - Thornton.			
SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for complete details. For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
Fixtures			
3 Star Shower Heads	Yes	4 Star Toilet	Yes
4 Star Kitchen Taps	Yes	4 Star Basin Taps	Yes
Alternative Water			
Minimum Tank Size (L)	3000	Collected From Roof Area (m2)	157.7
Alternative Water Supply Connected To:			
All Toilets	Yes	Laundry W/M Cold Tap	No
1 x Outdoor Tap	Yes		
THERMAL COMFORT COMMITMENTS - Refer to next table			
ENERGY COMMITMENTS			
Hot Water	Gas Instantaneous - 5.5 Star		
Cooling System	Living	3 Phase Air Conditioning	EER 3.0-3.5
	Bedrooms	3 Phase Air Conditioning	EER 3.0-3.5
Heating System	Living	3 Phase Air Conditioning	EER 3.5-4.0
	Bedrooms	3 Phase Air Conditioning	EER 3.5-4.0
Ventilation	Bathroom	Individual Fan (Ducted)	Interlocked to Light
	Kitchen	Individual Fan (Ducted)	Manual On / Off
	Laundry	Natural ventilation	Natural
Natural Lighting	Window / Skylight in Kitchen		No
	Window/Skylight in Bathrooms/Toilets	Yes	No
Artificial Lighting	Number of bedrooms/study	4	No
	Number of Living/Dining rooms	0	No
	Kitchen	0	No
	All Bathrooms/Toilets	3	No
OTHER COMMITMENTS	Outdoor clothes line	Yes	Gas Cooktop
		Yes	Yes

Thermal Performance Specifications - BASIX COMMITMENTS				
External Wall Construction	Insulation	Colour (Solar Absorptance)	Detail	
Brick Veneer	Min. R2.0	Any		
Internal Wall Construction	Insulation	Detail		
Plasterboard on studs	none			
Ceiling Construction	Insulation	Detail		
Plasterboard	Min. R3.0 to ceilings adjacent to roof space			
Roof Construction	Insulation	Colour (Solar Absorptance)	Detail	
Concrete roof tiles	Foil / Sarking	Dark		
Floor Construction	Insulation	Covering	Detail	
Concrete	none	As drawn (if not noted default values used)		
Windows	Glass and frame type	U	SHGC	Area sq m
Single clear	Timber	5.71	0.66	0.45
Single clear	Improved Aluminium	6.44	0.75	21.4
Single clear	Standard Aluminium	7.63	0.75	2.85
U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 10% higher or lower than the above figures.				
External Window Cover	Detail			
Fixed shading - Eaves	Width includes guttering, offset is distance above windows			
Width: 450	Offset: 0	Nominal only, refer to plan for detail		
Fixed shading				
Shaded areas as drawn				
Ventilation and Infiltration to Habitable Rooms				
Open fire no damper	no	Exhaust fans no dampers	no	
Door and window seals	no	Vented skylights	no	
Vented downlights	no	Fixed wall or ceiling vents	no	
*No* means that the item was not included in the assessment and shall not be installed.				

# CLEVELAND LANE



**GENERAL NOTES:**  
 - This drawing is to be read in conjunction with all other architectural & consultants drawings & specifications for the works.  
 - Dimensions in preference to scale.  
 - Verify all dimensions on site prior to construction.  
 - All ground lines are approximate.  
 - All work to be carried out in accordance with Local Council Codes, the B.C.A., Australian Standards and any relevant authorities.  
 - Wind Rating refer to framing manufacturer's specification.



RECEIVED  
 22 JUL 2013  
 PENRITH CITY COUNCIL

AREAS	
SITE:	235.0m <sup>2</sup>
GROUND FLOOR:	90.8m <sup>2</sup>
FIRST FLOOR:	82.71m <sup>2</sup>
GARAGE:	35.88m <sup>2</sup>
PORCH:	6.96m <sup>2</sup>
ALFRESCO:	8.23m <sup>2</sup>
BALCONY:	6.96m <sup>2</sup>
TOTAL:	231.54m <sup>2</sup>

LANDSCAPE AREA	
SITE AREA:	235.0m <sup>2</sup>
TOTAL HARD SURFACE AREAS:	170.82m <sup>2</sup>
REMAINING SOFT AREA:	64.18m <sup>2</sup>
LANDSCAPE AREA:	27.31%
MINIMUM REQUIRED BY COUNCIL:	N.A.%

P.O.S. AREA 58.3m<sup>2</sup> (24.8%)



Product:  
**8.1m PRODUCT**  
 Facade 2  
 Rear Loaded Garage

Client:  
**MR JEREMY MEEKS**  
 Site Address:  
 LOT 1153 D.P. 1171491  
 SYDNEY SMITH DRIVE  
 NORTH PENRITH - THORNTON

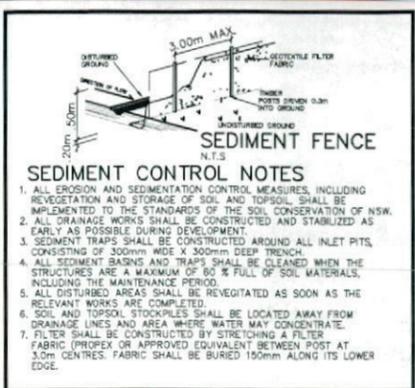
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 24.08.12  
 Council:  
 PENRITH COUNCIL

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 Sheet No.  
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 Issue:  
 H  
 Job No:  
**210198**

B	24.09.12	DEVELOPER APPROVAL PLANS-AMENDMENTS	D.L.
C	16.11.12	AIR CONDITION DUCTING AND UNIT ADDED	C.V.
D	29.01.13	AMENDMENTS TO SUIT COUNCIL FEED BACK	C.V.
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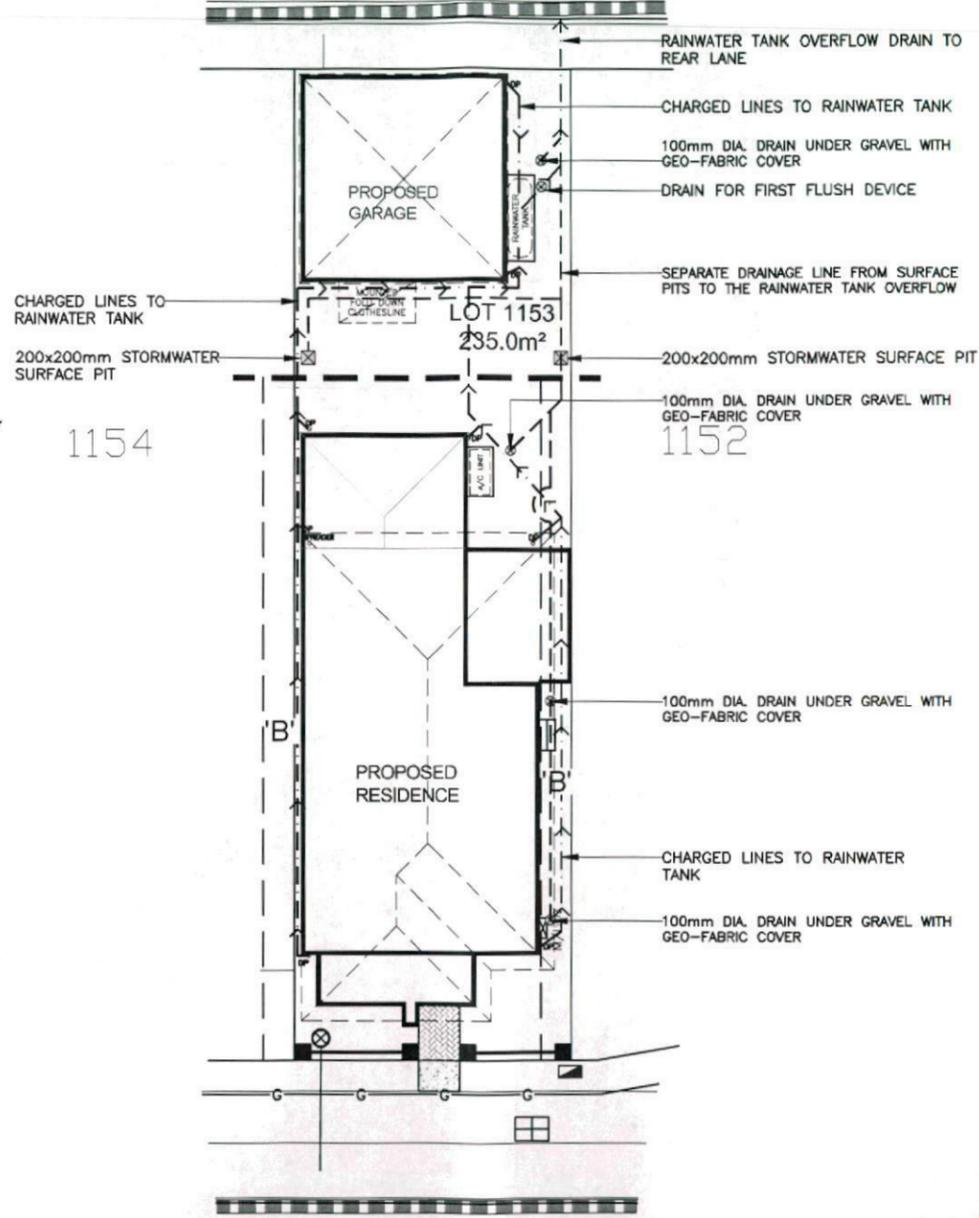
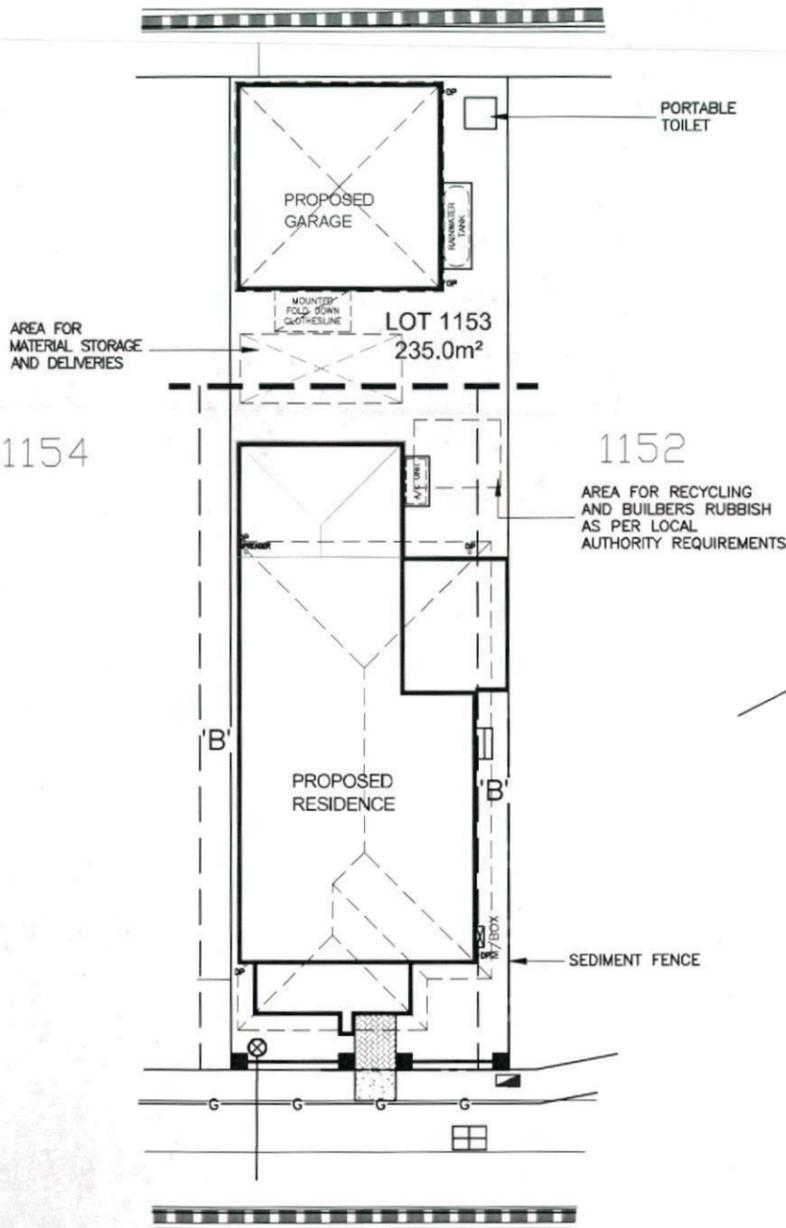


'B' - PROPOSED EASEMENT FOR SERVICES, OVERHANG, ACCESS & MAINTENANCE 0.9 WIDE

**STORMWATER DRAINAGE  
LINES TO REAR LANE  
(VIA CHARGED LINES TO RAINWATER TANK)**

**CLEVELAND LANE**

**CLEVELAND LANE**



**SYDNEY SMITH DRIVE**

**SYDNEY SMITH DRIVE**



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Facade 2  
Rear Loaded Garage**

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NORTH PENRITH - THORNTON**

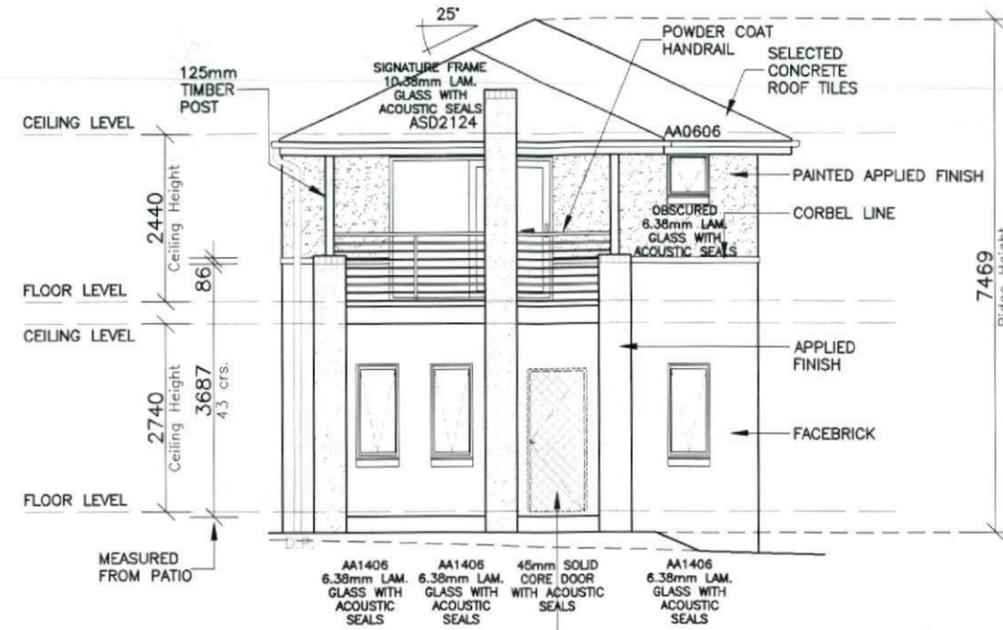
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**24.08.12**  
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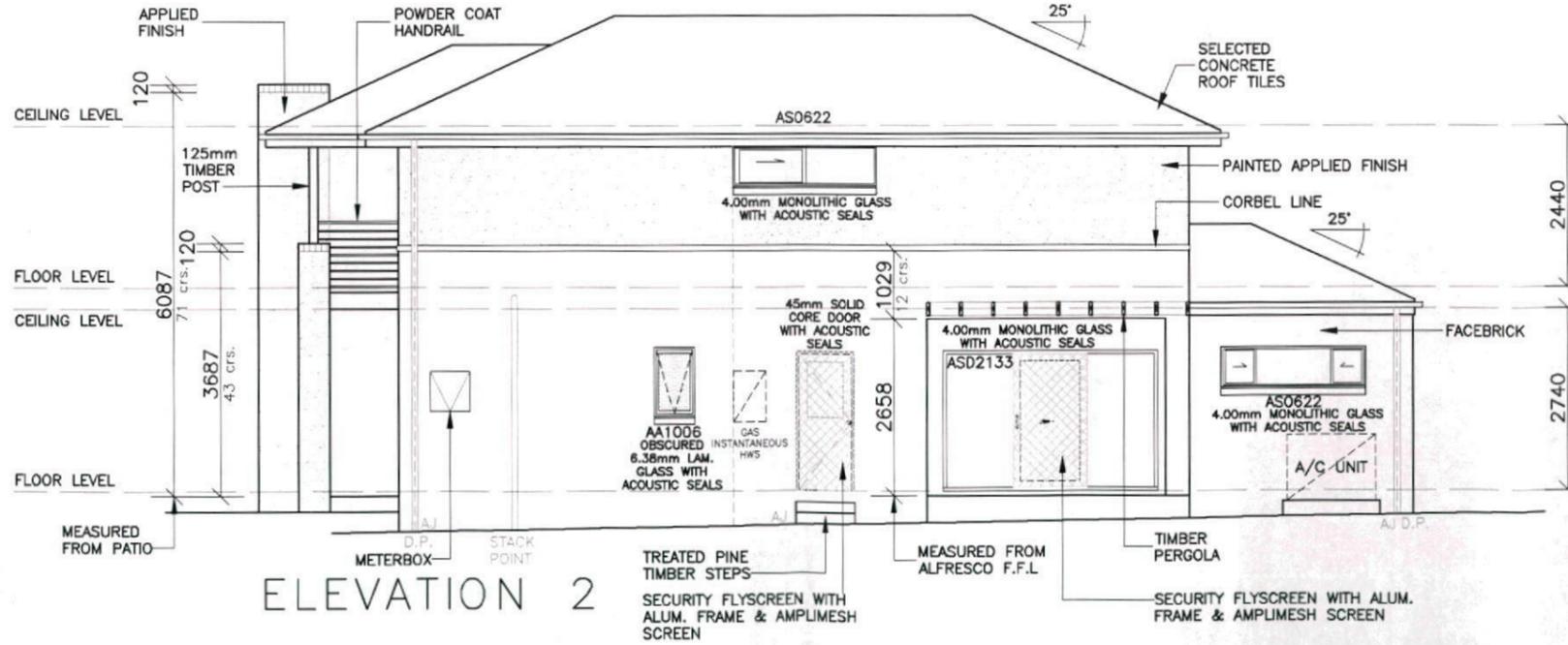
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ELEVATION 1

PROVIDE A HINGED AMPLIMESH SECURITY DOOR



ELEVATION 2



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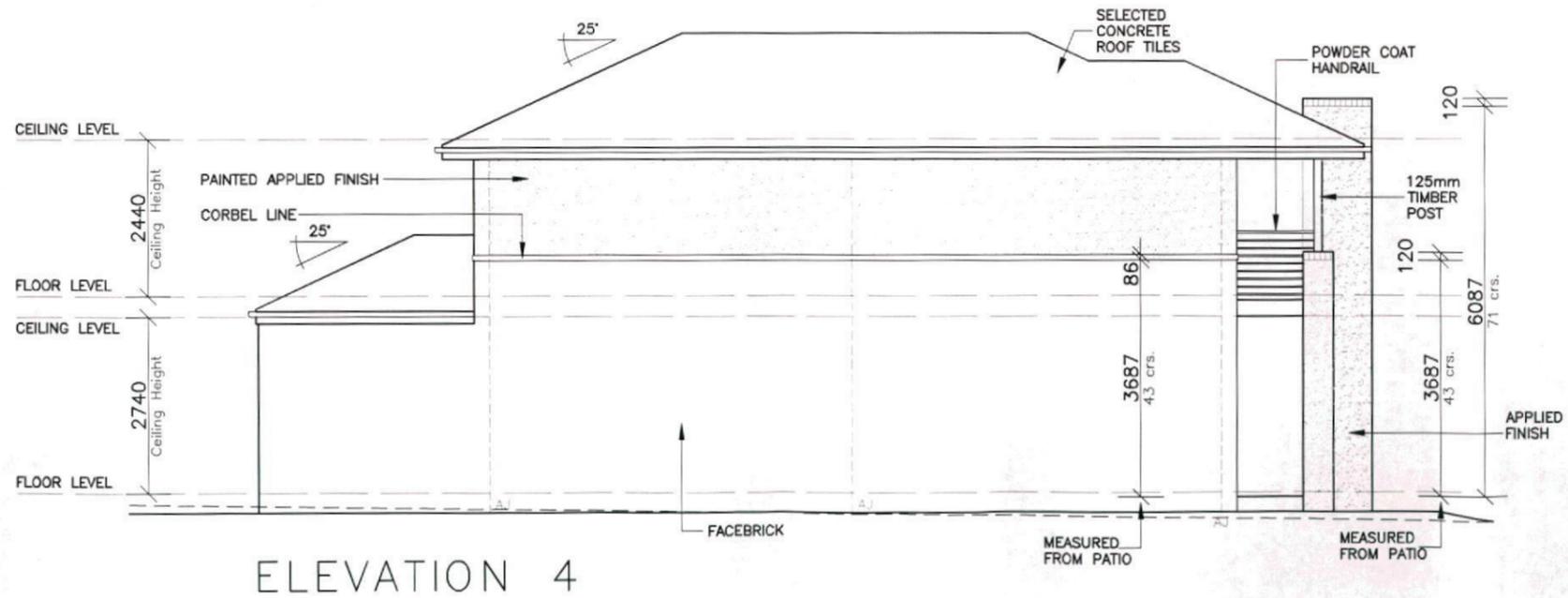
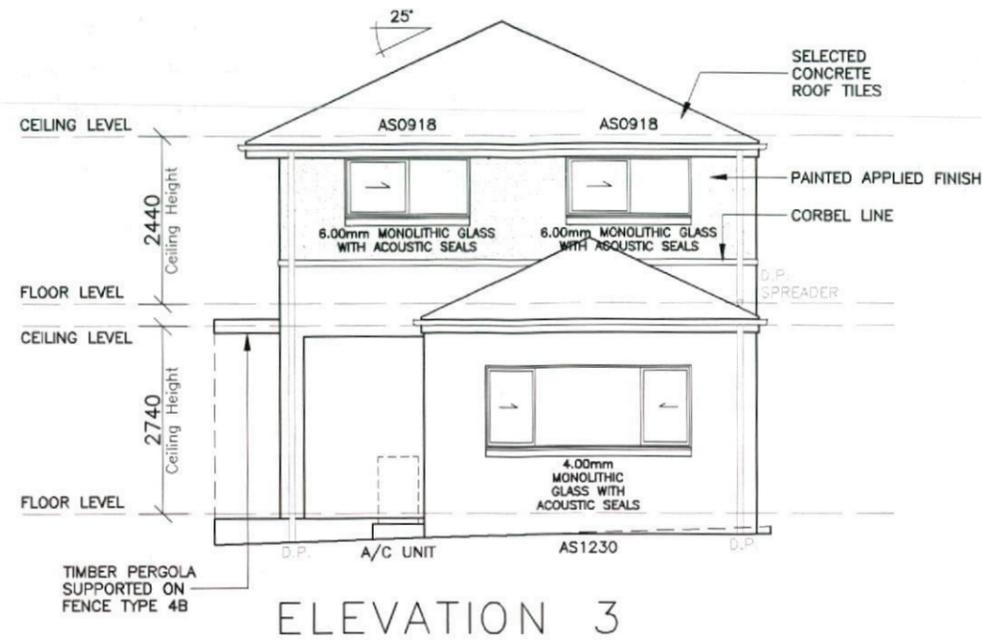
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Client:  
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Site Address:  
 LOT 1153 D.P. 1171491  
 SYDNEY SMITH DRIVE  
 NORTH PENRITH - THORNTON

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Council:  
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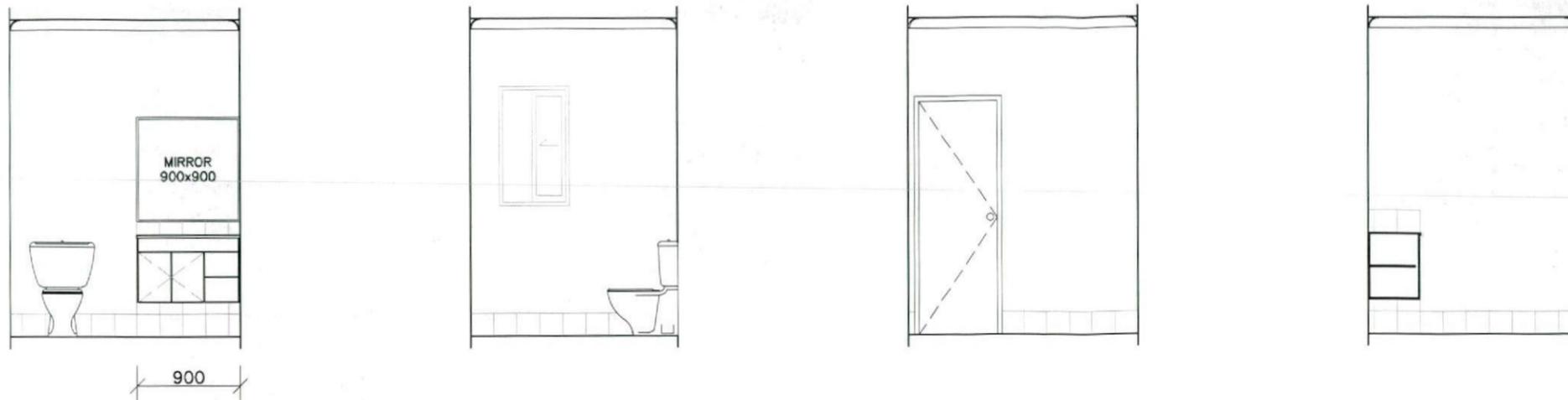
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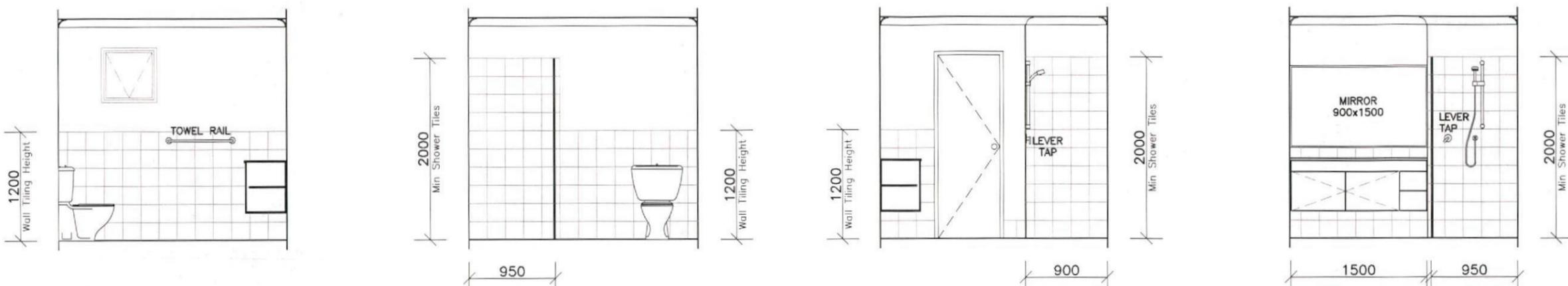
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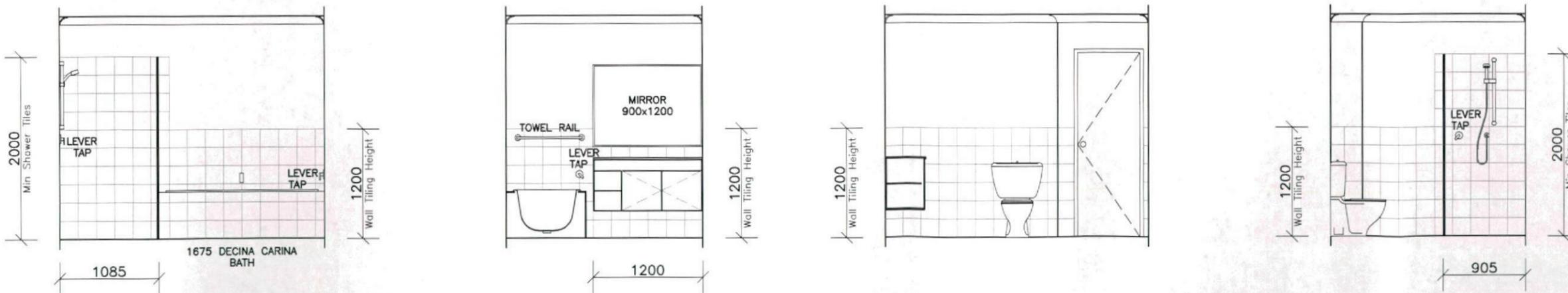
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 FOR BATHROOM AND  
 ENSUITE SETOUT DETAILS.



POWDER DETAILS



ENSUITE DETAILS



BATHROOM DETAILS



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 Site Address:  
 LOT 1153 D.P. 1171491  
 SYDNEY SMITH DRIVE  
 NORTH PENRITH - THORNTON

Dwg Title:  
**KITCHEN & WET AREAS**  
 Date:  
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 Council:  
 PENRITH COUNCIL

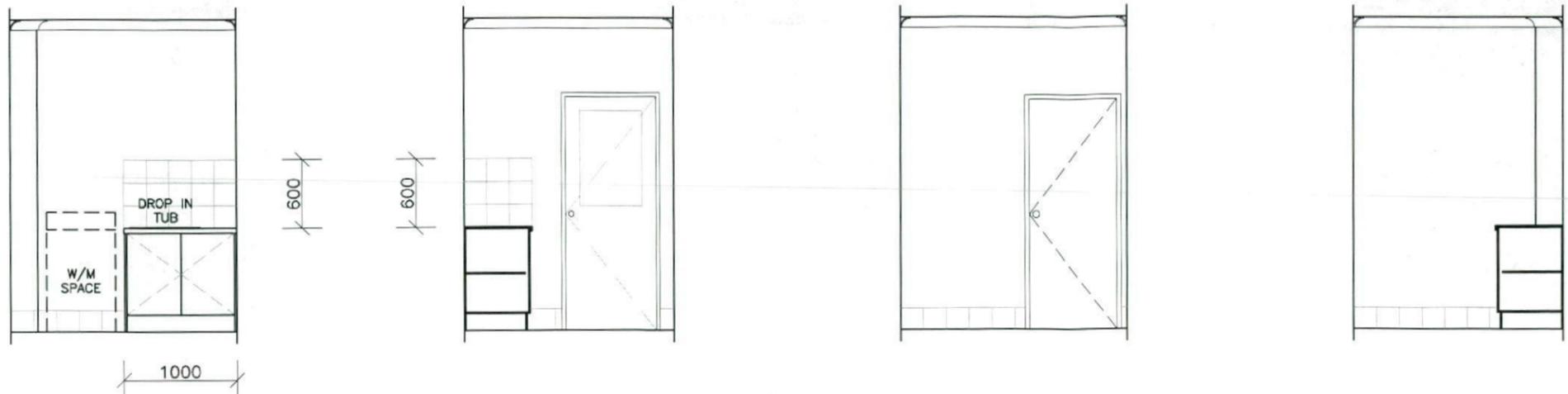
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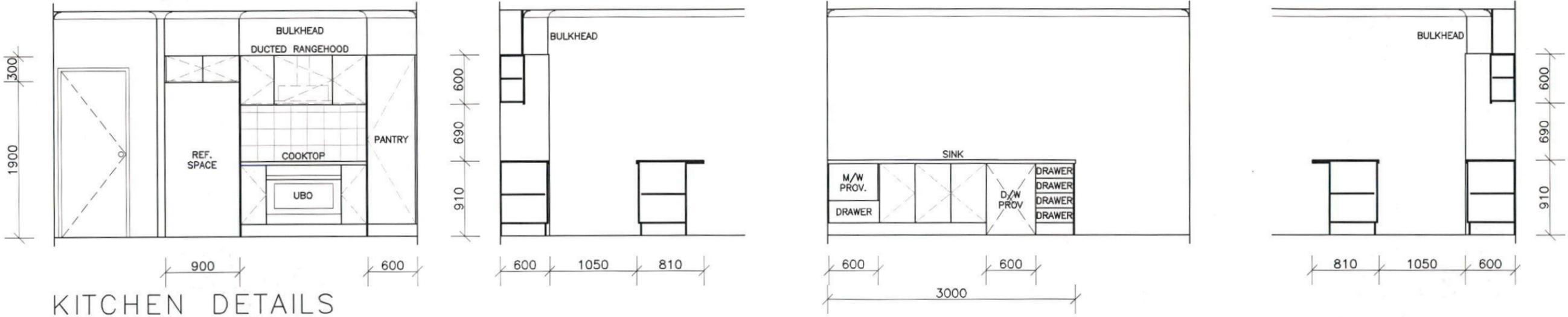
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LAUNDRY DETAILS



KITCHEN DETAILS



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 Rear Loaded Garage

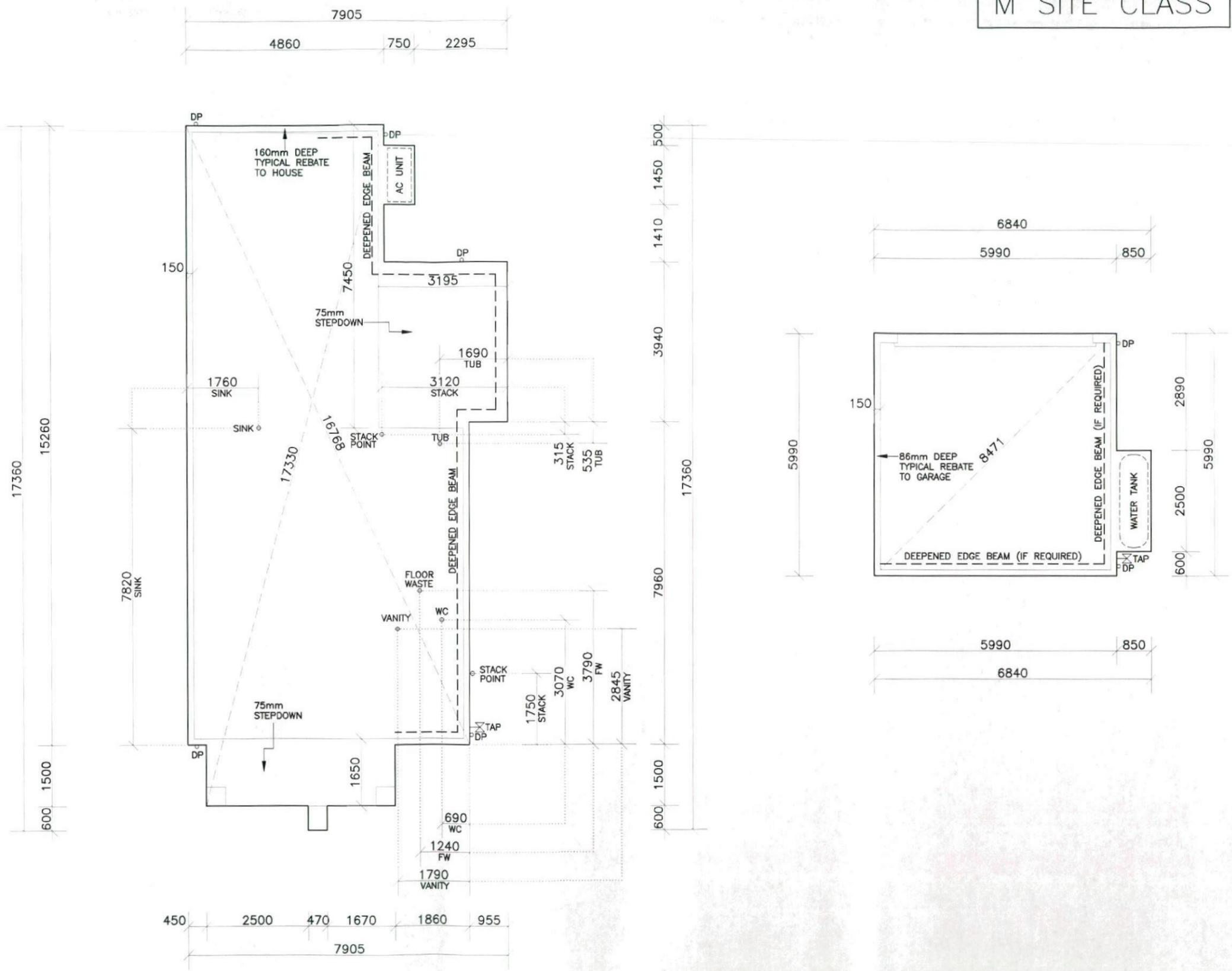
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**MR JEREMY MEEKS**  
 Site Address:  
 LOT 1153 D.P. 1171491  
 SYDNEY SMITH DRIVE  
 NORTH PENRITH - THORNTON

Dwg Title:  
**KITCHEN & WET AREAS**  
 Date:  
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 Facade 2  
 Rear Loaded Garage

Client:  
**MR JEREMY MEEKS**

Site Address:  
 LOT 1153 D.P. 1171491  
 SYDNEY SMITH DRIVE  
 NORTH PENRITH - THORNTON

Dwg Title:  
**SLAB PLAN**

Date:  
 24.08.12

Council:  
**PENRITH COUNCIL**

Sheet:  
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Scale:  
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Sheet No.  
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Issue:  
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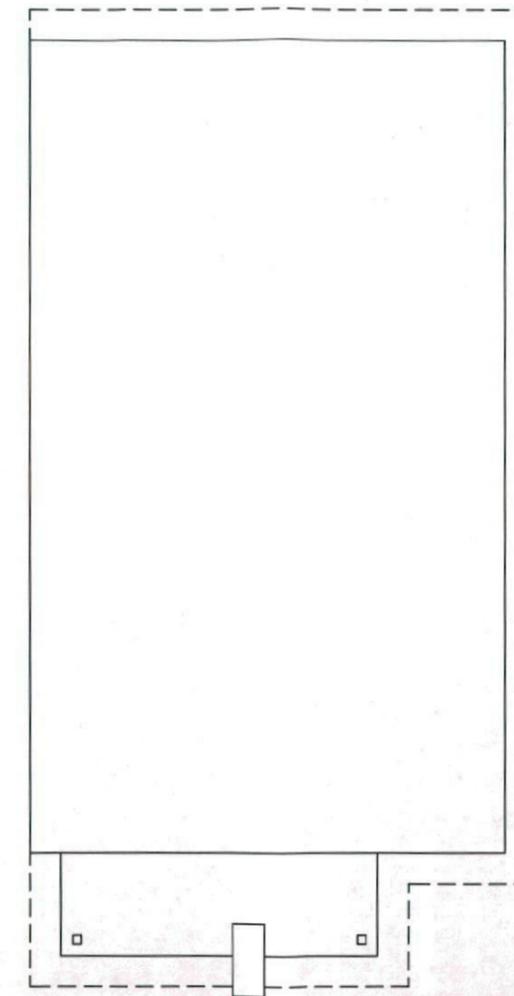
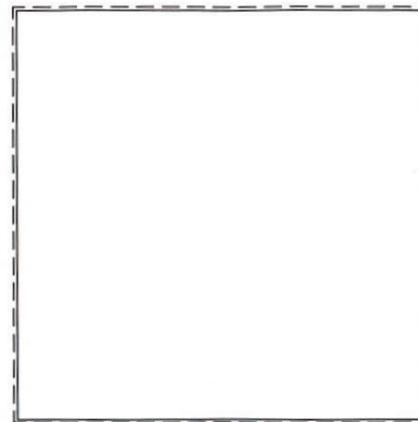
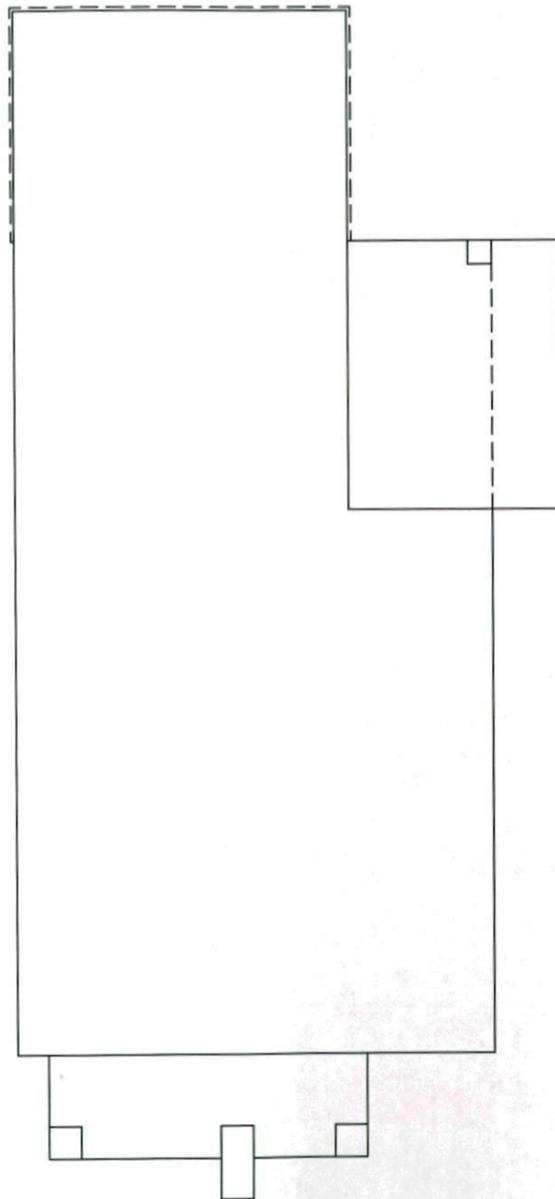
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GROUND FLOOR EAVE LAYOUT

GARAGE EAVE LAYOUT

FIRST FLOOR EAVE LAYOUT



Product:  
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 Facade 2  
 Rear Loaded Garage

Client:  
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 Site Address:  
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 SYDNEY SMITH DRIVE  
 NORTH PENRITH - THORNTON

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