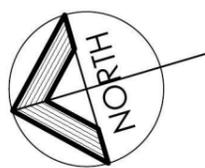


**NOTE:**  
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



**NORTH**  
LOT 2204  
365.80m<sup>2</sup>

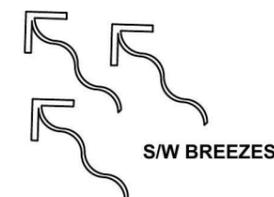
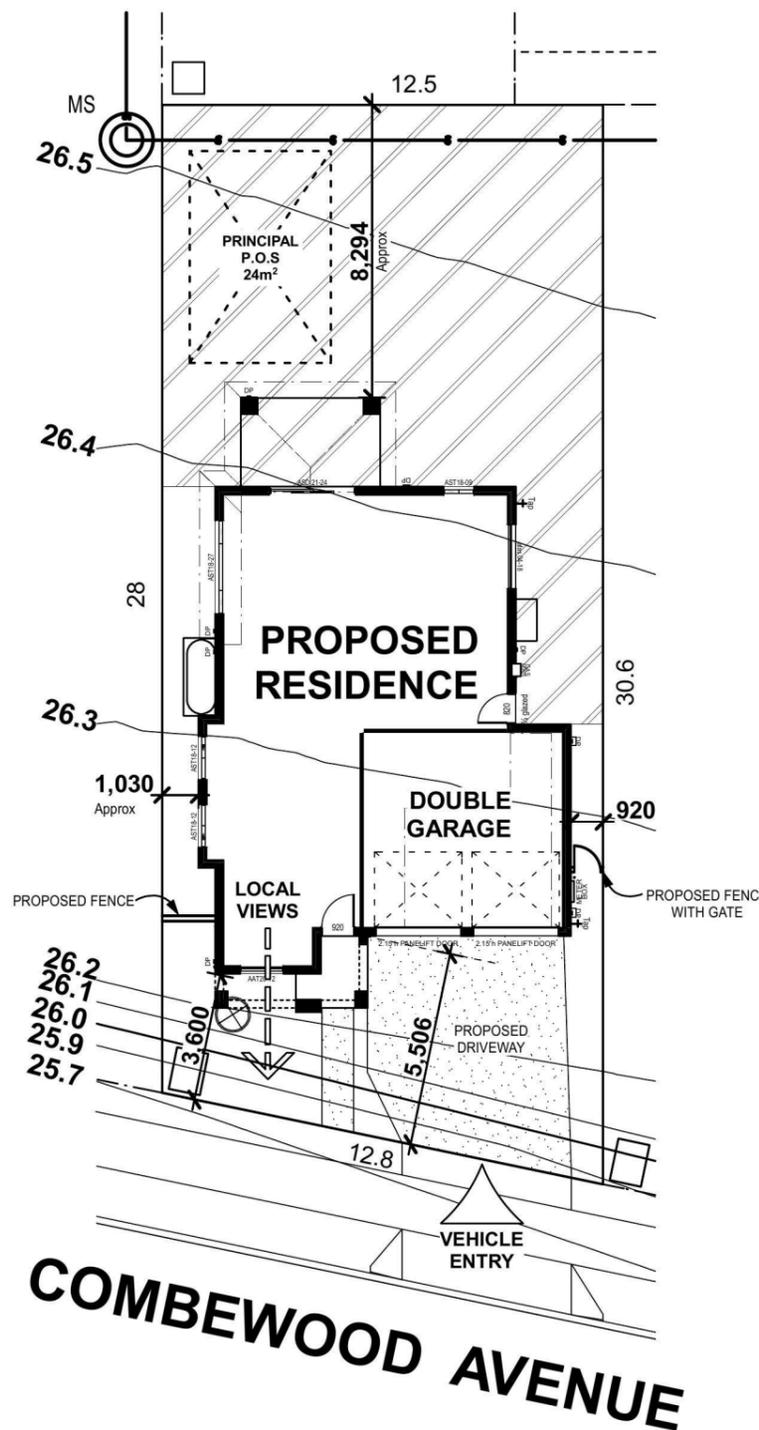
**NORTH PENRITH "THORNTON" REQUIREMENTS:**

**SITE AREA:** 365.8m<sup>2</sup>

**PRIVATE OPEN SPACE:**  
REQUIRED: 20% or 73.16m<sup>2</sup>  
ACHIEVED: 42% or 151.84m<sup>2</sup>

**LANDSCAPE AREA:**  
ACHIEVED: 42% or 154.83m<sup>2</sup>

**CARPARKING:**  
REQUIRED: 2 SPACES  
ACHIEVED: 2 SPACES



**Energy Rating** Certificate Number **15430316**

single-dwelling rating **4.5** stars

multi-unit development (attach listing of ratings) heating **68.9** MJ/m<sup>2</sup>  
cooling **46.1** MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number **Luis Contigiani** BDAV/13/1543

Assessor Signature *[Signature]* Date **12.05.2014**

ALL GLAZING TO BE NFRC VALUE R 1.5 TO ALL INTERNAL GARAGE WALLS ONLY  
OF UW = 6.66 OR LESS AND  
SHGCw = 0.70 +/- 10 %  
SARKING TO ROOF  
R 3.5 INSULATION TO ALL CEILING  
R 1.5 BATTES TO ALL EXT. WALLS

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	N/A mm FROM F.F.L.

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.



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Fax (02) 9825 8110  
Builders Licence No. 92732C

Revision	Date	Amendment
B	04.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	26.03.14	CONTRACT DRAWINGS - BT

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Proposed Residence  
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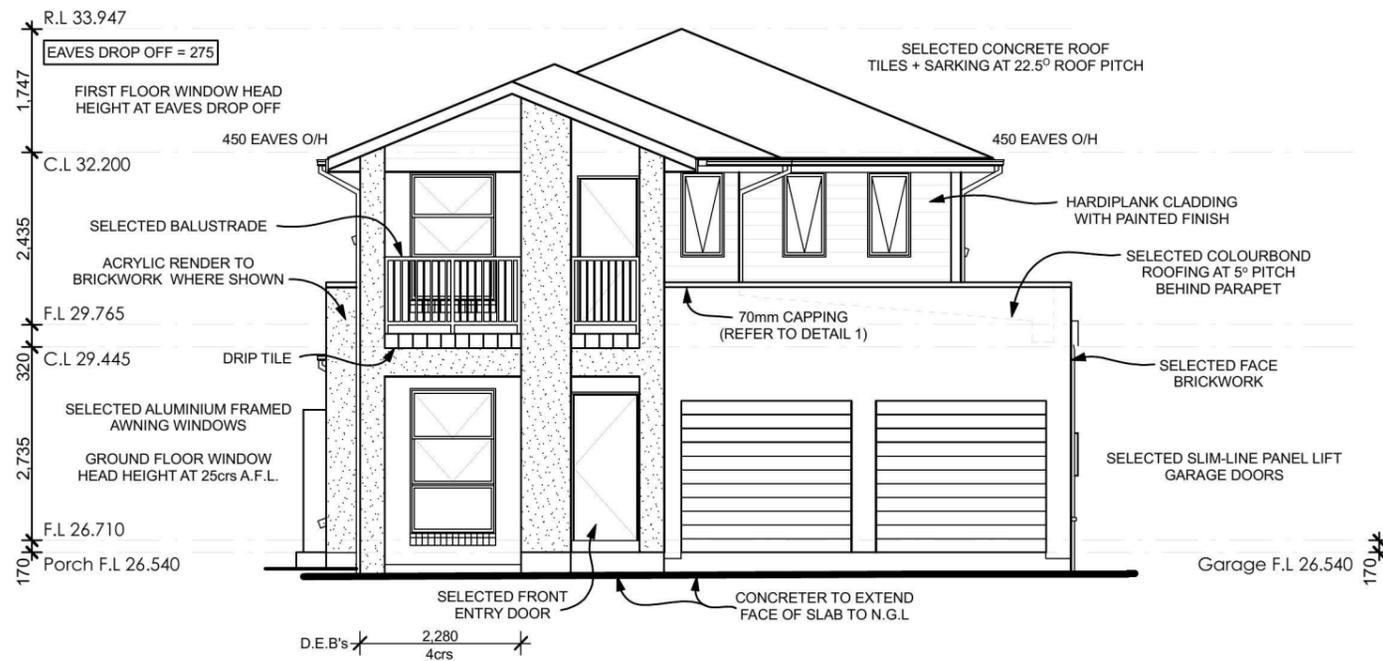
Plot Date  
Wed 11 Jun 2014

Client :  
**Champion Homes**

Sheet Size: A3 Date: 26.03.14 Drawn: BT

Design :  
**Custom Design**

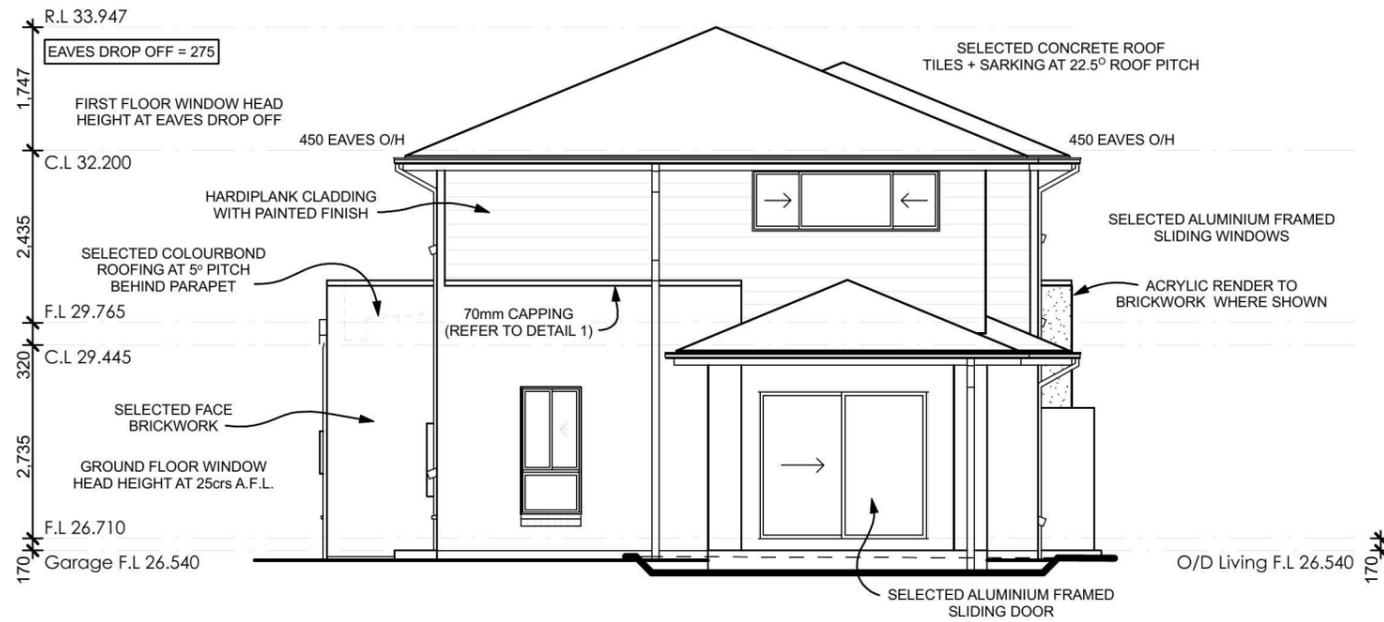
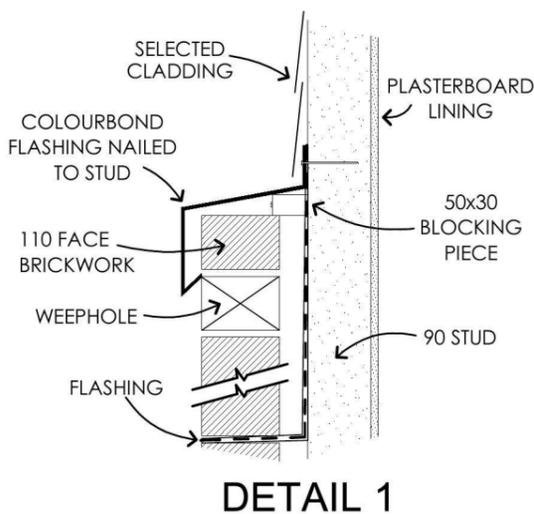
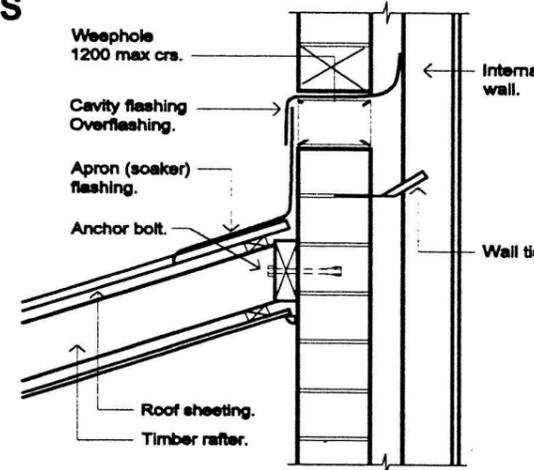
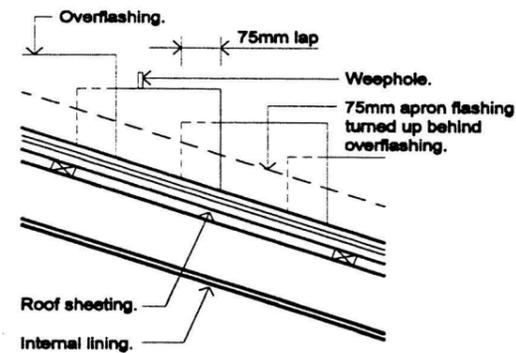
Job No. **3157N** Sheet 2 of 11



## Western Elevation

SCALE 1:100

## STEPPED CAVITY FLASHINGS



## Eastern Elevation

SCALE 1:100

### PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

	<b>Energy Rating</b>	Certificate Number <b>15430316</b>
<input checked="" type="checkbox"/> single-dwelling rating		<b>4.5</b> stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating	<b>68.9</b> MJ/m <sup>2</sup>
	cooling	<b>46.1</b> MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number <b>Luis Contigiani</b>		BDAV/13/1543
Assessor Signature		Date <b>12.05.2014</b>

ALL GLAZING TO BE NFRC VALUE OF UFW = 0.56 OR LESS AND SHGCW = 0.70 +/- 10% SARKING TO ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTES TO ALL EXT. WALLS

Plot Date  
Wed 11 Jun 2014

Client :  
**Champion Homes**

Sheet Size: A3 Date: 26.03.14 Drawn: BT

Design :  
**Custom Design**

Job No. **3157N** Sheet 8 of 11

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	N/A mm FROM F.F.L.

Figured dimensions to be used in preference to scaling this drawing.  
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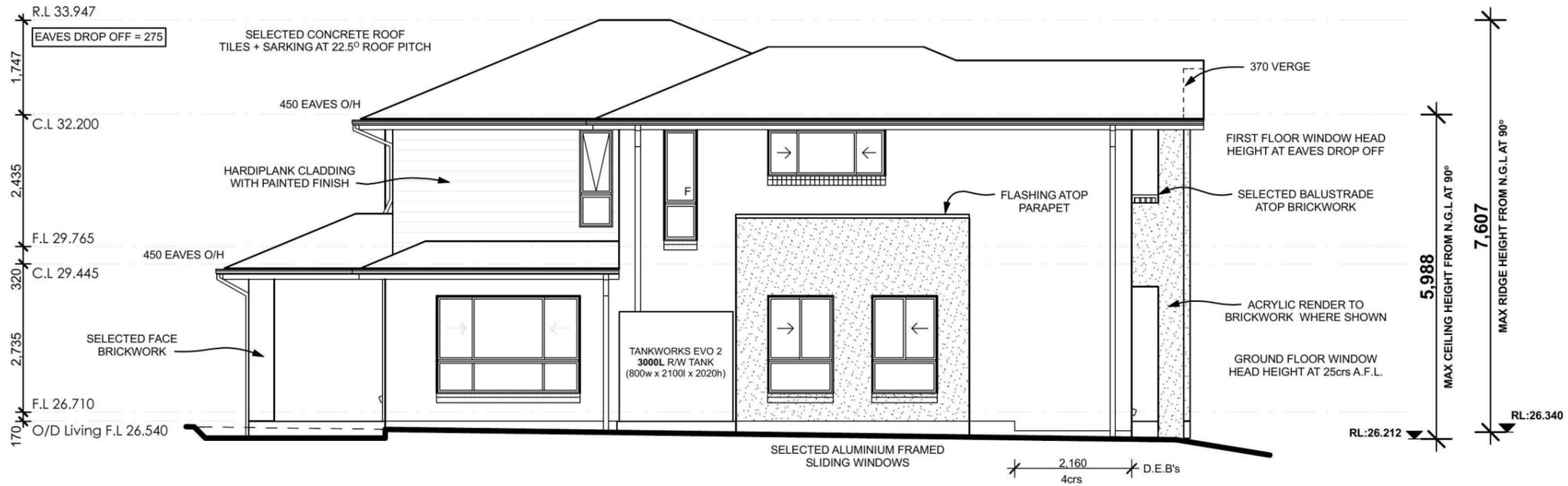


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Revision	Date	Amendment
B	04.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	26.03.14	CONTRACT DRAWINGS - BT

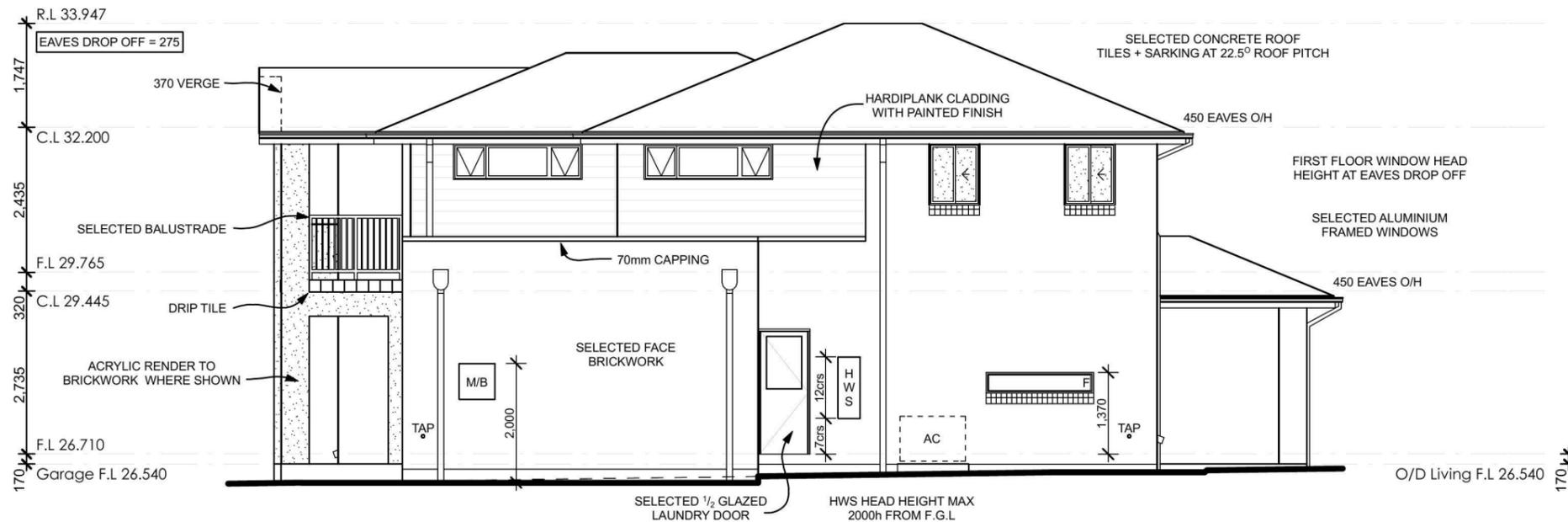
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## Northern Elevation

SCALE 1:100



## Southern Elevation

SCALE 1:100

### PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

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<b>Energy Rating</b>		Certificate Number	15430316
<input checked="" type="checkbox"/> single-dwelling rating		4.5	stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating	68.9	MJ/m <sup>2</sup>
	cooling	46.1	MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without			
Assessor Name/Number		Luis Contigiani	BDAV/13/1543
Assessor Signature		<i>[Signature]</i>	Date 12.05.2014

ALL GLAZING TO BE NFRC VALUE R 1.5 TO ALL INTERNAL GARAGE WALLS ONLY  
OF UW = 6.66 OR LESS AND SHGCw = 0.70 +/- 10 %  
SARKING TO ROOF R 3.5 INSULATION TO ALL CEILING R 1.5BATTS TO ALL EXT. WALLS

Plot Date  
Wed 11 Jun 2014

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

Wind Speed : Class = N2

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EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	N/A mm FROM F.F.L.

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

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Client :  
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Sheet Size: A3 Date: 26.03.14 Drawn: BT  
Design :  
**Custom Design**

Job No. **3157N** Sheet 9 of 11

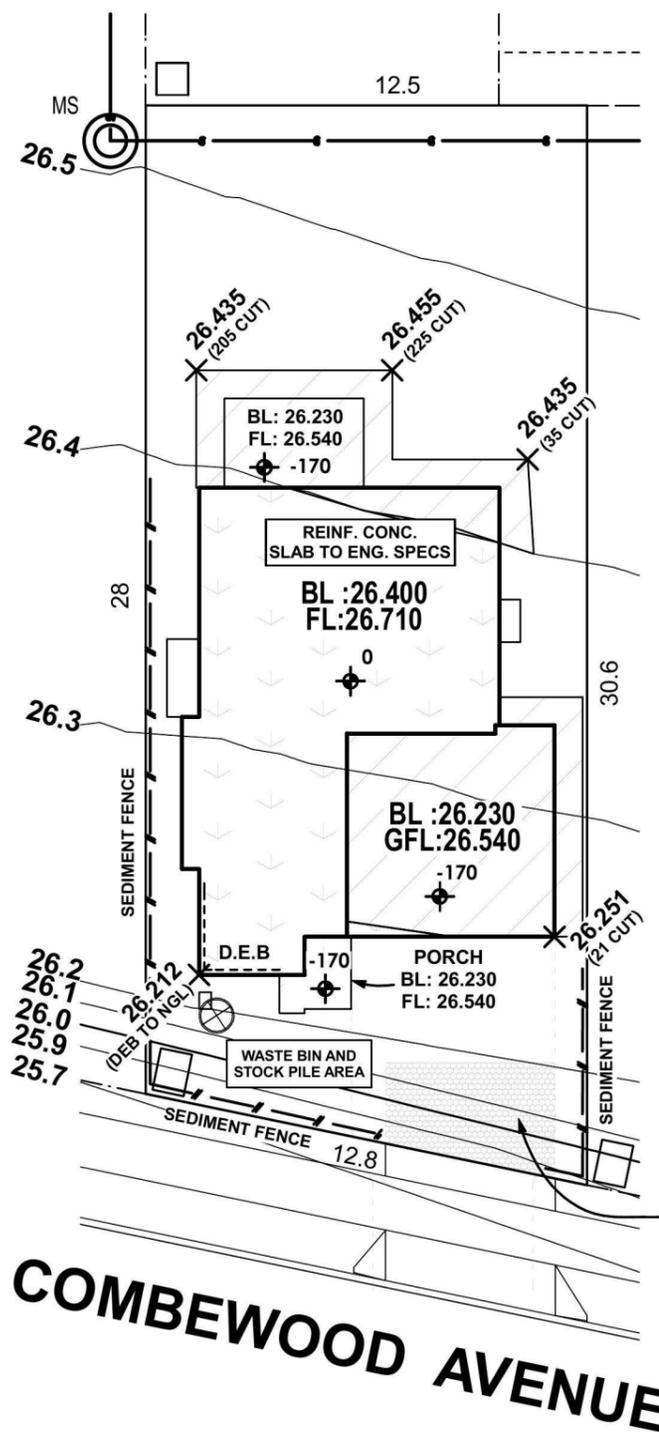
# Erosion & Sediment Control Plan

SCALE 1:200

**NOTE:**  
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR

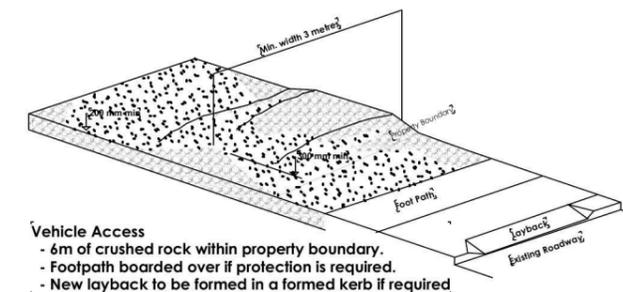
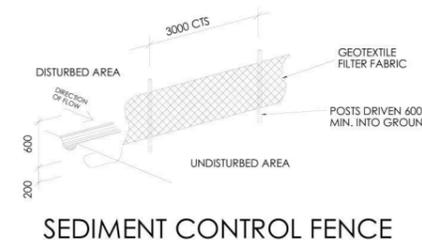


**NORTH**  
LOT 2204  
365.80m<sup>2</sup>



## SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY.  
FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT.  
SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS  
REMAIN AT THE DISCRETION OF THE BUILDER.



100mm THICK CRUSHED ROCK TO ALL WEATHER ACCESS

	<b>Energy Rating</b>	Certificate Number <b>15430316</b>
<input checked="" type="checkbox"/> single-dwelling rating		<b>4.5</b> stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating	<b>68.9</b> MJ/m <sup>2</sup>
	cooling	<b>46.1</b> MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number <b>Luis Contigiani</b>		BDAV/13/1543
Assessor Signature <i>[Signature]</i>		Date <b>12.05.2014</b>

ALL GLAZING TO BE NFRC VALUE - R 1.5 TO ALL INTERNAL GARAGE WALLS ONLY  
OF UW = 6.66 OR LESS AND  
SHGCw = 0.70 +/- 10 %  
SARKING TO ROOF  
R 3.5 INSULATION TO ALL CEILING  
R 1.5 BATTs TO ALL EXT. WALLS

Plot Date  
Wed 11 Jun 2014

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

Wind Speed : Class = N2

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GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	N/A mm FROM F.F.L.

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

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Client :  
**Champion Homes**

Sheet Size: A3 Date: 26.03.14 Drawn: BT  
Design :  
**Custom Design**

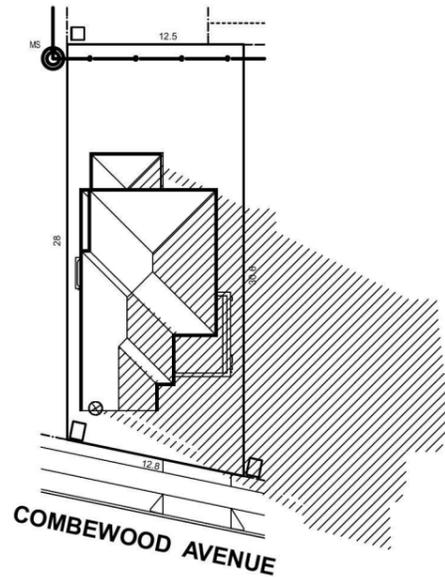
Job No. **3157N** Sheet 3 of 11

# Shadow Diagrams

NOTE:  
FINAL SITING AND LEVELS OF  
PROPOSED RESIDENCE, TO BE  
CONFIRMED UPON RECEIPT OF  
CONTOUR SURVEY PREPARED  
BY BUILDER'S SURVEYOR



**NORTH**  
LOT 2204  
365.80m<sup>2</sup>

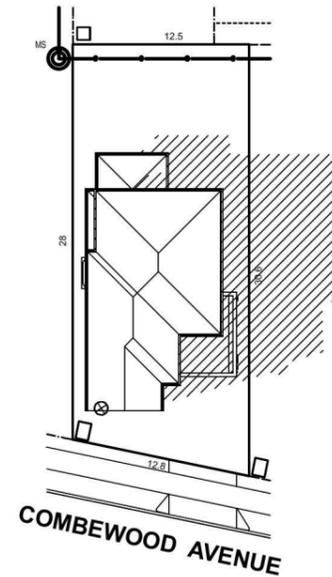


**June 21st - 9am**  
SCALE 1:500

NOTE:  
FINAL SITING AND LEVELS OF  
PROPOSED RESIDENCE, TO BE  
CONFIRMED UPON RECEIPT OF  
CONTOUR SURVEY PREPARED  
BY BUILDER'S SURVEYOR



**NORTH**  
LOT 2204  
365.80m<sup>2</sup>

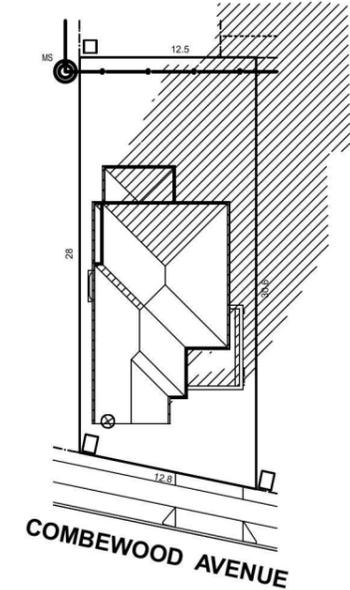


**June 21st - 12noon**  
SCALE 1:500

NOTE:  
FINAL SITING AND LEVELS OF  
PROPOSED RESIDENCE, TO BE  
CONFIRMED UPON RECEIPT OF  
CONTOUR SURVEY PREPARED  
BY BUILDER'S SURVEYOR



**NORTH**  
LOT 2204  
365.80m<sup>2</sup>



**June 21st - 3pm**  
SCALE 1:500

**SITE & SLAB  
CLASSIFICATION  
IS TO BE CONFIRMED**

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
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BALCONY	N/A mm FROM F.F.L.

Figured dimensions to be used in preference to scaling this drawing.  
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Plot Date  
Wed 11 Jun 2014

Client :  
**Champion Homes**

Sheet Size: A3 Date: 26.03.14 Drawn:BT

Design :  
**Custom Design**

Job  
No. **3157N** Sheet 4 of 11

	<b>Energy Rating</b>	Certificate Number <b>15430316</b>
<input checked="" type="checkbox"/> single-dwelling rating		<b>4.5</b> stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating	<b>68.9</b> MJ/m <sup>2</sup>
<small>If selected, data specified is the average across the entire development</small>	cooling	<b>46.1</b> MJ/m <sup>2</sup>
Recessed downlights confirmation:	<input checked="" type="checkbox"/> Rated with	<input type="checkbox"/> Rated without
Assessor Name/Number	Luis Contigiani	BDAV/13/1543
Assessor Signature		Date <b>12.05.2014</b>

ALL GLAZING TO BE NFRC VALUE - R 1.5 TO ALL INTERNAL GARAGE WALLS ONLY  
OF UW = 6.66 OR LESS AND  
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SARKING TO ROOF  
R 3.5 INSULATION TO ALL CEILING  
R 1.5BATTS TO ALL EXT. WALLS

**NOTE:**

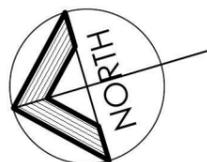
FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.

FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

# Proposed Site & Drainage Plan

SCALE 1:200

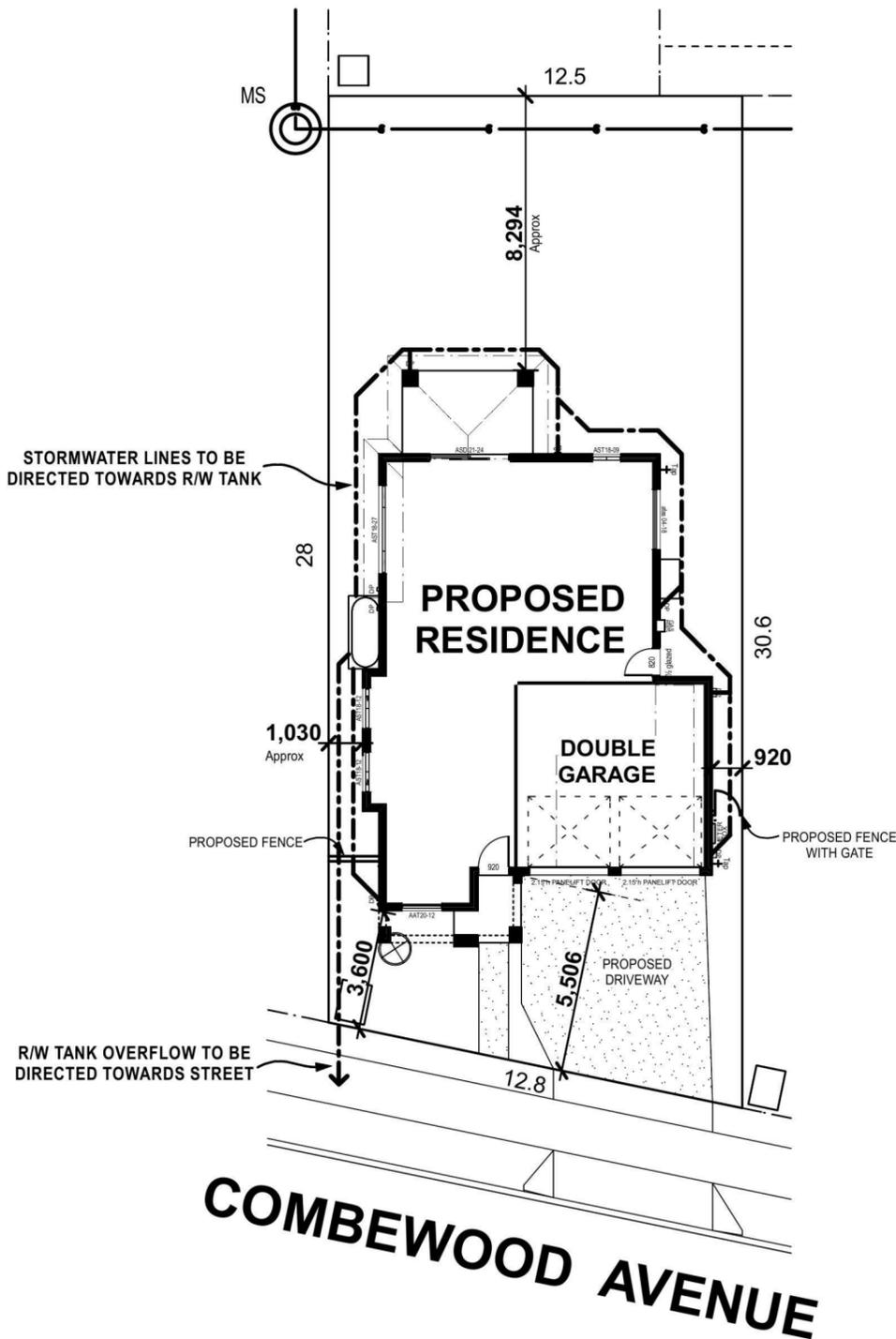
**NOTE:**  
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**NORTH**  
LOT 2204  
365.80m<sup>2</sup>

**SUPPLEMENTARY B.C.A ENERGY EFFICIENCY CLAUSES FOR NatHERS / BASIX ASSESSMENTS**

3.12.1.1	Building fabric thermal insulation	Any Insulation installation required by plans must be fitted in alignment with this clause.
3.12.1.2 (e)		Recompense for any reduced ceiling insulation is required to comply with this clause ( any downlights installed must be non - ventilated ). Recompense for loss of any ceiling insulation is not necessary when suitable approved non - ventilated down light covers are supplied, as these provide continuous flow of insulation.
3.12.3.3	External Windows & Doors	The sealing of any windows or doors must be in conformity with this clause.
3.12.3.4	Exhaust Fans	<b>Refer to Current B.C.A for Detailed specification</b>
3.12.3.5	Construction of Roofs, Walls & Floors	The sealing of roofs , walls and / or floors must align with this clause.
3.12.5.0	Acceptable Construction Manuals	Installation of any hot water systems must abide by this clause.
3.12.5.1	Insulation of Services	Installation of any services must observe requirements of this clause.
3.12.5.3	Heating & Cooling Ductwork	Ductwork insulation to cooling & heating systems must abide by this clause.



**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
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GARAGE	170 mm FROM F.F.L.
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BALCONY	N/A mm FROM F.F.L.

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Plot Date  
Wed 11 Jun 2014

Client :  
**Champion Homes**

Sheet Size: A3 Date: 26.03.14 Drawn: BT

Design :  
**Custom Design**

Job No. **3157N** Sheet 1 of 11

**Energy Rating** Certificate Number **15430316**

single-dwelling rating **4.5** stars

multi-unit development (attach listing of ratings) heating **68.9** MJ/m<sup>2</sup>  
cooling **46.1** MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Luis Contigiani BDAV/13/1543

Assessor Signature [Signature] Date **12.05.2014**

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SARKING TO ROOF  
R 3.5 INSULATION TO ALL CEILING  
R 1.5 BATTES TO ALL EXT. WALLS

# Lot 2204 Combwood

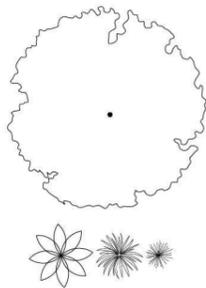
## PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aw	Agapanthus 'White'	White Agapanthus	13	200mm	0.5m
Dg	Dietes grandiflora	Wild Iris	3	200mm	1m
Gfs	Gardenia 'Four Seasons'	Four Seasons Gardenia	7	200mm	1m
Li	Lagerstroemia indica 'Natchez'	White Crepe Myrtle	1	75L	8m
Ndb	Nandina domestica 'Blush'	Dwarf Sacred Bamboo	21	200mm	0.6m
Vo	Viburnum odoratissimum	Sweet Viburnum	8	300mm	2.5m
Vh	Viola hederacea	Native Violet	8	150mm	0.1m

### LOT PLANTING SUMMARY

Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
61	8	13	40	1

Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)



#### LEGEND

Proposed trees - refer to plant schedule

Proposed accents & grasses - refer to plant schedule



Proposed shrubs - refer to plant schedule



Proposed groundcovers and grasses - refer to plant schedule



Existing levels

+RL 101.55

Proposed levels

+TOW 101.55

Proposed Top Of Wall levels



Boundary



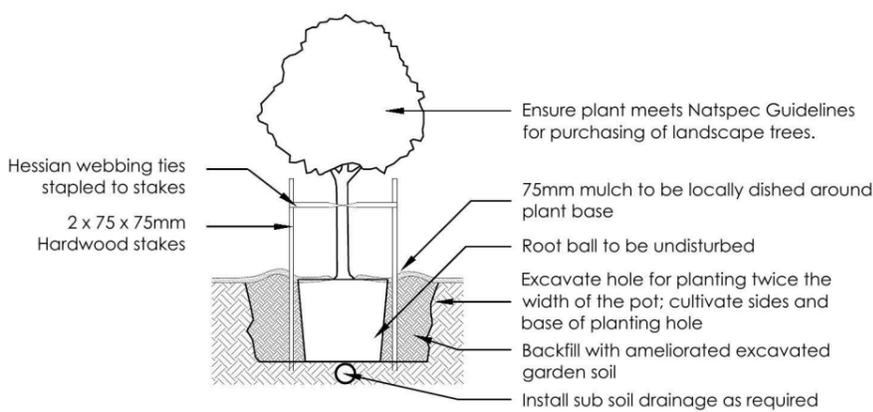
Garden edging



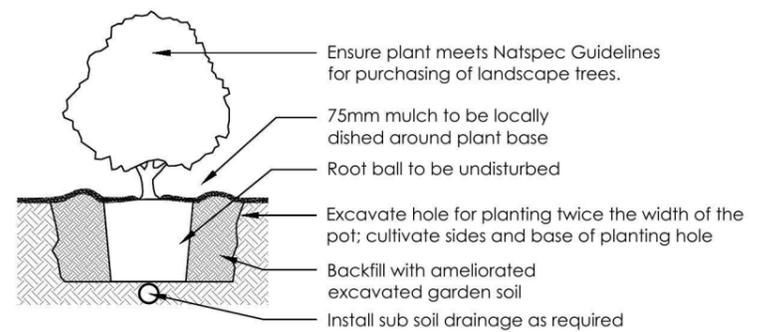
Masonry retaining walls



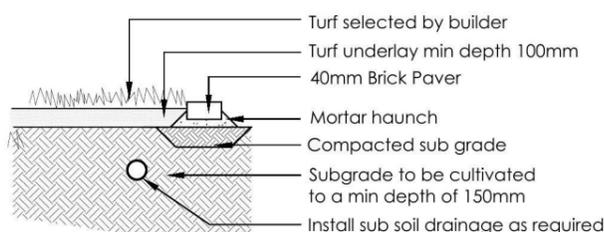
Existing contours



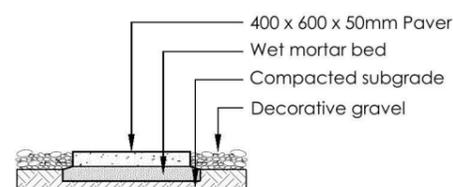
1 Tree Planting Detail  
NTS 25L - 100L Pot Size



2 Planting Detail  
NTS 150mm, 200mm Pot Size



3 Turf Detail  
NTS Brick Paver Edge



4 Stepping stones in gravel  
NTS Low traffic zone

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLAN FOR CLIENT REVIEW	RS	BT	02-05-14
B	AMEND TO BUILDERS MARK UP	RS	RS	08-05-14
C	ADJUST BED 3 + 4 ROOM DIMENSIONS	RS	RS	09-05-14

**ecodeign**  
outdoor living environments

PO Box 8136, Boultham Hills BC, NSW 2153  
Ph: (02) 9480 7712 Fax: (02) 9480 7705  
Email: info@ecodeign.com.au  
Web: www.ecodeign.com.au  
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3. Notify ecodeign of any inconsistencies  
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6. All work to comply with relevant Australian Standards or Building Code of Australia  
7. All work to be performed by a suitably qualified tradesperson  
8. For application purposes only - NOT FOR CONSTRUCTION

ADDRESS  
**LOT 2204 COMBWOOD AVE, PENRITH**

CLIENT  
**CHAMPION HOMES**

PROJECT  
**NEW RESIDENCE**

DRAWING  
**LANDSCAPE PLAN**

SCALE  
**1:100 @ A3**

ISSUE  
**DA**

SHEET  
**02**

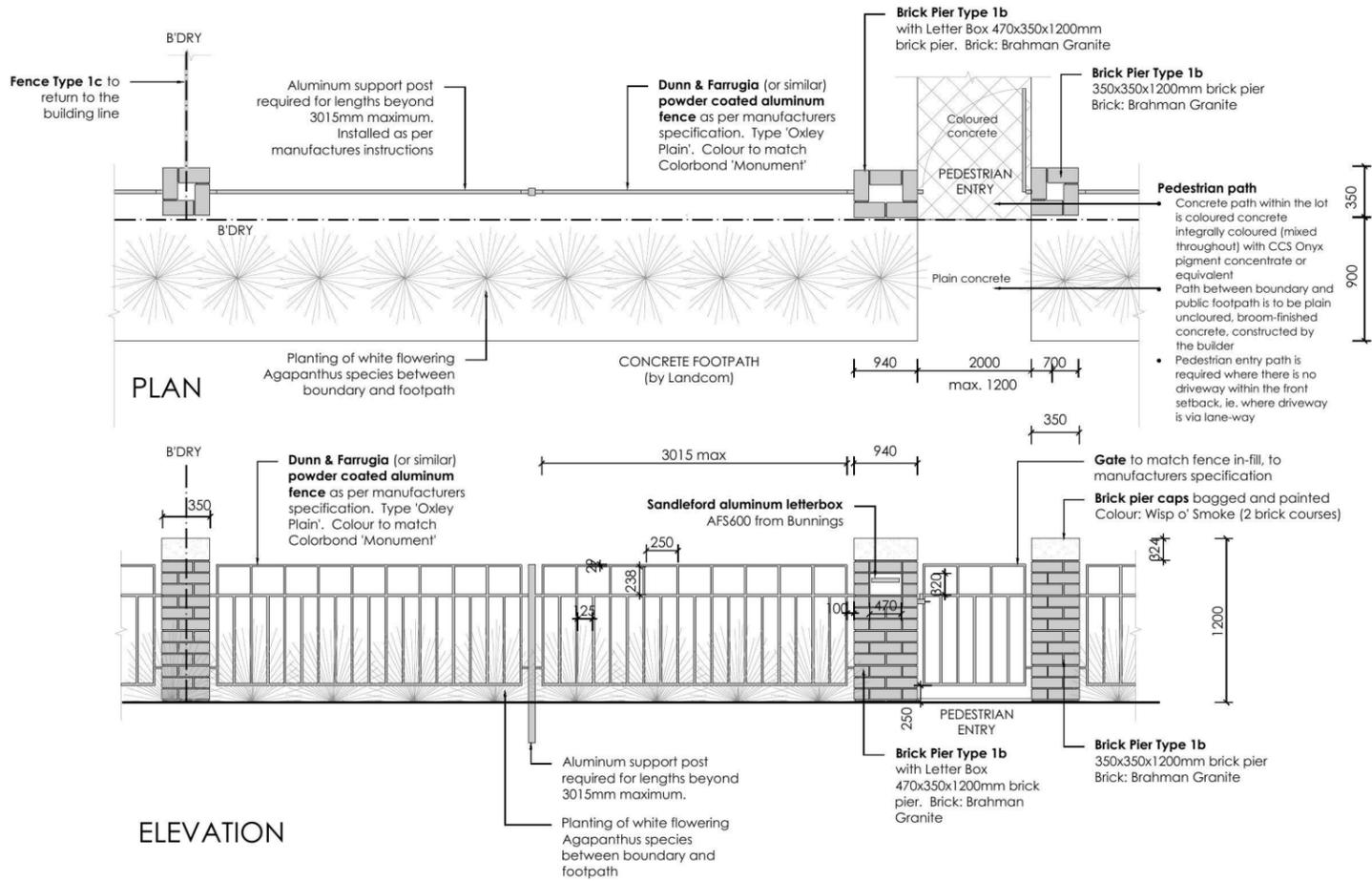
DRAWN  
**RS**

CHECK  
**RS**

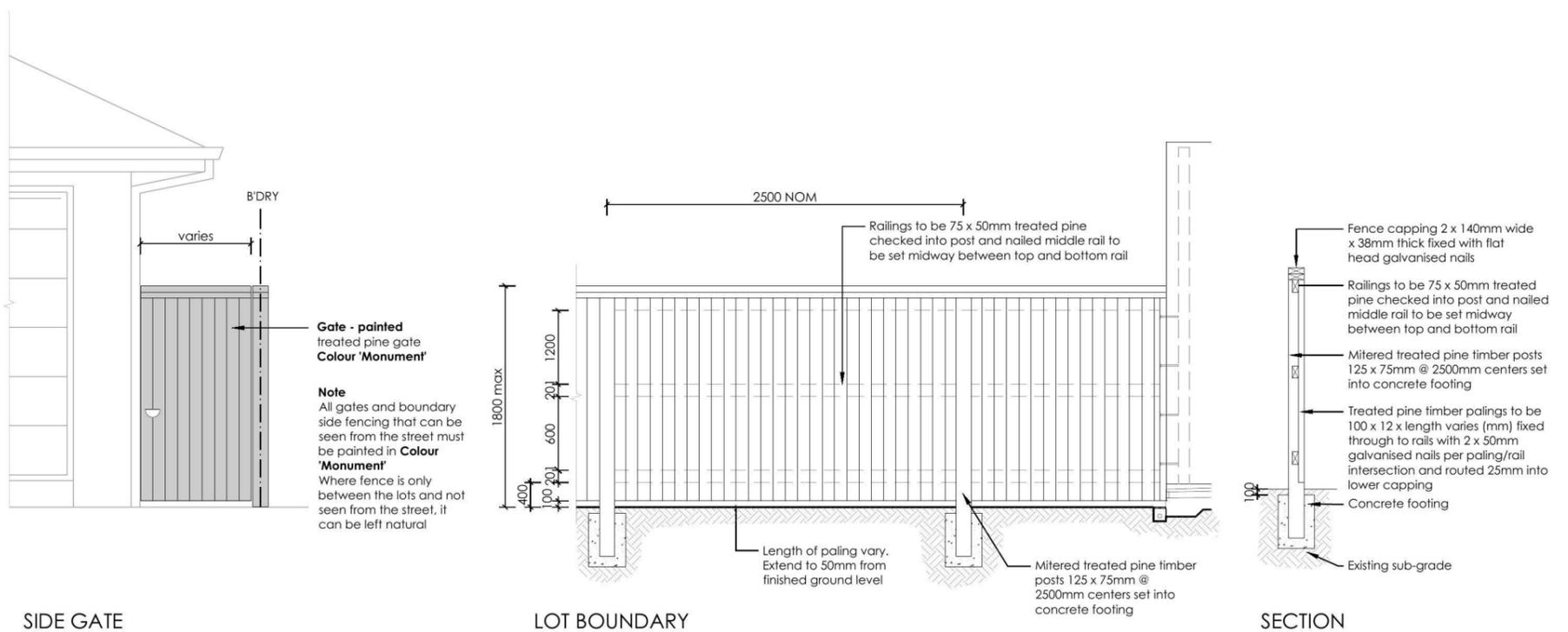
DATE  
**09-05-14**

REVISION  
**C**





5 **FENCE TYPE 1b - Front Fence**  
1:50 Typical detail



6 **FENCE TYPE 4a - Side Boundaries**  
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLAN FOR CLIENT REVIEW	RS	BT	02-05-14
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C	ADJUST BED 3 + 4 ROOM DIMENSIONS	RS	RS	09-05-14

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PROJECT  
**LOT 2204 COMBWOOD AVE, PENRITH**

CLIENT  
**CHAMPION HOMES**

PROJECT  
**NEW RESIDENCE**

DRAWING  
**LANDSCAPE PLAN**

SCALE  
**1:100 @ A3**

ISSUE  
**DA**

SHEET  
**03**

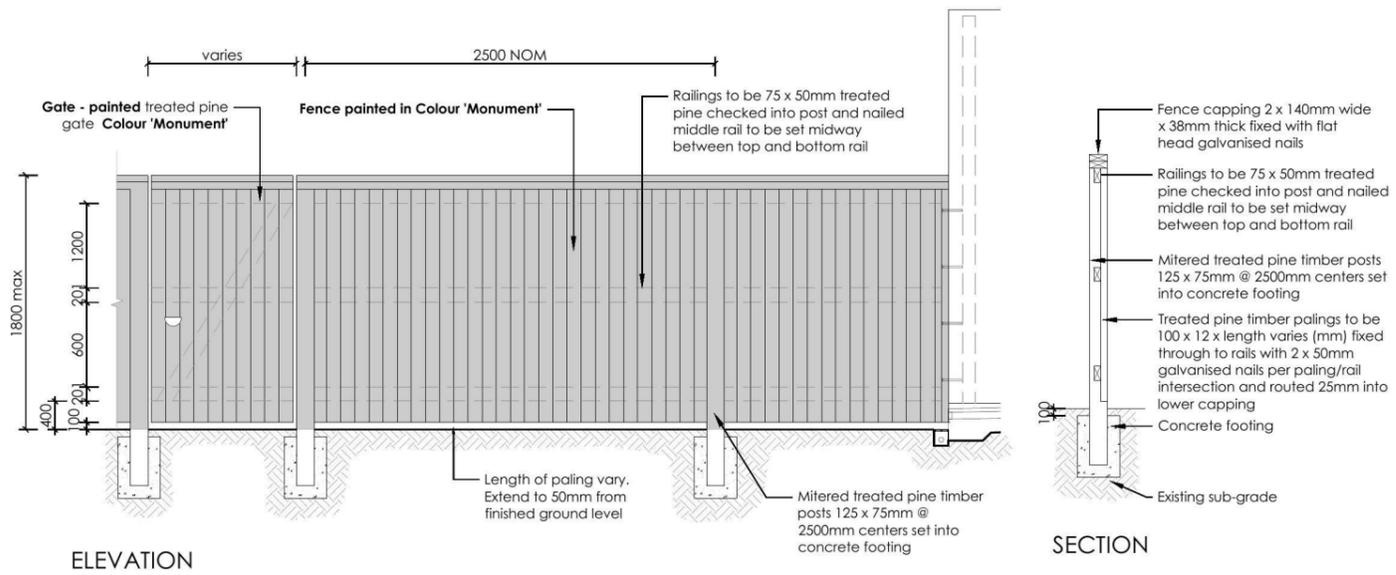
DRAWN  
**RS**

CHECK  
**RS**

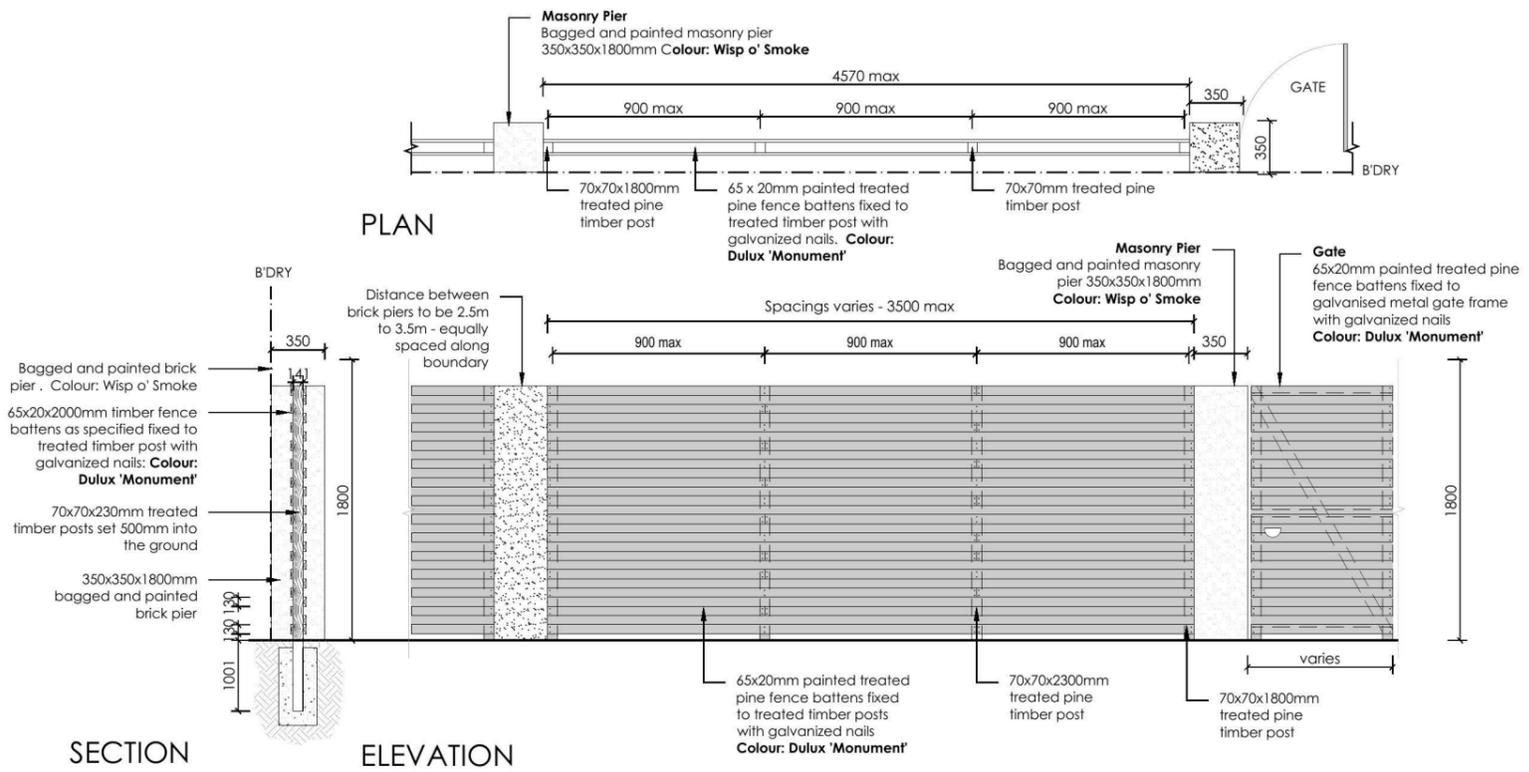
DATE  
**09-05-14**

REVISION  
**C**





7 **FENCE TYPE 4b - Rear Boundary**  
 1:50 All Laneways (except Barlett Lane)  
 Typical detail



8 **FENCE TYPE 2a - Secondary Street Fencing**  
 1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLAN FOR CLIENT REVIEW	RS	BT	02-05-14
B	AMEND TO BUILDERS MARK UP	RS	RS	08-05-14
C	ADJUST BED 3 + 4 ROOM DIMENSIONS	RS	RS	09-05-14

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6. All work to comply with relevant Australian Standards or Building Code of Australia  
 7. All work to be performed by a suitably qualified tradesperson  
 8. For application purposes only - NOT FOR CONSTRUCTION

PROJECT: NEW RESIDENCE

ADDRESS: LOT 2204 COMBWOOD AVE, PENRITH

CLIENT: CHAMPION HOMES

DRAWING: LANDSCAPE PLAN

SCALE: 1:100 @ A3

DATE: 09-05-14

REVISION: C



**NOTE:**

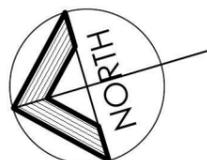
FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.

FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

# Proposed Site & Drainage Plan

SCALE 1:200

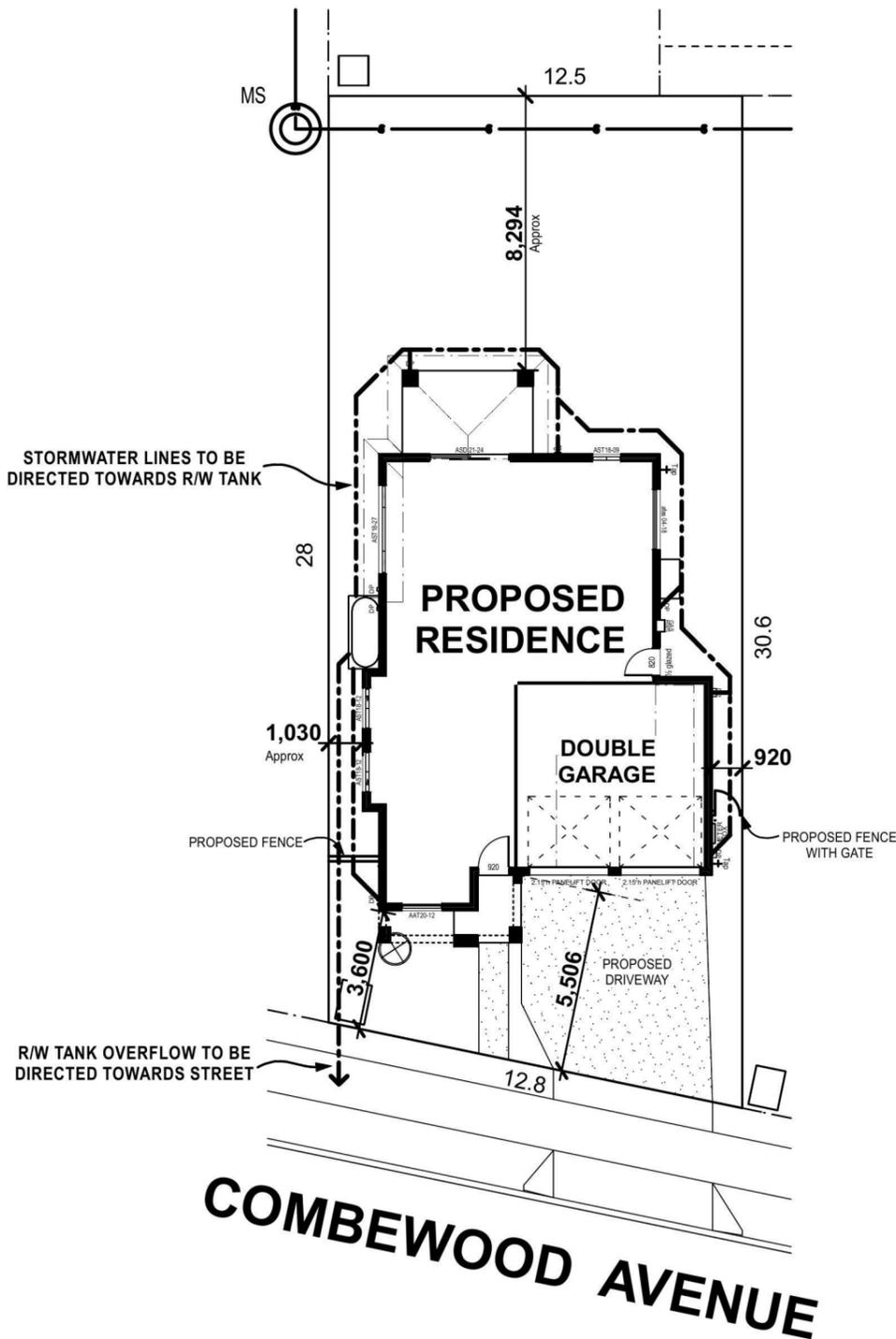
**NOTE:**  
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



**NORTH**  
LOT 2204  
365.80m<sup>2</sup>

**SUPPLEMENTARY B.C.A ENERGY EFFICIENCY CLAUSES FOR NatHERS / BASIX ASSESSMENTS**

3.12.1.1	Building fabric thermal insulation	Any Insulation installation required by plans must be fitted in alignment with this clause.
3.12.1.2 (e)		Recompense for any reduced ceiling insulation is required to comply with this clause ( any downlights installed must be non - ventilated ). Recompense for loss of any ceiling insulation is not necessary when suitable approved non - ventilated down light covers are supplied, as these provide continuous flow of insulation.
3.12.3.3	External Windows & Doors	The sealing of any windows or doors must be in conformity with this clause.
3.12.3.4	Exhaust Fans	<b>Refer to Current B.C.A for Detailed specification</b>
3.12.3.5	Construction of Roofs, Walls & Floors	The sealing of roofs , walls and / or floors must align with this clause.
3.12.5.0	Acceptable Construction Manuals	Installation of any hot water systems must abide by this clause.
3.12.5.1	Insulation of Services	Installation of any services must observe requirements of this clause.
3.12.5.3	Heating & Cooling Ductwork	Ductwork insulation to cooling & heating systems must abide by this clause.



**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	N/A mm FROM F.F.L.

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.



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Fax (02) 9825 8110  
Builders Licence No. 92732C

Revision	Date	Amendment
B	04.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	26.03.14	CONTRACT DRAWINGS - BT

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Proposed Residence  
at Lot : 2204  
Combewood Avenue,  
Penrith. (Thornton)

Plot Date  
Wed 11 Jun 2014

Client :  
**Champion Homes**

Sheet Size: A3 Date: 26.03.14 Drawn: BT

Design :  
**Custom Design**

Job No. **3157N** Sheet 1 of 11

**Energy Rating** Certificate Number **15430316**

single-dwelling rating **4.5** stars

multi-unit development (attach listing of ratings) heating **68.9** MJ/m<sup>2</sup>  
cooling **46.1** MJ/m<sup>2</sup>

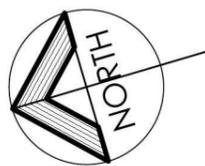
Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Luis Contigiani BDAV/13/1543

Assessor Signature [Signature] Date **12.05.2014**

ALL GLAZING TO BE NFRC VALUE - R 1.5 TO ALL INTERNAL GARAGE WALLS ONLY  
OF UW = 6.66 OR LESS AND  
SHGCw = 0.70 +/- 10 %  
SARKING TO ROOF  
R 3.5 INSULATION TO ALL CEILING  
R 1.5 BATTES TO ALL EXT. WALLS

**NOTE:**  
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



**NORTH**  
LOT 2204  
365.80m<sup>2</sup>

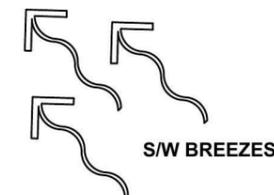
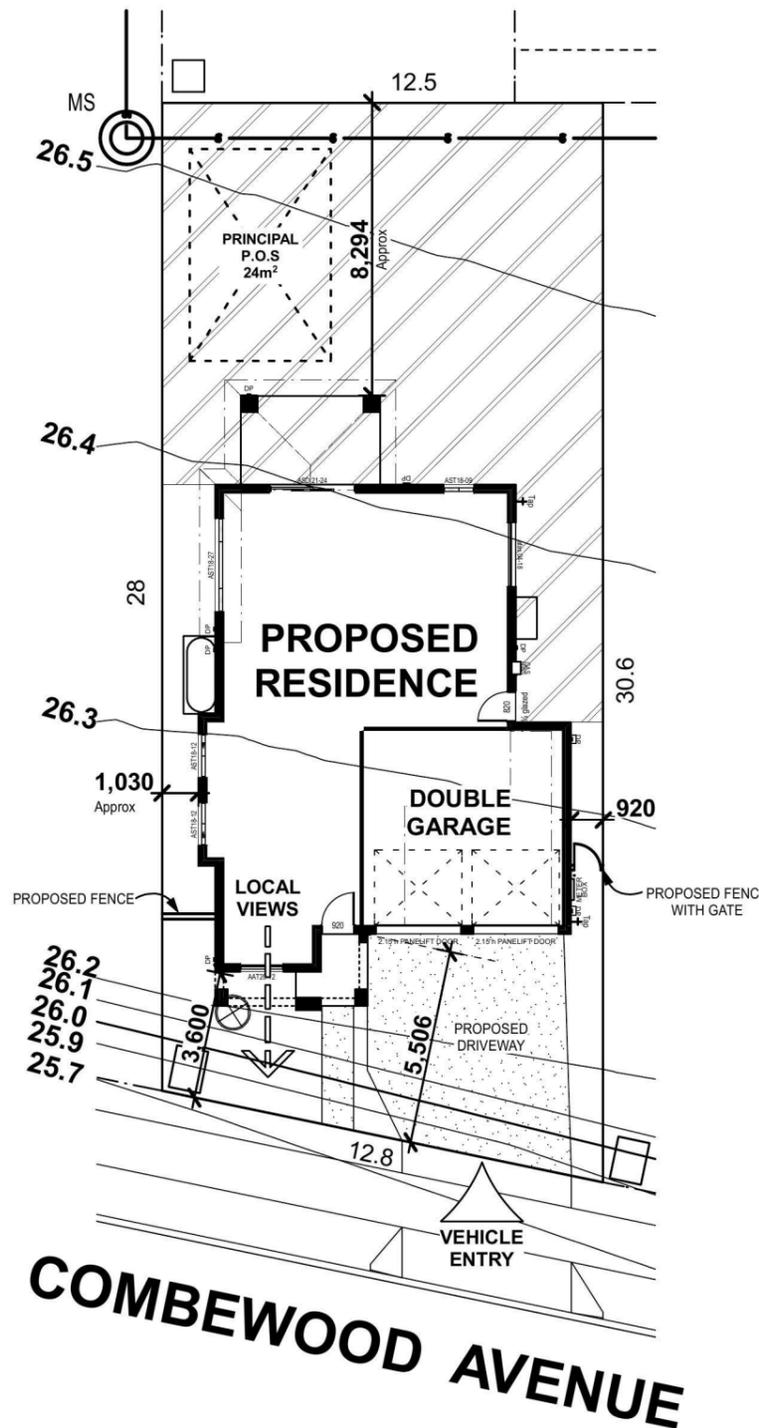
**NORTH PENRITH "THORNTON" REQUIREMENTS:**

**SITE AREA:** 365.8m<sup>2</sup>

**PRIVATE OPEN SPACE:**  
REQUIRED: 20% or 73.16m<sup>2</sup>  
ACHIEVED: 42% or 151.84m<sup>2</sup>

**LANDSCAPE AREA:**  
ACHIEVED: 42% or 154.83m<sup>2</sup>

**CARPARKING:**  
REQUIRED: 2 SPACES  
ACHIEVED: 2 SPACES



**Energy Rating** Certificate Number **15430316**

single-dwelling rating **4.5** stars

multi-unit development (attach listing of ratings) heating **68.9** MJ/m<sup>2</sup>

cooling **46.1** MJ/m<sup>2</sup>

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Assessor Name/Number **Luis Contigiani** BDAV/13/1543

Assessor Signature *[Signature]* Date **12.05.2014**

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SARKING TO ROOF  
R 3.5 INSULATION TO ALL CEILING  
R 1.5 BATTES TO ALL EXT. WALLS

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	N/A mm FROM F.F.L.

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.



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Fax (02) 9825 8110  
Builders Licence No. 92732C

Revision	Date	Amendment
B	04.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	26.03.14	CONTRACT DRAWINGS - BT

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Proposed Residence  
at Lot : 2204  
Combewood Avenue,  
Penrith. (Thornton)

Plot Date  
Wed 11 Jun 2014

Client :  
**Champion Homes**

Sheet Size: A3 Date: 26.03.14 Drawn: BT

Design :  
**Custom Design**

Job No. **3157N** Sheet 2 of 11

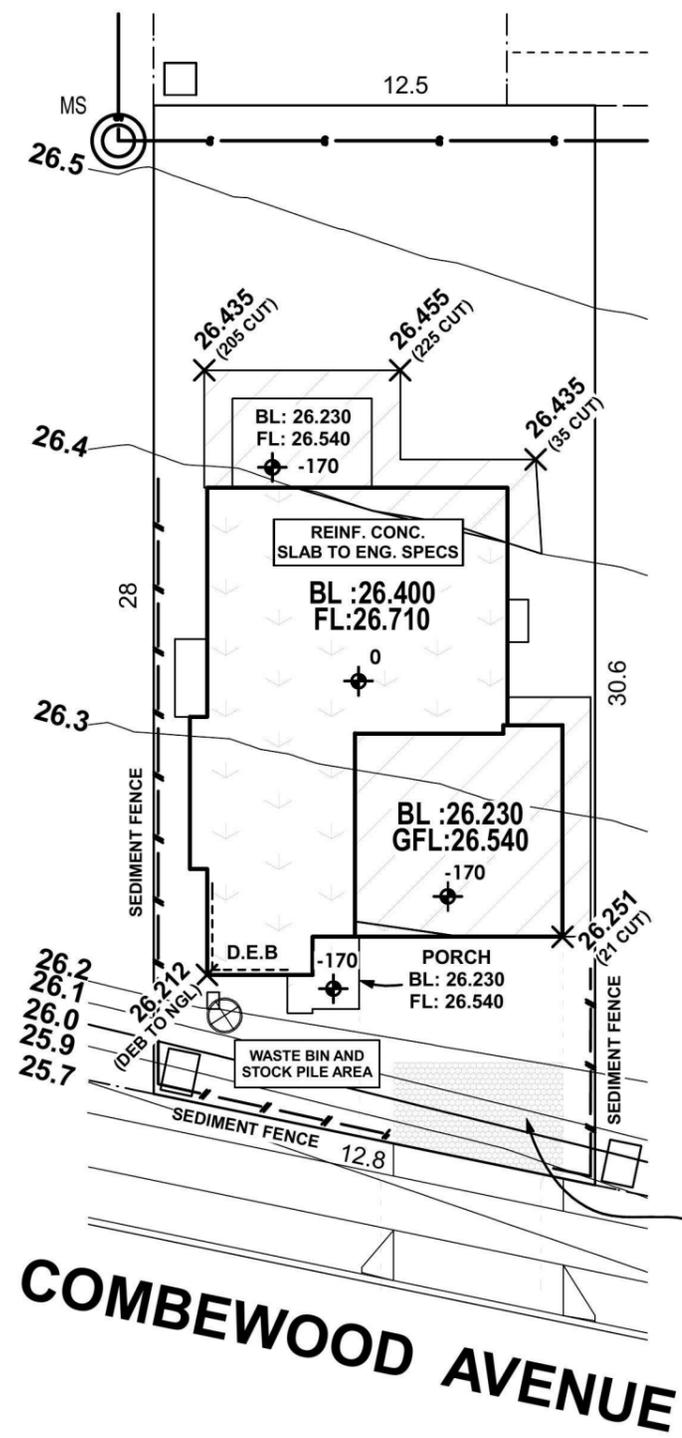
# Erosion & Sediment Control Plan

SCALE 1:200

**NOTE:**  
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR

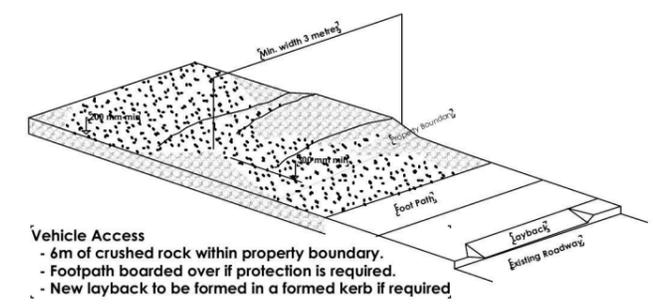
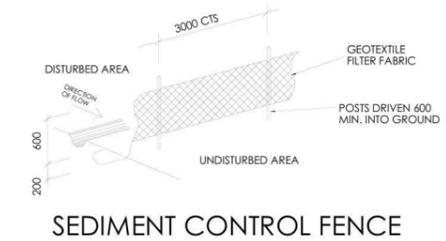


**NORTH**  
LOT 2204  
365.80m<sup>2</sup>



## SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY.  
FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT.  
SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



100mm THICK CRUSHED ROCK TO ALL WEATHER ACCESS

<b>Energy Rating</b>		Certificate Number	<b>15430316</b>
<input checked="" type="checkbox"/> single-dwelling rating			<b>4.5</b> stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating		<b>68.9</b> MJ/m <sup>2</sup>
	cooling		<b>46.1</b> MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without			
Assessor Name/Number		Luis Contigiani	BDAV/13/1543
Assessor Signature		<i>[Signature]</i>	Date <b>12.05.2014</b>

ALL GLAZING TO BE NFRC VALUE OF UW = 6.66 OR LESS AND SHGC = 0.70 +/- 10% SARKING TO ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTES TO ALL EXT. WALLS

Plot Date  
Wed 11 Jun 2014

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
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GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	N/A mm FROM F.F.L.

Figured dimensions to be used in preference to scaling this drawing.  
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Client :  
**Champion Homes**

Sheet Size: A3 Date: 26.03.14 Drawn: BT  
Design :  
**Custom Design**

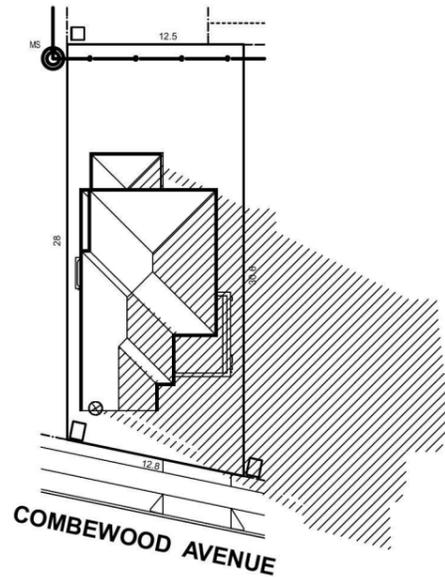
Job No. **3157N** Sheet 3 of 11

# Shadow Diagrams

NOTE:  
FINAL SITING AND LEVELS OF  
PROPOSED RESIDENCE, TO BE  
CONFIRMED UPON RECEIPT OF  
CONTOUR SURVEY PREPARED  
BY BUILDER'S SURVEYOR



**NORTH**  
LOT 2204  
365.80m<sup>2</sup>

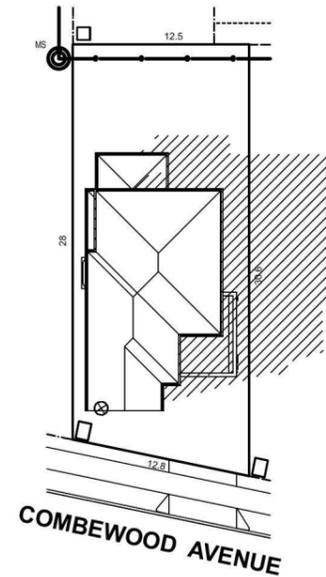


**June 21st - 9am**  
SCALE 1:500

NOTE:  
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**NORTH**  
LOT 2204  
365.80m<sup>2</sup>

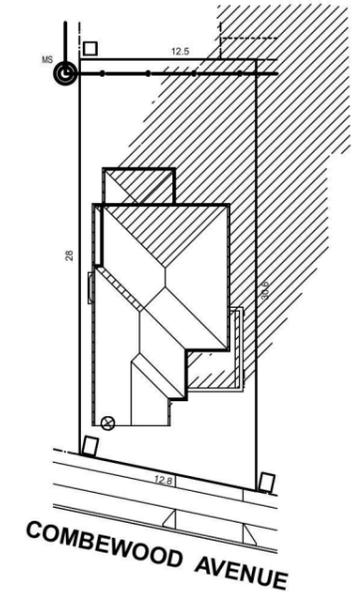


**June 21st - 12noon**  
SCALE 1:500

NOTE:  
FINAL SITING AND LEVELS OF  
PROPOSED RESIDENCE, TO BE  
CONFIRMED UPON RECEIPT OF  
CONTOUR SURVEY PREPARED  
BY BUILDER'S SURVEYOR



**NORTH**  
LOT 2204  
365.80m<sup>2</sup>



**June 21st - 3pm**  
SCALE 1:500

**SITE & SLAB  
CLASSIFICATION  
IS TO BE CONFIRMED**

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	N/A mm FROM F.F.L.

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Revision	Date	Amendment
B	04.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	26.03.14	CONTRACT DRAWINGS - BT

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Proposed Residence  
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Combewood Avenue,  
Penrith. (Thornton)

Plot Date  
Wed 11 Jun 2014

Client :  
**Champion Homes**

Sheet Size: A3 Date: 26.03.14 Drawn:BT

Design :  
**Custom Design**

Job  
No. **3157N** Sheet 4 of 11

	<b>Energy Rating</b>	Certificate Number <b>15430316</b>
<input checked="" type="checkbox"/> single-dwelling rating		<b>4.5</b> stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating	<b>68.9</b> MJ/m <sup>2</sup>
<small>If selected, data specified is the average across the entire development</small>	cooling	<b>46.1</b> MJ/m <sup>2</sup>
Recessed downlights confirmation:	<input checked="" type="checkbox"/> Rated with	<input type="checkbox"/> Rated without
Assessor Name/Number	Luis Contigiani	BDAV/13/1543
Assessor Signature		Date <b>12.05.2014</b>

ALL GLAZING TO BE NFRC VALUE - R 1.5 TO ALL INTERNAL GARAGE WALLS ONLY  
OF UW = 6.66 OR LESS AND  
SHGCw = 0.70 +/- 10 %  
SARKING TO ROOF  
R 3.5 INSULATION TO ALL CEILING  
R 1.5 BATTES TO ALL EXT. WALLS

**Schedule of BASIX commitments**

**BASIX TEMPLATE**

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 120 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> <li>• all toilets in the development</li> <li>• the cold water tap that supplies each clothes washer in the development</li> <li>• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>		✓	✓
<b>Thermal Comfort Commitments</b>			
<b>Simulation Method</b>			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

**ALL GLAZING TO BE NFRC VALUE OF UW = 6.66 OR LESS AND SHGC<sub>w</sub> = 0.70 + / - 10 % SARKING TO ROOF**

**R 3.5 INSULATION TO ALL CEILING**

**R 1.5 BATTES TO ALL EXT. WALLS**

**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	N/A mm FROM F.F.L.

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.



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Builders Licence No. 92732C

Revision	Date	Amendment
B	04.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	26.03.14	CONTRACT DRAWINGS - BT

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Proposed Residence at Lot : 2204  
Combewood Avenue,  
Penrith. (Thornton)

Plot Date  
Wed 11 Jun 2014

Client :  
**Champion Homes**

Sheet Size: A3 Date: 26.03.14 Drawn: BT

Design :  
**Custom Design**

Job No. **3157N** Sheet 5 of 11

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
<b>Energy Commitments</b>			
<b>Other</b>			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	



## Energy Rating

Certificate Number **15430316**

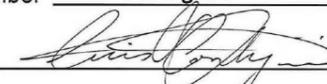
single-dwelling rating **4.5** stars

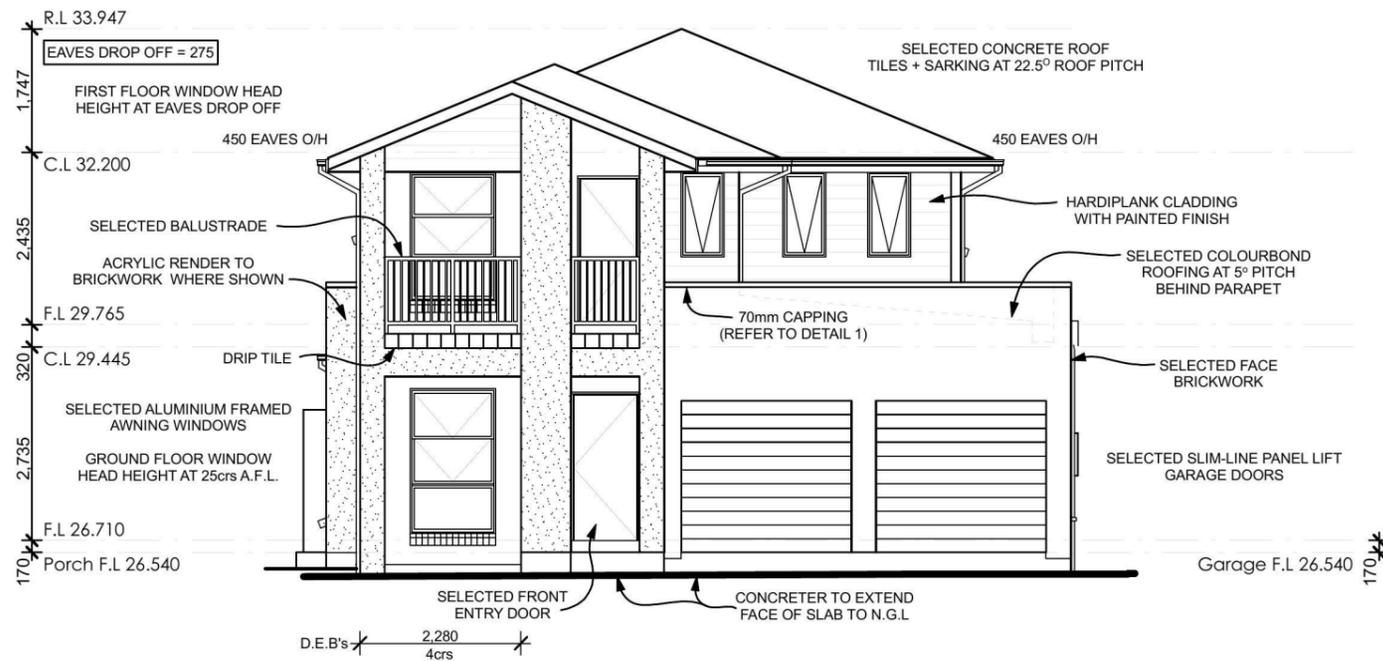
multi-unit development (attach listing of ratings)  
*If selected, data specified is the average across the entire development*

heating **68.9** MJ/m<sup>2</sup>  
cooling **46.1** MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

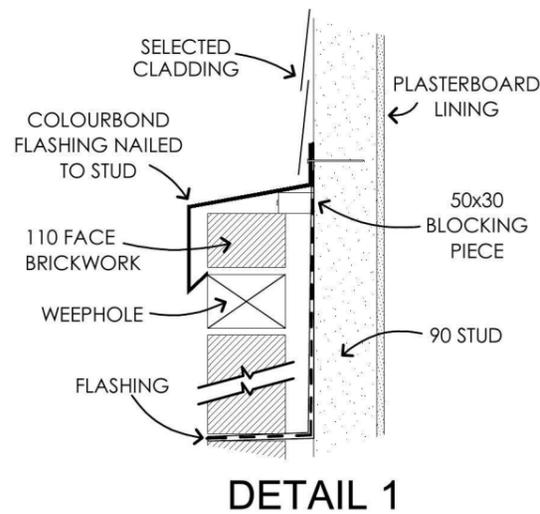
Assessor Name/Number Luis Contigiani BDAV/13/1543

Assessor Signature  Date **12.05.2014**

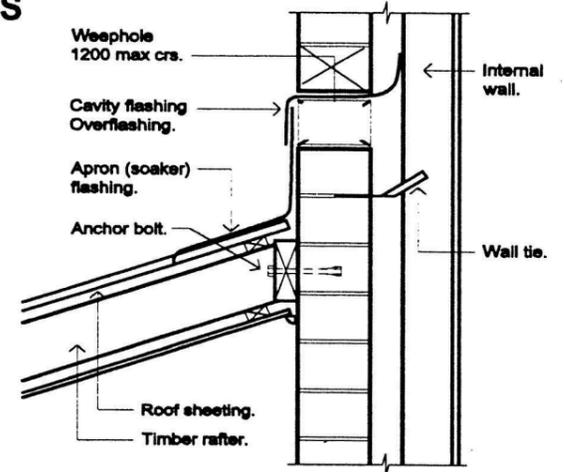
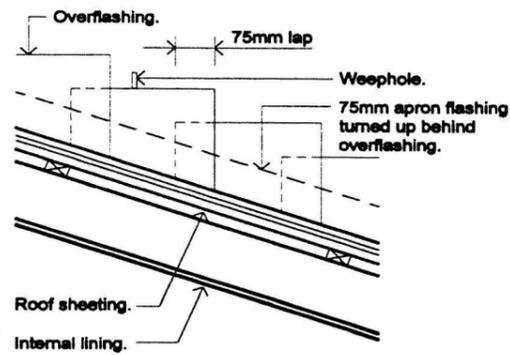


## Western Elevation

SCALE 1:100



## STEPPED CAVITY FLASHINGS



## Eastern Elevation

SCALE 1:100

### PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

	<b>Energy Rating</b>	Certificate Number <b>15430316</b>
<input checked="" type="checkbox"/> single-dwelling rating		<b>4.5</b> stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating	<b>68.9</b> MJ/m <sup>2</sup>
	cooling	<b>46.1</b> MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number <b>Luis Contigiani</b>		BDAV/13/1543
Assessor Signature		Date <b>12.05.2014</b>

ALL GLAZING TO BE NFRC VALUE OF UFW = 0.56 OR LESS AND SHGCW = 0.70 +/- 10% SARKING TO ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTES TO ALL EXT. WALLS

Plot Date  
Wed 11 Jun 2014

Client :  
**Champion Homes**

Sheet Size: A3 Date: 26.03.14 Drawn: BT

Design :  
**Custom Design**

Job No. **3157N** Sheet 8 of 11

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
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GARAGE	170 mm FROM F.F.L.
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BALCONY	N/A mm FROM F.F.L.

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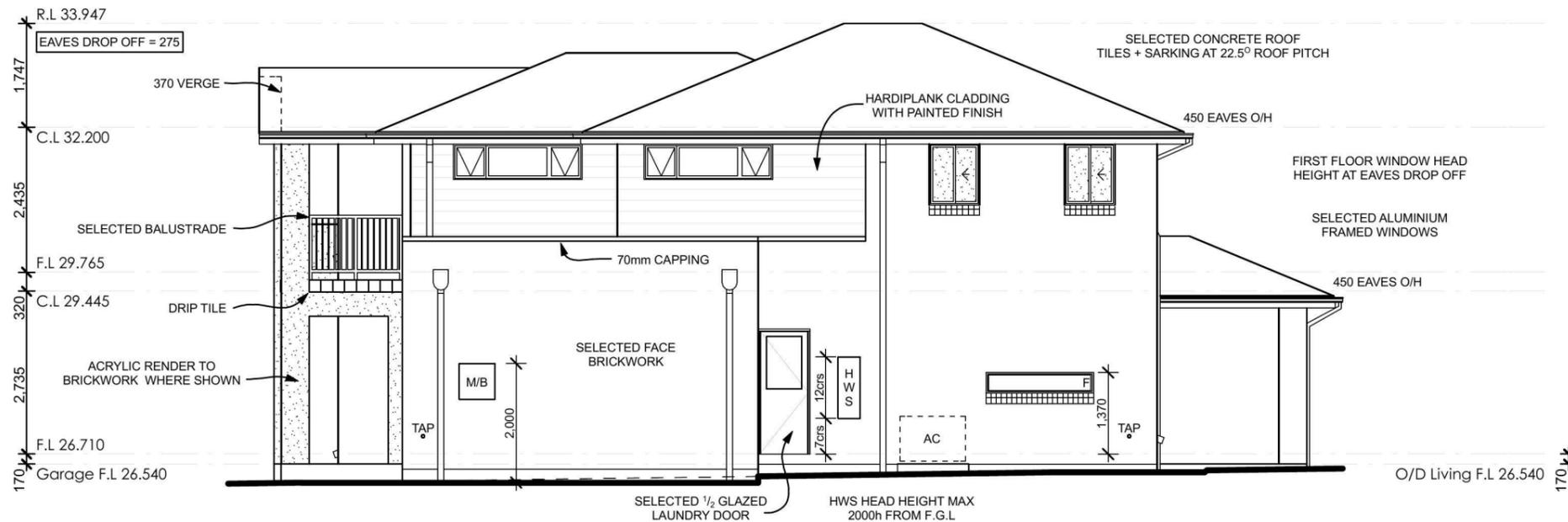
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## Northern Elevation

SCALE 1:100



## Southern Elevation

SCALE 1:100

### PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

<b>Energy Rating</b>		Certificate Number	15430316
<input checked="" type="checkbox"/> single-dwelling rating		4.5	stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	heating	68.9	MJ/m <sup>2</sup>
	cooling	46.1	MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without			
Assessor Name/Number		Luis Contigiani	BDAV/13/1543
Assessor Signature		<i>[Signature]</i>	Date 12.05.2014

ALL GLAZING TO BE NFRC VALUE R 1.5 TO ALL INTERNAL GARAGE WALLS ONLY  
OF UW = 6.66 OR LESS AND  
SHGCw = 0.70 +/- 10 %  
SARKING TO ROOF  
R 3.5 INSULATION TO ALL CEILING  
R 1.5 BATTs TO ALL EXT. WALLS

Plot Date  
Wed 11 Jun 2014

**SITE & SLAB CLASSIFICATION**  
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Wind Speed : Class = N2

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Job No. **3157N** Sheet 9 of 11