

LOT NO.	1
DEPOSITED PLAN	1181000
COUNCIL / LGA	PENRITH
SLAB CLASS	H1
WIND SPEED	N2

OVERALL SITE PLAN
NTS

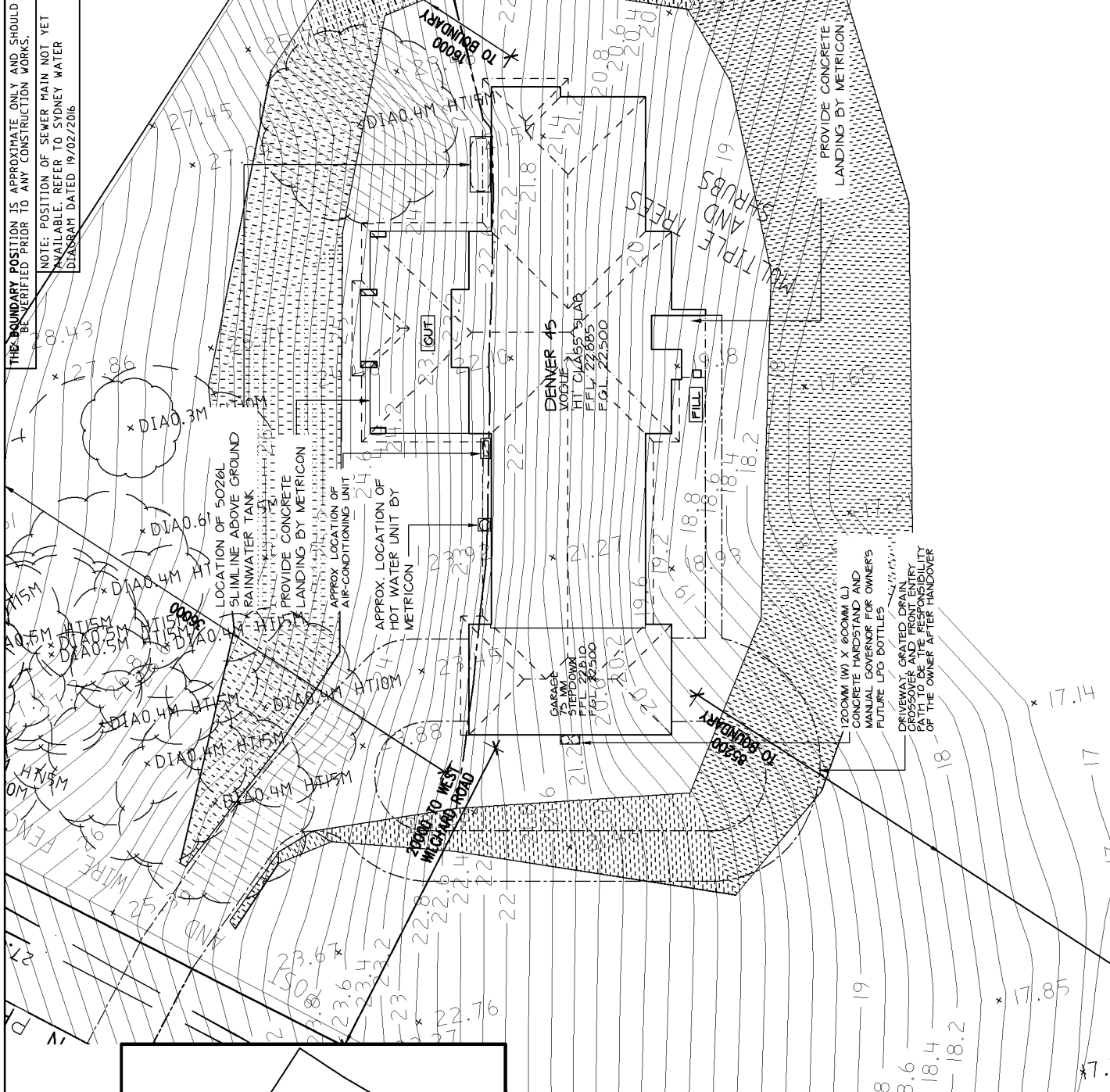
m
metricon

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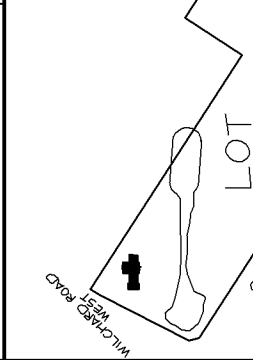
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LOT 1, NO. 259 WEST WILCHARD ROAD CASTLEREAGH	
JOB No. 671572	
DATE: 31.03.16	DRAWN: RZ
SCALE: 1:200	SHEET: ID OF 1
UBD REF: 5TD 123-A7	

THE BOUNDARY POSITION IS APPROXIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION WORKS.
 NOTE: POSITION OF SEWER MAIN NOT YET AVAILABLE. REFER TO SYDNEY WATER DIAGRAM DATED 19/02/2016.



EXISTING TREES TO BE LOPPED/REMOVED BY OWNER
TREE REMOVAL REQUIREMENTS:
 SITE TO BE CLEARED BY OWNER OF ANY EXISTING TREES AND/OR FRUITE TREES WHICH WILL EFFECT THE BUILDING AREA PRIOR TO CONSTRUCTION
 IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED



SITE EXTENTS (NOT TO SCALE)

SITE AREA:	57910 SQM	
PROPOSED ROOF COVERAGE	5216 SQM	
ROOF COVERAGE AREA:	5216 SQM	
SITE COVERAGE	4128 SQM	
TOTAL SITE COVERAGE	500 SQM	
MAX. ALLOWABLE BY COUNCIL:	500 SQM	
BUILDING HEIGHT RESTRICTION MAXIMUM 8.0 M RIDGE HEIGHT (F.F.L. MUST BE ACCURATE TO COMPLY)		
MAXIMUM 1000MM CUT		
MAXIMUM 1000MM FILL		
DEMOLITION REQUIREMENTS: SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELLED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES PL.		
TERMITE PROTECTION PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.3.5/60.1		
SURVEYORS NOTES		
A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.		
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.		
C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL CONDUITS PRIOR TO ANY CONSTRUCTION OR EXCAVATION.		
D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY AND DO NOT REPRESENT EXACT GROUND LEVELS. CONTOURS TO BE RELETED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.		
DRAWINGS AMENDMENTS		
A. 11.12.15	MIRROR PORTICO	DG
B. 07.03.16	RESITE	5G
C. 14.03.16	RAISE F.G.L 1.0M	DG
D. 11.12.15	RESITE (SETBACKS)	JS

LOT NO:	1
DEPOSITED PLAN:	1181060
COUNCIL / LGA:	PENRITH
SLAB CLASS:	H11
WIND SPEED:	N2

EXCAVATION NOTES:
 50MM (+) TOLERANCE TO NOMINATED F.L.S
 EXCAVATE APPROX. 2700MM ON R.L. 22:500 AND FILL APPROX. 4500MM
 EXCAVATIONS ARE TO START A MINIMUM OF 100MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO 30:1
 IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRADED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY

IMPORTANT NOTES:
 5.10 TO BE USED FOR ALL APPROVALS OTHER THAN METRICON HOMES PTY LTD
STORMWATER TO DRAIN TO EXISTING DAM VIA RAINWATER TANK(S)
TEMPORARY SITE FENCING:
 METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)
ALL WEATHER ACCESS:
 METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

SURVEY LEGEND

—8—	SEWER LINE
↑	GALLY PIT
▽	VEHICLE CROSSING
↓	510P VALVE
○	SEWER INSPECTION COVER
□	DEEP EDGE BEAM
○	GAS METER
□	WATER METER
□	ELECTRICITY BOX
□	STORMWATER MANHOLE
□	TOP OF FEEB
□	TELSTRA PIT
□	K5895 DILET

ASPECT SURVEY DATE: 26/02/16
 CONTOUR INTERVALS: 200MM
 LEVELS TO: AFD
SITE PLAN

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LOT 1, NO. 259 WEST WILCHARD ROAD
CASTLERAUGH

JOB No. 671572

DATE: 13.11.15 DRAWN: RZ

SCALE: 1:250 SHEET: 1 OF 9

UBO REF: STD 123-AT

SCALE 1:250

THE BOUNDARY POSITION IS APPROXIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION WORKS.
NOTE: POSITION OF SEWER MAIN NOT YET AVAILABLE. REFER TO SYDNEY WATER DIAGRAM DATED 19/02/2016

LOT NO	1
DEPOSITED PLAN	1181666
COUNCIL / LG/ PENRITH	H11
SLAB CLASS	N2
WIND SPEED	N2
MCA	



EROSION & SEDIMENT CONTROL PLAN

CONSTRUCTION PLAN

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH BY-LAW)

ALL WEATHER ACCESS:
METRICON TO PROVIDE ALL-WEATHER SUITABLE METRICON SURF ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

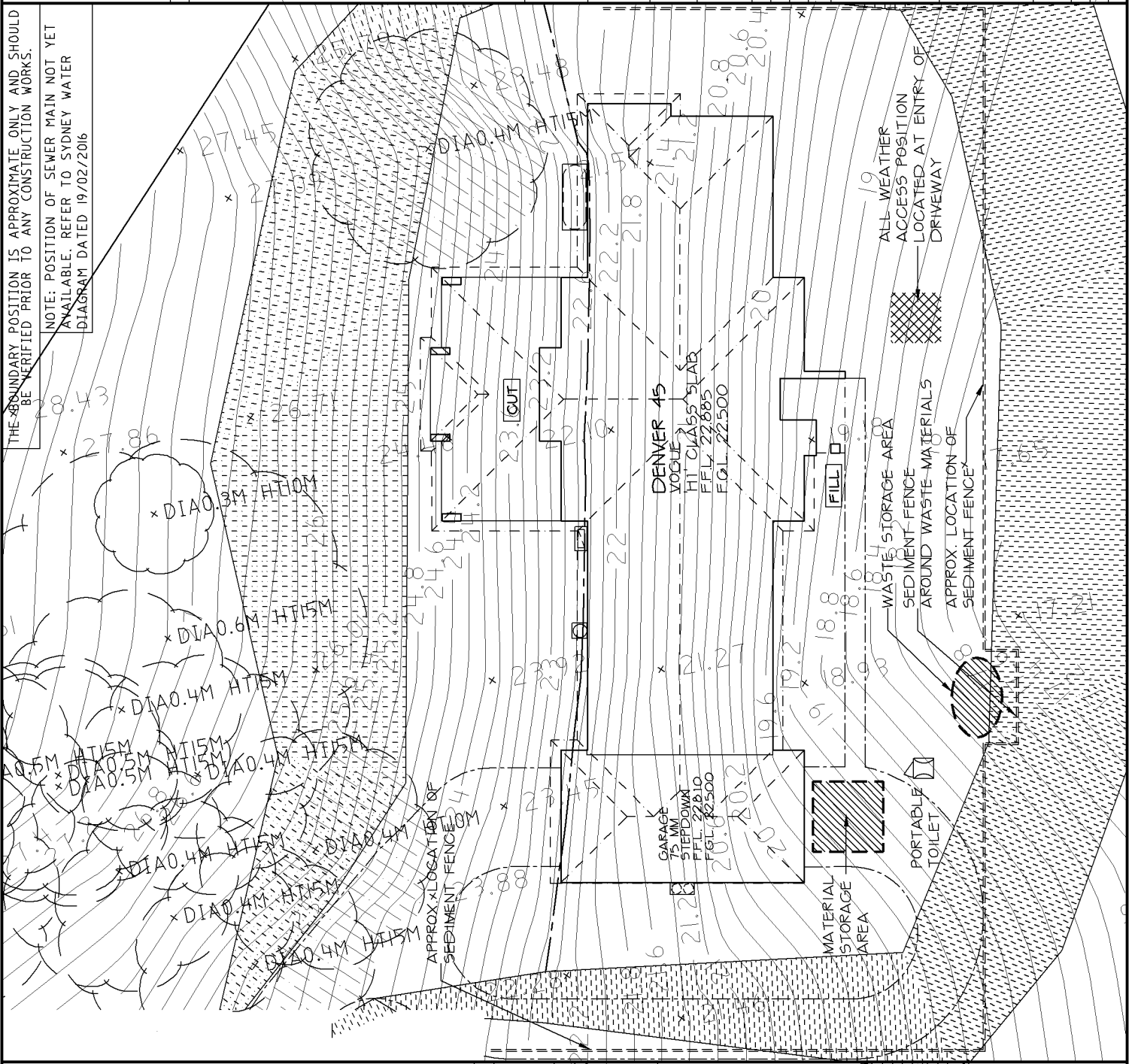
ASPECT SURVEY DATE: 26/02/16
CONTOUR INTERVALS: 200MM
LEVELS TO: AFD

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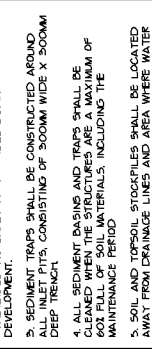
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LOT1, NO. 259 WEST WILCHARD ROAD
CASTLEREAUGH
JOB No. 671572

DATE: 9/03/16 DRAWN: RZ
SCALE: 1:200 SHEET: 1A OF 9
UBO REF: STD 125-A7



SEDIMENT CONTROL NOTES
ALL EROSION, SEDIMENTATION CONTROL MEASURES MUST BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION TO PREVENT THE STANDARDS OF THE SOIL CONSERVATION ACT NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL STORM PITS, CONSISTING OF 500MM WIDE X 500MM DEEP 'HEMAN'.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CONSTRUCTED WITH A 50% FALL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) OVER THE STOCKPILE. THE FABRIC SHALL BE BARRIED 150MM ALONG ITS LOWER EDGE.
7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE DETAIL
NOT TO SCALE

TEMPORARY SECURITY FENCING
TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED 'SITE SPECIFIC'

LOT NO: 1	
DEPOSITED PLAN 1181000	
COUNCIL / LGA PENRITH	
SLAB CLASS: H11	
WIND SPEED: N2	
MCA	



STORMWATER TO DRAIN TO
EXISTING DAM
VIA RAINWATER TANK(S)

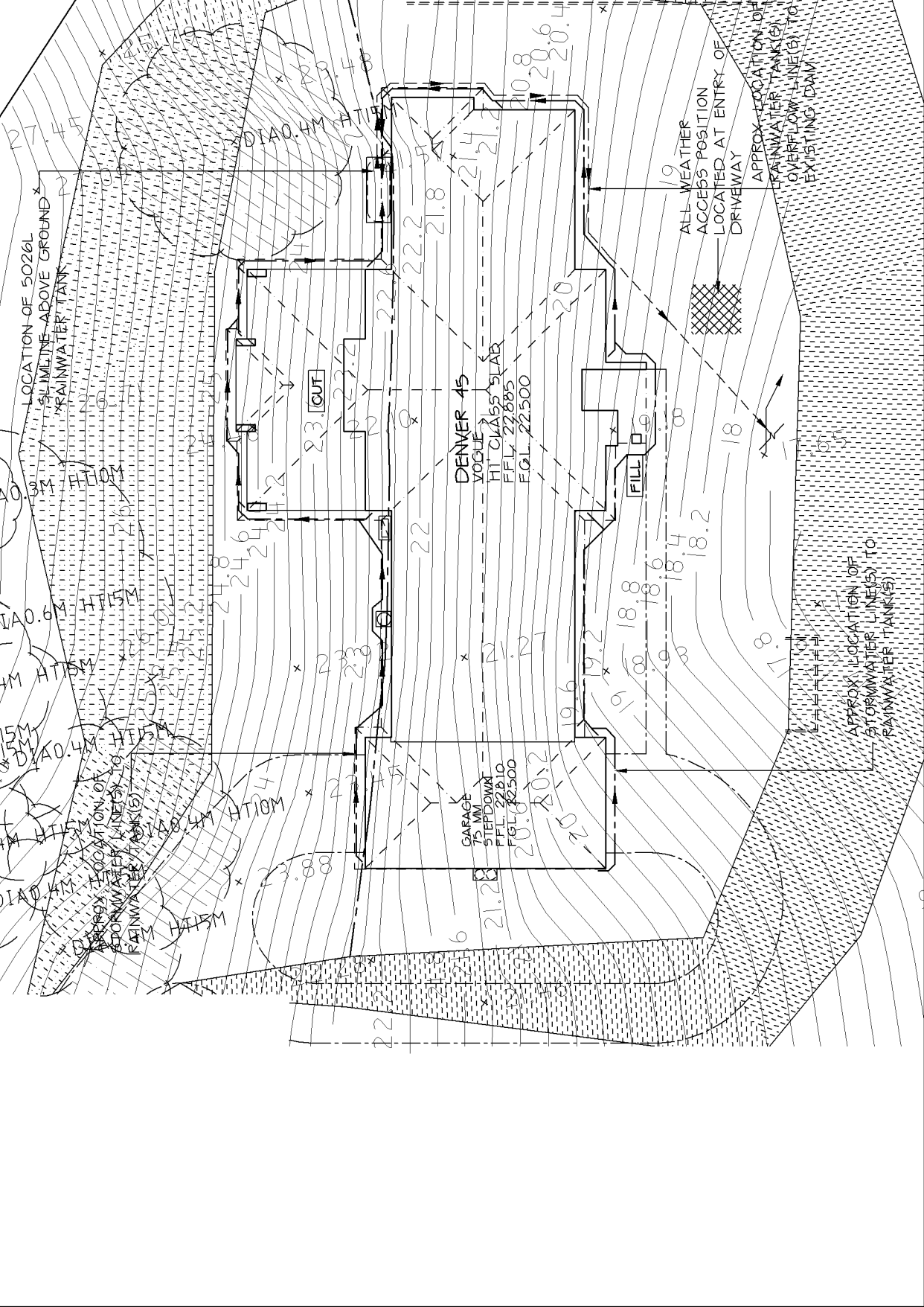
ASPECT SURVEY DATE: 26/02/16
CONTOUR INTERVALS: 200MM
LEVELS TO: AFD

CONCEPT DRAINAGE PLAN

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APPROX LOCATION OF STORMWATER TANK(S) OVERFLOW LINES TO EXISTING DRAIN

APPROX LOCATION OF STORMWATER TANK(S)

APPROX LOCATION OF RAINWATER TANK(S)

Thermal Comfort Commitments

Simulation Method

The applicant must attach this certificate referred to under "Assessor Details" on the front page of the BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is a BASIX Assessor, the certificate must be attached to the development application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.

The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol certificate, including the Cooling and Heating loads shown on the front page of the certificate.

The details of the proposed development on the Assessor Certificate must be consistent with the details shown in the BASIX certificate, including the Cooling and Heating loads shown on the front page of the certificate.

The applicant must show on the plans accompanying the development application to the proposed development, all matters when the Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate the cooling development certificate, if applicable, all thermal performance specifications set out in the Assessor Certificate and all aspects of the proposed development which are used to calculate those specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application for a construction certificate, set out in the Assessor Certificate and in accordance with those aspects of the development application for a construction certificate, set out in the Assessor Certificate which were used to calculate those specifications.

The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.

Item	Show on DA plans	Show on CO/DCD plans & specs	Assessor check
Floor and wall construction	✓	✓	✓
Floor - concrete slab on ground	✓	✓	✓
Walls - All or part of floor area square meters	✓	✓	✓

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Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CO/DCD plans & specs	Assessor check
Fittings			
The applicant must install showerheads with a maximum rating of 5.4litre (L) per minute in all showers in the development.	✓	✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.	✓	✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.	✓	✓	✓
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.	✓	✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1000 litres on the site. The rainwater tank must meet, and be included in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 50% square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private drain)	✓	✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the developer unit	✓	✓	✓
• the cold water tap that supplies each clothes washer in the development	✓	✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with possible water supply)	✓	✓	✓

Version: 2.3 (CASUS/BA/MA_2_3)_2 Certificate No: 1740229 Sunday, 20 March 2019 Page 3/7

Energy Commitments

Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump air sourced with a performance of 26 to 30, RECS or better.

Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area, 3-phase air conditioning, Energy rating: EER 2.5 - 3.0.

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom, 3-phase air conditioning, Energy rating: EER 2.5 - 3.0.

The cooling system must provide for daylight zoning between living areas and bedrooms.

Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area, 3-phase air conditioning, Energy rating: EER 3.0 - 3.5.

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom, 3-phase air conditioning, Energy rating: EER 3.0 - 3.5.

The heating system must provide for daylight zoning between living areas and bedrooms.

Ventilation

The applicant must install the following exhaust systems in the development:

- All least 1 Bathroom: individual fan, ducted to outside or roof; Operation control: manual switch on/off
- Kitchen: individual fan, ducted to outside or roof; Operation control: manual switch on/off
- Laundry: natural ventilation only, or no laundry; Operation control: n/a

Artificial lighting

The applicant must ensure that the "Primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following areas of the development, and that the lighting in those areas must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- at least 5 of the bedrooms/study;

Energy Commitments	Show on DA plans	Show on CO/DCD plans & specs	Assessor check
at least 1 of the living/dining rooms;		✓	✓
the kitchen;		✓	✓
all bathrooms/stable;		✓	✓
the laundry;		✓	✓
all hallways;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		✓	✓
The applicant must install a window and/or skylight in 2 bedrooms (if beds) in the development for natural lighting.		✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	✓
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	✓

Version: 2.3 (CASUS/BA/MA_2_3)_2 Certificate No: 1740229 Sunday, 20 March 2019 Page 3/7

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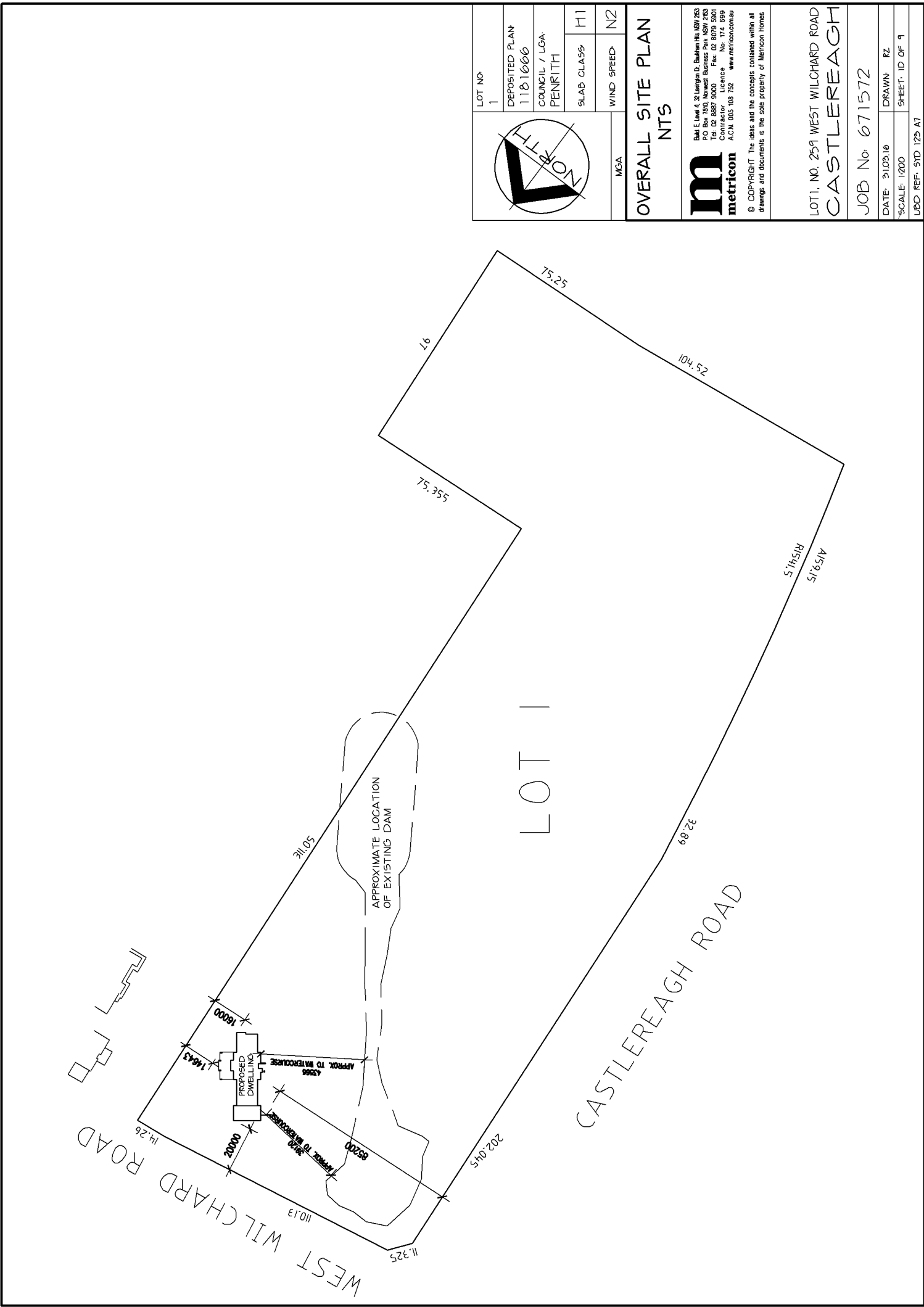
Artificial lighting

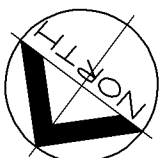
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- at least 5 of the bedrooms/study;

Energy Commitments	Show on DA plans	Show on CO/DCD plans & specs	Assessor check
at least 1 of the living/dining rooms;	✓	✓	✓
the kitchen;	✓	✓	✓
all bathrooms/stable;	✓	✓	✓
the laundry;	✓	✓	✓
all hallways;	✓	✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		✓	✓
The applicant must install a window and/or skylight in 2 bedrooms (if beds) in the development for natural lighting.		✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	✓
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	✓

Version: 2.3 (CASUS/BA/MA_2_3)_2 Certificate No: 1740229 Sunday, 20 March 2019 Page 3/7



	LOT NO.	1
	DEPOSITED PLAN	1181000
COUNCIL / LGA:		PENRITH
SLAB CLASS:	H1	
WIND SPEED:	N2	
MGA		

OVERALL SITE PLAN
NTS

m
metricon

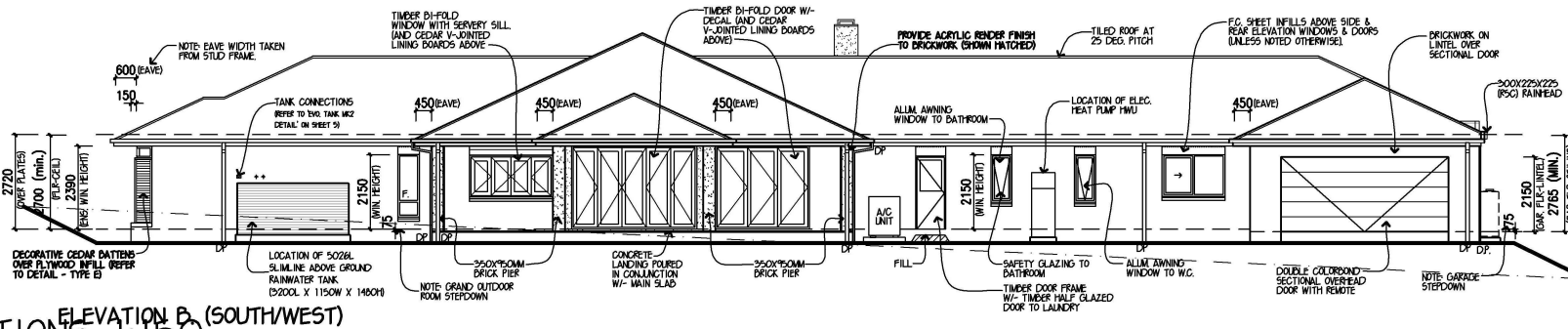
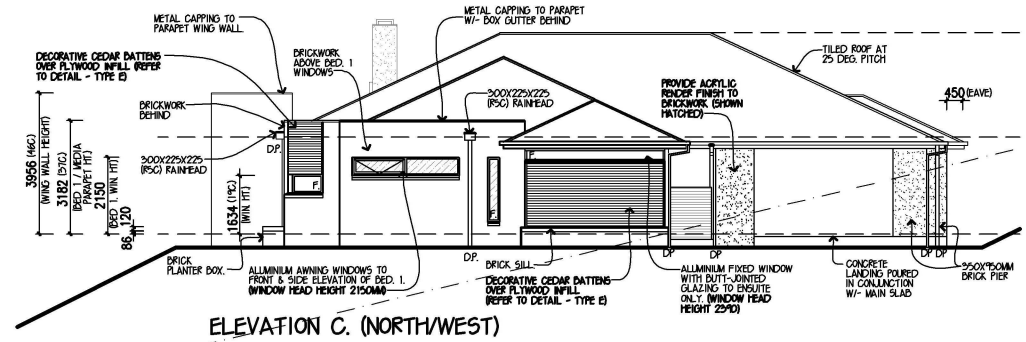
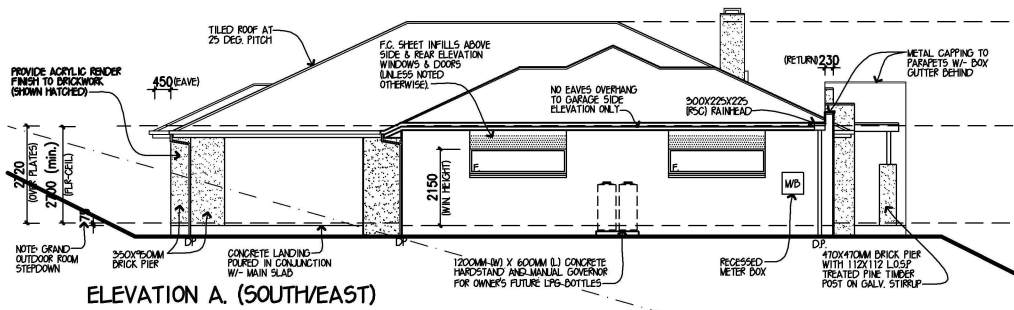
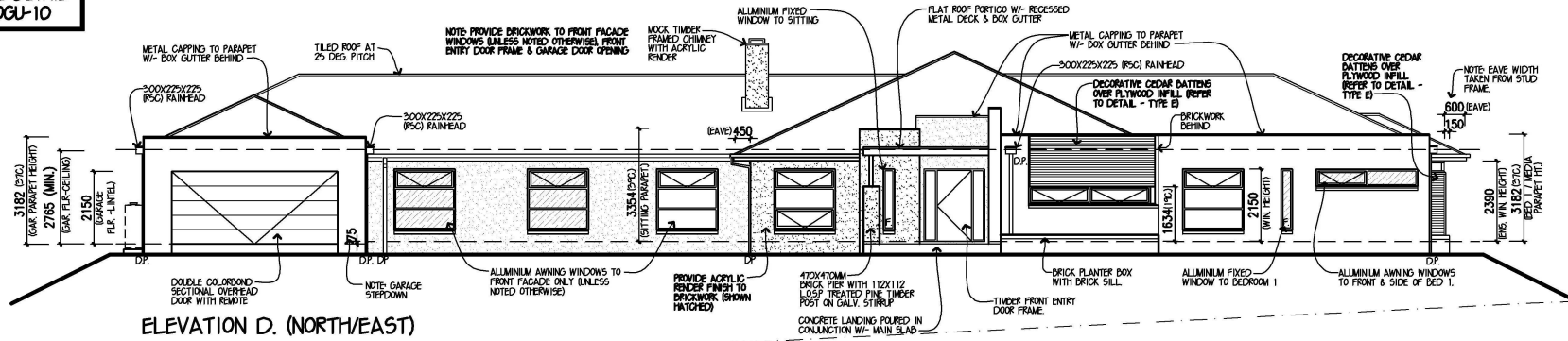
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LOT 1, NO. 259 WEST WILCHARD ROAD CASTLEREAGH	
JOB No. 671572	
DATE: 9/03/16	DRAWN: RZ
SCALE: 1:200	SHEET: ID OF 9
UBD REF: STD 123-A7	

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. 5-TYP-VOGU-10

IMPORTANT NOTE:
REFER TO ENGINEERS PLANS FOR
ARTICULATION JOINT LOCATIONS



'H1' CLASS SLAB

PROVIDE SELECTED FACE BRICKWORK
TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)

■ DENOTES WINDOWS WITH 6.38MM
THICK (NOM) COMFORTPLUS NEUTRAL
GLASS

- NOTES:**
- WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
 - ALL GLAZING TO COMPLY WITH A.S. 1288 - 2006 GLASS IN BUILDINGS, & WITH A.S. 4055 - 2012 FOR WINDLOADING.
 - WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
 - WINDOWS TO COMPLY WITH B.C.A. 3.9.2.5
 - GUTTER AND DRAINAGE SYSTEM TO COMPLY WITH A.S. 1546

DESIGN: DENVER 45	DESIGNER 	LOT 1 NO.259 WEST WILCHARD ROAD CASTLEREAGH
FACADE: VOGUE CEILING: 24, R		
GARAGE: DOUBLE LOCATION: F	METRICON 2016 Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes	JOB NO: 671572 DATE: 05.01.16
ELEVATIONS		F.C.DATE: DD MMM YYYY MST VER: 02 DEC 2008
METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTION IS FORBIDDEN AND WILL BE PROSECUTED.		PERMIT No: DRAWN: SMX CHKD: SHEET: 3 of 9

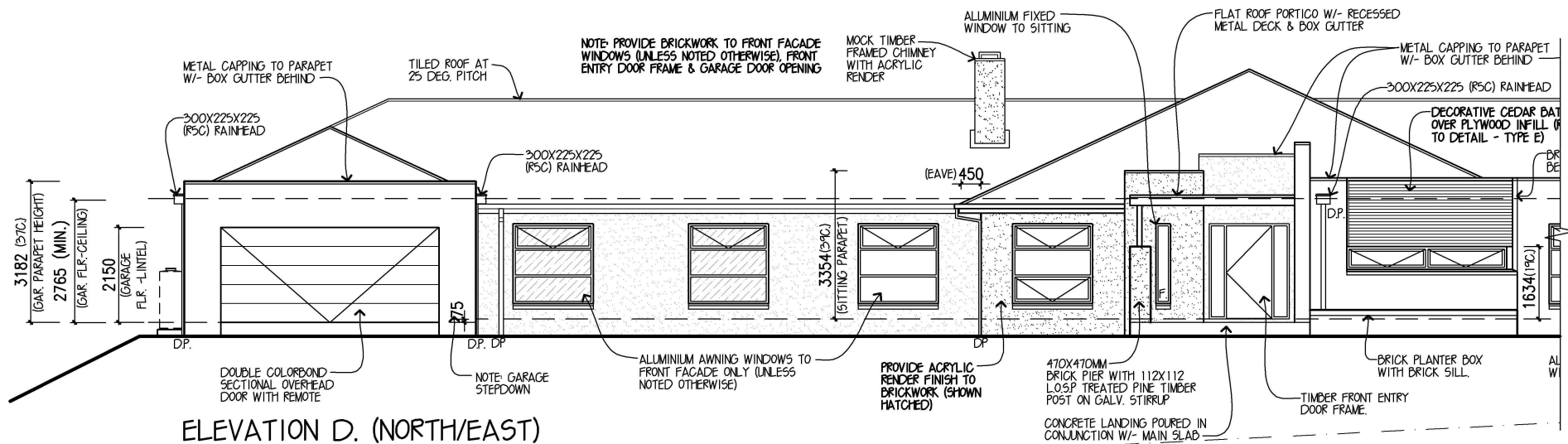
IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. **S-TYP-VOGU-10**

'H1' CLASS SLAB

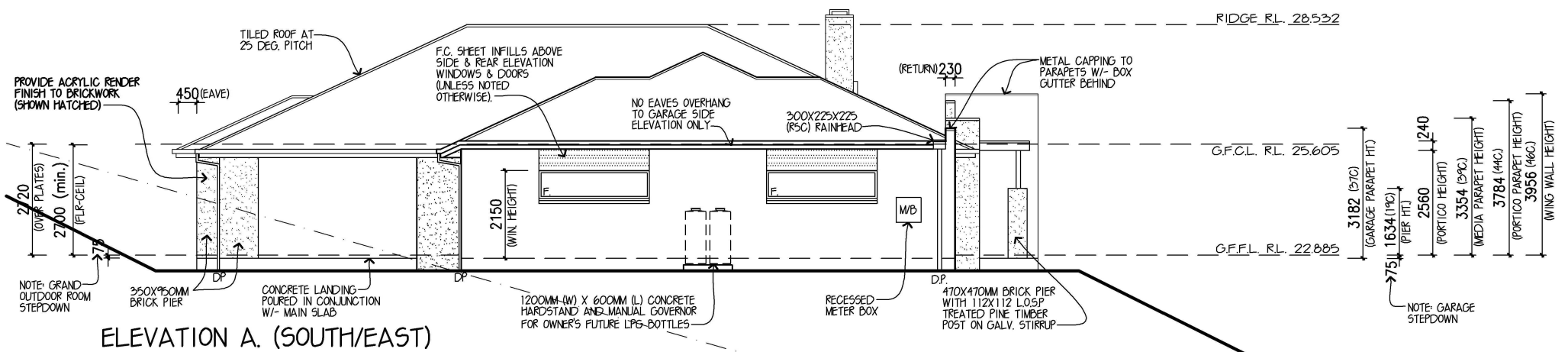
PROVIDE SELECTED FACE BRICKWORK
TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)

☐ DENOTES WINDOWS WITH 638MM
THICK (NOM) COMFORTPLUS NEUTRAL
GLASS

IMPORTANT NOTE:
REFER TO ENGINEERS PLANS FOR
ARTICULATION JOINT LOCATIONS



ELEVATION D. (NORTH/EAST)



ELEVATION A. (SOUTH/EAST)

ELEVATIONS 1:100

NOTES:
 * WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
 * ALL GLAZING TO COMPLY WITH A.S. 1288 - 2006 GLASS IN BUILDINGS, & WITH A.S. 4055 - 2012 FOR WINDLOADING.
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 * GUTTER AND DRAINAGE SYSTEM TO COMPLY WITH A.S. 1546
 Document set ID: 8092364
 Version: 1. Version Date: 14/03/2018

DESIGN: **DENVER 45**
 FACADE: **VOGUE** CEILING: **24. R**
 GARAGE: **DOUBLE** LOCATION: **F**

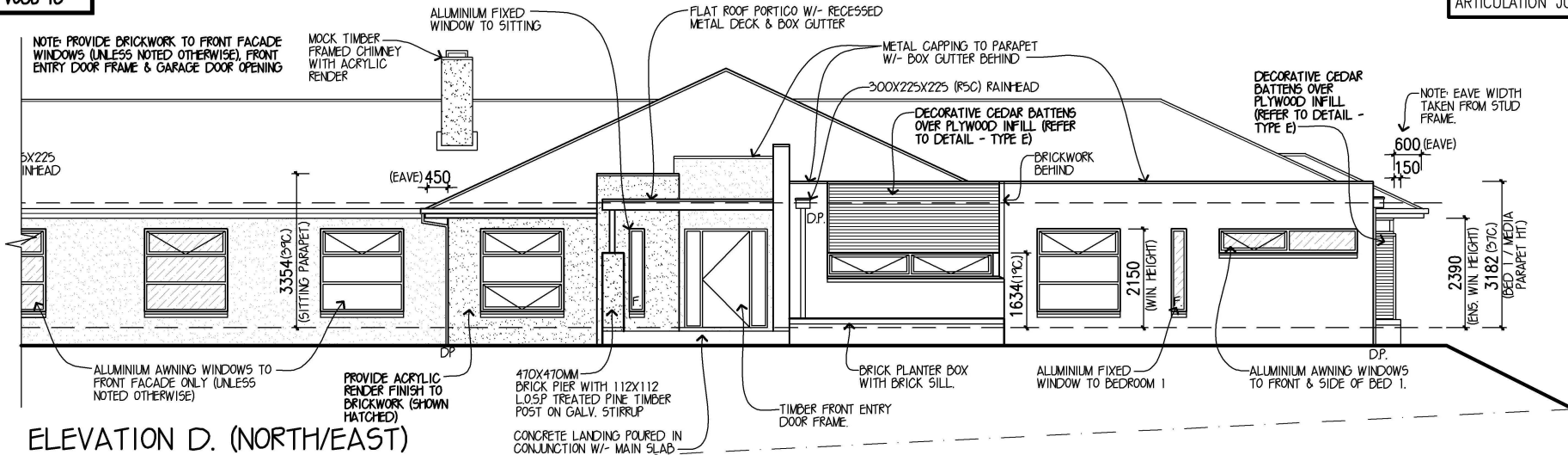
ELEVATIONS
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DESIGNER | **m** | **metricon**
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 P.O. Box 7610, Northwest Business Park NSW 2153
 Tel: 02 8887 9000 Fax: 02 8079 5901
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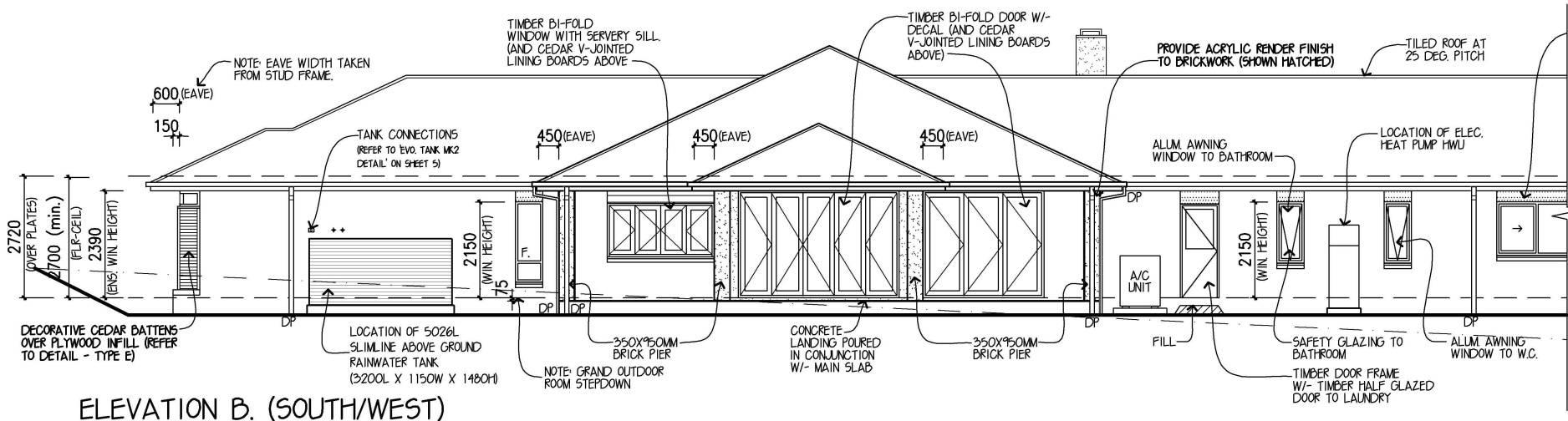
**LOT 1 NO.259 WEST WILCHARD ROAD
CASTLEREAGH**
 JOB NO: **671572** DATE: **05.01.16**
 F.C. DATE: **DD MM YYYY** MST VER: **02 DEC 2008**
 PERMIT No:
 DRAWN: **SMX** CHKED: SHEET: **4A** of **9**

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. 5-TYP-VOGU-10

IMPORTANT NOTE:
REFER TO ENGINEERS PLANS FOR
ARTICULATION JOINT LOCATIONS



ELEVATION D. (NORTH/EAST)



ELEVATION B. (SOUTH/WEST)

ELEVATIONS 1:100

'H1' CLASS SLAB

PROVIDE SELECTED FACE BRICKWORK
TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)

■ DENOTES WINDOWS WITH 638MM
THICK (NOM) COMFORTPLUS NEUTRAL
GLASS

- NOTES:**
- * WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
 - * ALL GLAZING TO COMPLY WITH A.S. 1288 - 2006 GLASS IN BUILDINGS, & WITH A.S. 4055 - 2012 FOR WINDLOADING.
 - * WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
 - * WINDOWS TO COMPLY WITH B.C.A. 3.9.2.5
 - * GUTTER AND DRAINAGE SYSTEM TO COMPLY WITH A.S. 3500

DESIGN: **DENVER 45**
FACADE: **VOGUE** CEILING: **24, R**
GARAGE: **DOUBLE** LOCATION: **F**

DESIGNER
metricon

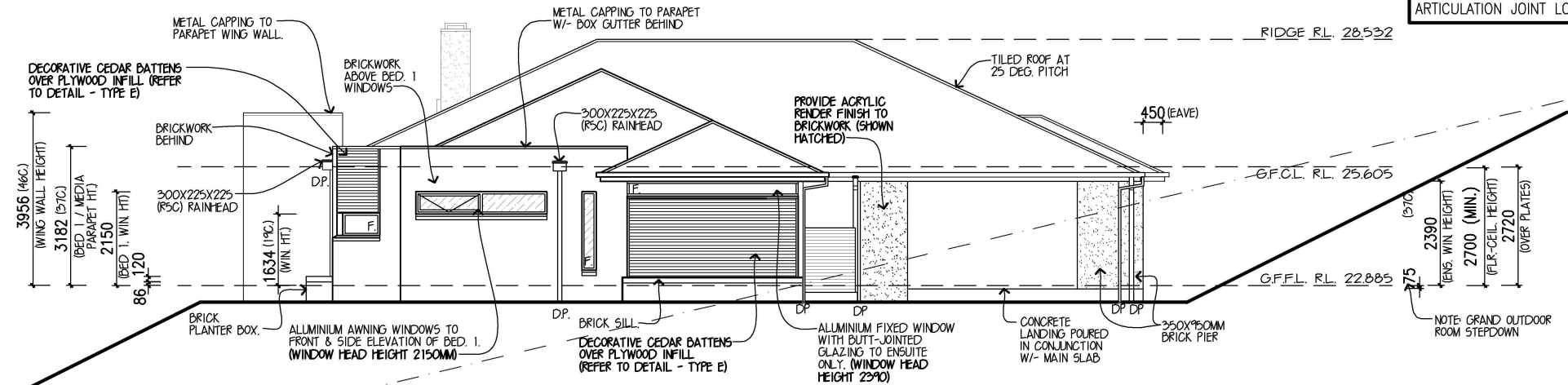
**LOT 1 NO259 WEST WILCHARD ROAD
CASTLEREAGH**

ELEVATIONS

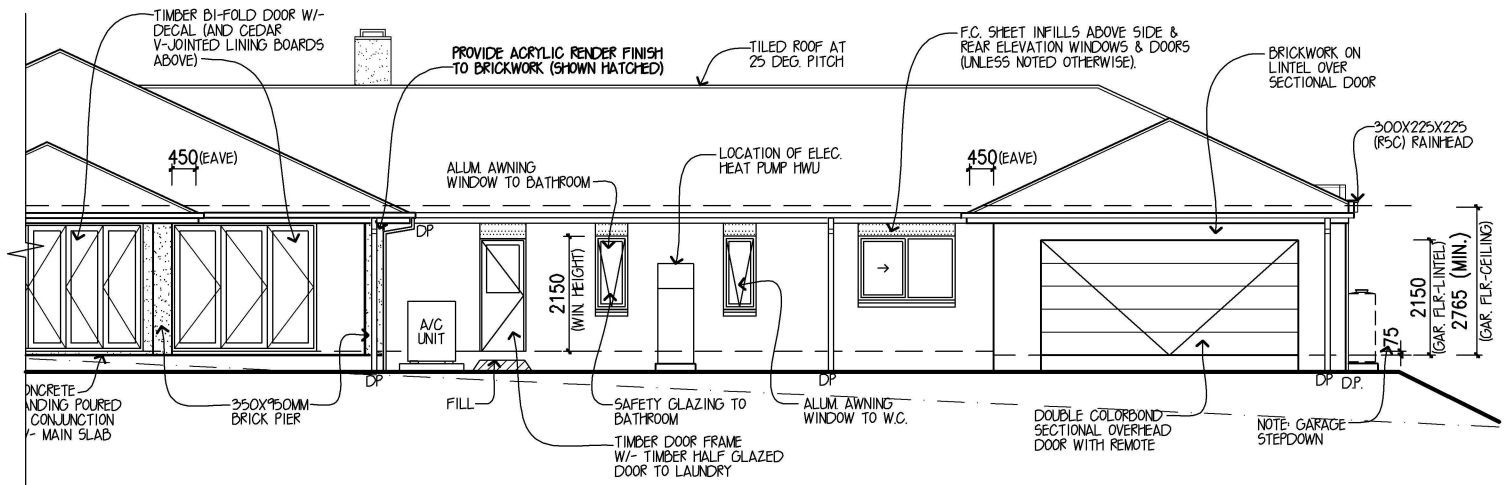
METRICON 2016
Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699 A.C.N. 005 108 752
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JOB NO: **671572** DATE: **05.01.16**
F.C. DATE: **DD MM YYYY** MST VER: **02 DEC 2008**
PERMIT No:
DRAWN: **SMX** CHKED: SHEET: **4B** of **9**

IMPORTANT NOTE:
REFER TO ENGINEERS PLANS FOR
ARTICULATION JOINT LOCATIONS



ELEVATION C. (NORTH/WEST)




ELEVATION B. (SOUTH/WEST)

ELEVATIONS 1:100

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DESIGN: **DENVER 45**
 FACADE: **VOGUE** CEILING: **24, R**
 GARAGE: **DOUBLE** LOCATION: **F**

DESIGNER 

**LOT 1 NO.259 WEST WILCHARD ROAD
CASTLEREAGH**

ELEVATIONS

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