

RESIDENTIAL FLAT BUILDING / UNDER AFFORDABLE HOUSING

18115

1 GARNER STREET, ST. MARYS, NSW
SECTION 96 (LEVEL 4 ADDITION)

DRAWING LIST

16047/1	COVER PAGE
16047/2	COMPLIANCE TABLE
16047/3	EXTENDED SITE PLAN
16047/4	SITE PLAN
16047/5	SITE ANALYSIS
16047/6	DEMOLITION PLAN
16047/7	BASEMENT - GROUND FLOOR
16047/8	FIRST - SECOND & THIRD FLOOR

16047/9	ROOF PLAN / BASIX COMMITMENTS
16047/10	SOUTH - NORTH ELEVATIONS
16047/11	EAST - WEST ELEVATIONS
16047/12	SECTIONS 1
16047/13	SECTIONS 2
16047/14	EXTERNAL COLOURS & FINISHES
16047/15	EXTERNAL COLOURS & FINISHES
16047/16	MATERIALS & FINISHES SCHEDULE

16047/17	FLOOR CALCULATIONS PLANS
16047/18	SOLAR ANGLE / CROSS VENTILATION
16047/19	STREETSCAPE ELEVATION
16047/20	SHADOWS WITHOUT LEVEL 4
16047/21	SHADOWS WITH LEVEL 4
16047/22	3D VIEWS
16047/23	NOTIFICATION PLAN



LOCATION PLAN



PHOTOMONTAGE

 BDAV Certificate Number 15110325

Energy Rating

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

heating 6.75 stars

cooling 31.6 MJ/m²

cooling 34.9 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Anthony Peart BDAV/VIC/13/1511

Assessor Signature  Date 26-04-16

RESIDENTIAL FLAT BUILDING / UNDER AFFORDABLE HOUSING

18115

1 GARNER STREET, ST. MARYS, NSW

COMPLIANCE TABLE

ITEM	SUBJECT	PROPOSED	REQUIREMENT	COMPLIANT
A	UNITS			
	1 BEDROOM UNIT	4 UNITS	-	-
	2 BEDROOMS UNIT	8 UNITS	-	-
	3 BEDROOMS UNIT	-	-	-
	TOTAL NUMBER OF UNITS	12 UNITS	-	-
B	CAR PARKING			
	1 BEDROOM UNITS	2 SPACES	0.5 SPACE PER UNIT	YES
	2 BEDROOM UNITS	8 SPACES	1 SPACE PER UNIT	YES
	3 BEDROOM UNIT	-	1 SPACE PER UNIT	-
	VISITORS	-	-	YES
	TOTAL NUMBER OF CAR PARKING	10 SPACES	10 SPACES	YES
C	SITE AREA	663.9 m²	-	-
D	SETBACKS			
	FRONT	6.47 m	6 m	YES
	REAR	6 m	6 m	YES
	SIDE	3 m	3 m	YES
E	HEIGHT	15 m	0 m	YES
F	GROSS FLOOR AREA			
	BASEMENT LEVEL 01	474.74 m²	-	-
	GROUND FLOOR	245.99 m²	-	-
	LEVEL 01	222.47 m²	-	-
	LEVEL 02	222.47 m²	-	-
	LEVEL 03	222.47 m²	-	-
	LEVEL 04	96.19 m²	-	-
	TOTAL GROSS FLOOR AREA	1009.59 m²	-	-
G	DEEP SOIL AREA	7 %	7 %	YES
H	COMMON AREA		-	-

DEVELOPMENT ANALYSIS

BUILDING APARTMENTS	SCHEDULE OF BUILDING AREAS					
	UNIT NO.	LEVEL	BEDROOMS	STORAGE	GROSS FLOOR AREA (M2)	P.O.S (M2)
	1	GF	2	8 M3	82	115
	2	GF	2	8 M3	85	35
	3	GF	1	8 M3	64	16
	4	1	2	8 M3	72	29
	5	1	1	8 M3	50	10
	6	1	2	8 M3	79	13
	7	2	2	8 M3	72	10
	8	2	1	8 M3	50	10
	9	2	2	8 M3	79	13
	10	3	2	8 M3	72	10
	11	3	1	8 M3	50	10
	12	3	2	8 M3	79	13
	13	4	1	8 M3	83	17

BEDROOMS SUMMARY			
	1BR	2BR	3BR
GF	1	2	0
1L	1	2	0
2L	1	2	0
3L	1	2	0
4L	1	0	0
TOTAL	5	8	0
	13		

BD&V Certificate Number 15110325

Energy Rating

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

6.75 stars
heating 31.6 MJ/m²
cooling 34.9 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Anthony Peart BDAV/VIC/13/1511

Assessor Signature  Date 26-04-16

Z:\2016\16078\BASIX\Construction notes.jpg

CONSULTANTS

SPECIALITY	COMPANY	NAME	PHONE	E-MAIL
LANDSCAPE ARCHITECT	RAY FUGGLE & ASSOCIATES PTY LTD	RAY FUGGLE	(02) 8860 0022	ray@fuggle.net.au
HYDRAULICS STORMWATER	UMBRELLA GROUP CONSULTING ENGINEERS	JOE BACHA	0414 263 233	info@umbrellaconsulting.com.au
TRAFFIC MANAGEMENT	NSA CONSULTING	BERNARD LO	0422 283 798	info@nsaconsulting.com.au
TOWN PLANNER	THINK PLANNERS	JONATHON WOOD	(02) 9890 8543	jonathon@thinkplanners.com.au

SPECIALITY	COMPANY	NAME	PHONE	E-MAIL
BASIX	ACCLAIM TOWN PLANNING	GREG SMITH	(02) 6672 7961 0400 876 531	greg@acclaiamtownplanning.com.au
SEPP 65	VITALE DESIGN	BEN VITALE	(02) 9517 1418	ben@vitaledesign.com.au
ARBORIST	HASKESWOOD SCIENTIFIC CONSULTING	TREVOR HAKESWOOD	0423 498 942	drjhakeswood@gmail.com.au

BAINI DESIGN

1B Villiers St, Parramatta, NSW, 2150.

PO Box 2402, North Parramatta, NSW, 1750.

Phone +61 2 9188 8250

Info@bainidesign.com.au

www.bainidesign.com.au

Sydney, Australia

REV

DESCRIPTION

DATE

ISSUED

CHECKED

A

PRE DA

09/11/15

OK

CB

B

DEVELOPMENT APPLICATION

28/05/16

OK

CB

C

DEVELOPMENT APPLICATION (AMENDMENTS)

02/11/16

OK

CB

D

SECTION 96

07/05/18

OK

CB

SCALE

NTS @ A3



PROJECT

RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING

ADDRESS

1 GARNER STREET, St. MARYS

CLIENT

GABCON HOLDINGS

REVISED

CHARLIE BAINI

DRAWN

JOSE HEREDIA

DRAWING TITLE

COMPLIANCE TABLE

PROJECT NO.

18115

DRAWING NO.

02

REVISION

D

DATE

07/05/18

DRAWN

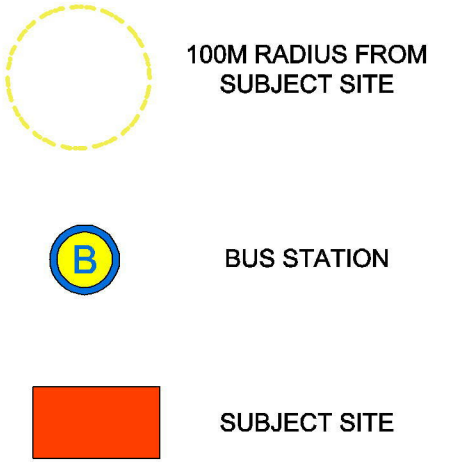
JH

AUTHORISED

CB



Document Set ID: 8316893
Version: 1, Version Date: 01/08/2018





BDAY Certificate Number 15110325

Energy Rating

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

heating 6.75 stars

cooling 31.6 MJ/m²

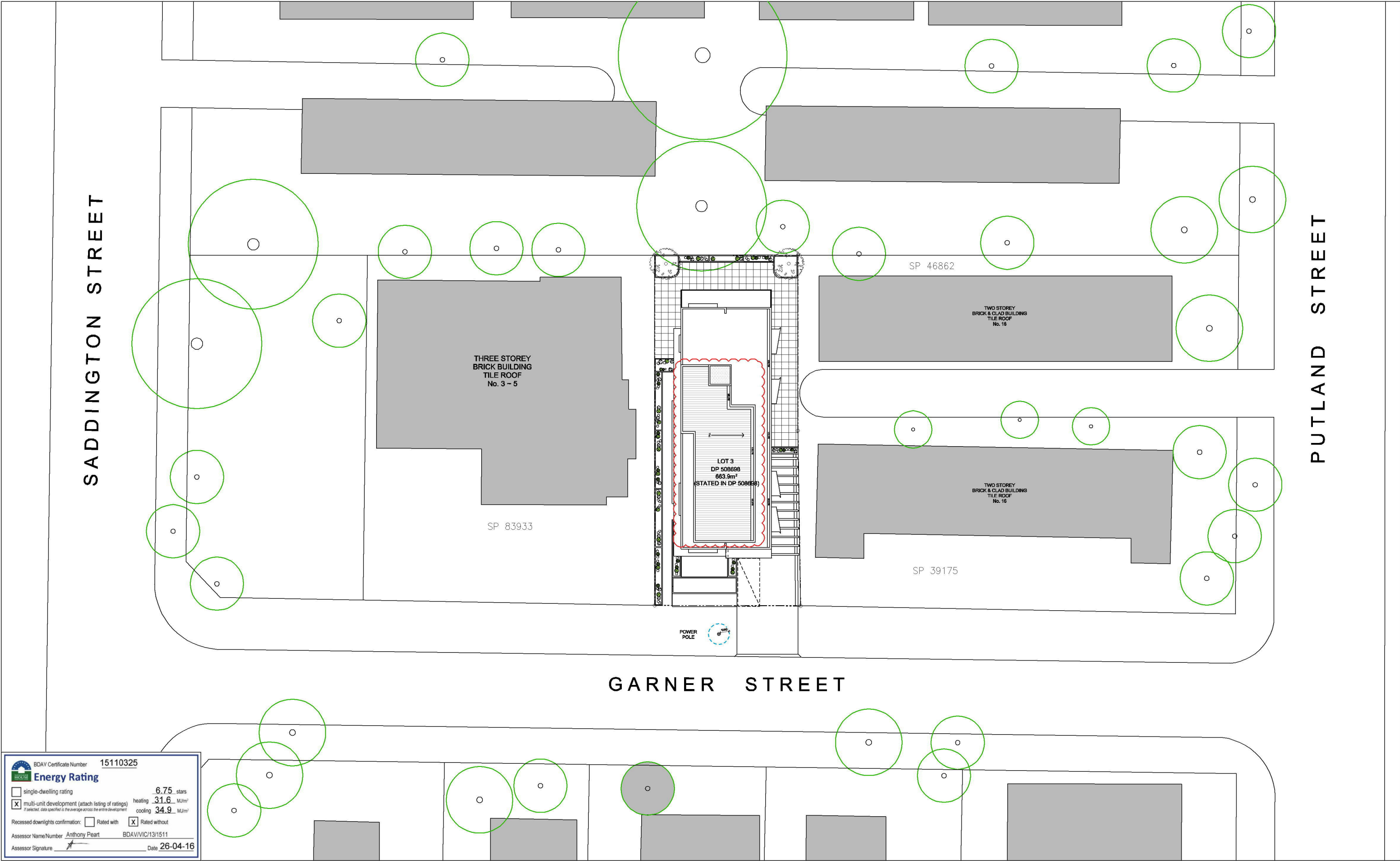
cooling 34.9 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Anthony Peart BDAV/VIC/13/1511

Assessor Signature  Date 26-04-16

BAINI DESIGN 1B Villiers St, Parramatta, NSW, 2150. PO Box 2402, North Parramatta, NSW, 1750. Phone +61 2 9188 8250 Info@bainidesign.com.au www.bainidesign.com.au Sydney, Australia		<table><tr><th>REV</th><th>DESCRIPTION</th><th>DATE</th><th>ISSUED</th><th>CHECKED</th></tr><tr><td>A</td><td>PRE DA</td><td>09/11/15</td><td>OK</td><td>CB</td></tr><tr><td>B</td><td>DEVELOPMENT APPLICATION</td><td>28/05/16</td><td>OK</td><td>CB</td></tr><tr><td>C</td><td>DEVELOPMENT APPLICATION (AMENDMENTS)</td><td>02/11/16</td><td>OK</td><td>CB</td></tr><tr><td>D</td><td>SECTION 96</td><td>07/05/18</td><td>OK</td><td>CB</td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr></table>	REV	DESCRIPTION	DATE	ISSUED	CHECKED	A	PRE DA	09/11/15	OK	CB	B	DEVELOPMENT APPLICATION	28/05/16	OK	CB	C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB	D	SECTION 96	07/05/18	OK	CB																SCALE NTS @ A3 	PROJECT RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING ADDRESS 1 GARNER STREET, St. MARYS CLIENT GABCON HOLDINGS REVISED CHARLIE BAINI DRAWN JOSE HEREDIA	DRAWING TITLE EXTENDED SITE PLAN <table><tr><td>PROJECT NO. 18115</td><td>DRAWING NO. 03</td><td>REVISION D</td></tr><tr><td>DATE 07/05/18</td><td>DRAWN JH</td><td>AUTHORISED CB</td></tr></table>	PROJECT NO. 18115	DRAWING NO. 03	REVISION D	DATE 07/05/18	DRAWN JH	AUTHORISED CB	
REV	DESCRIPTION	DATE	ISSUED	CHECKED																																																
A	PRE DA	09/11/15	OK	CB																																																
B	DEVELOPMENT APPLICATION	28/05/16	OK	CB																																																
C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB																																																
D	SECTION 96	07/05/18	OK	CB																																																
PROJECT NO. 18115	DRAWING NO. 03	REVISION D																																																		
DATE 07/05/18	DRAWN JH	AUTHORISED CB																																																		



BDAV Certificate Number 15110325

Energy Rating

6.75 stars

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)

heating 31.6 MJ/m²

cooling 34.9 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Anthony Peart BDAV/VIC/13/1511

Assessor Signature Date 26-04-16

BAINI DESIGN
1B Villiers St, Parramatta,
NSW, 2150.
PO Box 2402, North Parramatta,
NSW, 1750.

Phone +61 2 9188 8250
Info@bainidesign.com.au
www.bainidesign.com.au
Sydney, Australia

This drawing is copyright and the property of Baini Design. Larger scale drawings and written dimensions take preference. Do not scale from drawing all dimensions to be verified on site before commencement of work. All discrepancies to be brought to the attention of the author.

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	PRE DA	09/11/15	OK	CB
B	DEVELOPMENT APPLICATION	28/05/16	OK	CB
C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB
D	SECTION 96	07/05/18	OK	CB

SCALE
1:200 @ A1

PROJECT
RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING

ADDRESS
1 GARNER STREET, St. MARYS

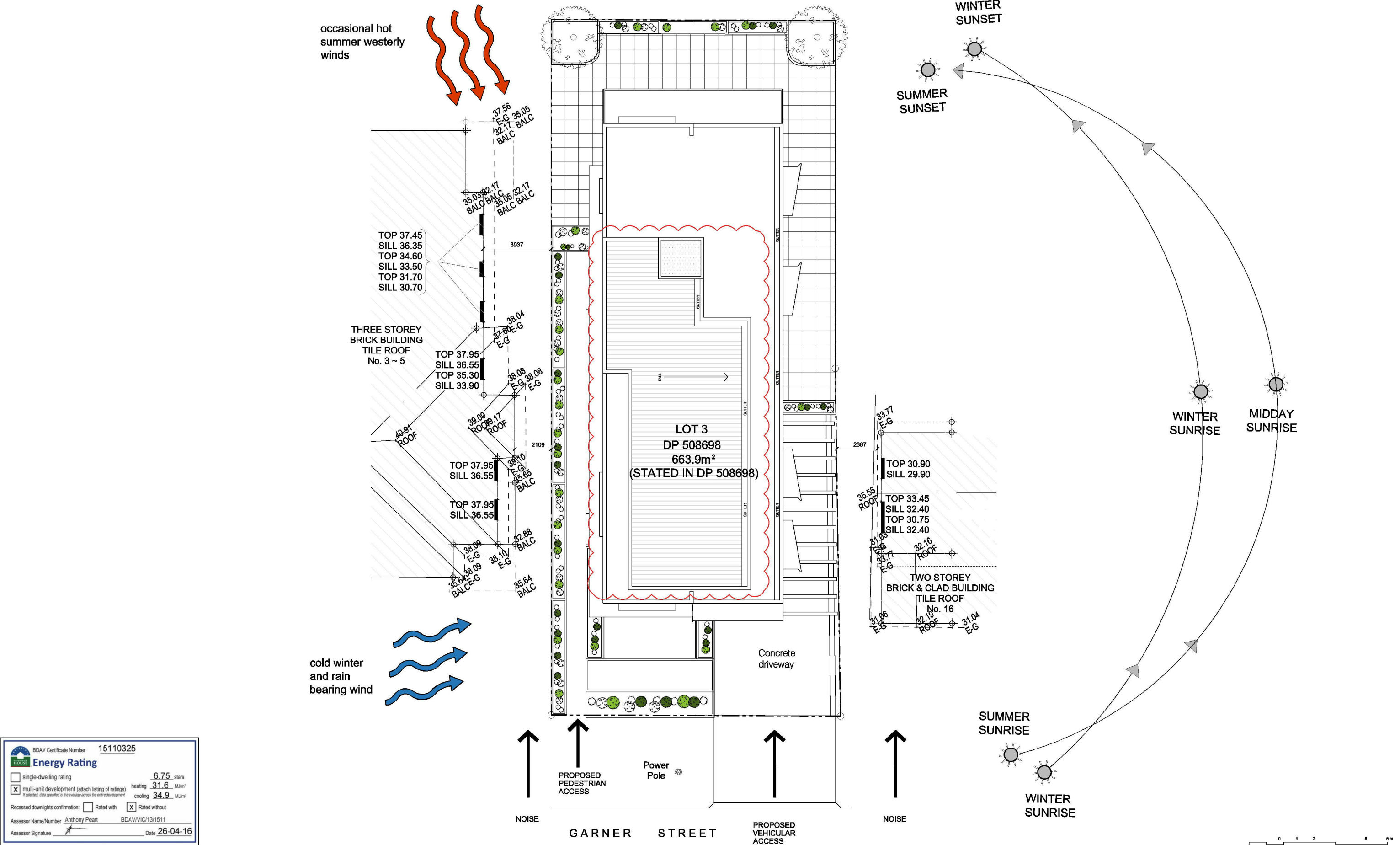
CLIENT
GABCON HOLDINGS

REVISED
CHARLIE BAINI

DRAWN
JOSE HEREDIA

DRAWING TITLE SITE PLAN		
PROJECT NO. 18115	DRAWING NO. 04	REVISION D
DATE 07/05/18	DRAWN JH	AUTHORISED CB





BDAV Certificate Number 15110325

Energy Rating

6.75 stars

single-dwelling rating

multi-unit development (attach listing of ratings) heating 31.6 MJ/m² cooling 34.9 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Anthony Peart BDAV/VIC/13/1511

Assessor Signature Date 26-04-16

BAINI DESIGN
1B Villiers St, Parramatta,
NSW, 2150.
PO Box 2402, North Parramatta,
NSW, 1750.

Phone +61 2 9188 8250
Info@bainidesign.com.au
www.bainidesign.com.au
Sydney, Australia

This drawing is copyright and the property of Baini Design. Larger scale drawings and written dimensions take preference. Do not scale from drawing all dimensions to be verified on site before commencement of work. All discrepancies to be brought to the attention of the author.

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	PRE DA	09/11/15	OK	CB
B	DEVELOPMENT APPLICATION	28/05/16	OK	CB
C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB
D	SECTION 96	07/05/18	OK	CB

SCALE
1:100 @ A1

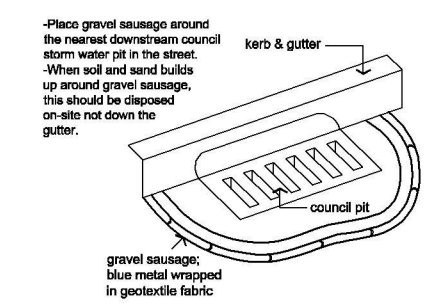
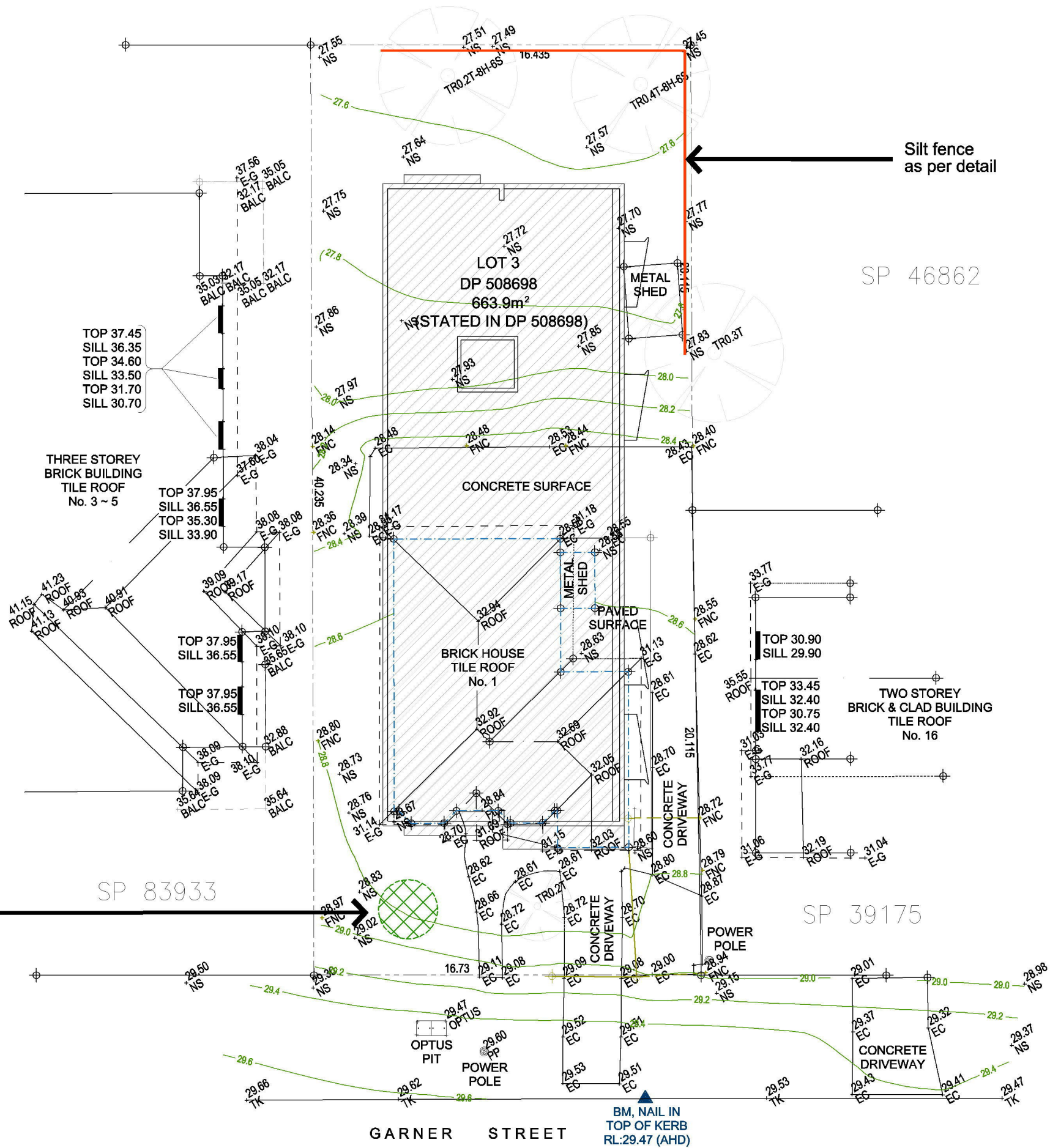


PROJECT
RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING
ADDRESS
1 GARNER STREET, St. MARYS
CLIENT
GABCON HOLDINGS
REVISED
CHARLIE BAINI
DRAWN
JOSE HEREDIA

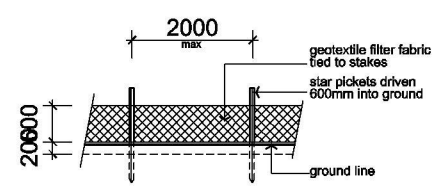
DRAWING TITLE
SITE ANALYSIS

PROJECT NO.	DRAWN NO.	REVISION
18115	05	D
DATE	DRAWN	AUTHORISED
07/05/18	JH	CB

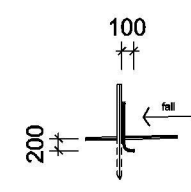




gravel sausage gutter protection



elevation silt fence



section silt fence

- EXISTING BUILDING
- PROPOSED BUILDING
- SILT FENCE
- STOCKPILE AREA

BDAV Certificate Number 15110325

Energy Rating

6.75 stars

single-dwelling rating

multi-unit development (attach listing of ratings) heating 31.6 MJ/m² cooling 34.9 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Anthony Peart BDAV/VIC/13/1511

Assessor Signature Date 26-04-16

BAINI DESIGN
1B Villiers St, Parramatta,
NSW, 2150.
PO Box 2402, North Parramatta,
NSW, 1750.

Phone +61 2 9188 8250
Info@bainidesign.com.au
www.bainidesign.com.au
Sydney, Australia

This drawing is copyright and the property of Baini Design. Larger scale drawings and written dimensions take precedence. Do not scale from drawing all dimensions to be verified on site before commencement of work. All discrepancies to be brought to the attention of the author.

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	PRE DA	09/11/15	OK	CB
B	DEVELOPMENT APPLICATION	28/05/16	OK	CB
C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB
D	SECTION 96	07/05/18	OK	CB

SCALE
1:100 @ A1

PROJECT
RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING

ADDRESS
1 GARNER STREET, St. MARYS

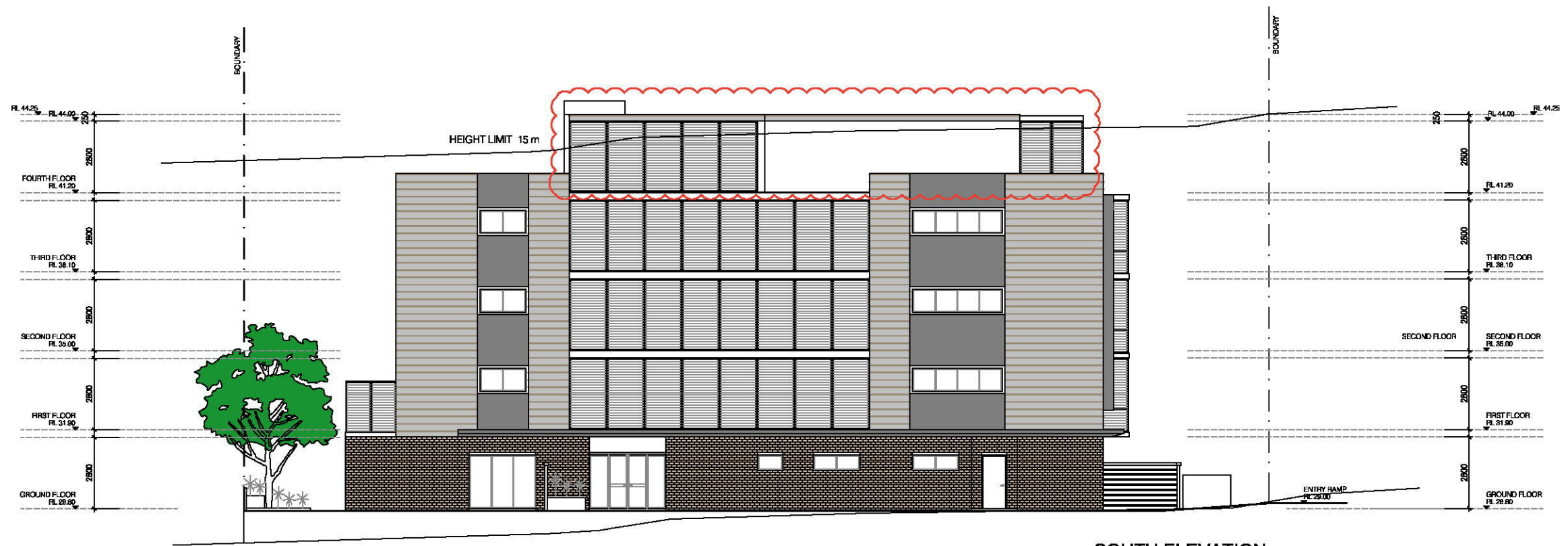
CLIENT
GABCON HOLDINGS

REVISED
CHARLIE BAINI

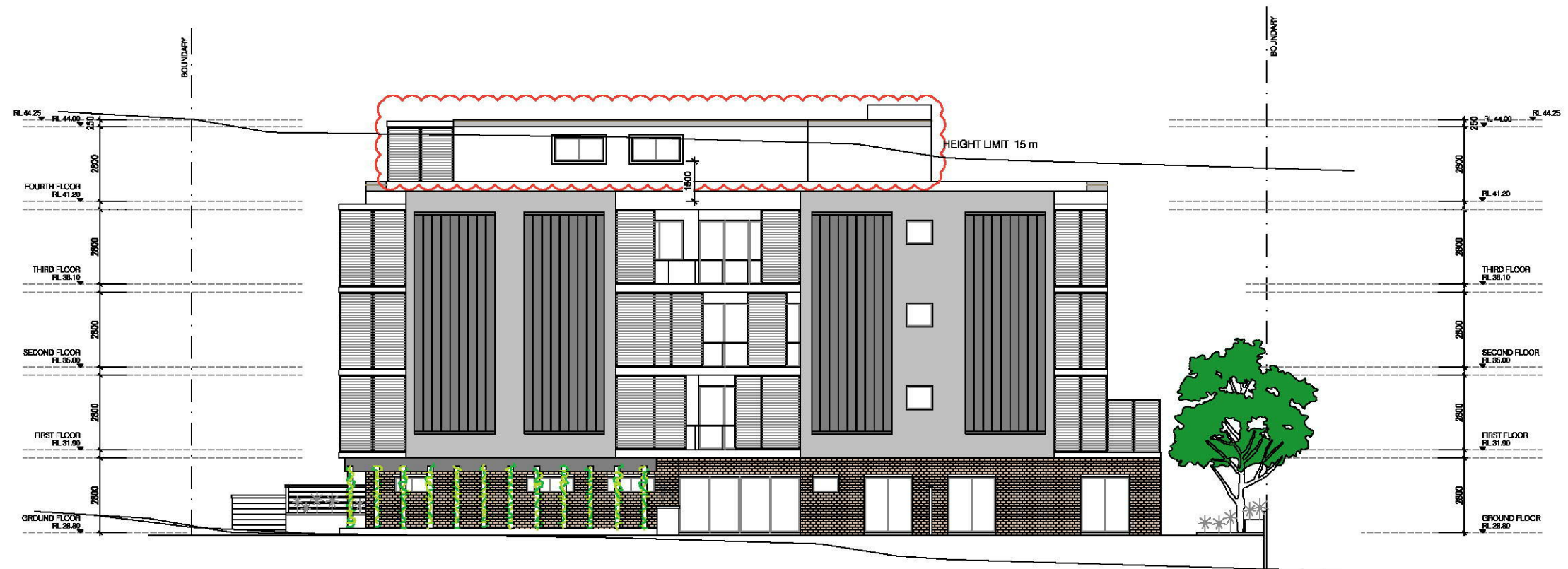
DRAWN
JOSE HEREDIA

DRAWING TITLE		
DEMOLITION PLAN		
PROJECT NO. 18115	DRAWING NO. 06	REVISION D
DATE 07/05/18	DRAWN JH	AUTHORISED CB





SOUTH ELEVATION



NORTH ELEVATION

BDAV Certificate Number 15110325

Energy Rating

6.75 stars

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)

heating 31.6 MJ/m²

cooling 34.9 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Anthony Peart BDAV/VIC/13/1511

Assessor Signature Date 26-04-16

BAINI DESIGN
1B Villiers St, Parramatta,
NSW, 2150.
PO Box 2402, North Parramatta,
NSW, 1750.

Phone +61 2 9188 8250
info@bainidesign.com.au
www.bainidesign.com.au
Sydney, Australia

This drawing is copyright and the property of Baini Design. Larger scale drawings and written dimensions take preference. Do not scale from drawing. All dimensions to be verified on site before commencement of work. All discrepancies to be brought to the attention of the author.

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	PRE-DA	09/11/15	OK	CB
B	DEVELOPMENT APPLICATION	28/05/16	OK	CB
C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB
D	SECTION 96	07/05/18	OK	CB

SCALE
1:100 @ A1



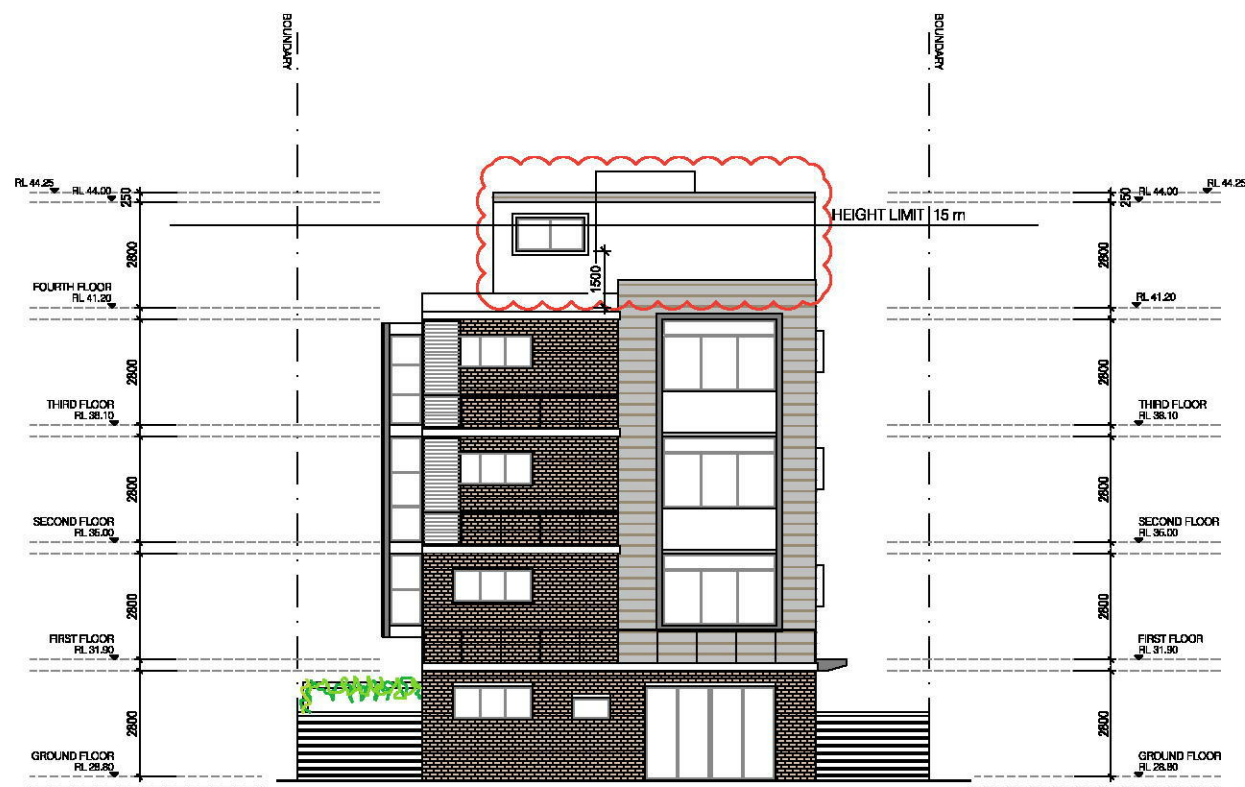
PROJECT
RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING
ADDRESS
1 GARNER STREET, ST. MARYS
CLIENT
GABCON HOLDINGS
REVISED
CHARLIE BAINI
DRAWN
JOSE HEREDIA

DRAWING TITLE		
SOUTH - NORTH ELEVATIONS		
PROJECT NO. 18115	DRAWING NO. 10	REVISION D
DATE 07/05/18	DRAWN JH	AUTHORISED CB





EAST ELEVATION



WEST ELEVATION

BDAY Certificate Number 15110325

Energy Rating

6.75 stars

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)

heating 31.6 MJ/m²

cooling 34.9 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Anthony Peart BDAV/VIC/13/1511

Assessor Signature Date 26-04-16

0 1 2 3 4 5 m

BAINI DESIGN
18 Villiers St, Parramatta,
NSW, 2150.
PO Box 2402, North Parramatta,
NSW, 1750.

Phone +61 2 9188 8250
info@bainidesign.com.au
www.bainidesign.com.au
Sydney, Australia

This drawing is copyright and the property of Baid Design. Larger scale drawings and written dimensions take preference. Do not scale from drawing. All dimensions to be verified on site before commencement of work. All discrepancies to be brought to the attention of the author.

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	PRE DA	09/11/15	OK	CB
B	DEVELOPMENT APPLICATION	28/05/18	OK	CB
C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB
D	SECTION 96	07/05/18	OK	CB

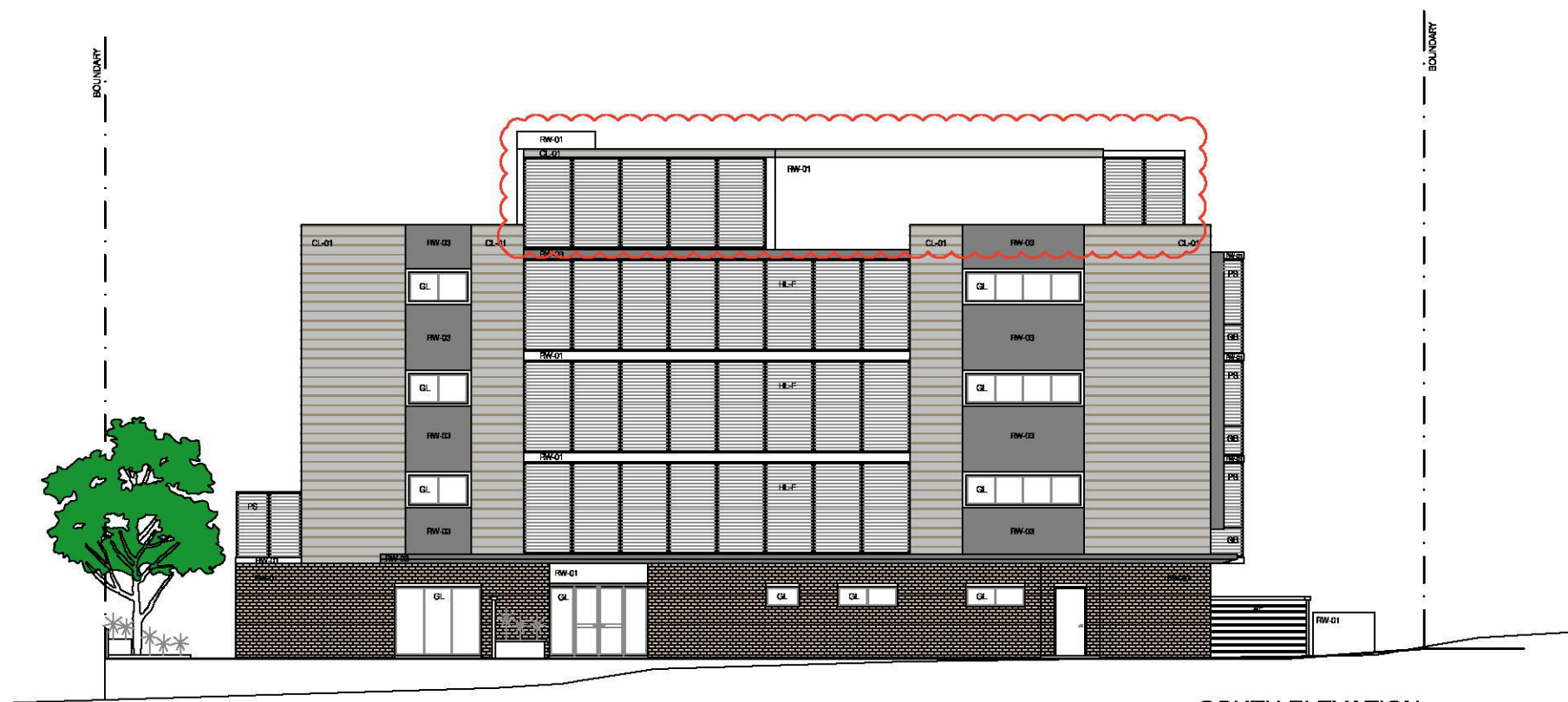
SCALE
1:100 @ A1



PROJECT
RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING
ADDRESS
1 GARNER STREET, ST. MARYS
CLIENT
GABCON HOLDINGS
REVISED
CHARLIE BAINI
DRAWN
JOSE HEREDIA

DRAWING TITLE		
EAST - WEST ELEVATIONS		
PROJECT NO. 18115	DRAWING NO. 11	REVISION D
DATE 07/05/18	DRAWN JH	AUTHORISED CB

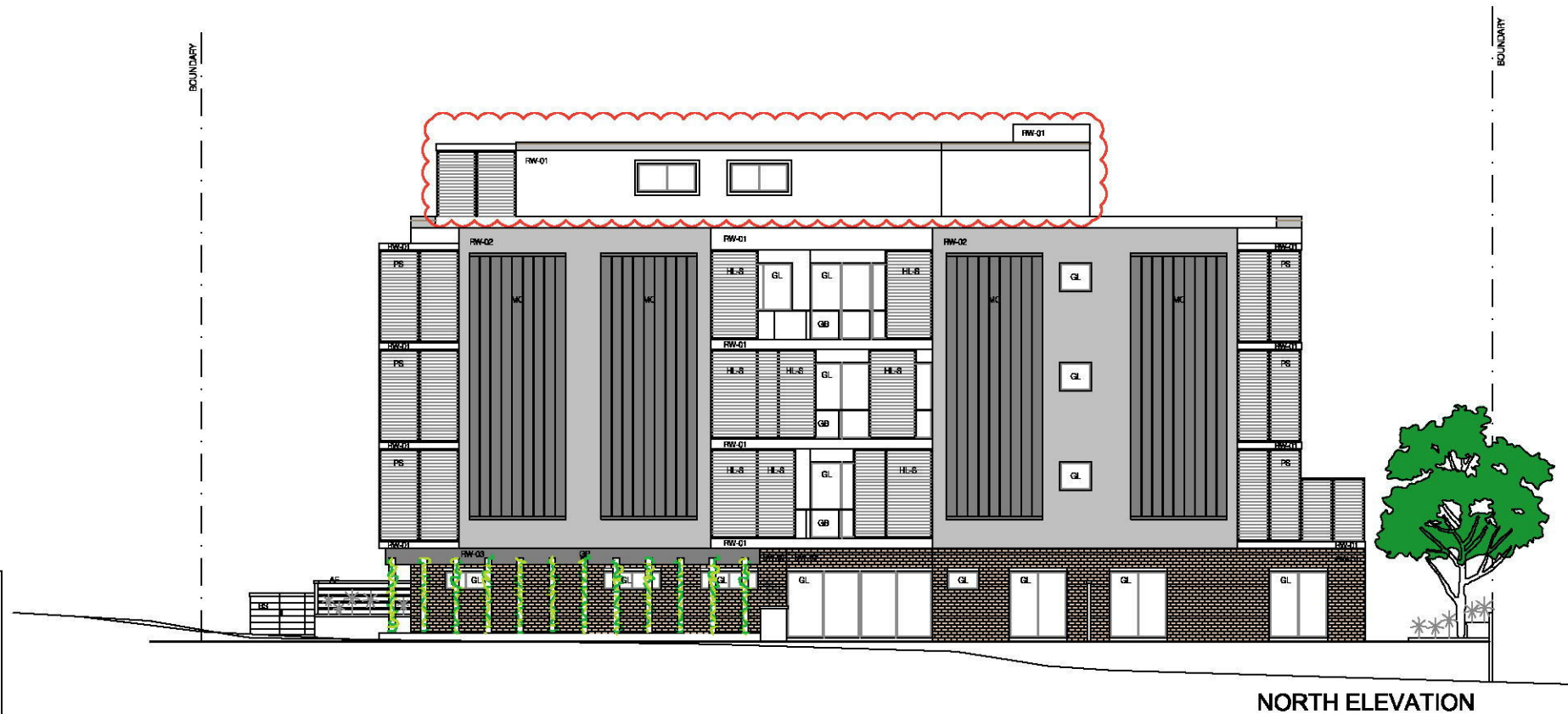




SOUTH ELEVATION

MATERIALS LEGEND

	BW-01	FACE BRICK / PGH - ESC URA VELOUR PEARL GREY
	CL-01	SCYON/STRYA CLADDING - 325 mm
	RW-01	RENDERED EXTERNAL/PAINT FINISH DULUX-B12 VIVID WHITE
	RW-02	RENDERED EXTERNAL/PAINT FINISH DULUX-GR15 MENISCUS
	RW-03	RENDERED EXTERNAL/PAINT FINISH DULUX-GR17 SIGNATURE
	MC	METAL CLADDING SYSTEM ALUMINIUM STANDING SEAM
	GL	GLASSING
	GB	GLASS BALUSTRADE
	HL-F	HORIZONTAL LOUVRES - FIXED
	HL-F	HORIZONTAL LOUVRES - SLIDING
	AF	ALUMINIUM FENCE
	GP	GREEN PERGOLA
	BS	BIN STORAGE



NORTH ELEVATION



BAINI DESIGN
18 Villiers St, Parramatta,
NSW, 2150.
PO Box 2402, North Parramatta,
NSW, 1750.

Phone +61 2 9188 8250
info@bainidesign.com.au
www.bainidesign.com.au
Sydney, Australia

This drawing is copyright and the property of Baid Design. Larger scale drawings and written dimensions take preference. Do not scale from drawing. All dimensions to be verified on site before commencement of work. All discrepancies to be brought to the attention of the author.

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	PRE DA	09/11/15	OK	CB
B	DEVELOPMENT APPLICATION	28/05/16	OK	CB
C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB
D	SECTION 96	07/06/18	OK	CB

SCALE
1:100 @ A1



PROJECT
RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE
HOUSING

ADDRESS
1 GARNER STREET, St. MARYS

CLIENT
GABCON HOLDINGS

REVISED
CHARLIE BAINI

DRAWN
JOSE HEREDIA

DRAWING TITLE
EXTERNAL COLOURS & FINISHES

PROJECT NO.	DRAWING NO.	REVISION
18115	14	D
DATE	DRAWN	AUTHORISED
07/05/18	JH	CB



MATERIALS LEGEND

	BW-01	FACE BRICK / PGH - ESC URA VELOUR PEARL GREY
	CL-01	SCYON/STRYA CLADDING - 325 mm
	RW-01	RENDERED EXTERNAL/PAINT FINISH DULUX-B12 VMD WHITE
	RW-02	RENDERED EXTERNAL/PAINT FINISH DULUX-GR15 MENISCUS
	RW-03	RENDERED EXTERNAL/PAINT FINISH DULUX-GR17 SIGNATURE
	MC	METAL CLADDING SYSTEM ALUMINIUM STANDING SEAM

GL GLASSING

GB GLASS BALUSTRADE

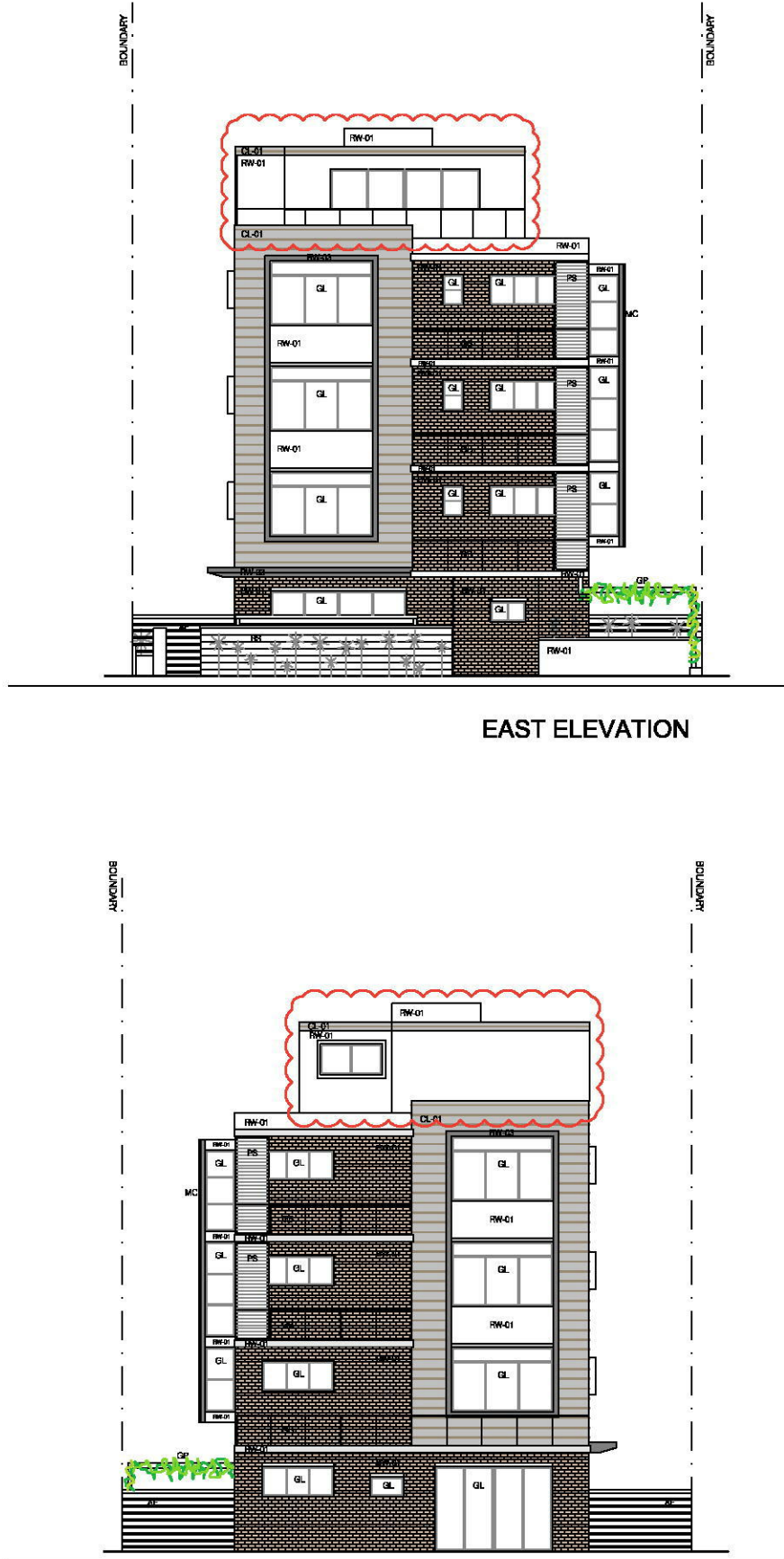
HL-F HORIZONTAL LOUVRES - FIXED

HL-F HORIZONTAL LOUVRES - SLIDING

AF ALUMINIUM FENCE

GP GREEN PERGOLA

BS BIN STORAGE



WEST ELEVATION

BASIX COMMITMENTS

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building 1

(a) Dwellings

Dwelling no.	Water	Thermal loads	Common areas and central systems/facilities
101	3 star	23.3	101
102	3 star	23.3	102
201	3 star	23.3	201
202	3 star	23.3	202
301	3 star	23.3	301
302	3 star	23.3	302
303	3 star	23.3	303

(b) Common areas and central systems/facilities

Common area	Thermal loads	Common areas and central systems/facilities
101	23.3	101
102	23.3	102
201	23.3	201
202	23.3	202
301	23.3	301
302	23.3	302
303	23.3	303

(c) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(d) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(e) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(f) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(g) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(h) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(i) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(j) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(k) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(l) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(m) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(n) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(o) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(p) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(q) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(r) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(s) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(t) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(u) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(v) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(w) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(x) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(y) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(z) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(aa) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(ab) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(ac) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(ad) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(ae) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(af) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(ag) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(ah) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(ai) Energy

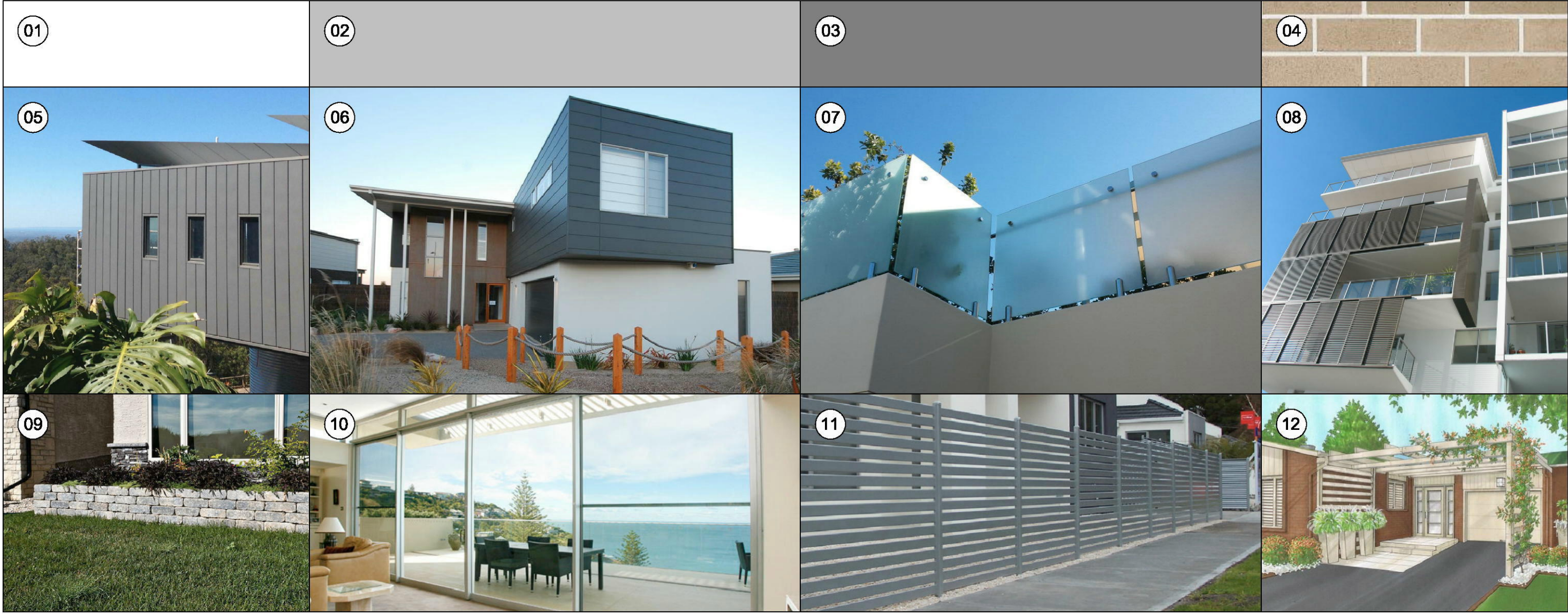
Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(aj) Energy

Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303

(ak) Energy

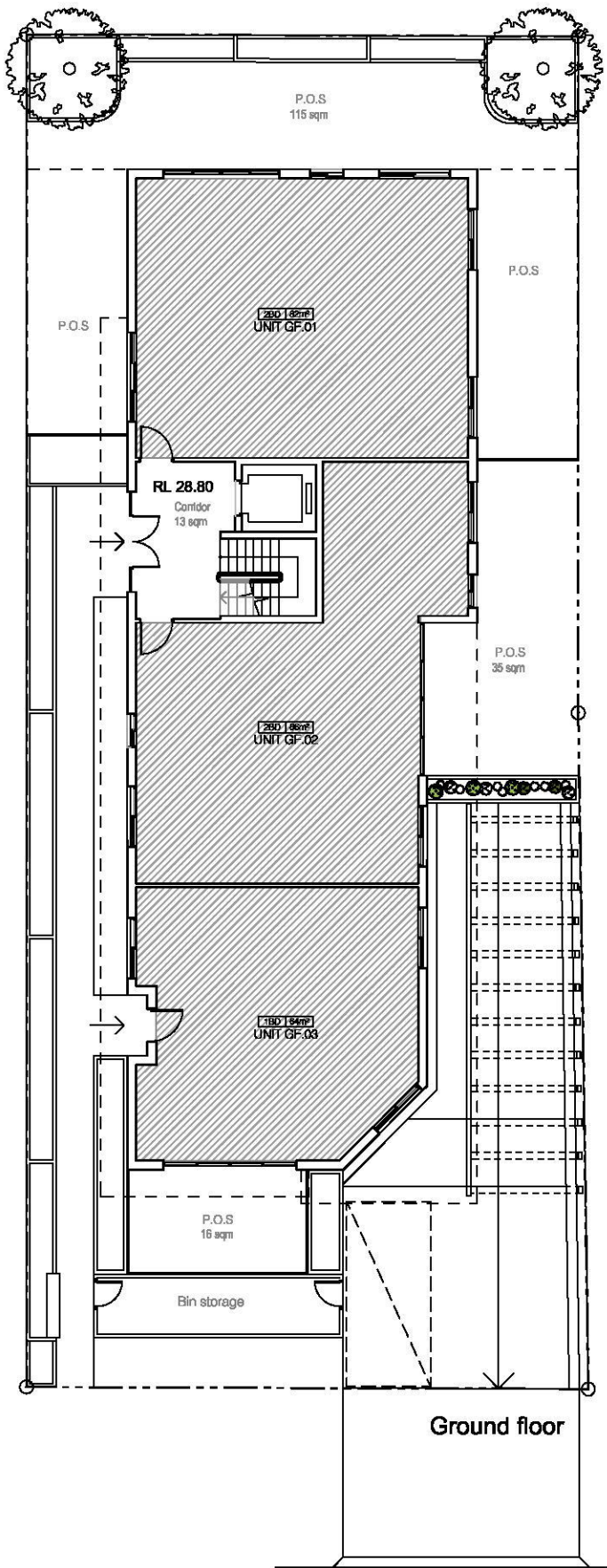
Dwelling no.	Energy	Common areas and central systems/facilities
101	3 star	101
102	3 star	102
201	3 star	201
202	3 star	202
301	3 star	301
302	3 star	302
303	3 star	303



SCHEDULE OF MATERIALS AND FINISHES

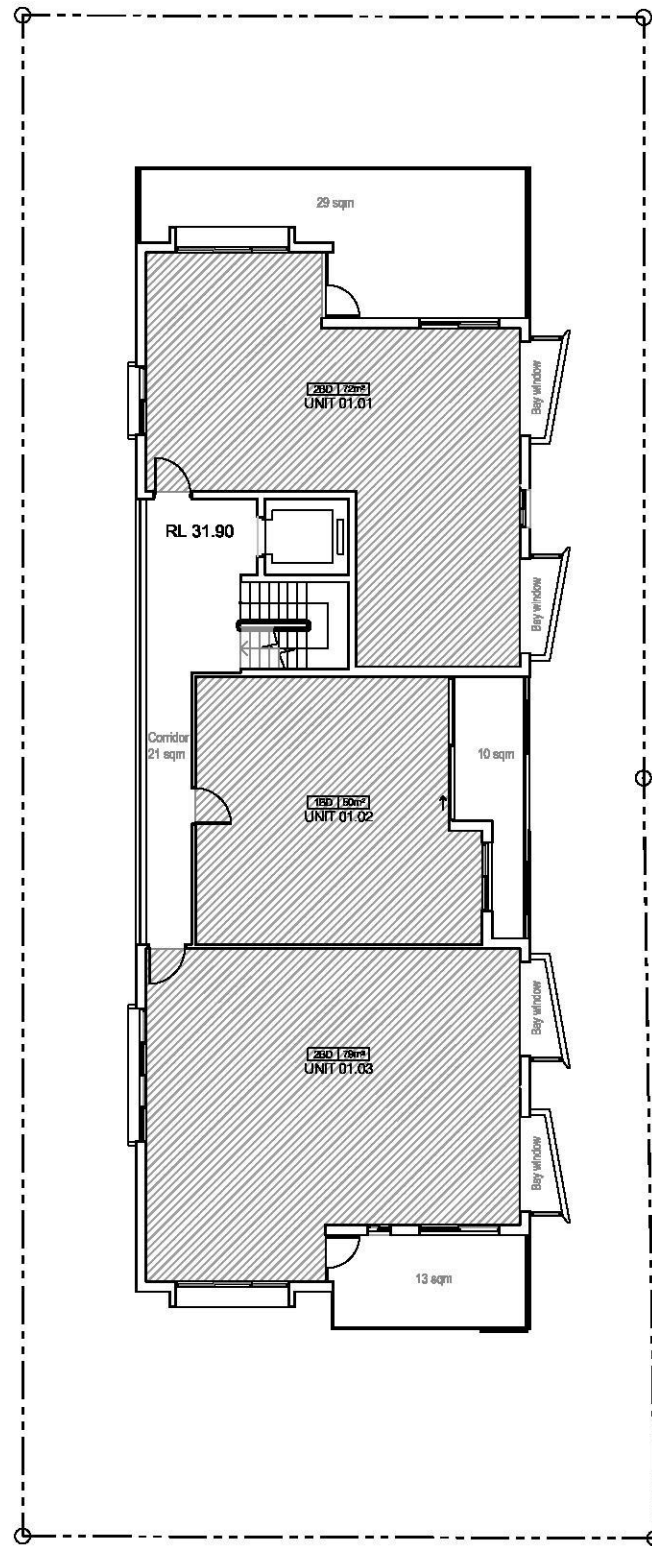
REFERENCE	ELEMENT	ELEVATION CODE	MATERIAL	FINISH / SPECIFICATIONS
01	EXTERNAL WALL	RW-01	RENDER AND PAINT	DULUX B12 VIVID WHITE OR SIMILAR
02	EXTERNAL WALL	RW-02	RENDER AND PAINT	DULUX GR15 MENISCUS OR SIMILAR
03	EXTERNAL WALL	RW-03	RENDER AND PAINT	DULUX GR17 SIGNATURE OR SIMILAR
04	EXTERNAL WALL	BW-01	DRY PRESSED BRICK	FACE BRICK / PGH - ESCURA VELOUR - PEARL GREY
05	EXTERNAL WALL	MC	METAL CLADDING SYSTEM	ALUMINIUM STANDING SEAM - 25 X 320 MM OR SIMILAR
06	EXTERNAL WALL	CL-01	EXTERNAL CLADDING	SCYON / STRYA CLADDING 325 MM OR SIMILAR
07	GLAZED BALUSTRADE	GB	FRAMELESS FROSTED GLASS BALUSTRADE	40 MM FROSTED GLASS OR SIMILAR
08	PRIVACY SCREENS / HORIZONTAL LOUVRES	HL-F / HL-S / PS	FIXED & SLIDING SCREENS - HORIZONTAL LOUVRES	ALUMINIUM COATED
08	STONE WALLS / PLANTERS	SW	FLAT MOUNTAIN STONES	FLAT MOUNTAIN STONES
10	WINDOWS AND DOORS - RESIDENTIAL	GL	GLASS SET IN POWDER COATED ALUMINIUM FRAME	DULUX DURATEC X15 "ZEUS SILVER GREY" OR SIMILAR
11	ALUMINIUM FENCE	AF	ALUMINIUM FENCING	ALUMINIUM COATED
12	GREEN PERGOLA - DRIVEWAY BASEMENT ENTRY	GP	ALUMINIUM PERGOLA	ALUMINIUM COATED

BAINI DESIGN 18 Villiers St, Parramatta, NSW, 2150. PO Box 2402, North Parramatta, NSW, 1750. Phone +61 2 9188 8250 info@bainidesign.com.au www.bainidesign.com.au Sydney, Australia This drawing is copyright and the property of Baini Design. Larger scale drawings and written dimensions take preference. Do not scale from drawing. All dimensions to be verified on site before commencement of work. All discrepancies to be brought to the attention of the author.	REV	DESCRIPTION	DATE	ISSUED	CHECKED	SCALE NTS @ A3	PROJECT RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING ADDRESS 1 GARNER STREET, St. MARYS CLIENT GABCON HOLDINGS REVISED CHARLIE BAINI DRAWN JOSE HEREDIA	DRAWING TITLE MATERIALS & FINISHES SCHEDULE		
	A	PRE-DA	09/11/16	OK	CB			PROJECT NO. 18115	DRAWING NO. 16	REVISION D
	B	DEVELOPMENT APPLICATION	28/05/18	OK	CB			DATE 07/05/18	DRAWN JH	AUTHORISED CB
	C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB					
	D	SECTION 96	07/05/18	OK	CB					

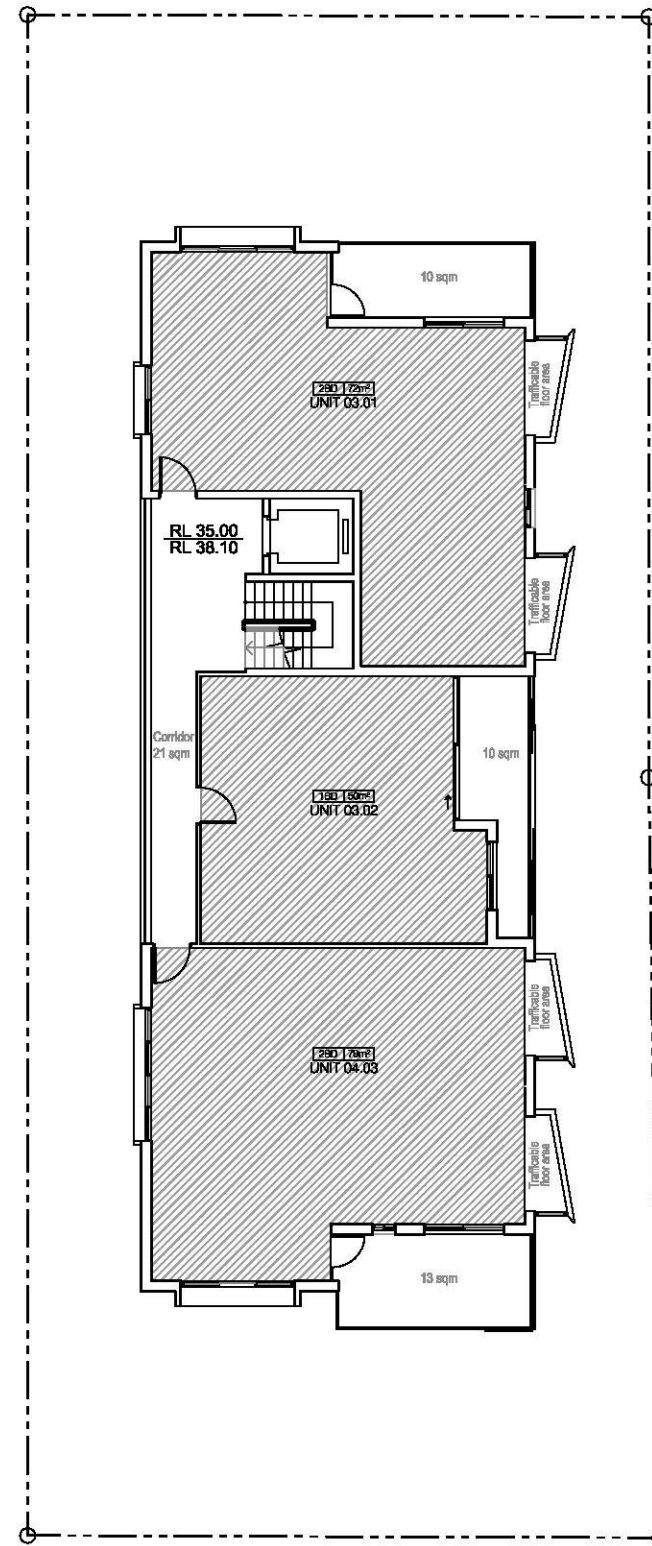


GARNER STREET

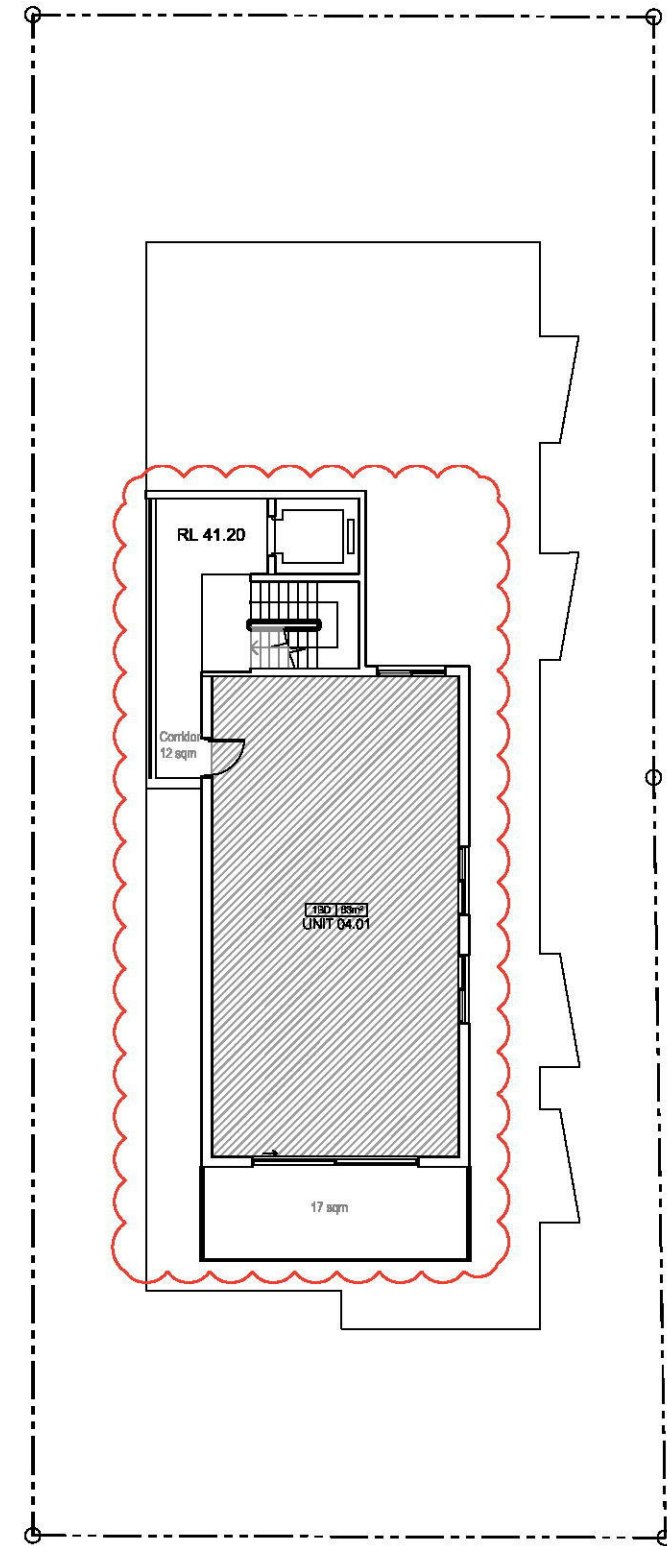
Ground floor



First floor



Second &
third floor



BDAV Certificate Number 15110325	
Energy Rating	
☐ single-dwelling rating	6.75 stars
☒ multi-unit development (attach listing of ratings)	heating 31.6 MJ/m²
	cooling 34.9 MJ/m²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without	
Assessor Name/Number Anthony Peart BDAV/VIC/13/1511	
Assessor Signature	Date 26-04-16

BAINI DESIGN
18 Villiers St, Parramatta,
NSW, 2150.
PO Box 2402, North Parramatta,
NSW, 1750.
Phone +61 2 9188 8250
info@bainidesign.com.au
www.bainidesign.com.au
Sydney, Australia

This drawing is copyright and the property of Baid Design. Larger scale drawings and written dimensions take precedence. Do not scale from drawing of dimensions to be verified on site before commencement of work. All discrepancies to be brought to the attention of the author.

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	PRE-DA	08/11/15	OK	CB
B	DEVELOPMENT APPLICATION	28/05/16	OK	CB
C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB
D	SECTION 96	07/05/18	OK	CB

SCALE
1:100 @ A1

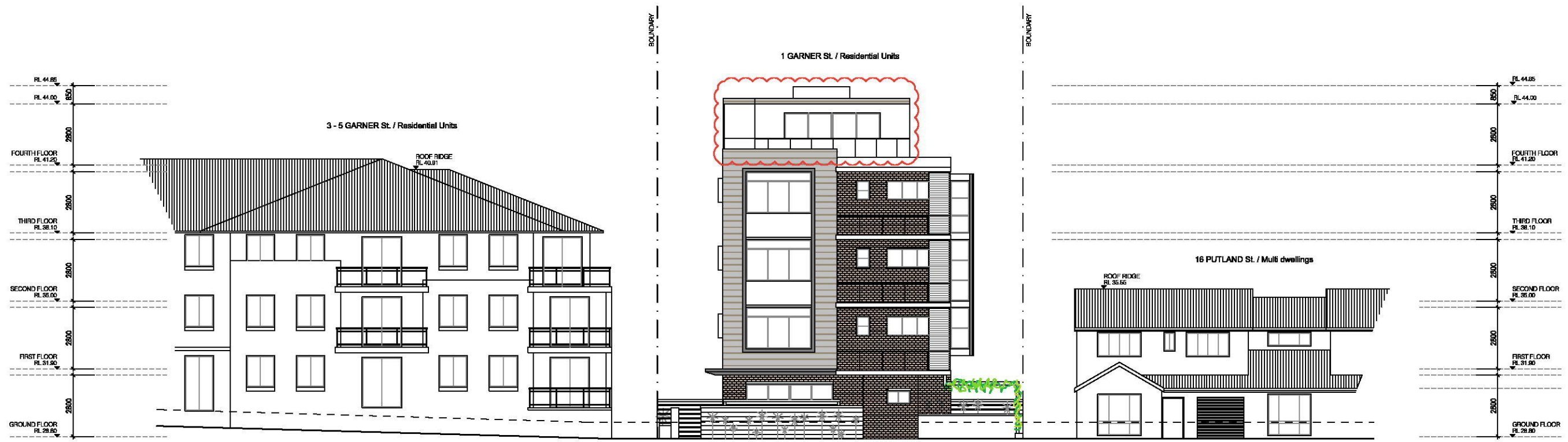


PROJECT
RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING
ADDRESS
1 GARNER STREET, St. MARYS
CLIENT
GABCON HOLDINGS
REVISED
CHARLIE BAINI
DRAWN
JOSE HEREDIA

DRAWING TITLE
FLOOR CALCULATIONS PLANS

PROJECT NO.	DRAWING NO.	REVISION
18115	17	D
DATE	DRAWN	AUTHORISED
07/05/18	JH	CB





STREETSCAPE ELEVATION
(Garner street)

BDAY Certificate Number 15110325

Energy Rating

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)

heating 31.6 MJ/m²

cooling 34.9 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Anthony Peart BDAV/VIC/13/1511

Assessor Signature Date 26-04-16

BAINI DESIGN
1B Villiers St, Parramatta,
NSW, 2150.
PO Box 2402, North Parramatta,
NSW, 1750.

Phone +61 2 9188 8250
info@bainidesign.com.au
www.bainidesign.com.au
Sydney, Australia

This drawing is copyright and the property of Baini Design. Larger scale drawings and written dimensions take preference. Do not scale from drawing. All dimensions to be verified on site before commencement of work. All discrepancies to be brought to the attention of the author.

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	PRE-DA	09/11/15	OK	CB
B	DEVELOPMENT APPLICATION	28/05/16	OK	CB
C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB
D	SECTION 96	07/05/18	OK	CB

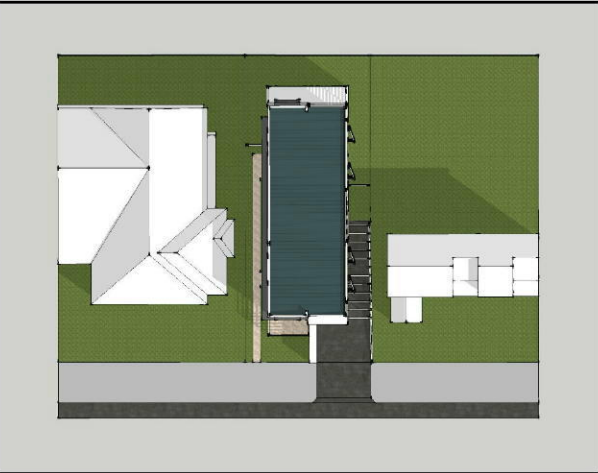
SCALE
1:100 @ A1



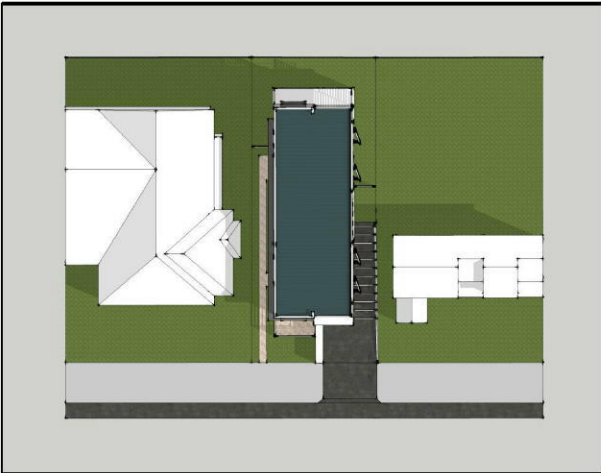
PROJECT
RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING
ADDRESS
1 GARNER STREET, ST. MARYS
CLIENT
GABCON HOLDINGS
REVISED
CHARLIE BAINI
DRAWN
JOSE HEREDIA

DRAWING TITLE STREETSCAPE ELEVATION (Garner street)		
PROJECT NO. 18115	DRAWING NO. 19	REVISION D
DATE 07/05/18	DRAWN JH	AUTHORISED CB





9 AM



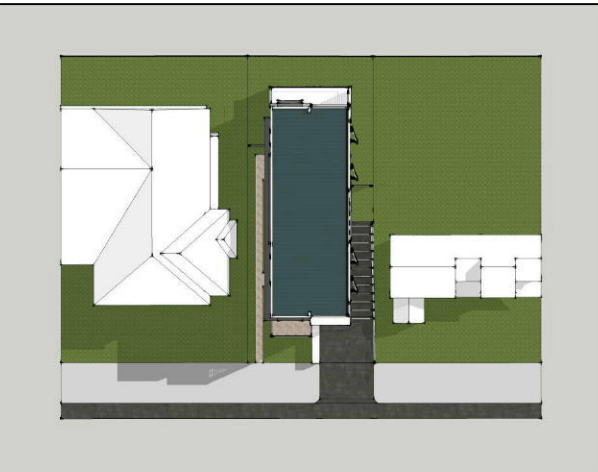
10 AM



11 AM



12 NOON



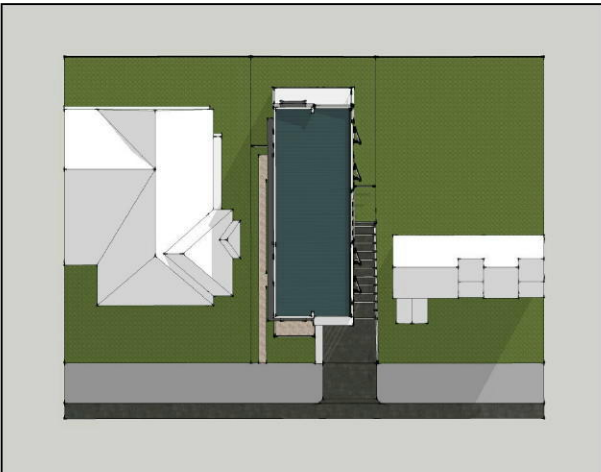
1 PM



2 PM



3 PM



4 PM

JUNE 21st



BDAV Certificate Number 15110325

Energy Rating

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)
(if selected, data specified is the average across the entire development)

heating 6.75 stars

cooling 31.6 MJ/m²

34.9 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Anthony Peart BDAV/VIC/13/1511

Assessor Signature  Date 26-04-16

BAINI DESIGN
18 Villiers St, Parramatta,
NSW, 2150.
PO Box 2402, North Parramatta,
NSW, 1750.

Phone +61 2 9188 8250

info@bainidesign.com.au
www.bainidesign.com.au
Sydney, Australia

This drawing is copyright and the property of Baini Design. Larger scale drawings and written dimensions take preference. Do not scale from drawing. All dimensions to be verified on site before commencement of work. All discrepancies to be brought to the attention of the author.

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	PRE-DA	09/11/15	OK	CB
B	DEVELOPMENT APPLICATION	28/05/16	OK	CB
C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB
D	SECTION 96	07/05/18	OK	CB

SCALE

1:500 @ A1



PROJECT

RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING

ADDRESS

1 GARNER STREET, ST. MARYS

CLIENT

GABCON HOLDINGS

REVISED

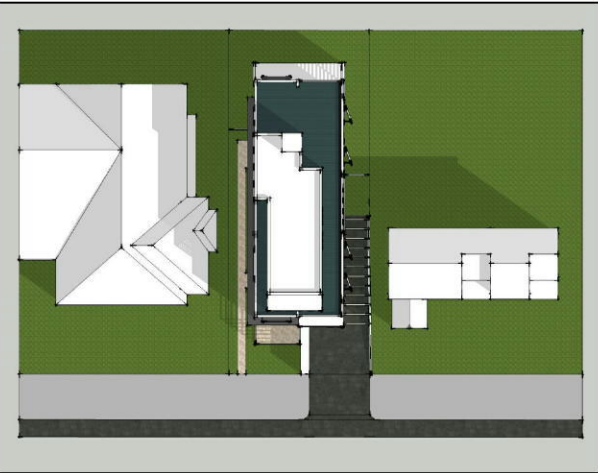
CHARLIE BAINI

DRAWN

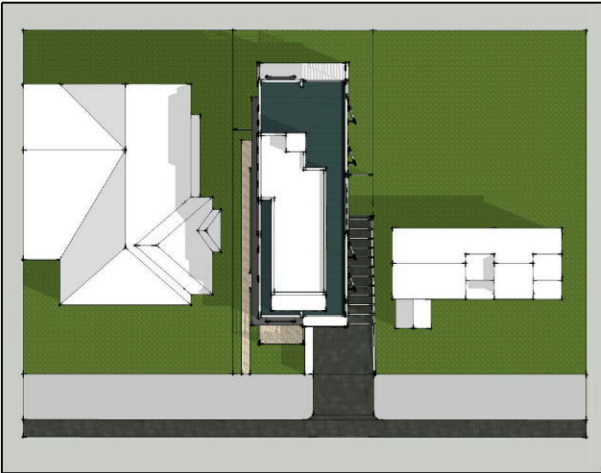
JOSE HEREDIA

DRAWING TITLE		
SHADOWS WITHOUT LEVEL 4		
PROJECT NO.	DRAWING NO.	REVISION
18115	20	D
DATE	DRAWN	AUTHORISED
07/05/18	JH	CB

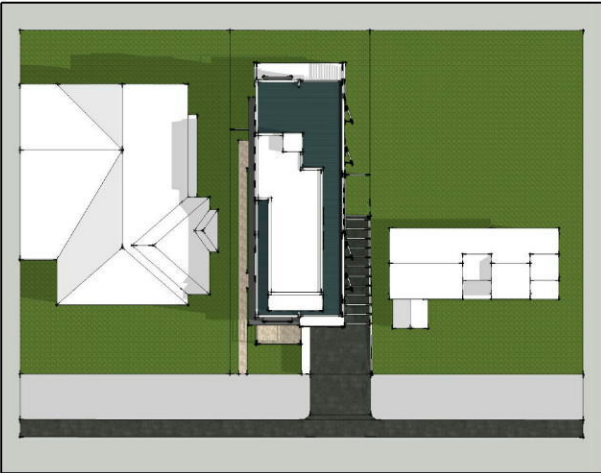
Document Set ID: 8316893
Version: 1, Version Date: 01/08/2018



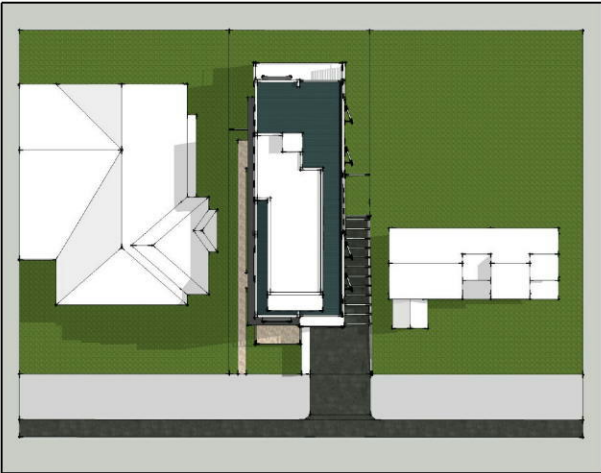
9 AM



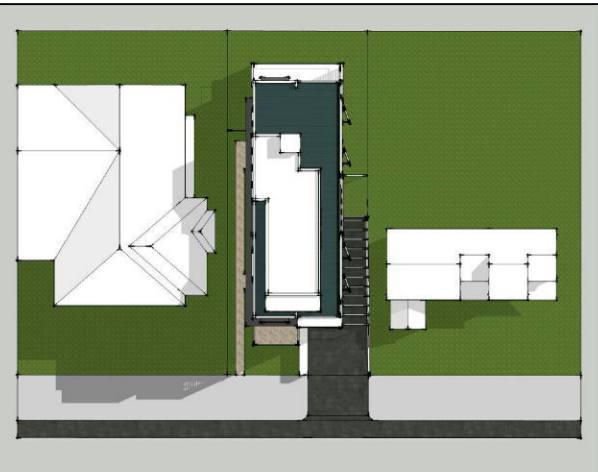
10 AM



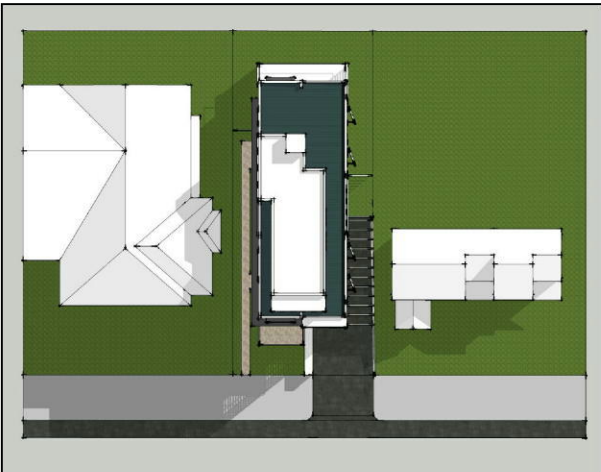
11 AM



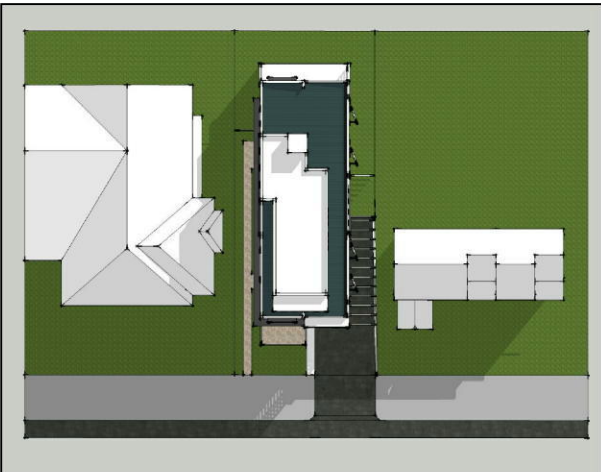
12 NOON



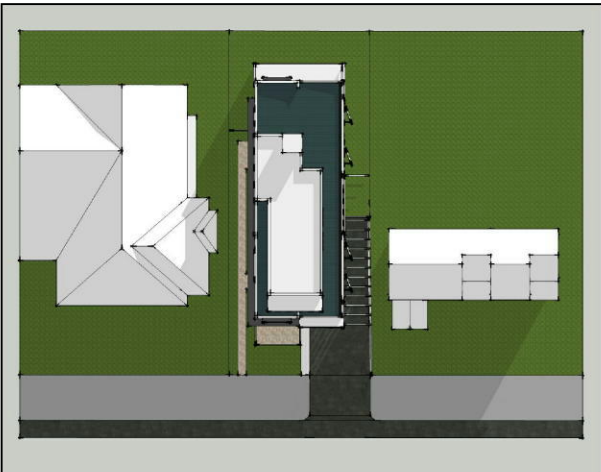
1 PM



2 PM



3 PM



4 PM

JUNE 21st



BDAV Certificate Number 15110325

Energy Rating

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

heating 6.75 stars

cooling 31.6 MJ/m²

34.9 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Anthony Peart BDAV/VIC/13/1511

Assessor Signature  Date 26-04-16

BAINI DESIGN

18 Villiers St, Parramatta,
NSW, 2150.
PO Box 2402, North Parramatta,
NSW, 1750.

Phone +61 2 9188 8250

info@bainidesign.com.au
www.bainidesign.com.au
Sydney, Australia

This drawing is copyright and the property of Baini Design. Larger scale drawings and written dimensions take preference. Do not scale from drawing. All dimensions to be verified on site before commencement of work. All discrepancies to be brought to the attention of the author.

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	PRE-DA	09/11/15	OK	CB
B	DEVELOPMENT APPLICATION	28/05/16	OK	CB
C	DEVELOPMENT APPLICATION (AMENDMENTS)	02/11/16	OK	CB
D	SECTION 96	07/06/18	OK	CB

SCALE

1:500 @ A1



PROJECT

RESIDENTIAL FLAT BUILDING/UNDER AFFORDABLE HOUSING

ADDRESS

1 GARNER STREET, ST. MARYS

CLIENT

GABCON HOLDINGS

REVISED

CHARLIE BAINI

DRAWN

JOSE HEREDIA

DRAWING TITLE		
SHADOWS WITH LEVEL 4		
PROJECT NO.	DRAWING NO.	REVISION
18115	21	D
DATE	DRAWN	AUTHORISED
07/05/18	JH	CB

Document Set ID: 8316893
Version: 1, Version Date: 01/08/2018