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Access Review Report for 1 Station Lane, Penrith, NSW

Prepared by

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1. Introduction

Loka Consulting Engineers Pty Ltd has been engaged by Antoine J. Saouma Architect Pty Ltd to provide an Access assessment for the proposed boarding house located 1 Station Lane, Penrith, NSW.

An accessibility assessment report has been based on the following drawings prepared by Antoine J. Saouma Architect:

No	Title	Drawing No.	Revision	Date
1	Ground Floor Plan	01	A	04/09/19
2	Level 1 Floor Plan	02	A	04/09/19
3	Level 2 Floor Plan	03	A	04/09/19
4	Level 3 Floor Plan	04	A	04/09/19
5	Level 4 Floor Plan	05	A	04/09/19
6	Roof Plan	06	A	04/09/19

2. Purpose of the Report

The purpose of this report is to provide an accessibility review of the subject development to ascertain whether the development is consistent with access to premises requirements for a proposed boarding house development.

3. Assessment Criteria and Legislative Requirements

The assessment based on the following legislation, planning instruments and standards pertaining to access for people with disabilities:

Disability (Access to Premises-Buildings) standards (DAPS) 2010

The DAPS purpose is to define how to provide dignified and equitable access for people with disabilities which meets the intent of the DDA (Disability Discrimination Act). This provides greater access for people with disabilities as well as greater certainty for developer that his obligation under the DDA have been met.

Access is required to be provided to all levels of building and all facilities and services operating from them, unless to do so would impose an unjustifiable hardship or the purpose of an area is unstable for a person with a disability.

For those instances of "Deemed to Satisfy (DTS) non-compliance", a detailed analysis and commentary is provided, where items are nominated as 'Compliance Achievable' it is considered that the existing plans are capable of achieving compliance subject to implementation of the requirements in the construction phase of the development.

4. Proposed Development

4.1. Development summary

- The proposed development will facilitate the construction of 4 storeys of boarding house development with 30 total boarding rooms (including 2 accessible rooms) + 1 manager.
- 16 car spaces (including 2 accessible) & 6 motorbike spaces are proposed.
- The development proposes 1 pedestrian entrance from Station Lane.

4.2. Building Details

- Class 3 – the boarding house
- Class 7a – the car parking

5. Compliance Assessment

As per detailed Building Code of Australia BCA (2015) and DAPS (2010)

The following table assess compliance with the relevant parts of the BCA and Standards.

BCA Clause			Compliance	Comments/ Recommendation
Part D3 Access For People With Disability				
D3.1	General building access requirements	Class 3	<p>From a pedestrian entrance required to be accessible to at least one floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level.</p> <p>To and within not less than one of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, swimming pool, common laundry, games room, individual shop, eating area, or the like.</p> <p>Where a ramp complying with AS 1428.1 or a passenger lift is installed-</p> <p>a) to the entrance doorway of each sole-occupancy unit; and b) to and within rooms or spaces for use in common by the residents,</p> <p>located on the levels served by the lift or ramp</p> <p><u>Sole-occupancy units</u></p> <p>Not more than 2 required accessible sole-occupancy units may be located</p>	<p>Further detailing at CC stage</p> <p>Access provided to common areas & accessible rooms via lift from Station lane</p> <p><u>Sole-occupancy units</u></p> <p>2 accessible units are proposed out of 30 total units.</p>

			adjacent to each other. Where more than 2 accessible sole-occupancy units are required, they must be representative of the range of rooms available.		
		Class 7a	To and within any level containing <i>accessible</i> Car parking spaces	Further detailing at CC stage	Access provided from accessible car parking space to the accessible unit via lift Ensure the clear minimum door width at the parking area to be 850mm complying with AS1428.1
D3.2	Access to buildings	1) An <i>access way</i> must be provided to a building <i>required to be accessible</i> : a) from the main points of a pedestrian entry at the allotment boundary; b) from another <i>accessible</i> building connected by a pedestrian link; and c) from any <i>required accessible</i> car parking space on the allotment.		Further detailing at CC stage	There is one pedestrian entrance which is proposed to be accessible
		2) In a building required to be accessible, an access way must be provided through the principal pedestrian entrance, and: a) through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and b) in a building with a total floor area more than 500 m ² , a pedestrian entrance which is not accessible must not be located more than 50 m from an accessible pedestrian entrance, except for pedestrian entrances serving only areas exempted by D3.4.		Further detailing at CC stage	There is one pedestrian entrance which is proposed to be accessible
		3) Where a doorway on an <i>access way</i> has multiple		Further	

		leaves, (except an automatic opening door) one of those leaves must have a clear opening width of not less than 850 mm in accordance with AS 1428.1.	detailing at CC stage	
D3.3	Parts of buildings to be accessible	<p>a) every ramp and stairway, except for ramps and stairways in areas exempted by clause D3.4, must comply with:</p> <ul style="list-style-type: none"> i. for a ramp, except a fire-isolated ramp, clause 10 of AS 1428.1; and ii. for a stairway, except a fire-isolated stairway, clause 11 of AS 1428.1; iii. for a fire-isolated stairway, clause 11.1(f) and (g) of AS 1428.1; <p>b) every passenger lift must comply with clause E3.6;</p> <p>c) <i>accessways</i> must have:</p> <ul style="list-style-type: none"> i. passing spaces complying with AS 1428.1 at maximum 20 m intervals on those parts of an <i>access way</i> where a direct line of sight is not available; and ii. turning spaces complying with AS 1428.1: <ul style="list-style-type: none"> (A) within 2 m of the end of <i>access ways</i> where it is not possible to continue travelling along the <i>access way</i>; and (B) at maximum 20 m intervals along the <i>access way</i>; <p>d) an intersection of <i>access ways</i> satisfies the spatial requirements for a passing and turning space;</p> <p>e) a passing space may serve as a turning space;</p> <p>f) a ramp complying with AS 1428.1 or a passenger lift need not be provided to serve a <i>storey</i> or level other than the entrance <i>storey</i> in a Class 5, 6, 7b or 8 building-</p> <ul style="list-style-type: none"> i. containing not more than 3 <i>storeys</i>; and ii. with a <i>floor area</i> for each <i>storey</i>, excluding the entrance <i>storey</i>, of not more than 200 m²; 	Further detailing at CC stage	

		g) clause 7.4.1 (a) of AS 1428.1 does not apply and is replaced with the pile height or pile thickness shall not exceed 11 mm and the carpet backing thickness shall not exceed 4 mm		
D3.4	Exemptions	The following areas are not required to be accessible: a) An area where access would be inappropriate because of the particular purpose for which the area is used. b) An area that would pose a health or safety risk for people with a disability. c) Any path of travel providing access only to an area exempted by a) or b).	Further detailing at CC stage	Services,
D3.5	Accessible carparking Carparking spaces for people with a disability	<u>Class 3</u> To be calculated by multiplying the total number of carparking spaces by the percentage of— <ul style="list-style-type: none"> • accessible sole-occupancy units to the total number of sole-occupancy units; or • accessible bedrooms to the total number of bedrooms; and the calculated number is to be taken to the next whole figure. <u>Class 7a</u> 1 space for every 100 carparking spaces or part thereof.	Further detailing at CC stage	<u>Class 3</u> 16 proposed spaces 2 accessible unit/30 units Required accessible spaces = 1 Proposed accessible spaces = 2
D3.8	Tactile indicators	1) For a building <i>required</i> to be <i>accessible</i> , tactile ground surface indicators must be provided to warn people who are blind or have a vision impairment that they are approaching: a) a stairway, other than a <i>fire-isolated stairway</i> ,	Further detailing at CC stage	TGSIs must be installed in accordance with AS 1428.1 & 1428.4.

		<ul style="list-style-type: none"> b) an escalator; c) a passenger conveyor or moving walk; d) a ramp other than a <i>fire-isolated ramp</i>, a step ramp, a kerb ramp or a <i>swimming pool</i> ramp; and e) in the absence of a suitable barrier: <ul style="list-style-type: none"> i. an overhead obstruction less than 2 m above floor level, other than a doorway; and ii. an <i>access way</i> meeting a vehicular way adjacent to any pedestrian entrance to a building, excluding a pedestrian entrance serving an area referred to in clause D3.4, if there is no kerb or kerb ramp at that point; <p style="text-align: center;">except for areas exempted by clause D3.4.</p> <p>2) Tactile ground surface indicators <i>required</i> by subclause (1) must comply with sections 1 and 2 of AS/NZS 1428.4.1.</p>		
D3.9	Wheelchair seating spaces in Class 9b assembly buildings	Where fixed seating is provided in a Class 9b assembly building, wheelchair seating spaces complying with AS 1428.1 must be provided	N/A	
D3.10	Swimming Pools	Not less than 1 means of accessible water entry/exit in accordance with Specification D3.10 must be provided for each swimming pool required by Table D3.1 to be accessible	N/A	
D3.11	Ramps	<p>On an access way:</p> <ul style="list-style-type: none"> a) a series of connected ramps must not have a combined vertical rise of more than 3.6 m; and b) a landing for a step ramp must not overlap a landing for another step ramp or ramp. 	N/A	

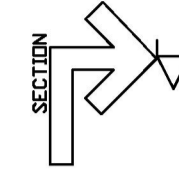
D3.12	Glazing on an access way	On an access way, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.	Further detailing at CC stage	All applicable doors must be marked according to AS1428.1
EP3.4	Performance Requirement	When a passenger lift is provided in a building <i>required</i> to be <i>accessible</i> , it must be suitable for use by people with a disability	Further detailing at CC stage	
E3.6	Passenger lifts	In an <i>accessible</i> building, every passenger lift must: (a) be one of the lift types identified in Table E3.6 (a), subject to the limitations on use specified in the table; and (b) have <i>accessible</i> features in accordance with Table E3.6 (b); and (c) not rely on a constant pressure device for its operation if the lift car is fully enclosed.	Further detailing at CC stage	
E3.6 (a)	Limitations on use of types of passenger lifts AS 1735.7 Stairway platform lift	Must not: (a) be used to serve a space in building accommodating more than 100 persons calculated according to clause D1.13 of the BCA; or (b) be used in a high traffic public use area such as a theatre, cinema, auditorium, transport interchange, shopping centre or the like; or (c) be used where it is possible to install another type of passenger lift; or (d) connect more than 2 <i>storeys</i> ; or (e) where more than 1 stairway lift is installed, serve more than 2 consecutive storeys; or (f) when in the folded position, encroach on the minimum width of a stairway required by clause D1.6 of the BCA.	N/A	
Part F2 Sanitary and other facilities				

F2.0	Deemed-to-Satisfy Provisions	<p>a) Where a Building Solution is proposed to comply with the Deemed-to-Satisfy Provisions, Performance Requirements FP2.1 to FP2.6 are satisfied by complying with—</p> <ul style="list-style-type: none"> i. F2.1 to F2.8; and ii. for public transport buildings, Part H2. <p>b) Where a Building Solution is proposed as an Alternative Solution to the Deemed-to-Satisfy Provisions of F2.1 to F2.8 and Part H2, the relevant Performance Requirements must be determined in accordance with A0.10.</p>	N/A	
F2.4	Accessible sanitary facilities	<p>In a building required to be accessible:</p> <ul style="list-style-type: none"> a) <i>accessible unisex sanitary compartments must be provided in accessible parts of the building in accordance with Table F2.4 (a); and</i> b) <i>accessible unisex showers must be provided in accordance with Table F2.4 (b); and</i> c) <i>at each bank of toilets where there is one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, a sanitary compartment suitable for a person with an ambulant disability in accordance with AS 1428.1 must be provided for use by males and females;</i> d) <i>an accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf or bench top and adequate means of disposal of sanitary towels;</i> e) <i>the circulation spaces, fixtures and fittings of all accessible sanitary facilities provided in accordance with Table F2.4 (a) and (b) must comply with the requirements of AS 1428.1; and</i> f) <i>an accessible unisex sanitary facility must be located so that it can be entered without crossing an area reserved for one sex only; and</i> g) <i>where two or more of each type of accessible unisex sanitary facility are provided, the number of left and right-handed mirror image facilities, must be provided as evenly as possible; and</i> h) <i>where male sanitary facilities are provided at a separate location to female sanitary facilities, accessible unisex sanitary facilities are only required at one of those</i> 	Further detailing at CC stage	

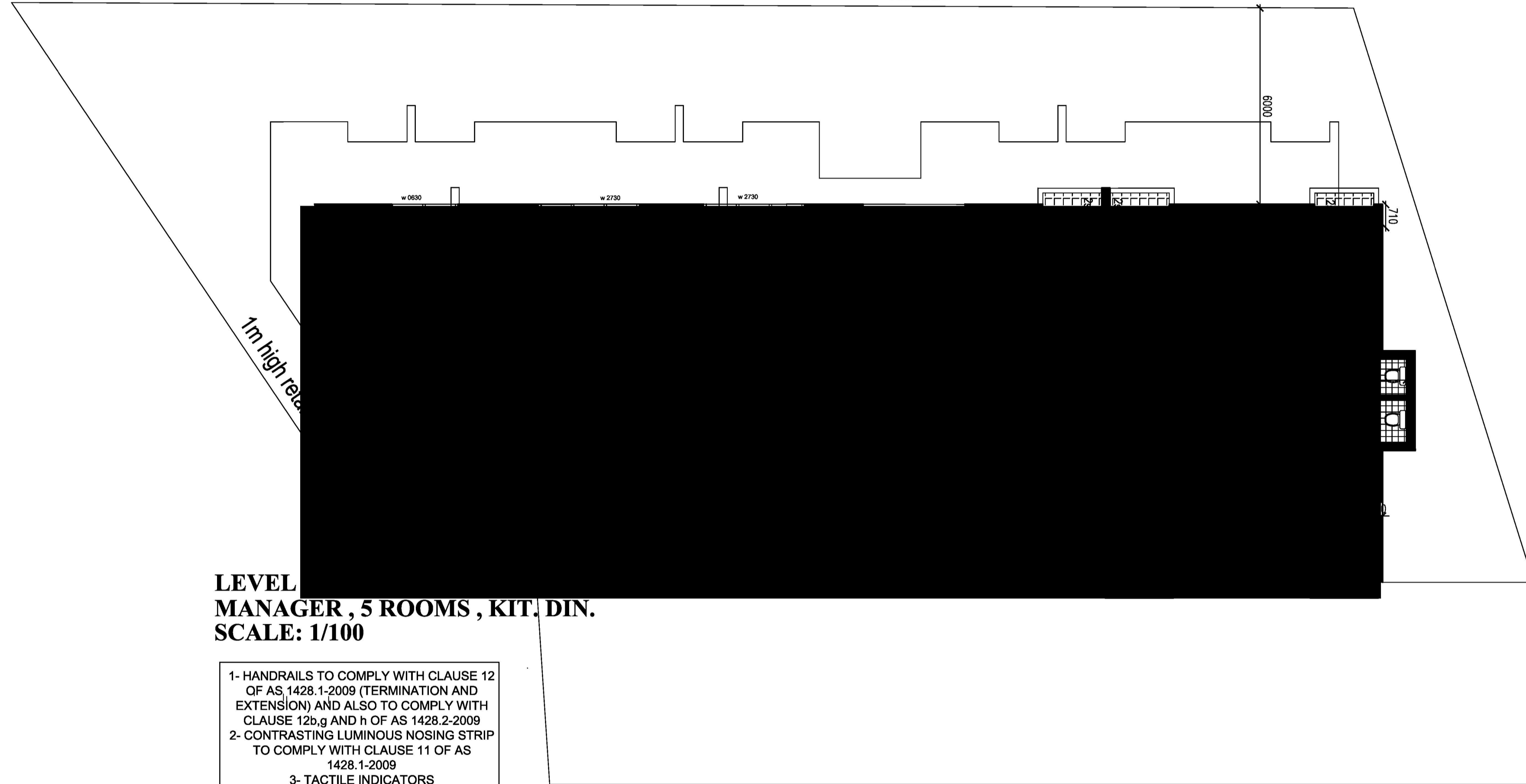
		<p><i>locations; and</i></p> <p>i) <i>An accessible unisex sanitary compartment or an accessible unisex shower need not be provided on a storey or level that is not required by D3.3 (f) to be provided with a passenger lift or ramp complying with AS 1428.1.</i></p>		
F2.4 (a)	Accessible Unisex sanitary compartments	<p><u>Class 3</u></p> <ul style="list-style-type: none"> • In every accessible sole-occupancy unit provided with sanitary compartments within the accessible sole-occupancy unit, not less than 1; and • at each bank of sanitary compartments containing male and female sanitary compartments provided in common areas, not less than 1. 	Further detailing at CC stage	<p><u>Class 3</u></p> <p>There is an accessible toilet in the accessible units and in the common room</p>
F2.4 (b)	Accessible Unisex showers	<p><u>Class 3</u></p> <ul style="list-style-type: none"> • In every accessible sole-occupancy unit provided with showers within the accessible sole-occupancy unit, not less than 1; and • 1 for every 10 showers or part thereof provided in common areas. 	Further detailing at CC stage	<p><u>Class 3</u></p> <p>There is an accessible shower in the accessible unit</p>

APPENDIX A

Architectural Plan

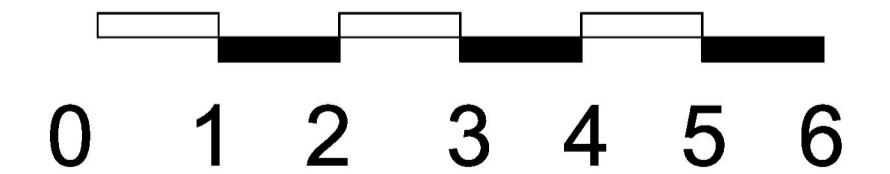


30°10'35"
40.896



LEVEL 1
MANAGER, 5 ROOMS, KIT, DIN.
SCALE: 1/100

- 1- HANDRAILS TO COMPLY WITH CLAUSE 12 OF AS 1428.1-2009 (TERMINATION AND EXTENSION) AND ALSO TO COMPLY WITH CLAUSE 12b,g AND h OF AS 1428.2-2009
- 2- CONTRASTING LUMINOUS NOSING STRIP TO COMPLY WITH CLAUSE 11 OF AS 1428.1-2009
- 3- TACTILE INDICATORS



GENERAL NOTES
<p>Do not scale from drawings All dimensions are to be checked on site before commencement of work All discrepancies to be brought to the attention of the project manager Larger scale drawings and written dimensions take preference. This drawing is copyright and the property of the author, it must not be retained, copied or used without the express authority of Antoine Saouma.</p>

DATE	REV	AMENDMENTS
04/09/2019	A	PRELIMINARY DRAWINGS, ISSUE FOR REVIEW AND COMMENTS

ajs ANTOINE J. SAOUMA
Architect 7412

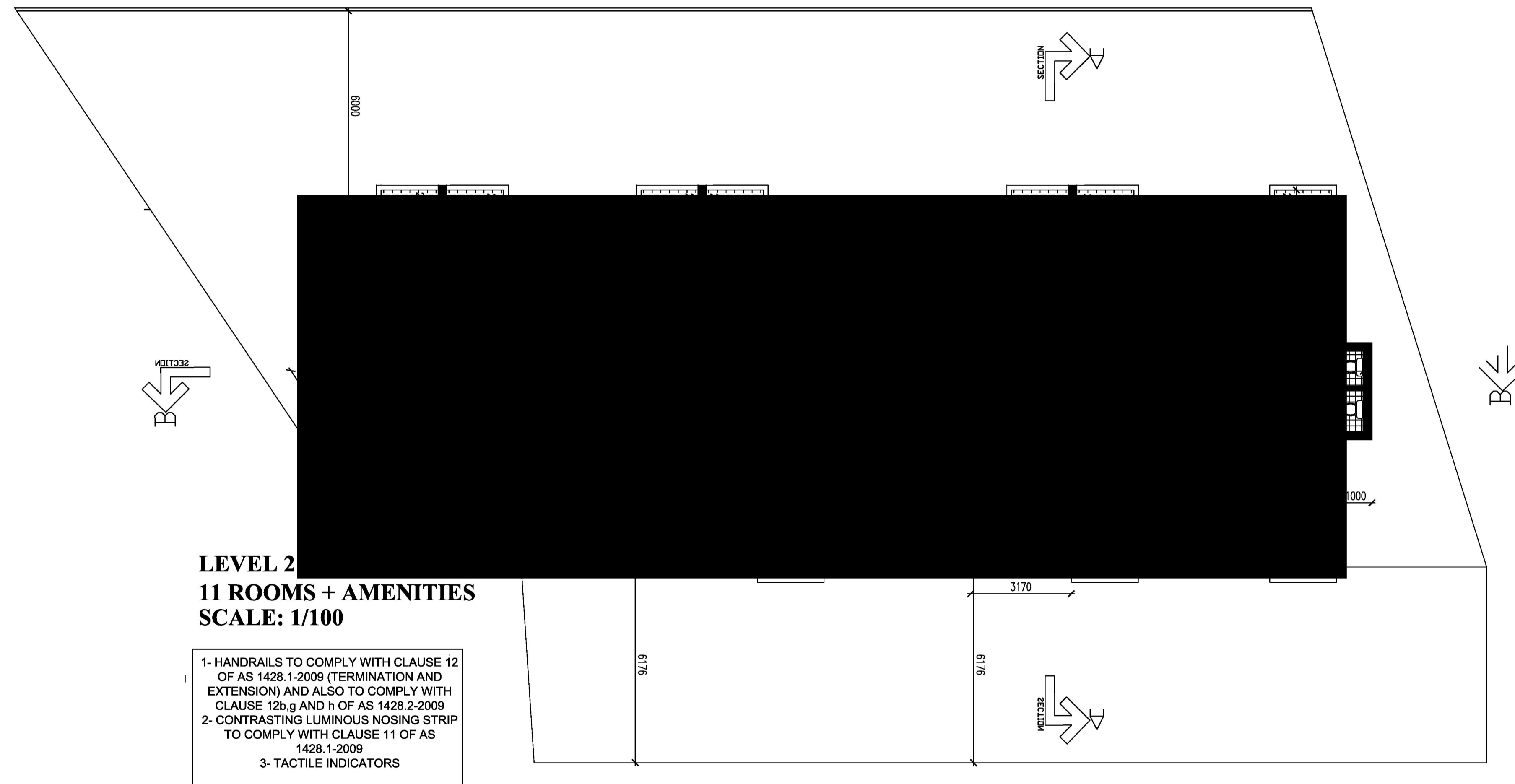
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Phone: 0411870985
Email: asaouma@optusnet.com.au

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STATION LANE PTY LTD
ATF THE STATION LANE TRUST

DRAWING	SCALE	DRAWN BY	CHECKED BY	DATE
LEVEL 1 FLOOR PLAN	1:100	AS		SEPTEMBER 2019

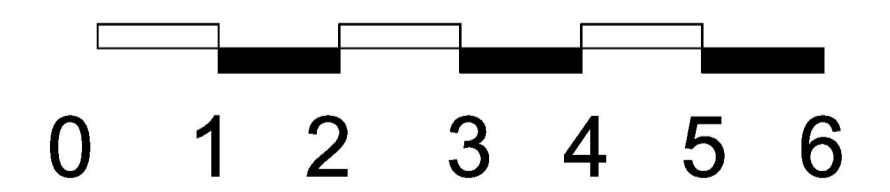
JOB NO	TYPE	DWG NO	REV
03717	DA	02	A





LEVEL 2
11 ROOMS + AMENITIES
SCALE: 1/100

- 1- HANDRAILS TO COMPLY WITH CLAUSE 12 OF AS 1428.1-2009 (TERMINATION AND EXTENSION) AND ALSO TO COMPLY WITH CLAUSE 12b,g AND h OF AS 1428.2-2009
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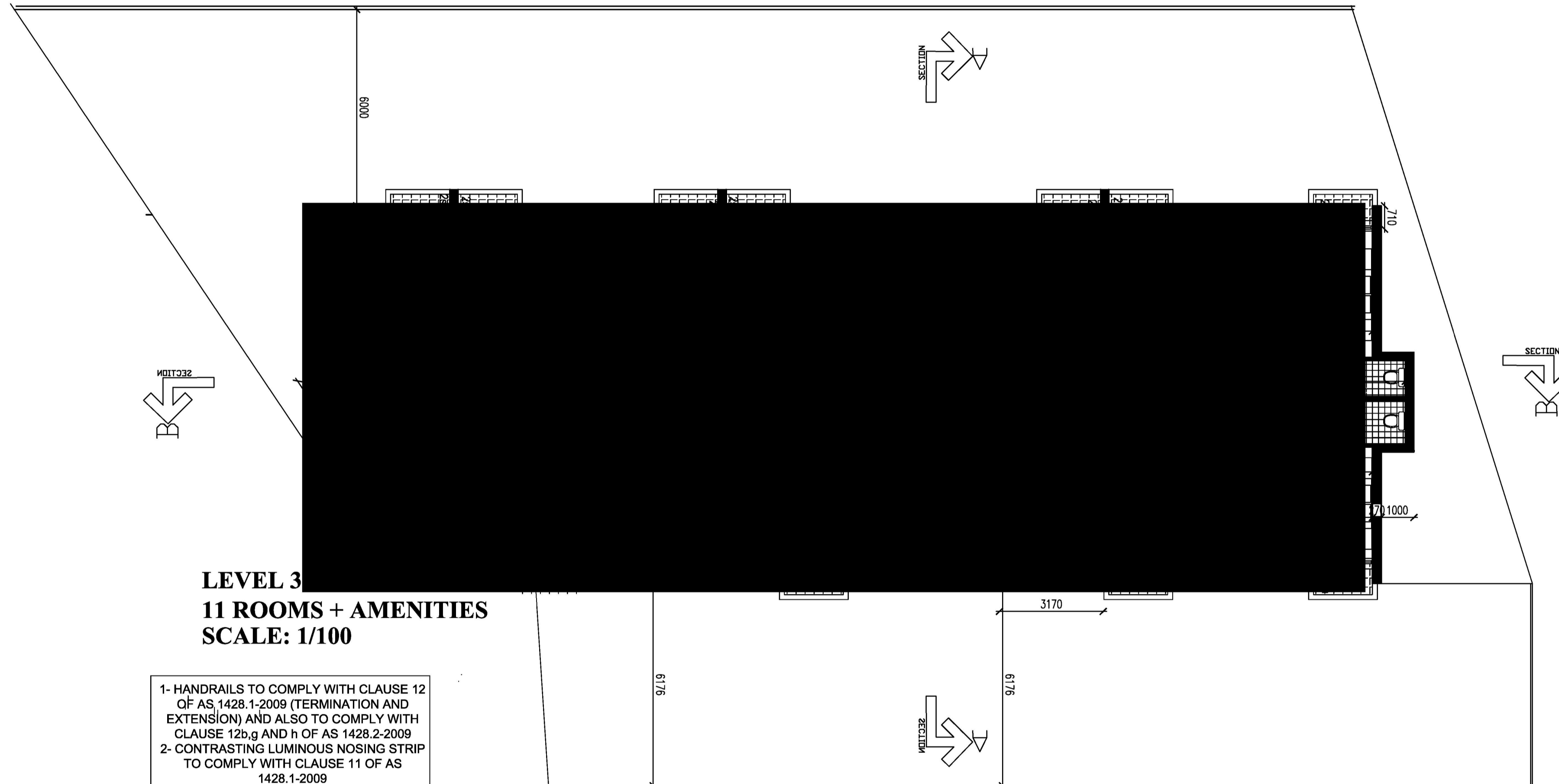
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MAY 2018

PROJECT	PROPOSED 30 BOARDING HOUSES ABOVE 2 BASERMENTS @ LOT B2 ,DP 161921 No 1 STATION LANE PENRITH NSW
DRAWING	LEVEL 2 FLOOR PLAN
SCALE	1:100
DRAWN BY	AS
CHECKED BY	
DATE	SEPTEMBER 2019

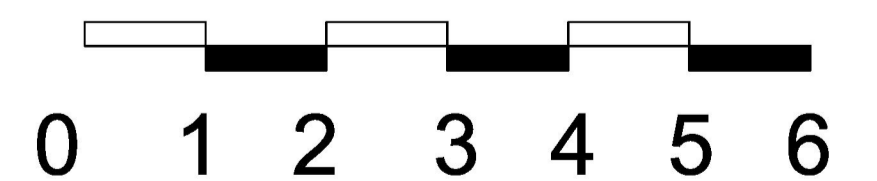
JOB NO	TYPE	DWG NO	REV
03717	DA	03	A





LEVEL 3
11 ROOMS + AMENITIES
SCALE: 1/100

- 1- HANDRAILS TO COMPLY WITH CLAUSE 12 OF AS 1428.1-2009 (TERMINATION AND EXTENSION) AND ALSO TO COMPLY WITH CLAUSE 12b.g AND h OF AS 1428.2-2009
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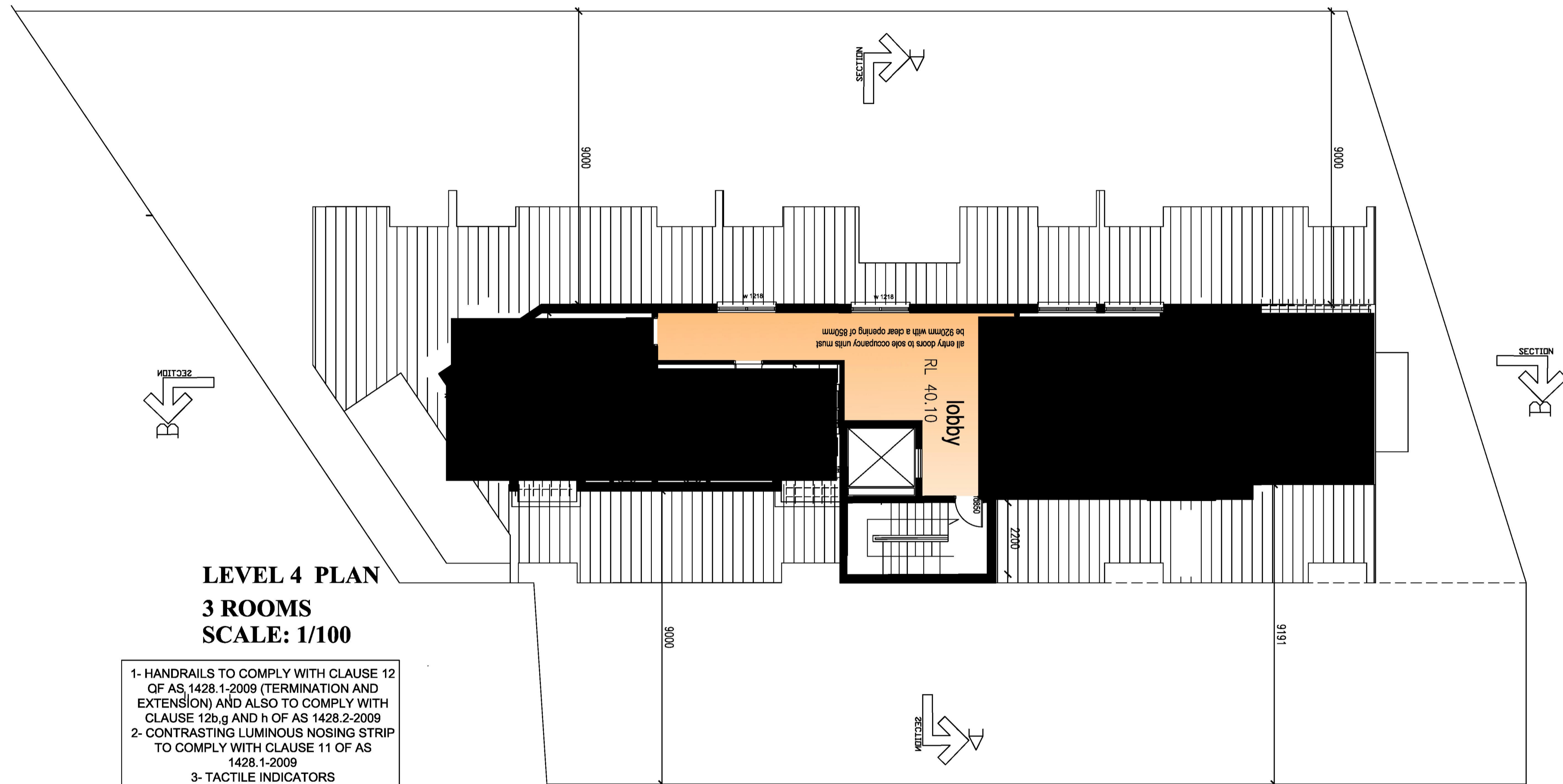
ais ANTOINE J. SAOUMA
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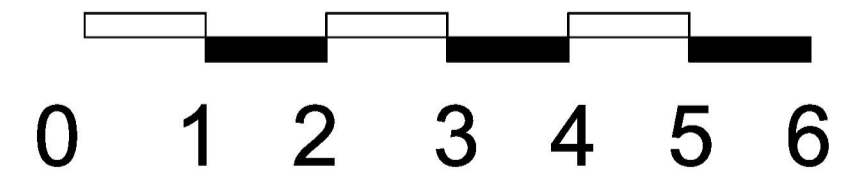
PROJECT	PROPOSED 30 BOARDING HOUSES ABOVE 2 BASERMENTS @ LOT B2, DP 161921 No 1 STATION LANE PENRITH NSW				
DRAWING	LEVEL 3 FLOOR PLAN				
SCALE	1:100	JOB NO	03717	TYPE	DA
DRAWN BY	AS	DWG NO	04	REV	A
CHECKED BY					





LEVEL 4 PLAN
3 ROOMS
SCALE: 1/100

- 1- HANDRAILS TO COMPLY WITH CLAUSE 12 OF AS 1428.1-2009 (TERMINATION AND EXTENSION) AND ALSO TO COMPLY WITH CLAUSE 12b.g AND h OF AS 1428.2-2009
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- 3- TACTILE INDICATORS



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DEVELOPMENT APPLICATION ISSUE

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PROJECT
 DRAWING: LEVEL 4 PLAN
 SCALE: 1:100
 DRAWN BY: AS
 CHECKED BY:
 DATE: SEPTEMBER 2019

JOB NO	TYPE	DWG NO	REV
03717	DA	05	A

true north