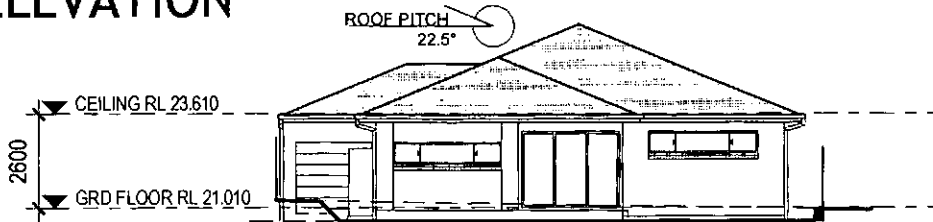
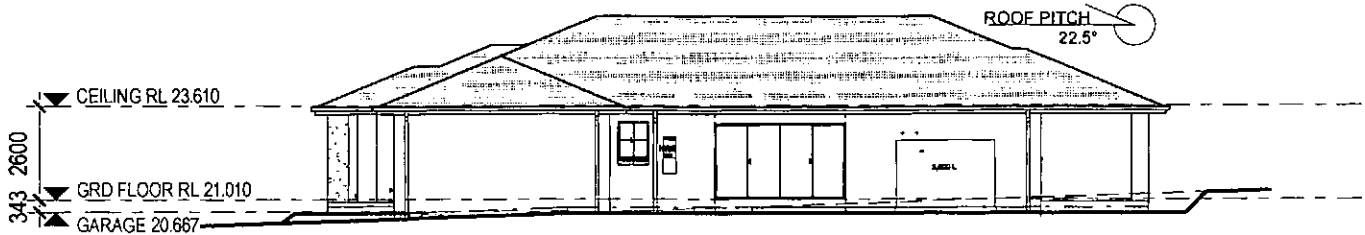


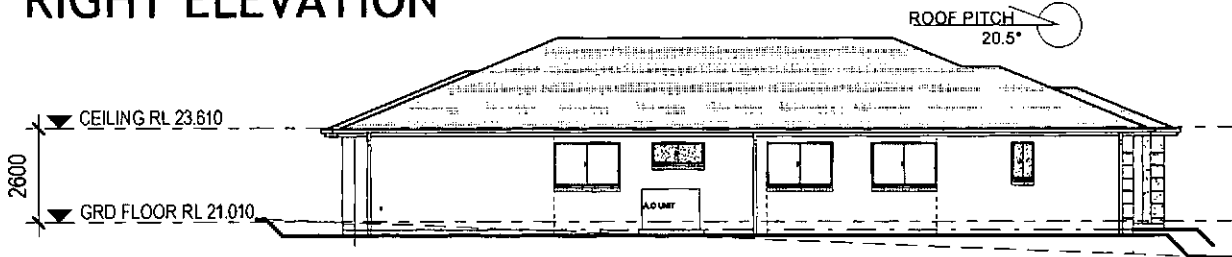
FRONT ELEVATION



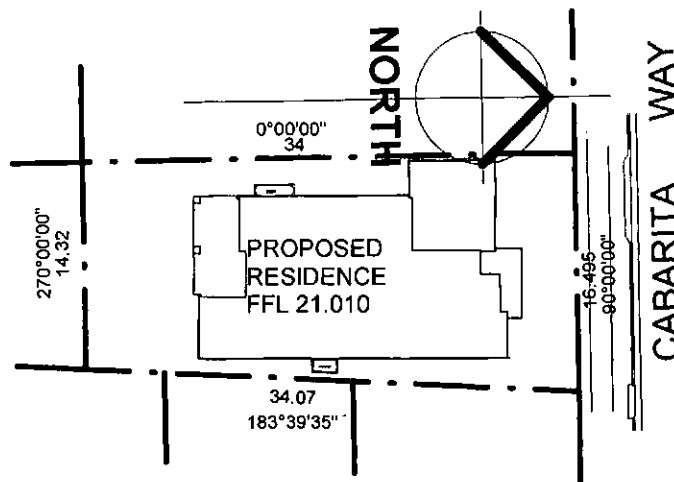
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



SITE PLAN

Proposed Residence

For: MR DUFFY, MISS GRIEVE
 Lot No : LOT 2162, CABARITA WAY
 Suburb: ERSKINE PARK
 Council: PENRITH

Project Details

DRAWN BY: Author	DATE: 12.04.13
SHEET TITLE: NOTIFICATION	
SCALE @ A4:	

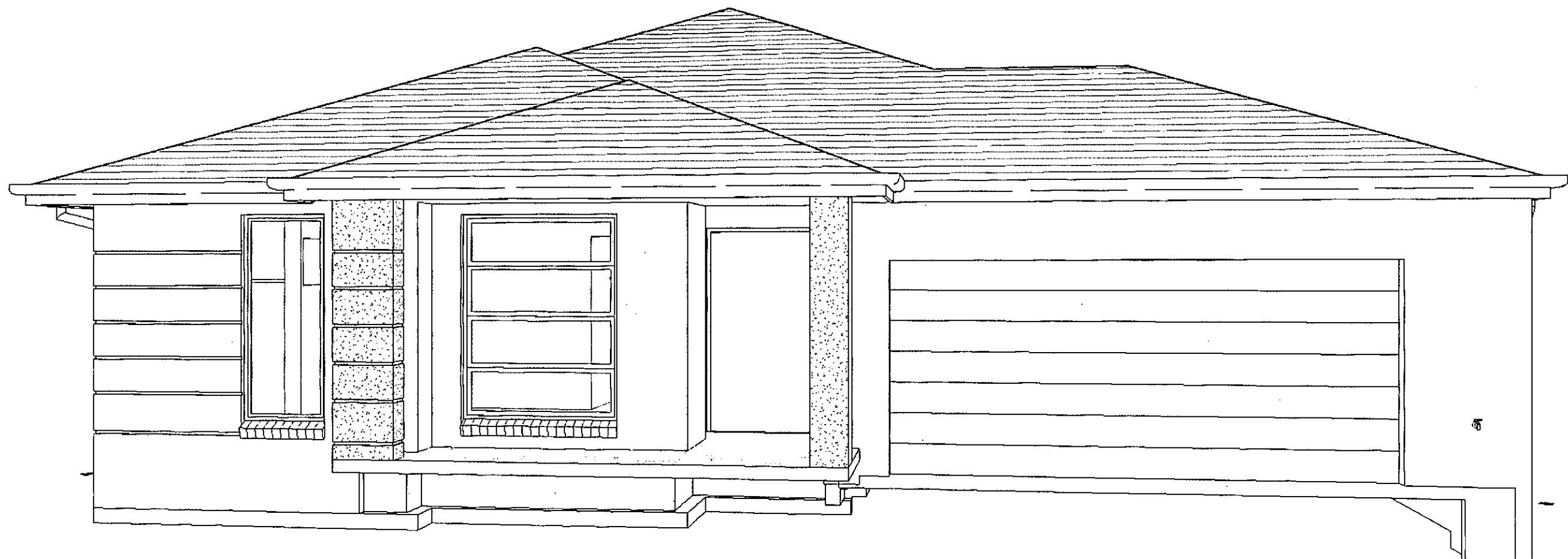


Masterton
 HOMES

PH: 1300 4HOMES
 PH: 1300 446637

Licence No.: 35558C
 ABN. 52 002 873 047

www.masterton.com.au



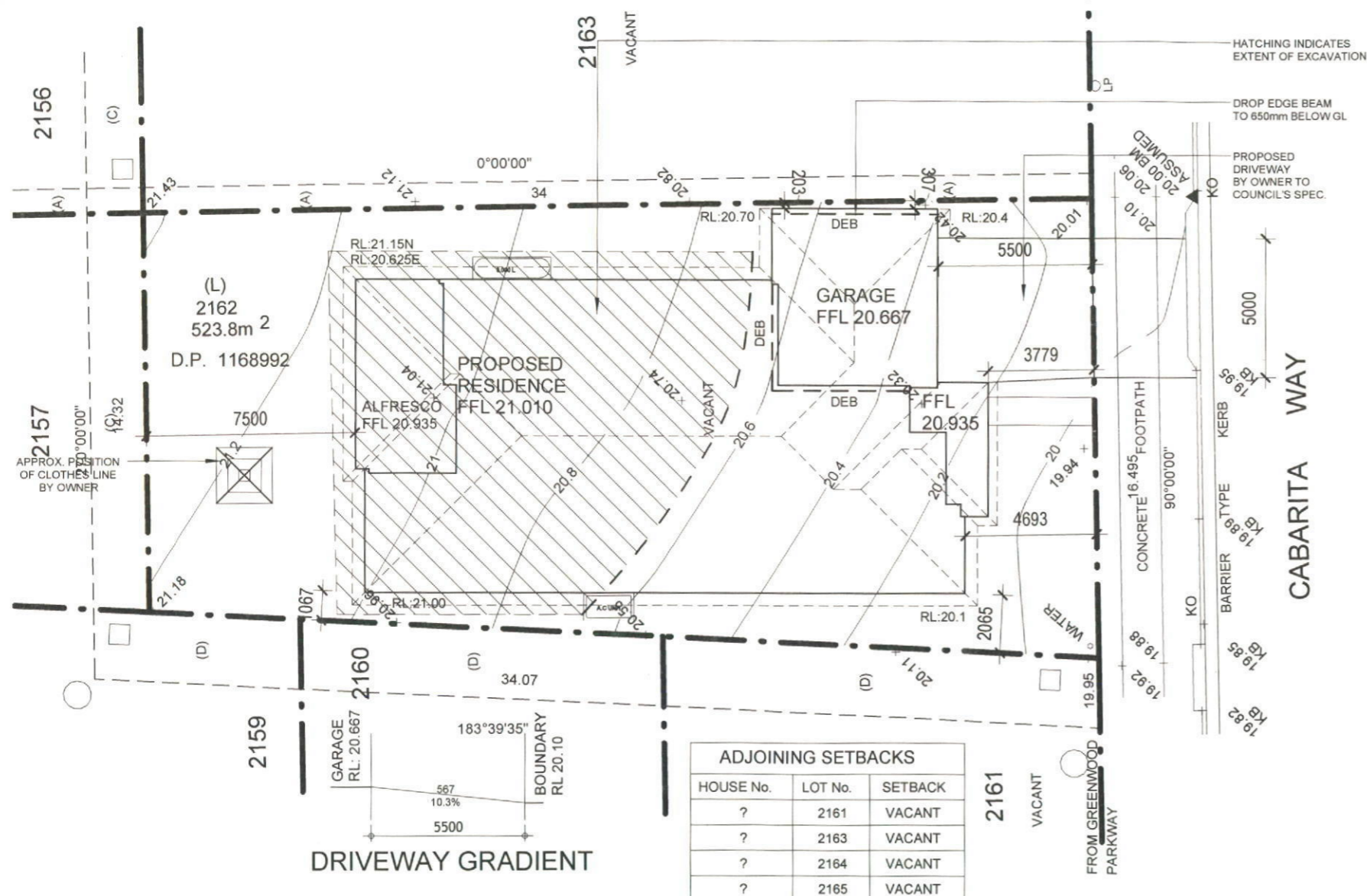
KEY TO SYMBOLS

- VEHICLE CROSSING
- STORMWATER PIT
- KERB INLET PIT
- TELSTRA PIT
- OPTUS PIT
- SEWER MAN HOLE
- ELECTRICITY PILLAR
- STOP VALVE
- HYDRANT
- POWER POLE
- LIGHT POLE
- TREE (SPREAD/DIAM./HEIGHT)

JORDAN SPRINGS - ILLOURA VILLAGE NOTES:

-ANY GARDEN OR LAWN EDGING VISIBLE FROM STREET IS TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED.
 -ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION.
 -VEHICLE CROSSOVER IS TO BE PLAIN CONCRETE TO COUNCIL SPECIFICATIONS, 5M WIDE V.C. FOR A DOUBLE GARAGE AND 3M WIDE V.S FOR A SINGLE GARAGE.
 -ALL EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.

- (A) - EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (C) - EASEMENT TO DRAIN WATER 2 WIDE
- (D) - EASEMENT TO DRAIN WATER 2.5 WIDE
- (L) - RESTRICTION ON THE USE OF LAND



ADJOINING SETBACKS

HOUSE No.	LOT No.	SETBACK
?	2161	VACANT
?	2163	VACANT
?	2164	VACANT
?	2165	VACANT

EXCAVATION & SITE NOTES

EXCAVATE/FILL TO FORM DATUM APPROX 525mm (EXTENT OF EXCAVATION & BATTER TO BE DETERMINED ON SITE. BACKFILL 150mm AGAINST FOOT OF SLAB).
 SEWER CONNECTION TO AUTHORITIES REQUIREMENTS TO WITHIN PROPERTY BOUNDARY.
 WATER CONNECTION TO SUPPLY AUTHORITIES MAIN LOCATED IN NEAR SIDE NATURE STRIP.
 TEMPORARY PROTECTIVE FENCING TO BLOCK TO MEET SAFETY REQUIREMENTS.
 SITE LEVELS SUBJECT TO SECOND SITE INSPECTION.
 SUBJECT TO RESULTS OF A SURVEY TO CONFIRM HOUSE & BOUNDARY POSITIONS. DRIVEWAY GRADIENT SUBJECT TO POSITION OF SERVICES
 PROVIDE A CHECK SURVEY TO CERTIFY COUNCIL APPROVED FFL
 POSSIBLE BAS/BOS (SEWER PEGOUT REQUIRED)

ITEMS BY OWNER

RETAINING WALLS TO BE COMPLETED TO ENG'S DETAILS (IF REQUIRED).
 DISH DRAINS (IF NEEDED) TO AUTHORITIES' REQUIREMENTS.
 EXISTING TREES, STUMPS, CONC. PATHS, BUILDINGS, ETC., TO BE DEMOLISHED FROM BUILDING AREA PRIOR TO 2ND SITE INSPECTION.

DRAWING:	DRAWN:	TENDER:
1 CONTRACT PLAN 1	DG 12/04/13	T1 & TV1
2 CONTRACT PLAN 2	AZ 17.05.13	-
3 CONTRACT PLAN 3	A.T 12.06.13	-
4 COUNCIL SUBMISSION 1	MG 19.07.13	-
5 COUNCIL SUBMISSION 2	MG 30.07.13	-
6 COUNCIL SUBMISSION 3	AZ 22.08.13	-
7 ---	-	-
8 ---	-	-
9 ---	-	-
10 ---	-	-

BUSHFIRE PRONE

YES INCLUSIONS PACKAGE

MASTERTON GOLD MANSION PACKAGE

BASIX & SITE INFORMATION

BASIX CERTIFICATE No	494878s
CDC No	----
SITE DETAILS	
LOT NUMBER:	LOT 2162
DP NUMBER:	1168992
UBD REFERENCE:	NOT AVAILABLE
SITE AREA:	523.80m ²
HOUSE AREAS: (MEASURED TO EXTERNAL WALLS)	
GROUND FLOOR:	191.68m ²
GARAGE:	37.86m ²
PORCH:	8.27m ²
ALFRESCO:	21.75m ²
TOTAL:	259.56m²
DRIVEWAY / PATHS TO BOUNDARY:	29.59m ²
PROJECT DETAILS	
NO. OF BEDROOMS:	4
ROOF AREA:	303.25m ²
TOTAL AREA OF ROOF MEASURED TO THE OUTSIDE OF GUTTERS EXCLUDES PARAPETS & TRAFFICABLE TERRACES. (GUTTER WIDTH 150mm)	
GARDEN & LAWNS (AREA OF PROPOSED GARDENS & LAWN)	232.22m ²
STORMWATER	
MIN. RAINWATER TANK SIZE REQ:	3000 Litre
MIN. ROOF AREA CONNECTED TO RAINWATER:	180.00m ²
RAINWATER USES:	TOILETS, L'DRY, OUTDOOR TAPS
REMAINDER OF ROOFWATER & OVERFLOW TO:	KERB
HYDRAULIC DESIGN REQUIRED:	NO
WATER	
KITCHEN TAP FITTING RATING:	4 STAR
SHOWERHEAD RATING:	3 STAR
TOILET RATING: -DUAL FLUSH (3/6 litre)	4 STAR
BATHROOM TAP FITTING RATING:	4 STAR
THERMAL COMFORT/ENERGY	
EXTERNAL WALL SURFACE:	BRICK & PART RENDER
EXTERNAL WALL INSULATION:	R1.5
WALL COLOUR:	LIGHT
ROOFING MATERIAL:	TILES
ROOF INSULATION:	-
ROOF COLOUR:	DARK
CEILING INSULATION:	R3.5
AIR CONDITIONING INCLUDED:	YES
EER:	2.5 - 3.0 OR HIGHER
HOT WATER SYSTEM:	GAS INSTANTANEOUS
EER:	26 - 30
COMPACT FLUORESCENT LIGHTING:	AS PER BASIX
COOKING APPLIANCES:	GAS COOKTOP /ELEC OVEN
CLOTHES DRYING LINE REQUIRED:	AS PER BASIX
WIP (WORKS IN PROGRESS)	
DRAINAGE REQUIRED:	YES / NO
LANDSCAPING:	PRIVATE OPEN SPACE:
MIN REQ: 000m ²	MIN REQ: 80m ²
PROVIDED: 000m ²	PROVIDED: 206.43m ²
CARPARKING:	RIDGE HEIGHT:
MIN REQ: 2 SPACES	MAX. ALLOWED: 10m
PROVIDED: 2 SPACES	PROPOSED: 5.90m

Proposed Residence

For: MR DUFFY, MISS GRIEVE
 Lot No: LOT 2162, CABARITA WAY
 Suburb: ERSKINE PARK
 Council: PENRITH

Project Details

Design: SYMPHONY 2 GARAGE RHS	DRAWN BY: DG	DATE: 12.04.13	JOB NO: 2007214
Facade: IVY	SHEET TITLE: SITE PLAN	SHEET NO: 01 / 13	
Edition: DESIGNER	SCALE: 1 : 200	FINAL PLAN ISSUE: -	FINAL PLAN DATE: -
PLOT DATE: 22/08/2013 3:08:24 PM			

GENERAL NOTES

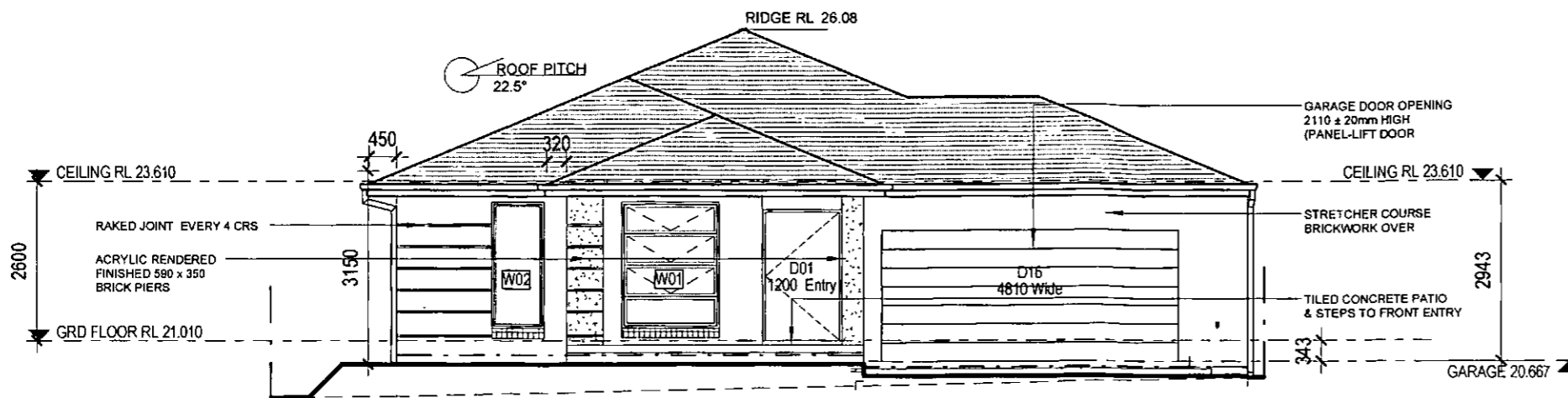
Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office

COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copy, amendment or adaption will be prosecuted

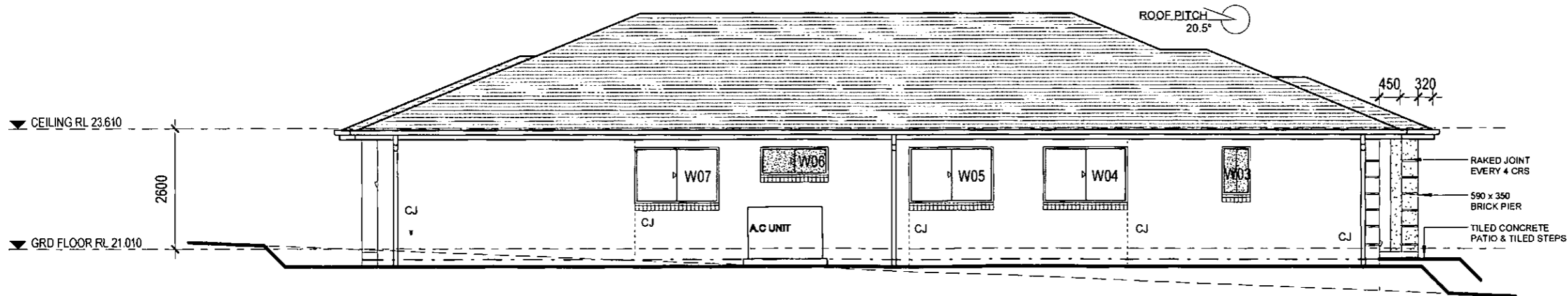
Masterton HOMES

PH: 1300 4HOMES
 PH: 1300 446637

Licence. No.: 35558C
 ABN. 52 002 873 047
 www.masterton.com.au



FRONT ELEVATION



LEFT ELEVATION

Proposed Residence

For: MR DUFFY, MISS GRIEVE
 Lot No : LOT 2162, CABARITA WAY
 Suburb: ERSKINE PARK
 Council: PENRITH

Project Details

Design: SYMPHONY 2 GARAGE RHS	DRAWN BY: DG	DATE: 12.04.13	JOB NO: 2007214
Facade: IVY	SHEET TITLE: ELEVATIONS		SHEET NO: 03 / 13
Edition: DESIGNER	SCALE: 1 : 100	FINAL PLAN ISSUE: -	FINAL PLAN DATE: -

GENERAL NOTES

Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office

COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copy, amendment or adaption will be prosecuted

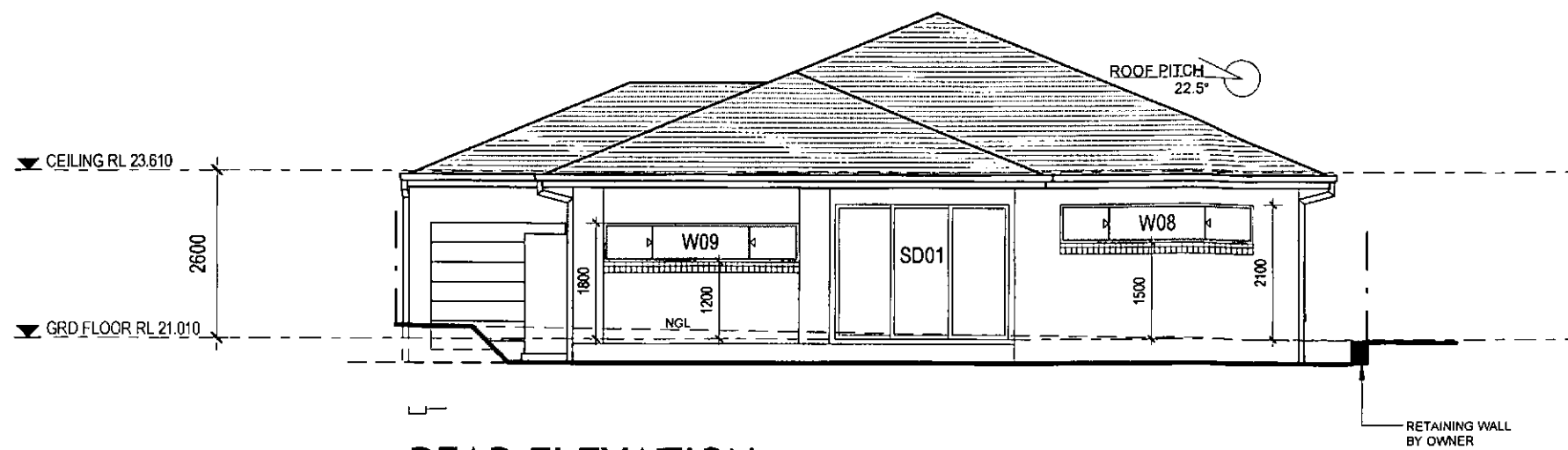


Masterton
HOMES

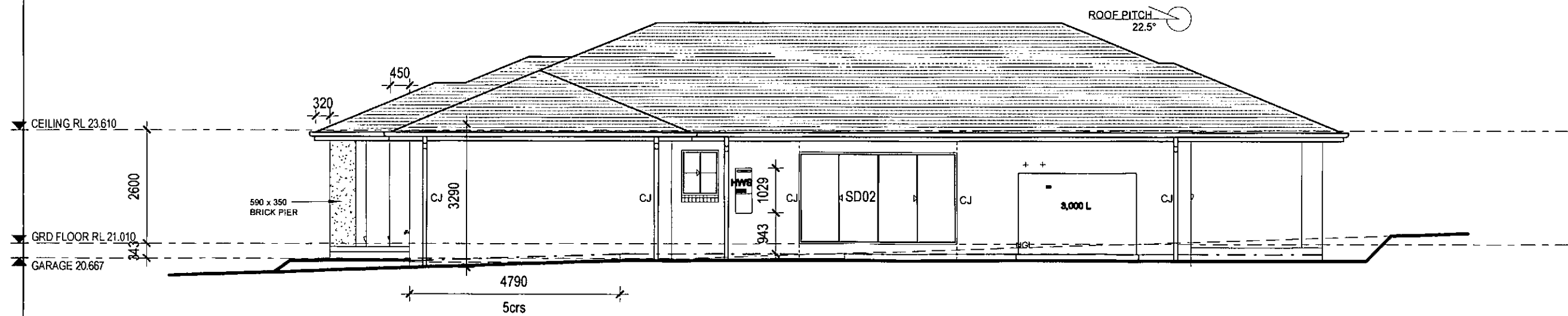
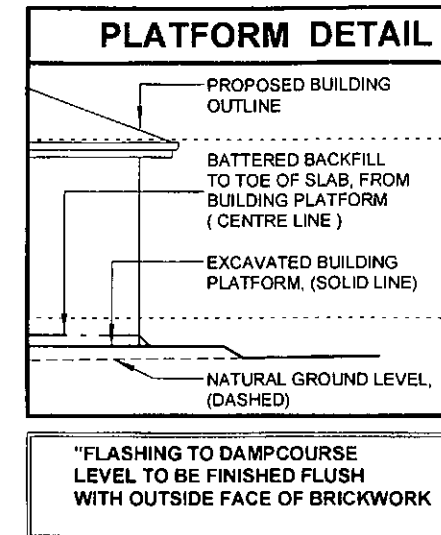
PH: 1300 4HOMES
 PH: 1300 446637

Licence. No.: 35558C
 ABN. 52 002 873 047

www.masterton.com.au



REAR ELEVATION



RIGHT ELEVATION

Proposed Residence

For: MR DUFFY, MISS GRIEVE
 Lot No : LOT 2162, CABARITA WAY
 Suburb: ERSKINE PARK
 Council: PENRITH

Project Details

Design: SYMPHONY 2 GARAGE RHS	DRAWN BY: DG	DATE: 12.04.13	JOB NO: 2007214
Facade: IVY	SHEET TITLE: ELEVATIONS		SHEET NO: 04 / 13
Edition: DESIGNER	SCALE: 1 : 100	FINAL PLAN ISSUE: -	FINAL PLAN DATE: -
PLOT DATE: 22/08/2013 3:08:26 PM			

GENERAL NOTES

Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office

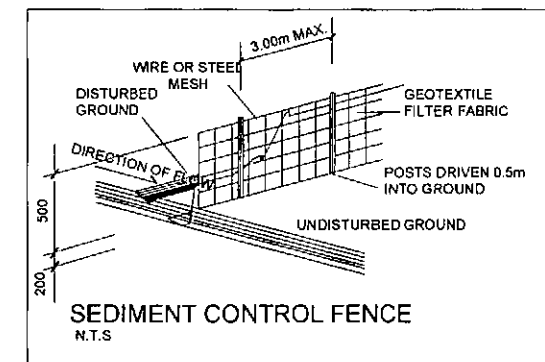
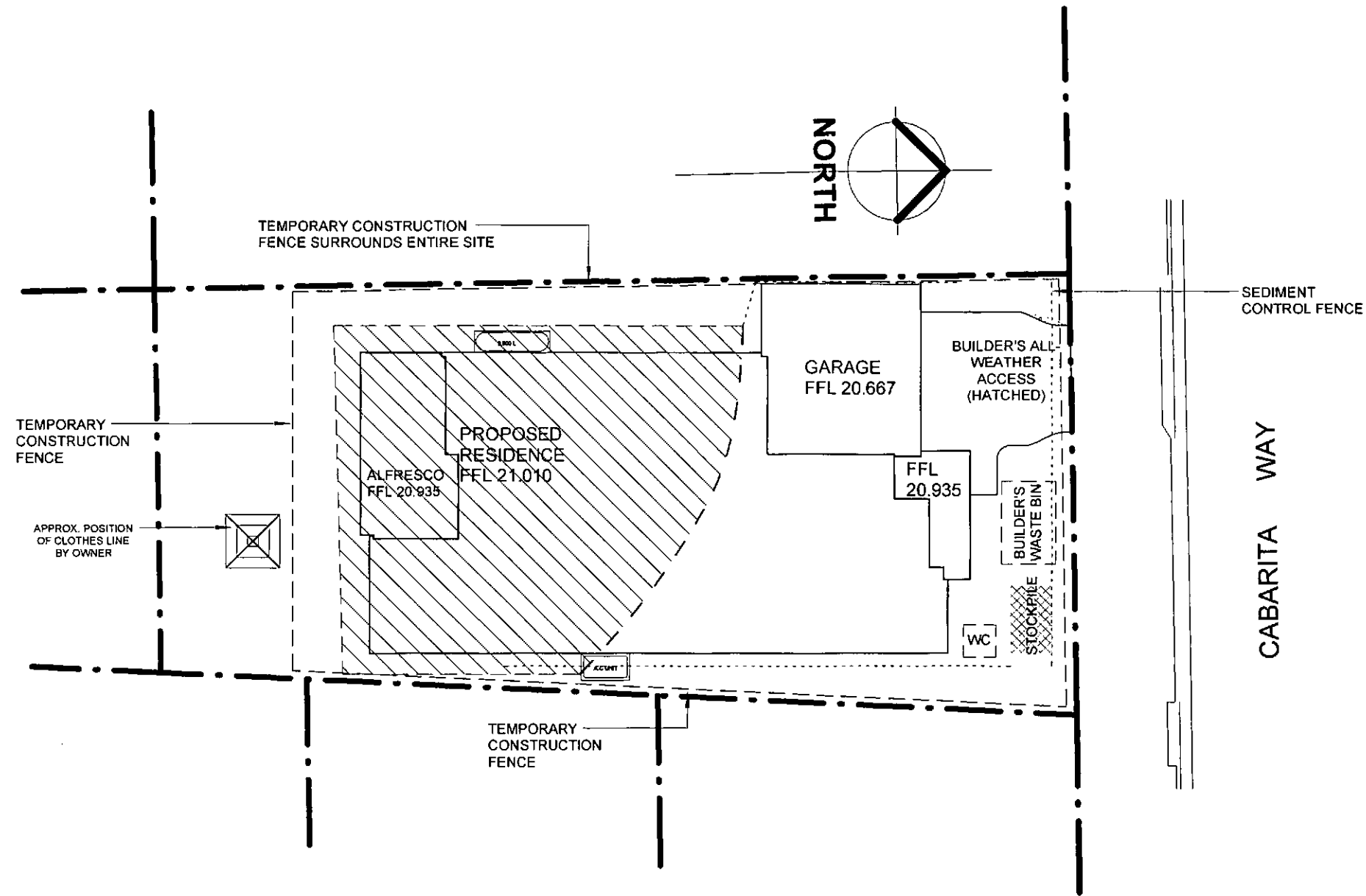
COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copy, amendment or adaption will be prosecuted



PH: 1300 4HOMES
 PH: 1300 446637

Licence No.: 35558C
 ABN. 52 002 873 047

www.masterton.com.au



- SEDIMENT NOTE:**
1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
 2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
 3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
 4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
 5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
 6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
 7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
 8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.

Proposed Residence
 For: MR DUFFY, MISS GRIEVE
 Lot No : LOT 2162, CABARITA WAY
 Suburb: ERSKINE PARK
 Council: PENRITH
 LOCATION: SYMPHONY 2-IVY-RHS.rvt

Project Details		
Design: SYMPHONY 2 GARAGE RHS	DRAWN BY: DG	DATE: 12.04.13
Facade: IVY	SHEET TITLE: SEDIMENT CONTROL	JOB NO: 2007214
Edition: DESIGNER	SCALE: 1 : 200	SHEET NO: 06 / 13
PLOT DATE: 22/08/2013 3:08:28 PM	FINAL PLAN ISSUE: -	FINAL PLAN DATE: ---.---.---

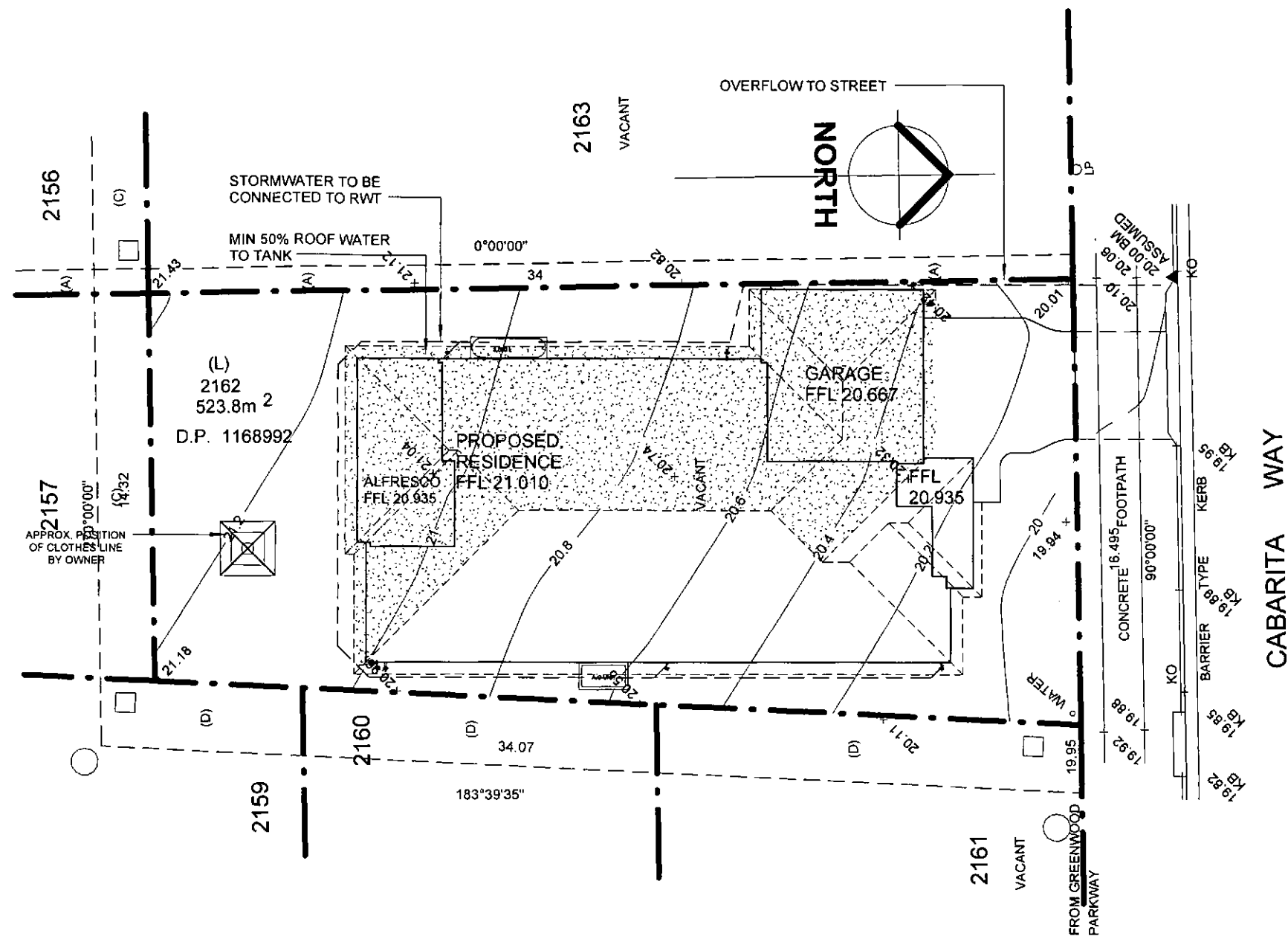
GENERAL NOTES
 Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office.

COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copy, amendment or adaption will be prosecuted.

Masterton HOMES

PH: 1300 44HOMES
 PH: 1300 446637

Licence. No.: 35558C
 ABN. 52 002 873 047
 www.masterton.com.au



Proposed Residence

For: MR DUFFY, MISS GRIEVE
 Lot No : LOT 2162, CABARITA WAY
 Suburb: ERSKINE PARK
 Council: PENRITH

Project Details

Design: SYMPHONY 2 GARAGE RHS
 Facade: IVY
 Edition: DESIGNER

DRAWN BY: DG	DATE: 12.04.13	JOB NO: 2007214
SHEET TITLE: CONCEPT DRAINAGE		SHEET NO: 07 / 13
SCALE: 1 : 200	FINAL PLAN ISSUE: -	FINAL PLAN DATE: ---

GENERAL NOTES

Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office

COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copy, amendment or adaption will be prosecuted

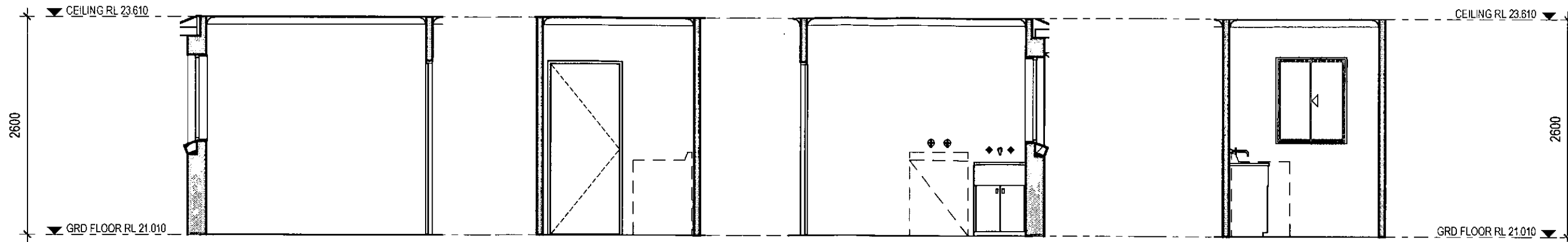


PH: 1300 4HOMES
 PH: 1300 446637

Licence No.: 35558C
 ABN: 52 002 873 047
www.masterton.com.au

LOCATION: SYMPHONY 2 4VY-RHS.M

PLOT DATE: 22/08/2013 3:08:28 PM

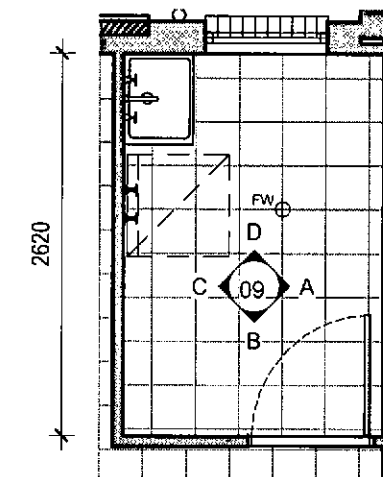


ELEVATION A

ELEVATION B


ELEVATION C

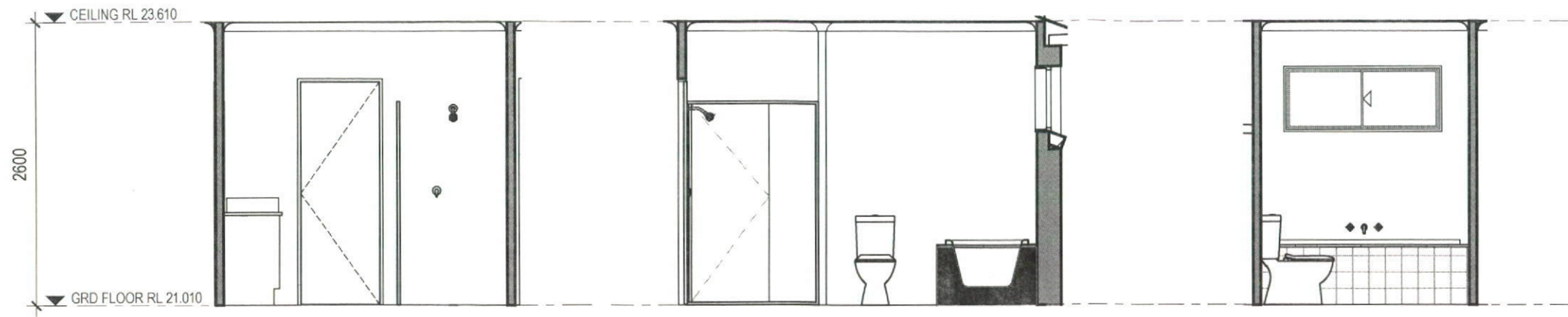
ELEVATION D



LAUNDRY

NOTES:
 FIXTURES SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. ALL SIZES DEPICTED MAY VARY DEPENDING ON AVAILABILITY AND PRODUCT SELECTION.
 HEIGHT OF TILES MAY VARY ACCORDING TO SELECTION OF TILES.
 F.W. LOCATION IS DIAGRAMATIC ONLY AND POSITION MAY VARY.

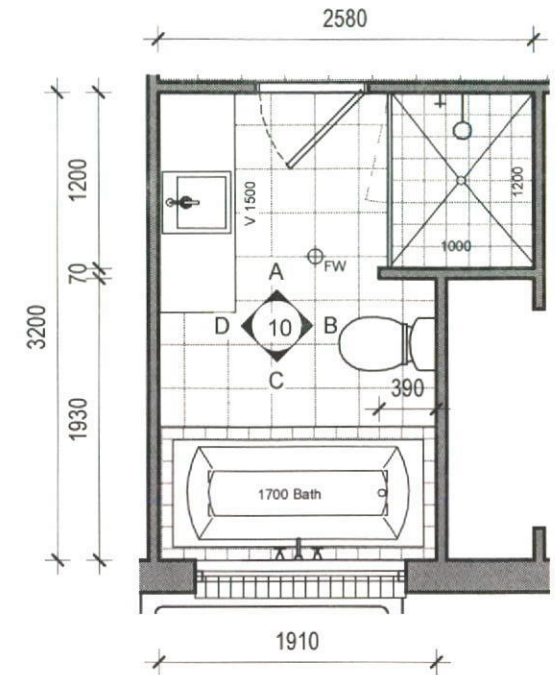
Proposed Residence For: MR DUFFY, MISS GRIEVE Lot No : LOT 2162, CABARITA WAY Suburb: ERSKINE PARK Council: PENRITH <small>LOCATION: SYMPHONY 24VY-RHS.M</small>	Project Details			GENERAL NOTES Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office. COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copy, amendment or adaption will be prosecuted.	 Masterton HOMES <small>PH: 1300 446637 4HOMES 446637</small> <small>Licence. No.: 35558C ABN. 52 002 873 047</small> www.masterton.com.au
	Design: SYMPHONY 2 GARAGE RHS Facade: IVY Edition: DESIGNER <small>PLOT DATE: 22/06/2013 3:06:28 PM</small>	DRAWN BY: DG SHEET TITLE: DETAILS L'DRY/P'DR SCALE: 1 : 50	DATE: 12.04.13 SHEET NO: 09 / 13 FINAL PLAN ISSUE: -		



ELEVATION A

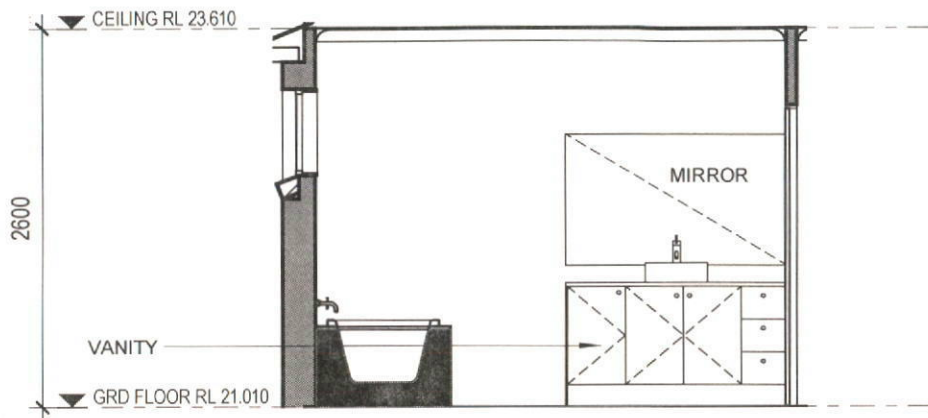
ELEVATION B

ELEVATION C

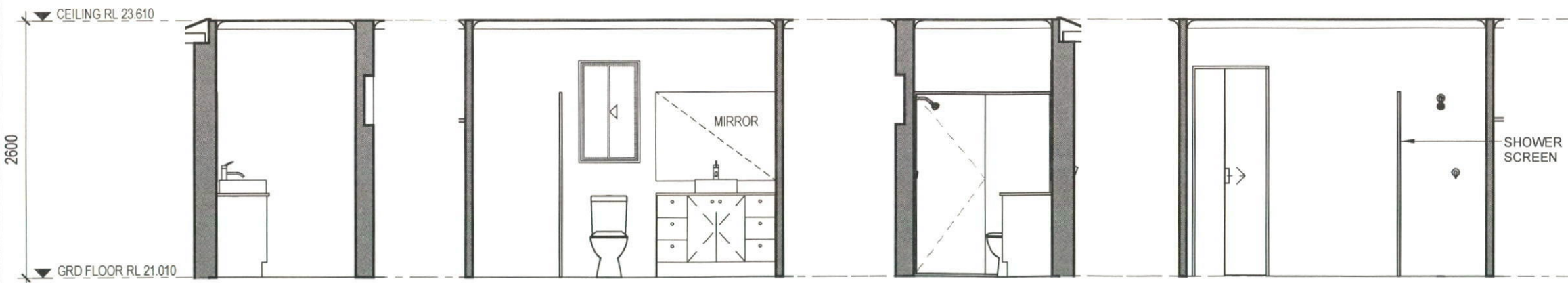


BATH ROOM

NOTES:
 FIXTURES SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. ALL SIZES DEPICTED MAY VARY DEPENDING ON AVAILABILITY AND PRODUCT SELECTION.
 HEIGHT OF TILES MAY VARY ACCORDING TO SELECTION OF TILES.
 F.W. LOCATION IS DIAGRAMATIC ONLY AND POSITION MAY VARY.



ELEVATION D

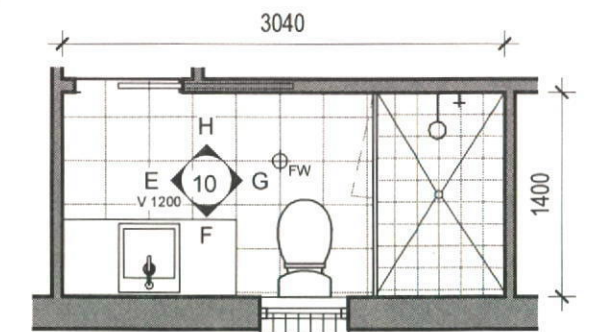


ELEVATION E

ELEVATION F

ELEVATION G

ELEVATION H



ENSUITE

Proposed Residence

For: MR DUFFY, MISS GRIEVE
 Lot No : LOT 2162, CABARITA WAY
 Suburb: ERSKINE PARK
 Council: PENRITH

Project Details

Design: SYMPHONY 2 GARAGE RHS
 Facade: IVY
 Edition: DESIGNER

DRAWN BY: DG	DATE: 12.04.13	JOB NO: 2007214
SHEET TITLE: DETAIL BATH / ENS		SHEET NO: 10 / 13
SCALE: 1 : 50	FINAL PLAN ISSUE: -	FINAL PLAN DATE: --/--/--

GENERAL NOTES

Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office

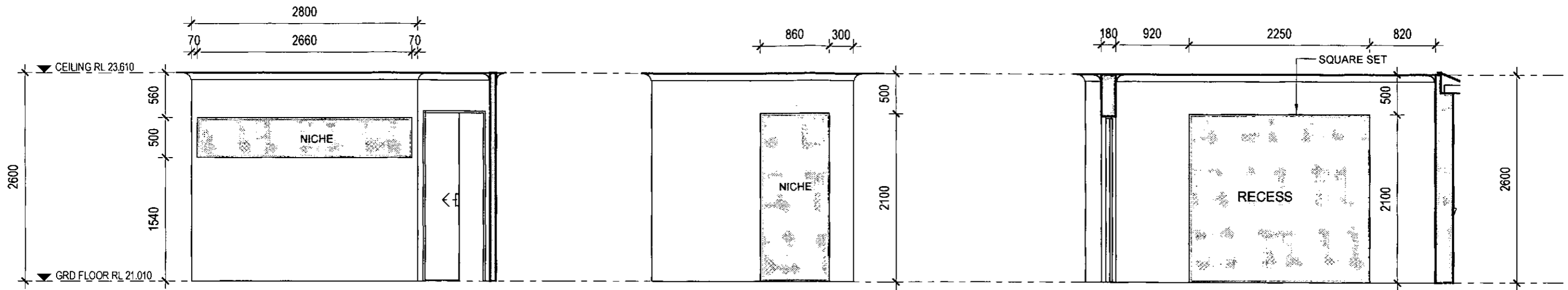
COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copy, amendment or adaption will be prosecuted



PH: 1300 446637
 4HOMES 446637
 Licence No.: 35558C
 ABN. 52 002 873 047
 www.masterton.com.au

LOCATION: SYMPHONY 2-IVY-RHS

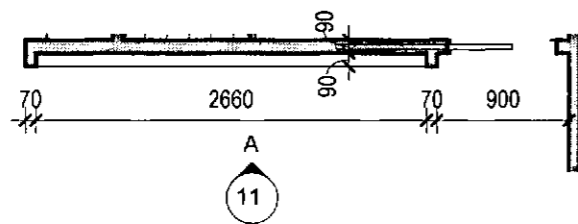
PLOT DATE: 22/08/2013 3:08:31 PM



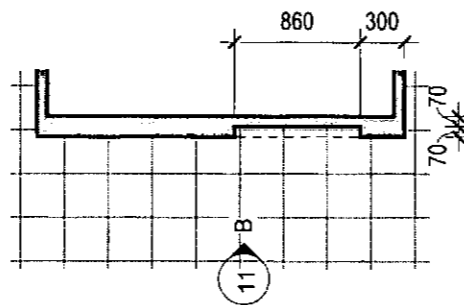
ELEVATION A

ELEVATION B

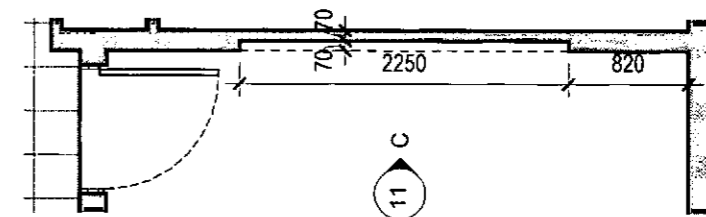
ELEVATION C



BED 1



ENTRY



HOME THEATRE

Proposed Residence

For: MR DUFFY, MISS GRIEVE
 Lot No : LOT 2162, CABARITA WAY
 Suburb: ERSKINE PARK
 Council: PENRITH

Project Details

Design: SYMPHONY 2 GARAGE RHS
 Facade: IVY
 Edition: DESIGNER

DRAWN BY: DG	DATE: 12.04.13	JOB NO: 2007214
SHEET TITLE: DETAILS		SHEET NO: 11 / 13
SCALE: 1 : 50	FINAL PLAN ISSUE: -	FINAL PLAN DATE: --.--.--

GENERAL NOTES

Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office

COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copy, amendment or adaption will be prosecuted



Masterton
HOMES

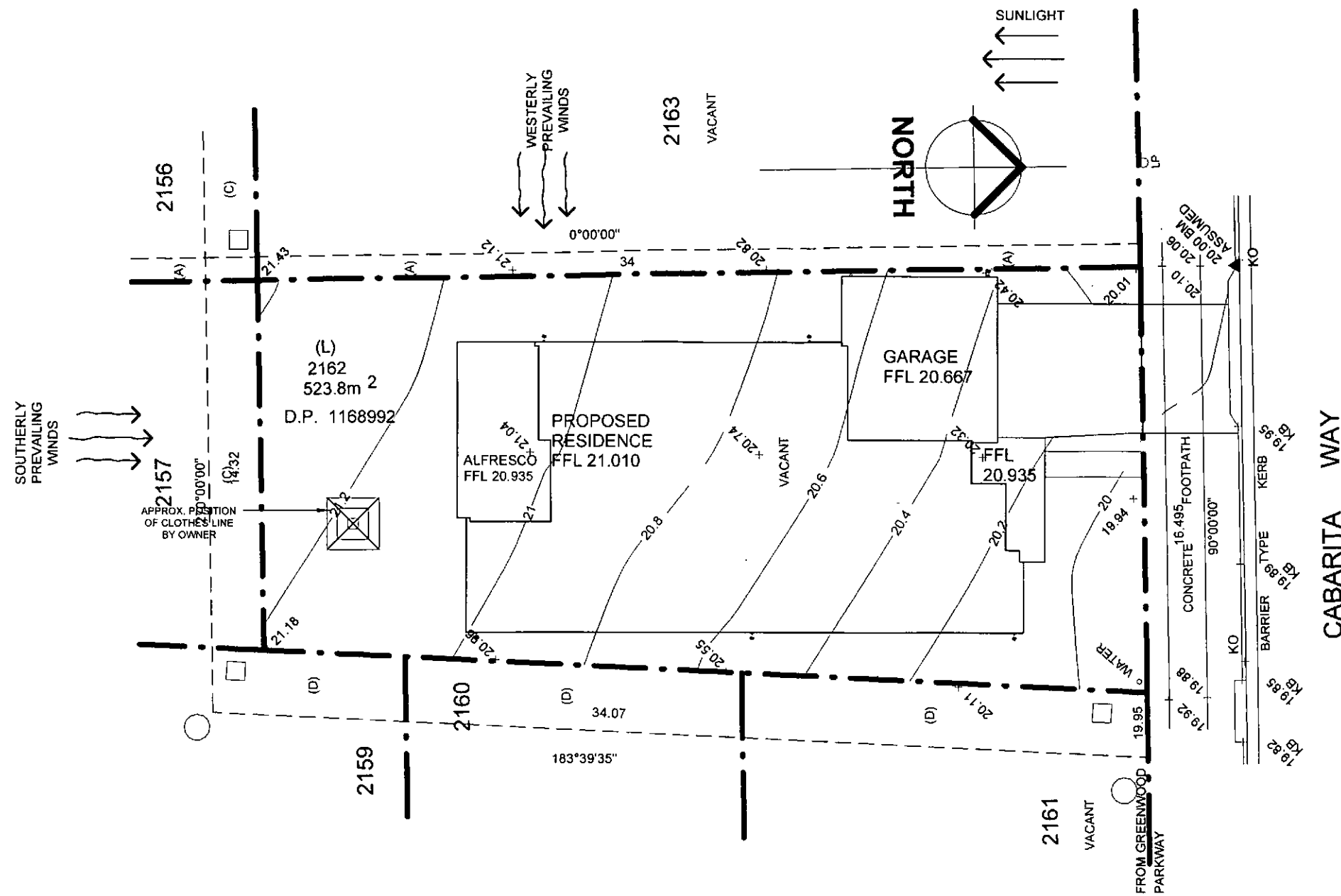
PH: 1300 4HOMES
 PH: 1300 446637

Licence. No.: 35558C
 ABN. 52 002 873 047

www.masterton.com.au

LOCATION: SYMPHONY 2-IVY-RHS.M

PLOT DATE: 22/09/2013 3:05:31 PM



Proposed Residence

For: MR DUFFY, MISS GRIEVE
 Lot No : LOT 2162, CABARITA WAY
 Suburb: ERSKINE PARK
 Council: PENRITH

LOCATION: LOT 2162, CABARITA WAY, ERSKINE PARK, SYDNEY, NSW, AUSTRALIA

Project Details

Design: SYMPHONY 2 GARAGE RHS	DRAWN BY: DG	DATE: 12.04.13	JOB NO: 2007214
Facade: IVY	SHEET TITLE: SITE ANALYSIS	SHEET NO: 12 / 13	
Edition: DESIGNER	SCALE: 1 : 200	FINAL PLAN ISSUE: -	FINAL PLAN DATE: ---
PLOT DATE: 22/08/2013 3:08:32 PM			

GENERAL NOTES

Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office

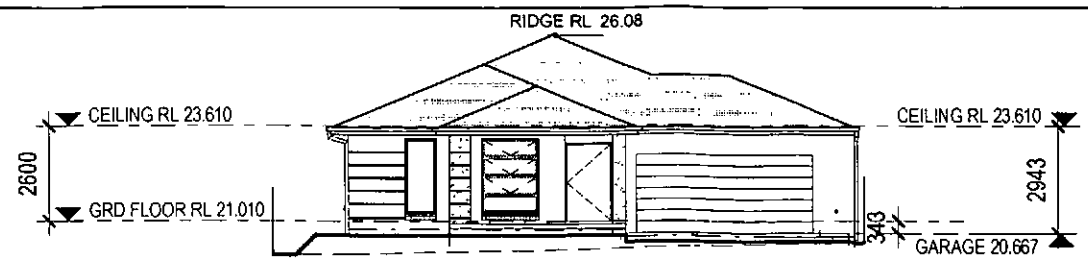
COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copy, amendment or adaption will be prosecuted



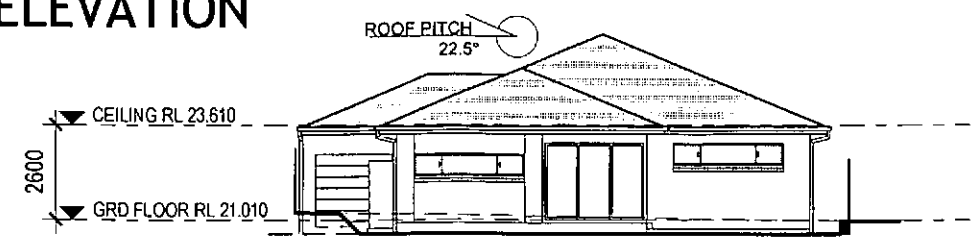
PH: 1300 4HOMES
 PH: 1300 446637

Licence No.: 35558C
 ABN: 52 002 873 047

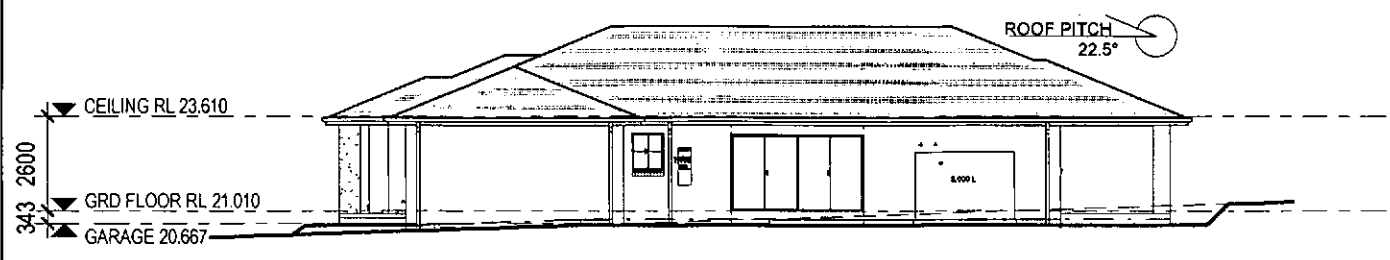
www.masterton.com.au



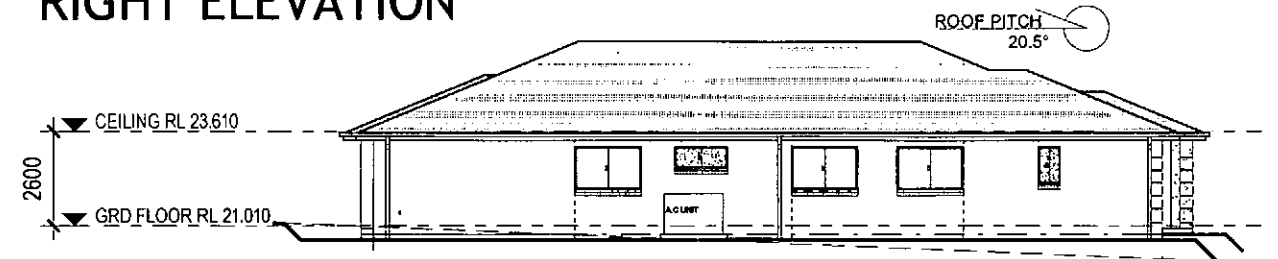
FRONT ELEVATION



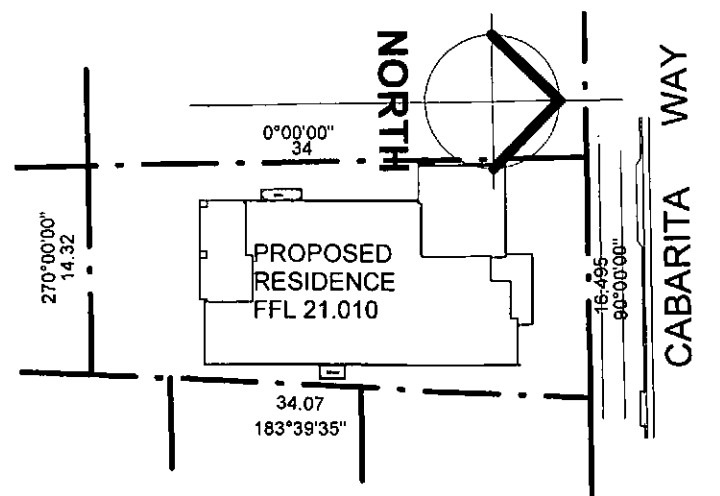
REAR ELEVATION



RIGHT ELEVATION

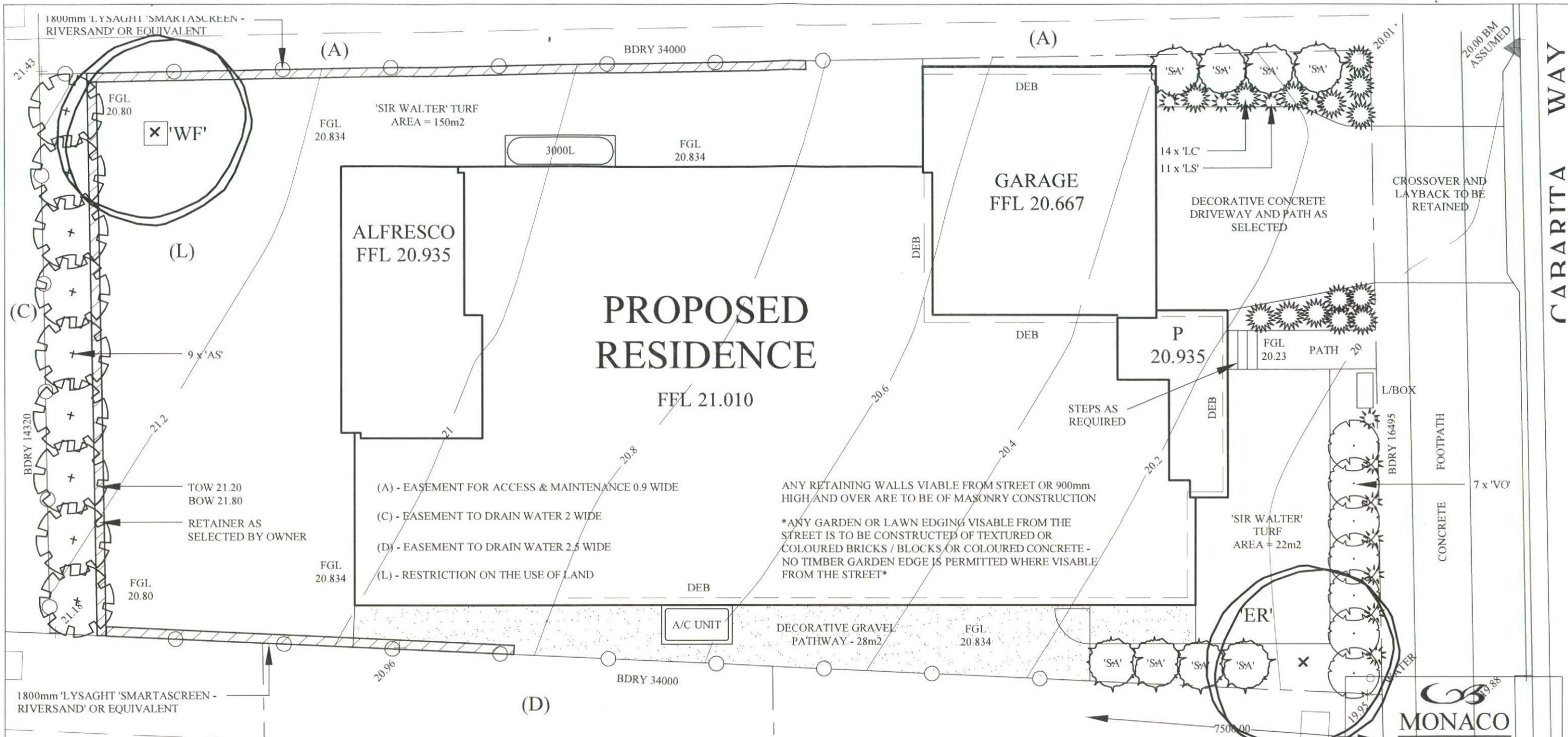


LEFT ELEVATION



SITE PLAN

<p>Proposed Residence</p> <p>For: MR DUFFY, MISS GRIEVE</p> <p>Lot No : LOT 2162, CABARITA WAY</p> <p>Suburb: ERSKINE PARK</p> <p>Council: PENRITH</p>	<p>Project Details</p> <p>DRAWN BY: Author DATE: 12.04.13</p> <p>SHEET TITLE: NOTIFICATION</p> <p>SCALE @ A4:</p>		<p>Masterton HOMES</p> <p>PH: 1300 4HOMES PH: 1300 446637</p> <p>Licence. No.: 35558C ABN. 52 002 873 047 www.masterton.com.au</p>
	<p>LOCATION: L:\2007214 - DUFFY, GRIEVE - SYMPHONY 2-IVY-RHS\Rev\2007214 - DUFFY, GRIEVE - SYMPHONY 2-IVY-RHS.rvt</p>		

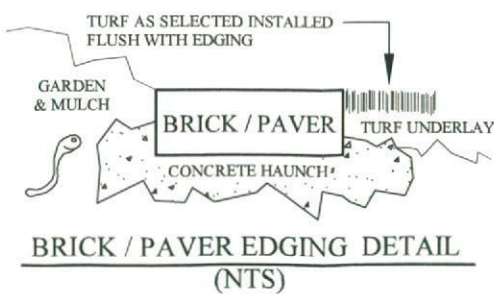


- (A) - EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (C) - EASEMENT TO DRAIN WATER 2 WIDE
- (D) - EASEMENT TO DRAIN WATER 2.5 WIDE
- (L) - RESTRICTION ON THE USE OF LAND

ANY RETAINING WALLS VIABLE FROM STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION

ANY GARDEN OR LAWN EDGING VISABLE FROM THE STREET IS TO BE CONSTRUCTED OF TEXTURED OR COLOURED BRICKS / BLOCKS OR COLOURED CONCRETE - NO TIMBER GARDEN EDGE IS PERMITTED WHERE VISABLE FROM THE STREET

STREET TREES AND TURF TO BE PROTECTED DURING CONSTRUCTION (NOT SHOWN ON CONTOUR). ANY DAMAGE TO TURF AND STREET TREE TO BE RECTIFIED AS PART OF THE LANDSCAPE WORKS



PLANT SCHEDULE

BOTANIC NAME	KEY	QTY	POT SIZE	HT (M)	WTH (M)
TREES					
ELAEOCARPUS RETICULATUS (BLUEBERRY ASH)*	ER	1	45L	8	5
WATERHOUSIA FLORIBUNDA (SATIN ASH)*	WF	1	45L	10	7
SHRUBS					
ACMENA 'SUBLIME' (LILLY PILLY)*	AS	9	200MM	3	2
LIRIOPE 'SAMANTHA'	LS	11	150MM	0.5	0.5
LOMANDRA 'CRACKERJACK' (MAT RUSH)*	LC	14	150MM	0.75	0.75
SYZYGIUM 'AUSSIE COPPER' (LILLY PILLY)*	SA	8	200MM	2.5	2
VIBURNUM ODORATISSIMUM	VO	7	200MM	HEDGE TO 1.5	

* = NATIVE SPECIES (64%) GARDEN AND LAWN AREA 200m2

*ALL PATHWAYS, LANDSCAPING, FENCING TO BE COMPLETED BY OWNERS UNLESS NOTED OTHERWISE WITHIN TENDER. ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE ESTATE AND / OR COUNCIL GUIDELINES TO PCA SATISFACTION. MONACO DESIGNS PL RESERVES THE RIGHT NOT TO UNDERTAKE NOR SUPPLY LANDSCAPE CERTIFICATION FOR OCCUPATION CERTIFICATE OR 12 MONTH LANDSCAPE CERTIFICATION FOR RELEASE OF BOND HELD BY COUNCIL WHEN APPLICABLE.

NOTE - TO AID COMPLIANCE WITH BASIX LEGISLATION, PLANTS (WHERE APPLICABLE) HAVE BEEN SELECTED FROM THE LOCAL CITY COUNCIL / SHIRE PLANT LISTS.
 NOTE - LOCATION OF SEWER MAINS / LINES, WATER PIPES, UNDERGROUND ELECTRICITY AND OTHER SERVICES MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. DIAL BEFORE YOU DIG 1100.
 COPYRIGHT - THIS PLAN AND DESIGN IS THE PROPERTY OF MONACO DESIGNS PL. IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE COMPANY. REPRODUCTION PARTLY OR IN FULL CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.
 CONTRACTORS NOTE - CALCULATED AREAS DETERMINED BY CAD AND HAVE BEEN ROUNDED UP FOR USE AS A GUIDE ONLY. ALLOW STANDARD PERCENTAGE S FOR CUTTING AND WASTAGE. CONTRACTOR TO CONFIRM DIMENSIONS PRIOR TO QUOTING / ORDERING.

MONACO
 DESIGNS PL
 14 York Street, Glenbrook NSW, 2773
 ph & fax: 0247395136 mb: 0409123200
 email: paul@monaco.net.au

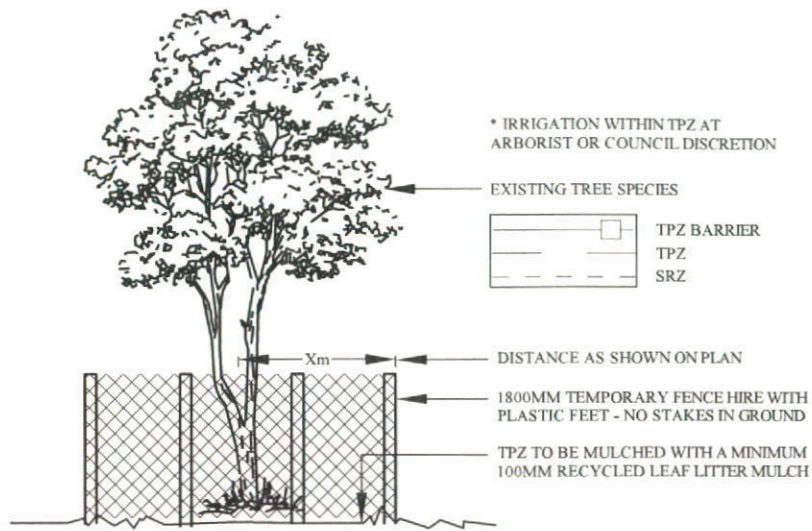
PROJECT: PROPOSED DWELLING		
ADDRESS: LOT 2162 CABARITA WAY, JORDAN SPRINGS		
CLIENT: DUFFY AND GRIEVE		
TITLE: LANDSCAPE CONCEPT		
DATE: 6 AUG 13	SCALE: 1 : 100 - A3	SHEET No. 1 OF 2
JOB No. 3449	DRAWN: P MONACO	
TREE REPORTS LANDSCAPE PLANS VEGETATION MANAGEMENT PLANS		



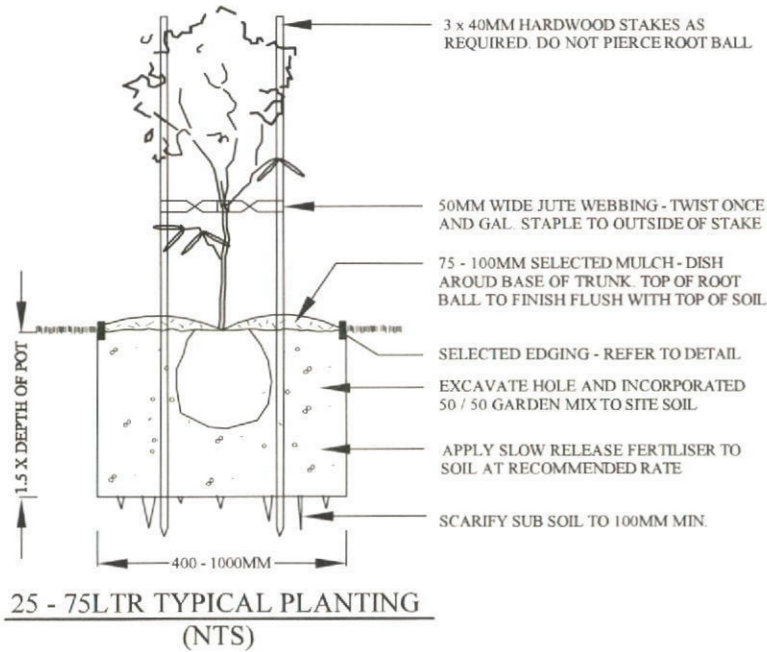
JORDAN SPRINGS - ILLOURA - LANDSCAPE CHECKLIST

PROJECT: LANDSCAPE PLAN - JORDAN SPRINGS
OWNER: DUFFY AND GRIEVE

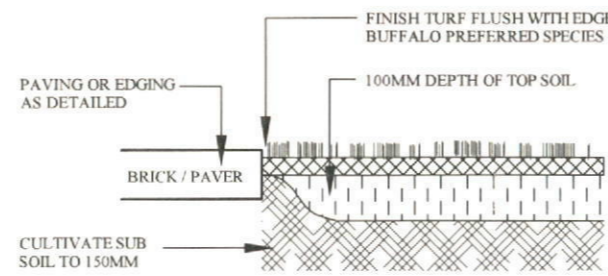
STREET ADDRESS: LOT 2162 CABARITA WAY, JORDAN SPRINGS
DATE: 6 AUGUST 13



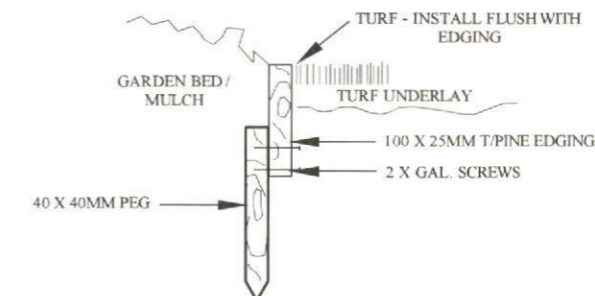
**TYPICAL TREE PROTECTION
DETAIL - (NTS)**
(IF NO ARBORIST REPORT REQUIRED)



**25 - 75LTR TYPICAL PLANTING
(NTS)**



**TURF PREPARATION DETAIL
(NTS)**



**TYPICAL EDGING
(NTS)**

- * THE LANDSCAPE PLAN IS A MINIMUM SCALE OF 1:100. **YES**
- * A TREE (4-8m) IS REQUIRED IN THE FRONT AND REAR OF EACH DWELLING. **YES**
- * 300-500mm PLANTING STRIPS BETWEEN FOOTPATH & DRIVEWAY, DRIVEWAY AND BOUNDARY AND ALONG FRONT BOUNDARY. **YES**
- * THE PLAN HAS BEEN PREPARED BY A QUALIFIED LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER SHOWING SUITABLE REGISTRATION WITH AUSTRALIAN INSTITUTE LANDSCAPE ARCHITECTS OR EQUIVALENT QUALIFICATIONS. **YES**
- * 50% OF PLANTING ARE TO BE NATIVE AUSTRALIAN SPECIES, WITH PERCENTAGE NOTED. **YES**
- * THE EXISTING STREET TREE IS TO BE CLEARLY AND ACCURATELY INDICATED ON THE PLAN. THE LANDSCAPE PLAN MUST NOTE THAT THE STREET TREE AND TURF AREAS IN FRONT OF THE HOUSE ARE TO BE PROTECTED DURING CONSTRUCTION, WITH ALL DAMAGE TO BE RECTIFIED AS PART OF THE LANDSCAPE WORKS. **NO**
- * THE SURFACE TREATMENT OF ALL AREAS IS TO BE CLEARLY INDICATE. **YES**
- * THE PLAN IS TO BE FULLY DOCUMENTED INCLUDING RETAINING WALL HEIGHTS, MATERIALS, PLANTING LAYOUT, GARDEN EDGING AND GROUND PREPARATION. RETAINERS ABOVE 900mm OR WITHIN FRONT SETBACK TO BE MASONRY. **N/A**
- * THE REAR FENCE AND SIDE FENCE MATERIAL IS INDICATED AS 1800mm 'LYSAGHT' 'SMARTASCREEN - RIVERSAND' OR EQUIVALENT. **YES**
- * FRONT FENCE TO BE 1200mm MAX. WITH PERMEABLE INFILL - **N/A**
- * SIDE GATE / FENCE TO RETURN 7500mm FROM FRONT BOUNDARY OR 2000m BEHIND BUILDING FACADE. **YES**
- * DRIVEWAY MATERIAL MUST BE INDICATED WITHIN THE LOT. NOTE: PLAIN CONCRETE IS NOT PERMITTED WITHIN THE LOT. REFER TO THE BUILDING AND SITING REQUIREMENTS FOR ACCEPTABLE FINISHES. 3m C/OVER SINGLE OR 5m DOUBLE C/OVER. - **YES**
- * DRIVEWAY MATERIAL TO BE INDICATED FROM THE KERB TO THE FRONT BOUNDARY AS PLAIN CONCRETE TO COUNCIL SPECIFICATION. **YES**
- * PROVIDE A SEPARATE PEDESTRIAN ACCESS (NOT THE DRIVEWAY). THE MAXIMUM WIDTH OF THE PEDESTRIAN ACCESS PATH IS 1.8M. **YES**
- * ENSURE AIR CON, HWS, BINS AND DRYING LOCATIONS ARE SHOWN. **YES**
- * ENSURE THE LANDSCAPE PLAN COMPLIES WITH BASIX LANDSCAPE SPECIFICATIONS - REFER TO YOUR BASIX CERTIFICATE PROVIDED BY YOUR BUILDER AND THE BASIX WEBSITE - WWW.BASIX.NSW.GOV.AU. **ASSUMED**
- * REFER TO GUIDELINES FOR SECONDARY CORNER FENCING.
- * THE PLAN HAS A PLANT SCHEDULE INCLUDING ALL BOTANICAL NAMES AND COMMON NAMES. **YES**
- * A MINIMUM 50 % OF THE SITE IS LANDSCAPED (PERMEABLE). **ASSUMED**

PLANTING AND MAINTENANCE NOTES

- * GLAZED OR POLISHED PLANTING HOLES, PARTICULARLY IN CLAY SOILS SHOULD BE AVOIDED. PLANTS TO BE MOUNDED WITHIN THESE SOIL TYPES
- * PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH OR SLIGHTLY LOWER THAN THE SOIL SURFACE
- * PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING
- * PLANTING SHOULD BE AVOIDED AT THE HEIGHT OF SUMMER (DECEMBER - JANUARY)
- * PLANTS SHOULD BE WATERED AT LEAST WEEKLY FOR SIX WEEKS TO AID ESTABLISHMENT. WATER CRYSTALS MAY BE USED TO REDUCE THE AMOUNT OF WATER REQUIRED
- * IF A FERTILISER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD PREFERRED
- * ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED. PERMISSION SHOULD BE SOUGHT BEFORE ALTERING THE PLANT SPECIES LIST (ON MOST OCCASIONS NURSERY CAN SUBSTITUTE).
- * STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS AND NOT POT BOUND
- * REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD.
- * WEEDS SHOULD BE REMOVED ON A FORTNIGHTLY BASIS
- * PEST OR DISEASE SAMPLES TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY

GENERAL NOTES:-

- * LANDSCAPE CONTRACTOR TO CHECK DA CONDITIONS AND STAMPED LANDSCAPE PLAN BEFORE COMMENCING WORKS TO ENSURE NO ADDITIONS / AMENDMENTS TO PLAN
- * GARDEN BEDS IN OSD BASIN TO CONSIST OF NON FLOATABLE DECORATIVE GRAVEL
- * REFER TO HYDRAULICS ENGINEERS PLAN FOR OSD DETAILS / FINAL LEVELS
- * MULCHED PLANTING BEDS TO BE A MINIMUM DEPTH OF 75MM AS SELECTED
- * CONTRACTORS RESPONSIBILITY TO CHECK AND ADJUST SOIL pH AS REQUIRED
- * PROVIDE TIMBER EDGE AS A MINIMUM BENEATH FENCING / GATES TO DEFINE TURF AND GARDEN BEDS / PATHWAYS. EDGING TO BE PROVIDED TO ALL AREAS WHERE DIFFERING MATERIALS MEET, ie TURF / GARDEN, TURF / GRAVEL PATH ETC.
- * WEED MAT BENEATH GRAVEL PATHWAYS REQUIRED TO LIMIT MUD TRACKING
- * PREMIUM ORGANIC GARDEN MIX TO BE USED
- * ALL PLANTS TO BE HEALTHY AND VIGOROUS
- * CONTRACTOR TO MAKE GOOD TURF ON NATURE STRIP POST CONSTRUCTION.
- * DO NOT SCALE ARCHITECTURAL SETOUT FROM LANDSCAPE DRAWING
- * EXISTING TREE SPREAD APPROXIMATE ONLY. REFER TO TREE REPORT WHEN APPLICABLE.
- * SITE SURVEY PROVIDED BY OTHERS.
- * BUFFALO TURF PREFERRED OVER KIKUYU.

EROSION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE
2. STRIPPING OF GRASS AND VEGETATION ETC. FROM TO BE KEPT TO A MINIMUM
3. TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO BE SCRAPPED AND STOCKPILED ON SITE.
4. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO THE NOMINMATED SOIL STOCKPILE AREA.

* ALL PATHWAYS, LANDSCAPING, FENCING TO BE COMPLETED BY OWNERS UNLESS NOTED OTHERWISE WITHIN TENDER. ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE ESTATE AND / OR COUNCIL GUIDELINES TO PCA SATISFACTION. MONACO DESIGNS PL RESERVES THE RIGHT NOT TO UNDERTAKE NOR SUPPLY LANDSCAPE CERTIFICATION FOR OCCUPATION CERTIFICATE OR 12 MONTH LANDSCAPE CERTIFICATION FOR RELEASE OF BOND HELD BY COUNCIL WHEN APPLICABLE

NOTE:- TO AID COMPLIANCE WITH BASIX LEGISLATION - PLANTS (WHERE APPLICABLE) HAVE BEEN SELECTED FROM THE LOCAL CITY COUNCIL / SHIRE PLANT LIST

NOTE: LOCATION OF SEWER MAINS / LINES, WATER PIPES, UNDERGROUND ELECTRICITY AND OTHER SERVICES MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. **DIAL BEFORE YOU DIG 1100.**

COPYRIGHT: THIS PLAN AND DESIGN IS THE PROPERTY OF MONACO DESIGNS (NSW) PL. IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE COMPANY. REPRODUCTION PARTLY OR IN FULL CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.

CONTRACTORS NOTE:- CALCULATED AREAS DETERMINED BY CAD AND HAVE BEEN ROUNDED UP FOR USE AS A GUIDE ONLY. ALLOW FOR STANDARD PERCENTAGE FOR CUTTING AND WASTAGE. CONTRACTOR TO CONFIRM DIMENSIONS PRIOR TO QUOTING / ORDERING.

MONACO
DESIGNS PL

14 York Street, Glenbrook NSW, 2773
ph & fax: 0247395136 mb: 0409123200
email: paul@monaco.net.au

PROJECT:
PROPOSED DWELLING

ADDRESS:
LOT 2162 CABARITA WAY,
JORDAN SPRINGS

CLIENT:
DUFFY AND GRIEVE

TITLE:
LANDSCAPE DETAILS

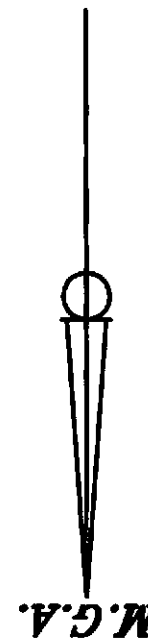
DATE:	SCALE:	SHEET No:
6 AUG 13	1 : 100 - A3	2 OF 2
JOB No:	DRAWN:	
3449	P MONACO	

TREE REPORTS
LANDSCAPE PLANS
VEGETATION MANAGEMENT PLANS

- (A) - EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (C) - EASEMENT TO DRAIN WATER 2 WIDE
- (D) - EASEMENT TO DRAIN WATER 2.5 WIDE
- (L) - RESTRICTION ON THE USE OF LAND

PLAN ORIENTATION: M.G.A.

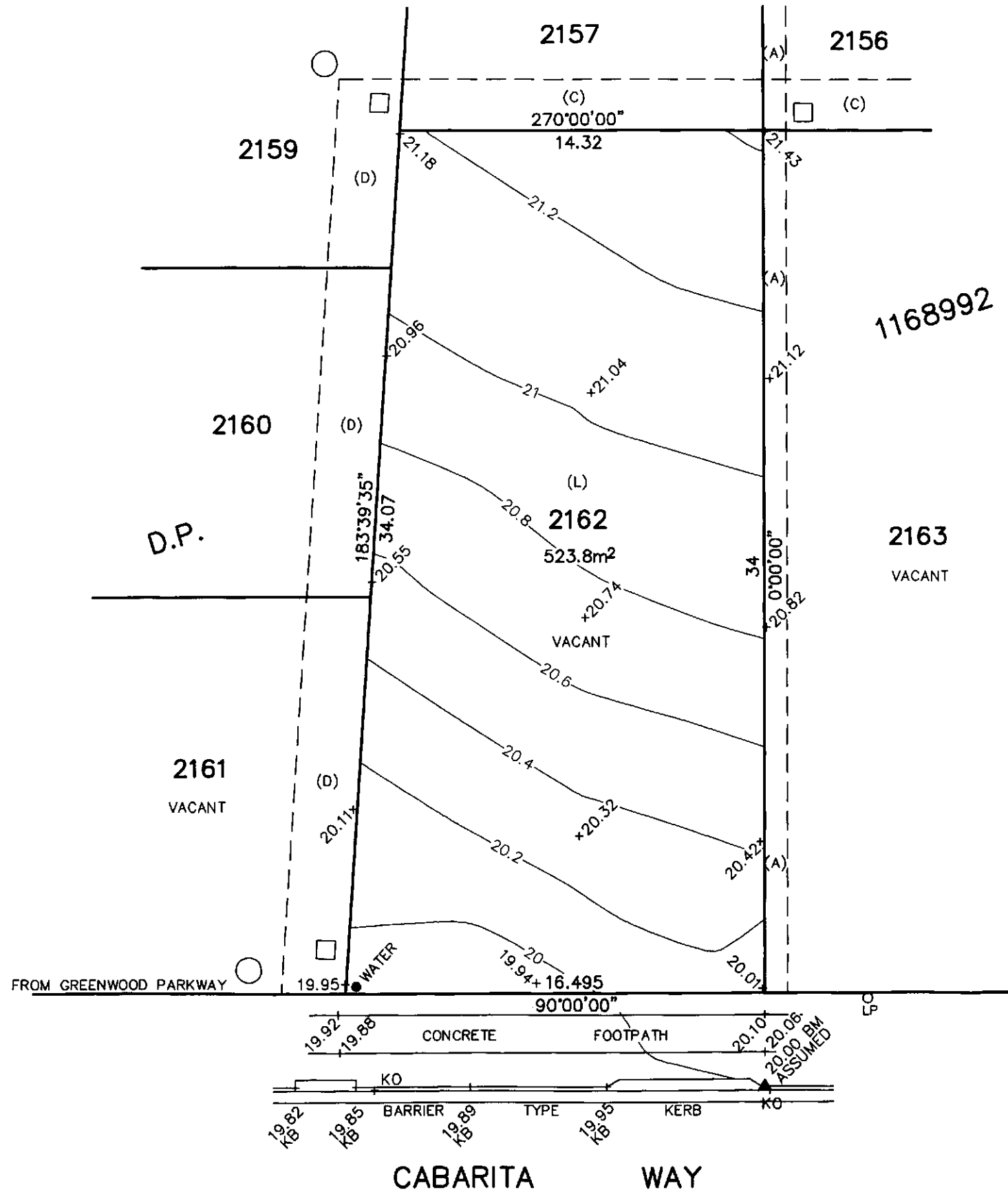
- NOTES:
1. THIS PLAN HAS BEEN PREPARED BY A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS WHERE INDICATED. THE TITLE BOUNDARIES SHOWN HEREON HAVE NOT BEEN MARKED BY CAD CONSULTING AT THE TIME OF SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD MEASUREMENTS.
 2. IF THE DIMENSIONS OR DESCRIPTION OF THE TITLE ARE CRITICAL FOR DESIGN AND/OR CONSTRUCTION OF NEW STRUCTURES OR FINANCIAL DECISIONS WE RECOMMEND THAT AN IDENTIFICATION SURVEY OR RE-SURVEY OF BOUNDARIES BE CARRIED OUT.
 3. NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE EXCEPT WHERE OTHERWISE INDICATED.
 4. ONLY VISIBLE SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE. NON VISIBLE AND/OR UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THIS PLAN.
 5. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF ALL SERVICES.
 6. THIS PLAN HAS BEEN PREPARED EXCLUSIVELY FOR USE BY CAD CONSULTING AND MASTERTON HOMES.
 7. THIS PLAN CANNOT BE COPIED OR ALTERED IN ANY WAY WITHOUT THE PRIOR WRITTEN PERMISSION FROM CAD CONSULTING.
 8. THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN AND CANNOT BE REMOVED.



KEY TO SYMBOLS

- VEHICLE CROSSING
- STORMWATER PIT
- KERB INLET PIT
- TELSTRA PIT
- OPTUS PIT
- SEWER MAN HOLE
- ELECTRICITY PILLAR
- STOP VALVE
- HYDRANT
- POWER POLE
- LIGHT POLE
- TREE (SPREAD/DIAM./HEIGHT)

ADJOINING SETBACKS		
HOUSE No.	LOT No.	SETBACK
?	2161	VACANT
?	2163	VACANT
?	2164	VACANT
?	2165	VACANT



CONTOUR SURVEY OF LOT 2162 IN D.P. 1168992 FOR: MASTERTON HOMES

L.G.A.: PENRITH	Datum: ASSUMED
Locality: JORDAN SPRINGS	Contour Interval: 0.2
Date: 24/5/13	Drawn By: DG
Scale: 1:200	Checked By: RK

CAD Consulting
 Pripristor: C.A.D. Surveying Services Pty Ltd
 A.B.N.: 22 092 130 117

Land & Engineering Surveyors Development Consultants

41 Lemongrove Road, PENRITH
 P.O. Box 259 PENRITH, 2751
 D.X. 8024, PENRITH
 Phone: (02) 4732 2040
 Fax: (02) 4732 1848
 E-mail: admin@cadconsulting.com.au

Our Reference: 39884	Your Reference: 2007214
----------------------	-------------------------