

MULLANE PLANNING CONSULTANTS

PTY LIMITED ACN 089 318 561

Innovation in Urban Planning & Development

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**STATEMENT OF ENVIRONMENTAL EFFECTS
IN SUPPORT OF A DEVELOPMENT APPLICATION
THAT SEEKS CONSENT TO THE
OPERATION OF
A CHILDRENS ENTERTAINMENT FACILITY
(MONKEY MANIA) WITHIN THE PENRITH RSL CLUB
LOT 10 DP 1105007 (137-147),
LETHBRIDGE STREET, PENRITH**

1.0 INTRODUCTION

Penrith RSL Club wishes to convert a large area of its ground floor from a games area (snooker etc) into a recreation facility for the entertainment of children, a Monkey Mania facility.

The existing ground floor games area (snooker etc) is to be relocated to the recently approved foyer infill at the Club's first floor level.

Reference to the plans at Appendix I) will reveal the area to be occupied and the way in which that area will be used for the wide range of entertainment activities.

The photos at Appendix II) provide an insight into what the structures and activities will look like.

Two full-time employees with up to 20 casual staff on, an as required basis, will manage essentially the facility. Weekdays are the quietest period while weekends and school holidays the busiest.

A significant component of the activities will be children's birthday parties and the busiest time (maximum numbers) will be around 11am on a Saturday morning.

Currently there are two Monkey Mania facilities operation in similar surroundings (Registered Clubs), Bankstown Sports Club and Central Coast Leagues Club (Gosford).

Access to the Monkey Mania facility will be from the car park using a new standalone passageway as depicted on the site plan contained in Appendix I) with a reception area separated from all other Club activities.

Monkey Mania will install in the activity area a variety of safe play equipment to cater for children up to twelve years of age. The five (5) party rooms provide busy parents with a venue for their child's birthday party where the entire catering, organisation and after party clean up is provided. Parents or staff will supervise children at all times.

Parents can leave their children at the play centre to use the play equipment under agreement with Management for up to 3 hours to allow parents to undertake other shopping trips. There will be a percentage of customers and visitors not involved in a party group who will bring children just to use the playland equipment and the facilities.

The party rooms will be booked for a period of 1 to 2 hours per party group. The rooms will be available on an appointment only basis and cater for 10 – 13 children up to 12 years of age. The children will be provided with party food, cakes and drinks while being supervised by staff and parents. After each party the rooms are cleaned and prepared for the next group. This provides for a 30 minute overlap to eliminate double handling of group bookings in and out of the facility.

There will be a percentage of customers and visitors not involved in a party group who will bring children just to use the play equipment under agreement with Management for up to 3 hours to allow parents to undertake other shopping trips.

The kitchen will provide light refreshments for purchase by parents relaxing in the lounge/seating area while their children are using the play equipment.

Legislation exists in NSW that affects all people working with children. The Child Protection (Working with Children) Act 2012 requires a 'working with children check clearance' to determine whether a person is suitable to work with children. The operators of the proposed 'recreation facility' will be responsible for the operation of the centre in accordance with the Child Protection (Working with Children) Act 2012.

The existing car park will service the proposed recreation facility and the other occupants on site. The existing car spaces have been designed in accordance with Australian Standards with all parking spaces line marked and directional signs. Pedestrian access is available within a defined footpath along the front of the building.

The proposed 'recreation facility' provides a designated area for parents or guardians and children to access the building directly from the car park along the existing footpaths.

The plan at Appendix III) indicates the details and finishes for the food preparation areas and the Waste Management Plan (Appendix IV)) establishes how waste will be managed during construction. Food waste will be managed as part of the Club's overall food waste management.

2.0 THE APPLICATION

2.1 THE PROVISIONS OF ANY ENVIRONMENTAL PLANNING INSTRUMENT

2.1.2 Sydney Regional Environmental Plan 20 Hawkesbury Nepean River

SREP 20 aims to protect the environment of the Hawkesbury Nepean River by ensuring that the impacts of future land use are considered in a regional context. Of most relevance to the proposal is the requirement to assess the development in terms of the impact of the development on water quality, particularly as that relates to the water cycle or on flora or fauna.

As the extended floor area is completely within the existing building there will not be any change or addition to stormwater run off.

Accordingly there will be no impact on the river system and hence, the objectives of the REP are satisfied.

2.1.3 Penrith Local Environmental Plan 2010

The subject land is controlled by the provisions of LEP 2010, which was gazetted in 2015, and while the proposed use is not specifically covered by the Aims of the Instrument, it is not inconsistent with those Aims.

The land is zoned B4 Mixed Use and the relevant objectives of that zone are as follows:

- *To provide a mixture of compatible land uses.*

- *To integrate suitable business, office residential, retail and other development in accessible locations so as to maximize public transport patronage and encourage walking and cycling.*
- *To provide a wide range of retail, business, office, residential, community and other suitable land uses.*

The proposed use will add a layer to the level of activities available in the CBD. Patrons could access the site by public transport if they wish, while the proposed use will generate a level of activity, which will support business and CBD activities.

There are no other clauses in the Instrument with relevance to the proposed facility.

2.1.4 The Provisions of Any Draft Planning Instrument

There are no draft planning instruments with respect to the subject site.

2.1.5 The Provisions of Any Development Control Plan

Development Control Plan 2014.

Penrith City Centre, applies to the site. The aims and objectives generally relate to achieving physical outcomes for the City Centre rather than outcomes, which would generally relate to the social/entertainment outcomes, which will flow from the Monkey Mania facility.

The proposed use is not inconsistent with the provisions of the DCP.

3.0 LIKELY IMPACTS OF THE PROPOSED FACILITY

3.1 NATURAL ENVIRONMENT

For the reasons outlined in 2.1.2 above, it is considered that there will be no impact on the natural environment.

3.2 BUILT ENVIRONMENT

The proposed facility will occupy a large component of the ground floor of the existing Club.

The photo at Appendix V) indicates the only signage to be installed for the project, and the sign will have dimensions of 5m x 3m (approximately).

Although there will be internal alterations to the building, it is considered that there will be no impact on the built environment.

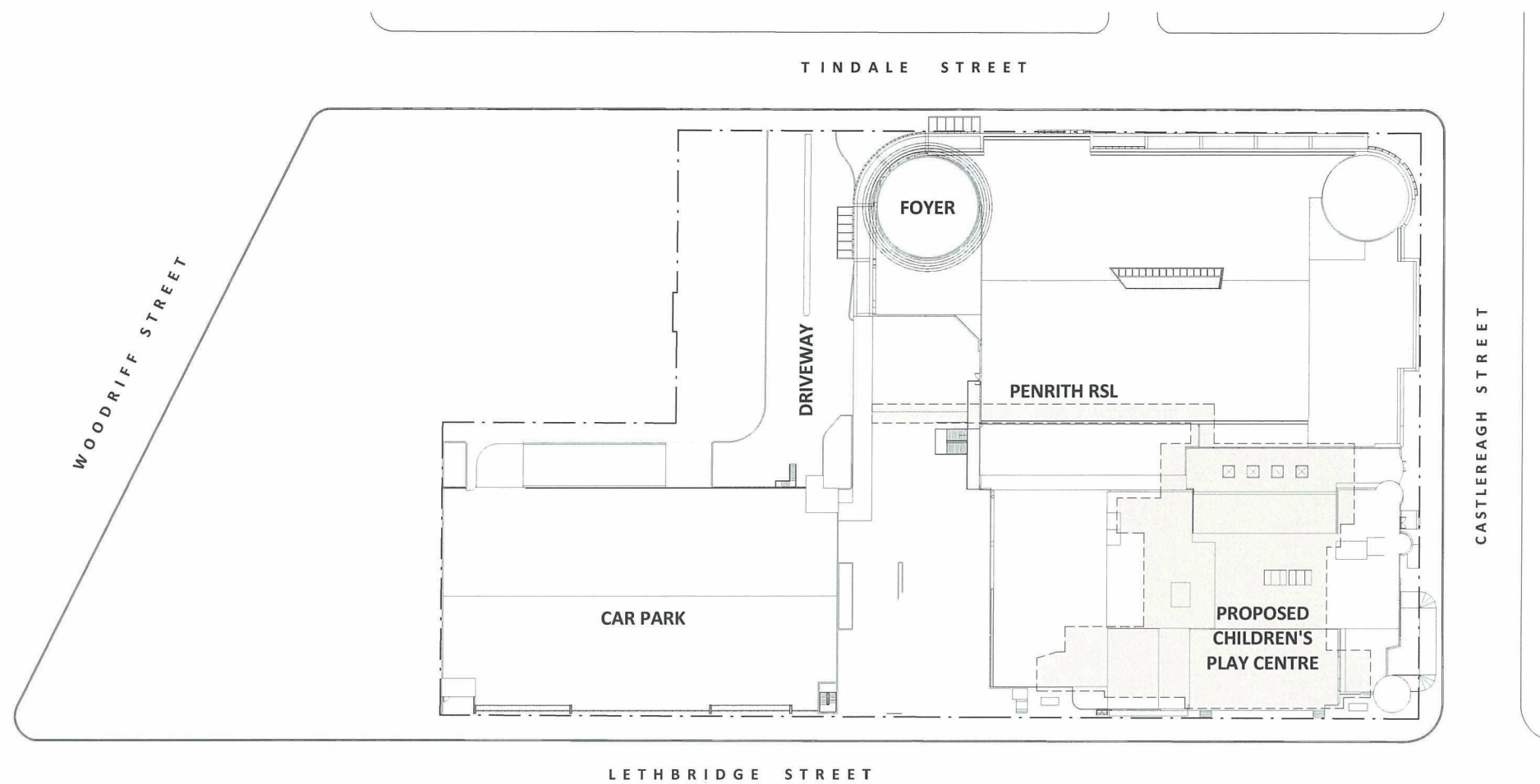
3.3 SOCIAL ENVIRONMENT

The provision of a facility which will provide entertainment for children between three and twelve years in a well managed and stimulating environment can only have positive social outcomes.

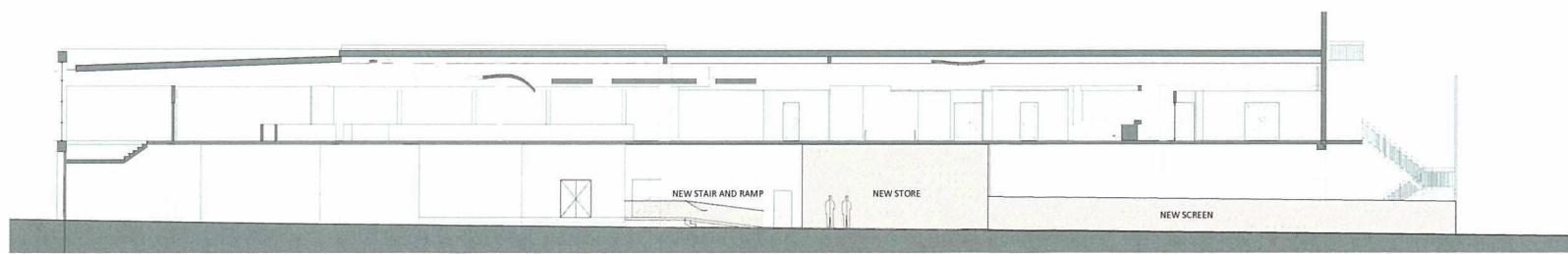
The Access Report at Appendix VI) establishes how children/adults with disability will be able to enjoy the facility. The Report concludes as follows:

Following an assessment of the plans it is apparent that the development will readily provide accessible site entrances and internal access paths to essential features and amenities for children, adults and staff with disabilities in a manner that can comply with the abovementioned standards and legislation subject to further detailing at construction certificate stage as mentioned within his report.

Appendix I)



SITE PLAN
1:500



NORTH SECTION/ELEVATION
1:200

PRELIMINARY DEVELOPMENT APPLICATION	LB	27/01/16	P1
ISSUE	subject	date	ISSUE
			architect


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 pglanville@cplarch.com
 www.cplarch.com
NOMINATED ARCHITECT # 61484/16
 NSW REGISTRATION # 16311
 APLS 12/10/15 (10/15) (15/15) (15/15)

project
PENRITH RSL

address
**8 TINDALE STREET,
PENRITH NSW 2750**

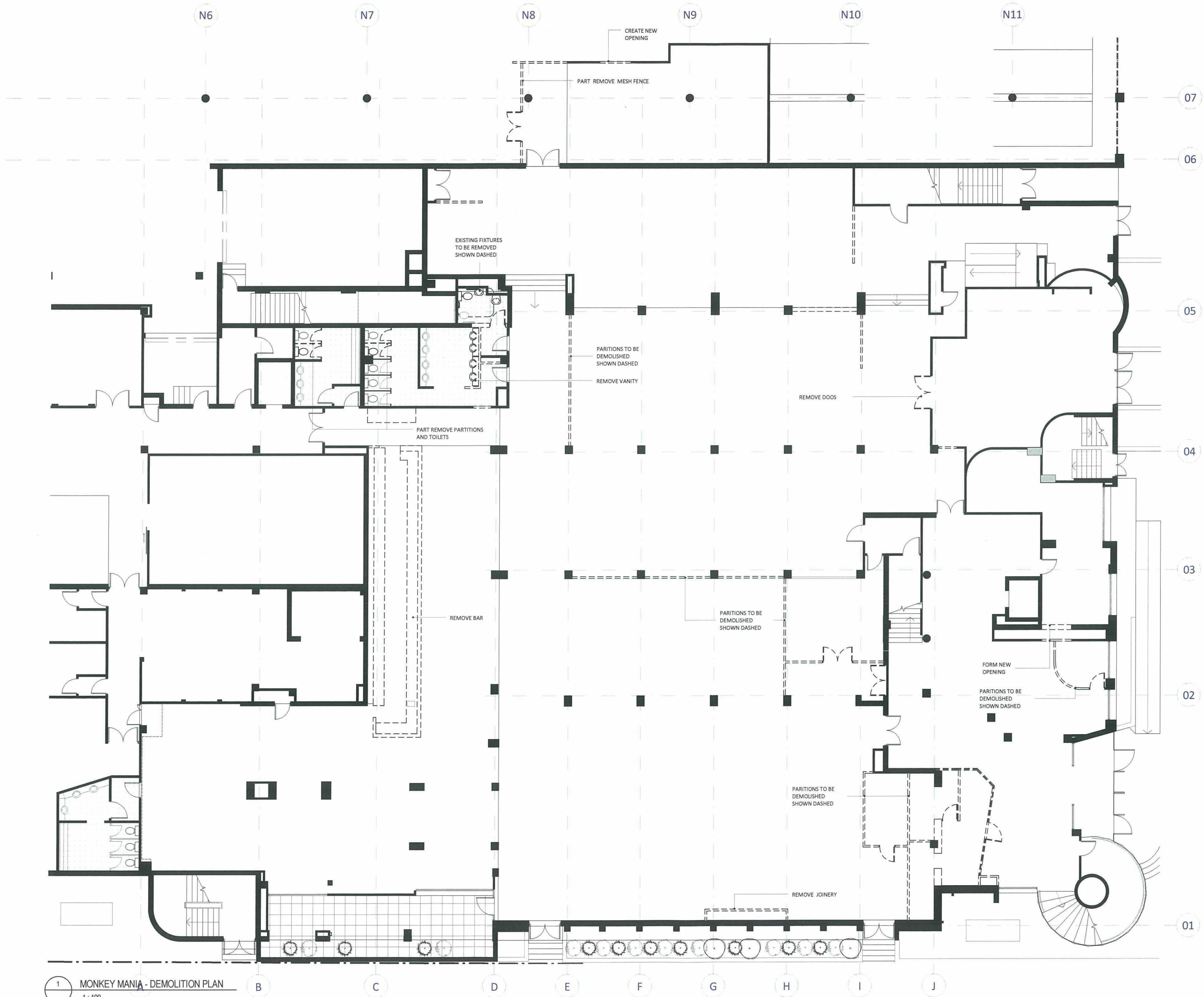
client
PENRITH RSL CLUB

PRELIMINARY

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verified:	CG
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COVER SHEET
sheet

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PRELIMINARY DEVELOPMENT APPLICATION LB 27/01/16 P1
 ISSUE D.R. DATE ISSUE



project
 PENRITH RSL

address
 8 TINDALE STREET,
 PENRITH NSW 2750

client
 PENRITH RSL CLUB

PRELIMINARY

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 checked: LB
 verified: CG
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DEMOLITION PLAN

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1 MONKEY MANIA - DEMOLITION PLAN
 1:100



PRELIMINARY DEVELOPMENT APPLICATION ISSUE LB 27 01 16 P1
 subject p a date issue



project
 PENRITH RSL

address
 8 TINDALE STREET,
 PENRITH NSW 2750

client
 PENRITH RSL CLUB

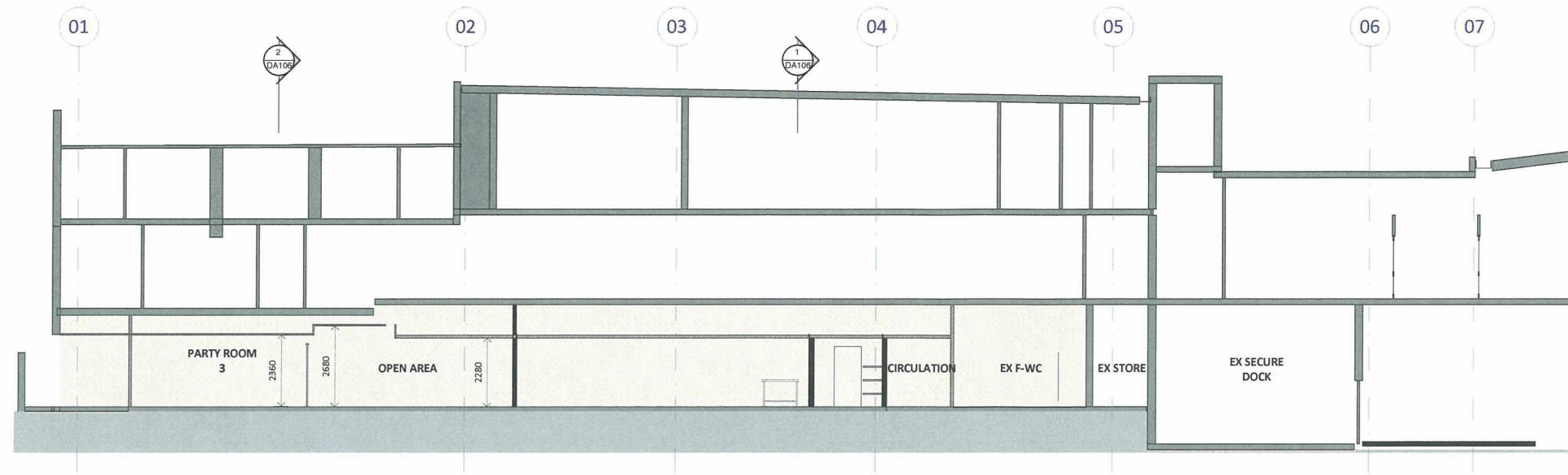
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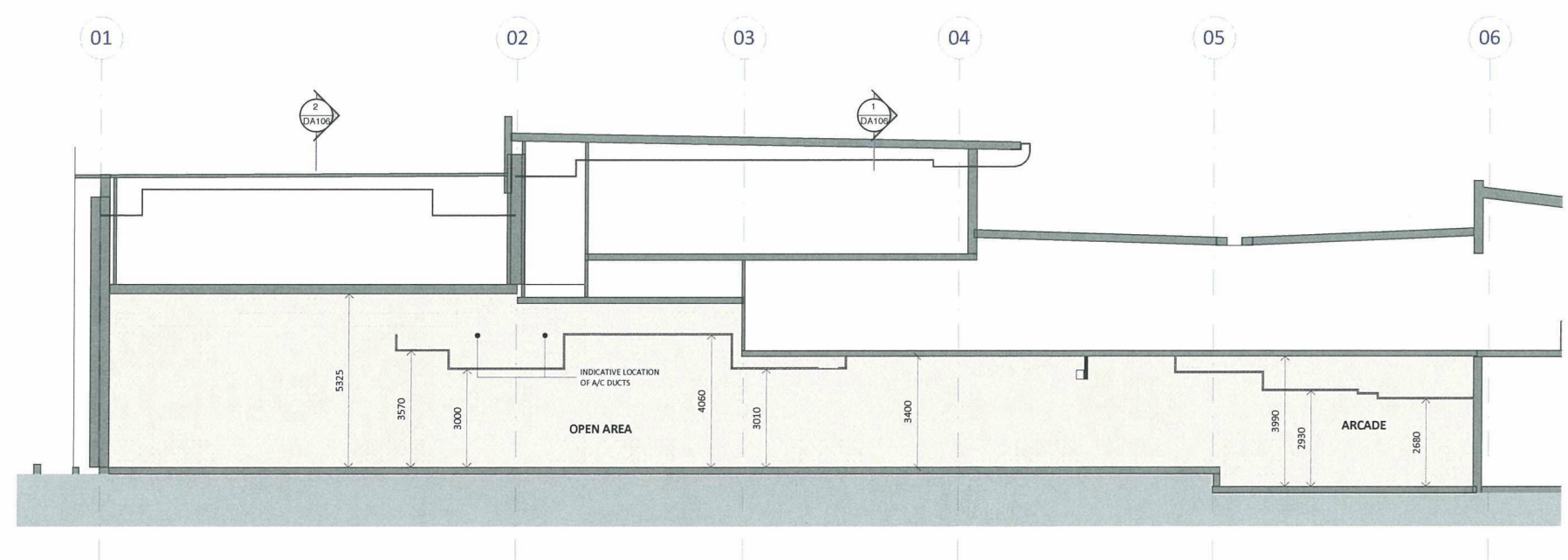
FLOOR PLAN
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NEW WORK 



01 SECTION A
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02 SECTION B
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PRELIMINARY DEVELOPMENT APPLICATION	LB	27/01/16	P1
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	LB		

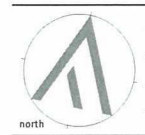

 0412268417
 pglamville@cplarch.com
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REGISTERED ARCHITECT P. GLAMVILLE
 NSW REGISTRATION NUMBER
 44961 (24/03/2015) 44961 (24/03/2015)

project
PENRITH RSL

address
8 TINDALE STREET,
PENRITH NSW 2750

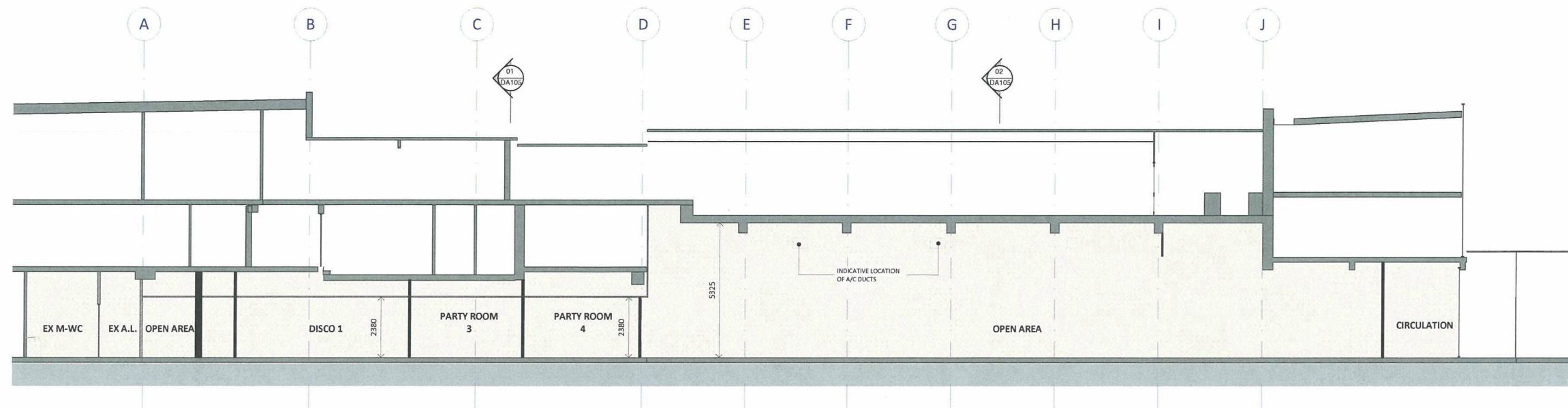
client
PENRITH RSL CLUB

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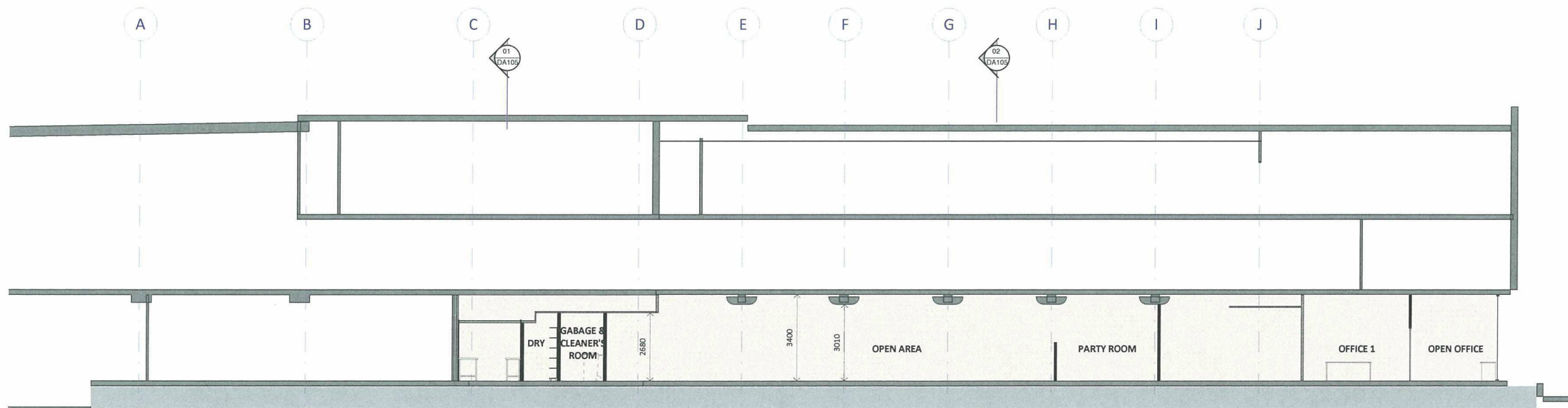


SECTIONS
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2 SECTION C
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1 SECTION D
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PRELIMINARY DEVELOPMENT APPLICATION LB 27/01/16 P1
ISSUE

subject p.a date issue

architect

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 CPL ARCHITECTURE
REGISTERED ARCHITECT P. GLANVILLE
NEW SOUTH WALES
APR 14 1997 73784P 3/04 102 171440

project
PENRITH RSL

address
8 TINDALE STREET,
PENRITH NSW 2750

client
PENRITH RSL CLUB

PRELIMINARY

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checked: LB

verified: CG

sheet size: A1

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Appendix II)























WASTE MANAGEMENT PLAN

OUTLINE OF THE PROPOSAL	
Project:	Penrith RSL – Monkey Mania
Site Address:	8 Tindale Street, Penrith
Client:	Penrith RSL
Client's Address	8 Tindale Street, Penrith
Building and other structures currently on the site:	
Penrith RSL Club building. Refer to Site Plan on drawing DA101	
Description of proposal:	
Re-fit of existing ground floor to children's play centre.	

SECTION 1: DEMOLITION

Materials		Destination		
Material	Estimated Volume (m ² or m ³)	Re-use and Recycling		Disposal Specify Contractor and Landfill Site
		ON-SITE Proposed Re-Use / On-Site Recycling	OFF-SITE Contractor and Recycling Outlet	
Excavation Material	-	-	-	-
Green Waste	-	-	-	-
Bricks	5m ³	Clean good bricks & reuse where applicable	Waste management centre for recycling	-
Concrete	<1m ³	Crush & reuse for fill	Waste management centre for recycling	-
Timber	10m ³	Reuse good timber in non-structural applications	Waste management centre for recycling	-
Plasterboard	5m ³	-	-	To landfill site by waste contractor
Metal	5m ³	-	To metal recycler	-
Other	20m ³	-	-	To landfill site by waste contractor

SECTION 2: CONSTRUCTION

Materials		Destination		
Material	Estimated Volume (m ² or m ³)	Re-use and Recycling		Disposal Specify Contractor and Landfill Site
		ON-SITE Proposed Re-Use or On-Site Recycling	OFF-SITE Contractor and Recycling Outlet	
Excavation Material	-	-	-	-
Green Waste	-	-	-	-
Bricks	<1m ³	Clean good bricks & reuse where applicable	Waste management centre for recycling	-
Concrete	-	Crush & reuse for fill	Waste management centre for recycling	-
Timber	<1m ³	Reuse good timber in non-structural applications	Waste management centre for recycling	-
Plasterboard	2m ³	-	-	To landfill site by waste contractor
Metal	2m ³	-	To metal recycler	-
Other	5m ³	-	-	To landfill site by waste contractor

SECTION 3: ON-GOING USE OF A PREMISE			
Type of Waste to be Generated	Expected Volume (per week)	Proposed on-Site Storage and Treatment Facilities	Destination
General Recyclables:- <ul style="list-style-type: none"> • Plastic • Paper • Cardboard • Bottles • Cans 	20L	Into Club provided bins stored in appropriate areas.	For collection on appropriate day by waste contractor then to materials recovery facility.
General waste:- <ul style="list-style-type: none"> • Milk cartons • Food scraps 	15L	Into Club provided bins stored in appropriate areas.	For collection on appropriate day by council and/ or private contractor then to landfill facility.
Garden Organics:	-	-	-

Note: Bins to be collected from existing waste storage area.

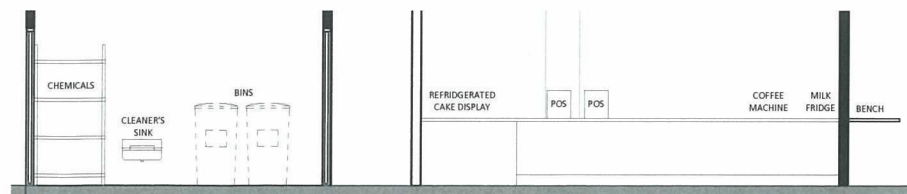
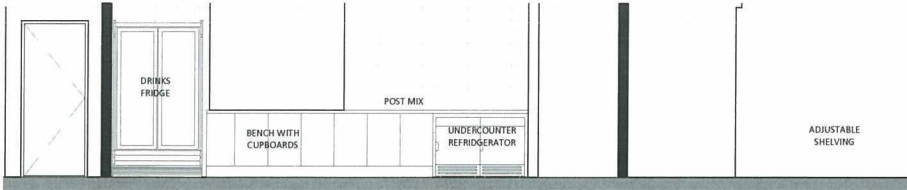
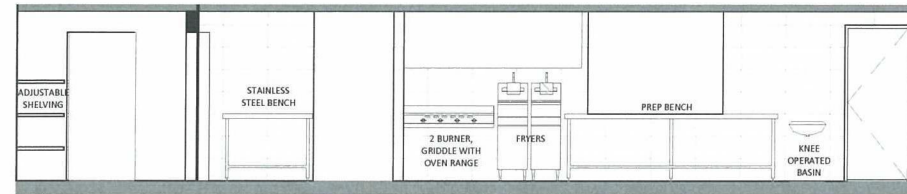
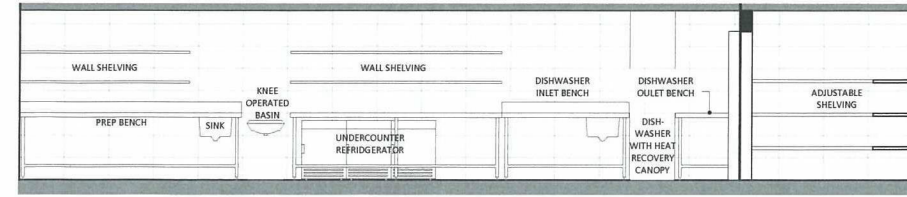
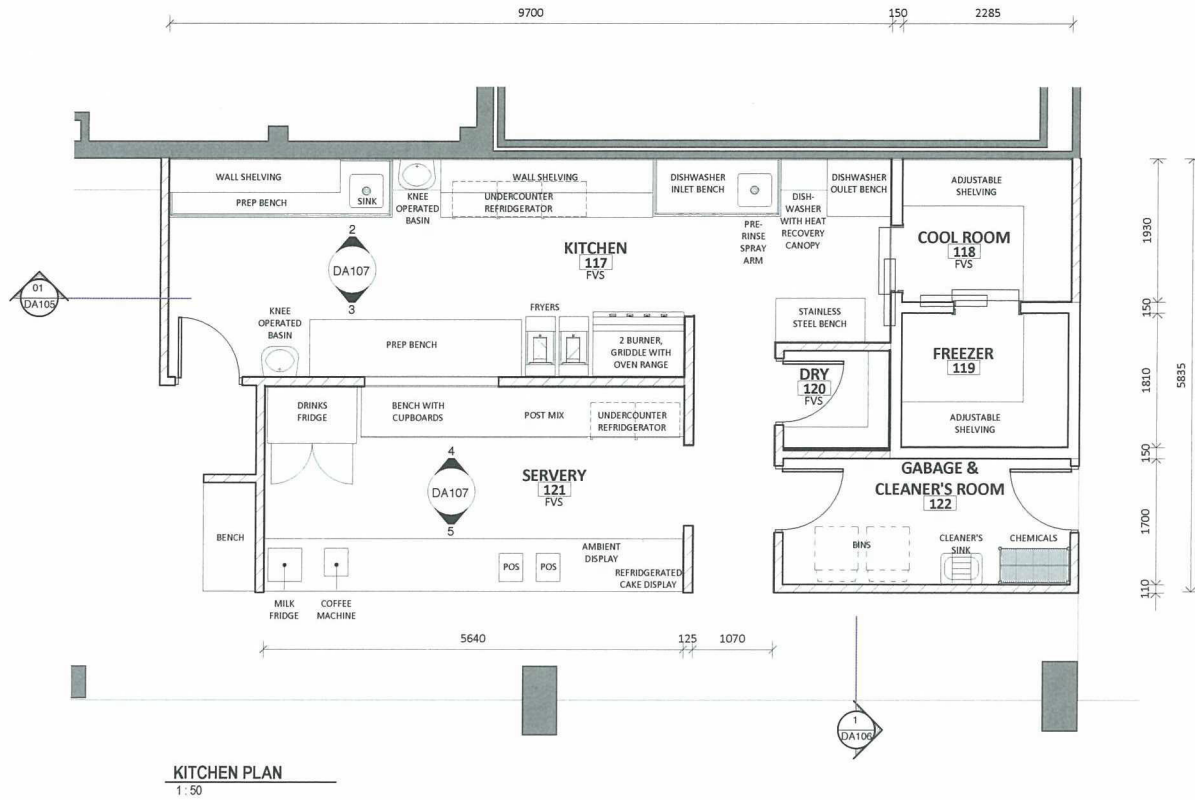






Appendix III)

NOTE:
FITOUT TO COMPLY WITH AS4674-2004
DESIGN, CONSTRUCTION AND FIT-OUT OF
FOOD PREMISES



PRELIMINARY DEVELOPMENT APPLICATION LB 27/01/16 P1
ISSUE p.a. date issue



project
PENRITH RSL

address
8 TINDALE STREET,
PENRITH NSW 2750

client
PENRITH RSL CLUB

PRELIMINARY
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checked: LB
verified: CG
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scale: 1:50

KITCHEN
sheet
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Appendix V)



Monkey Mania

THE PLACE TO PLAY & PARTY !!!

Appendix VI)

**ACCESSIBILITY REPORT
DEVELOPMENT APPLICATION**

**MONKEY MANIA
CHILDRENS PLAY CENTRE**

**PENRITH RSL CLUB
8 TINDALE STREET
CNR CASTLEREAGH STREET & LETHBRIDGE STREET
PENRITH**

Prepared By Mark Relf
2ND MARCH 2016



Accessibility Solutions (NSW) PTY LTD

ABN 20 105 200 128 | 20 Begonia Street PAGEWOOD 2035

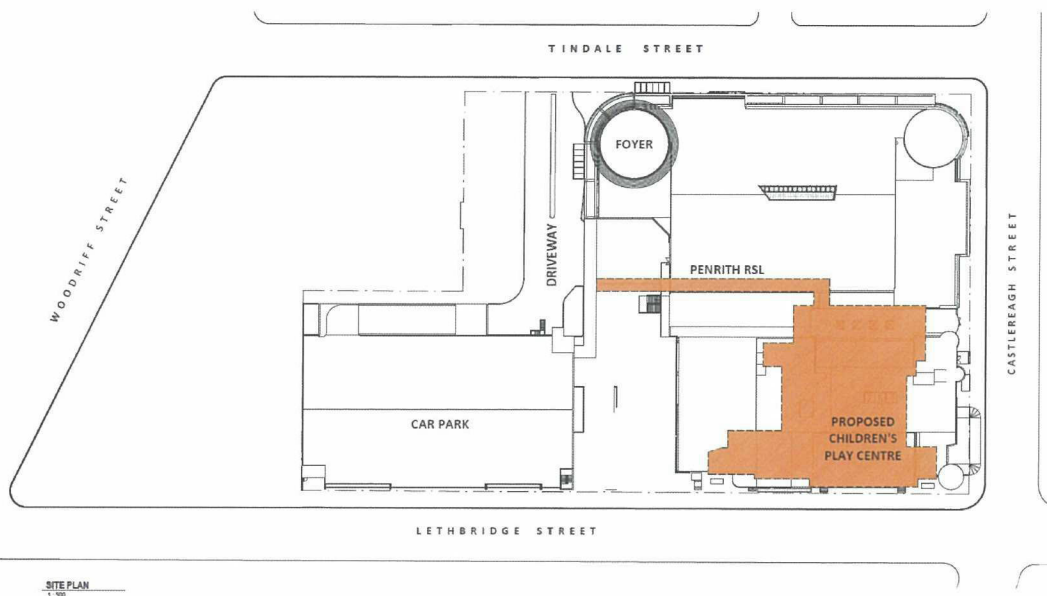
Tel: 9695-1940 | Fax: 9695-1906 | Mob: 0417-467-007 | Email: markrelf@bigpond.com

Introduction

This report has been prepared to provide an accessibility assessment of a proposed Childrens Play Centre within the premises of the Penrith RSL Club at 8 Tindale Street, the corner of Castlereagh Street & Lethbridge Street, Penrith.

The development proposes alterations and additions to a section of the Penrith RSL Club to;

- Incorporate a childrens play centre with a new entrance to an arcade walkway from Castlereagh Street at street level to provide a principal entry access to the Monkey Mania play centre; and
- Refit an area of the upper ground floor that removes bar facilities to establish Party Rooms, an open plan Play Centre, a new kitchen and refurbishes sanitary facilities; and
- Reduce the area occupied by the RSL club on the upper ground floor and make minor changes to internal partitioning.



This accessibility review considers the requirements of Parts D3, E3.6 and F2.4 of the BCA 2016 and DDA Premises Standards with respect to the following:

- Accessibility of site entrances, intrasite pathways for pedestrians with a disability, indoor and outdoor play areas and accessible parking.
- Accessibility of the building and associated staff amenities.

The accessibility assessment has considered various legislation and development standards in the development of opinions regarding compliance and achievement of appropriate outcomes for people with disabilities.

Legislation and Standards

The various legislation and development standards include the following:

- Disability Discrimination Act - Premises Standards
- Building Code of Australia (BCA 2016) – Parts D3, E3.6, F2.4
- ASI428.1 (2009) – Design For Access and Mobility
- ASI428.4.1 (2009) – Tactile Ground Surface Indicators
- Penrith DCP 2014

Plans relied upon for this review include:

Dwg	Rev	Title
DAI01	A	Cover Sheet / Site Plan
DAI02	A	Site Plan
DAI03	A	Floor Plan

ACCESSIBILITY REVIEW



Existing Castlereagh Street entrance to the RSL Club to be retained



Proposed Principal Entrance to the Monkey Mania Childrens Play Centre

1.1 PROPOSED SITE ACCESSIBILITY

The development proposes an on-grade level entrance from the Castlereagh Street public domain footpath into a new arcade style walkway to approach the principal entrance of the Monkey Mania Childrens Play Centre.

The principal entry doorway shall require detailing to ensure 850mm clear opening width (920mm door) for the first active door leaf, 30% minimum luminance contrast and other aspects as specified by AS1428.1 to satisfy Parts D3.2, D3.3 of the BCA, the DDA Premises Standards and the Penrith DCP.

The new arcade shall extend for approximately 30 metres to the Play Centre entrance which will incorporate a new 1:14 maximum gradient ramp and a refurbished stairway to facilitate access into the childrens play centre.

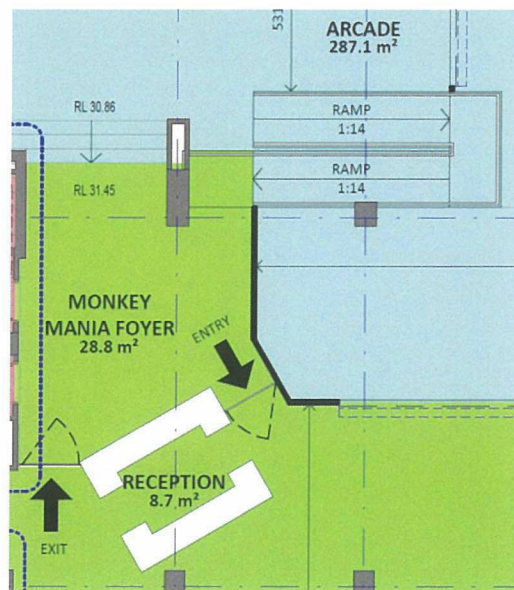
The ramp and stairway shall require detailing of handrails, kerbrails, stairway nosings, stair profile, 1540mm minimum width ramp landings and tactile indicators as specified by ASI428.1, ASI428.4.1, Table D2.14 to satisfy Parts D3.3 and D3.8 of the BCA, DDA Premises Standards and the Penrith DCP.



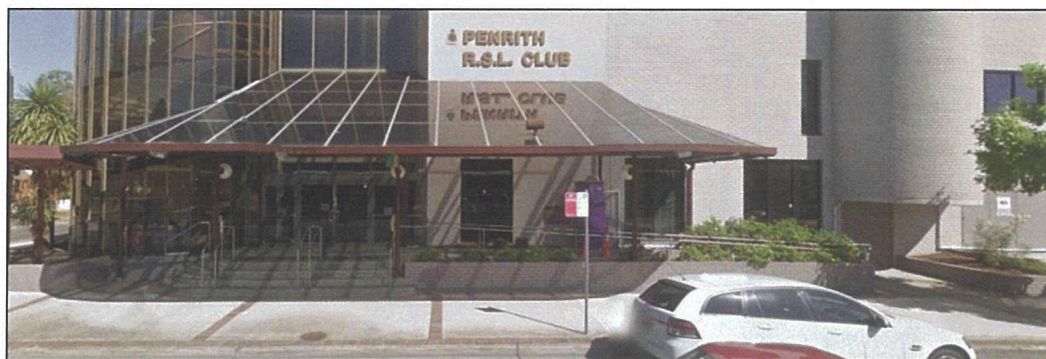
1.2 NEW FOYER ENTRANCE

The plans illustrate a new entry doors which require modification to achieve at least 530mm latchside clearance to a doorways providing 850mm minimum clear opening widths, lever door handles, level thresholds, 20 Newtons maximum force to open the doors and other aspects as specified by ASI428.1 to satisfy Parts D3.2, D3.3 of the BCA, DDA Premises Standards and the Penrith DCP.

The new works as described above will satisfy the Affected Part upgrade requirements relating to existing buildings.



1.3 PENRITH RSL CLUB ENTRY



The existing Castlereagh Street entry ramp and stairway shall be retained and no new works are proposed.

The ramp provides appropriate access consistent with AS1428.1 and AS1428.4.1 to satisfy the Affected Part provisions of the DDA Premises and does not require an upgrade.

- 1.4 **CAR PARK ACCESS** – The Play Centre shall include an access corridor to the undercroft car park to the rear of the premises where the existing development provides accessible parking. There are no new works proposed within the car park.

Subject to the doorway being detailed to provide 850mm clear opening width (920mm door) for the first active door leaf, 30% minimum luminance contrast and other aspects as specified by AS1428.1 then the access will satisfy Parts D3.2, D3.3 of the BCA, the DDA Premises Standards and the Penrith DCP.

2.0 INTERNAL CIRCULATION ACCESSWAYS

- 2.1 **Monkey Mania** – The plans show the demolition of various partitions and the Bar to facilitate a central open plan area within the MM Play Centre across a single floor level while new partitioning to create several Party Room will provide appropriate circulation space to approach and enter all rooms and areas in accordance with AS1428.1 to satisfy Part D3.3 of the BCA, the DDA Premises Standards and Penrith DCP including the provision of Turning and Passing Areas.
- 2.2 **Party Rooms** – The internal layout and arrangement of doorway locations provides appropriate access in accordance with AS1428.1 to satisfy Part D3.3 of the BCA and DDA Premises Standards.
- 2.3 To access the **Outdoor Verandah Areas** adjacent to Party Rooms 1, 3 & 4 shall provide ramped doorway thresholds to the outdoor decking to comply with AS1428.1 and satisfy Part D3.3 of the BCA, DDA Premises Standards and the Penrith DCP.

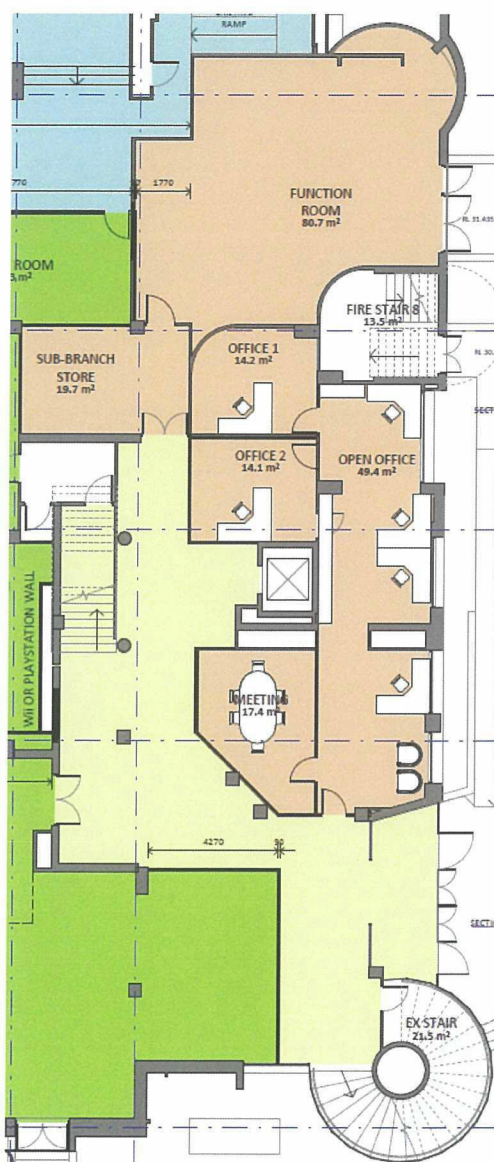
Glazing Markings – Where wall glazing and glazed doors can be mistaken for an opening the construction documentation shall confirm the installation of glazing markings as specified by AS1428.1 to satisfy Part D3.12 of the BCA, DDA Premises standards and the Penrith DCP.

- 2.4 **Kitchen Areas** – The commercial style kitchen and servery areas are deemed to be areas not required to be accessible to people with disabilities due to potential health and safety risks consistent with the provisions of Part D3.4 of the BCA and DDA Premises Standards.
- 2.5 **Sanitary Facilities** – The existing facilities within the MM area shall undergo refurbishment and minor alterations to a unisex accessible toilet to improve the access to comply with ASI428.1 to satisfy F2.4 of the BCA and the DDA Premises Standards.

- 2.6 **RSL Club** – The plans show the demolition of various partitions and construction of new partitioning to create several new offices, meeting rooms and a small function room that will provide appropriate circulation space to approach and enter all rooms and areas in accordance with ASI428.1 to satisfy Part D3.3 of the BCA, the DDA Premises Standards and Penrith DCP including the provision of Turning and Passing Areas.

Details of doors providing 850mm clear opening width (920mm door) with 530mm latchside clearance, 30% minimum luminance contrast and other aspects as specified by ASI428.1 at the construction documentation stage will satisfy Part D3.3 of the BCA, the DDA Premises Standards and the Penrith DCP.

Matters relating to floor coverings and transitions between flooring materials shall be documented at a future design stage in accordance with ASI428.1 to satisfy Part D3.3 of the BCA.



2.7 STAIRWAYS

All **internal** stairways within the Monkey Mania area shall be installed with handrails on both sides in accordance with ASI428.1 design requirements including 50-75mm step nosings on treads that do not overhang that provide 30% minimum luminance contrast to the treads, R11 slip resistant nosings, closed risers and tactile ground surface indicators as required by ASI428.4.1 and will satisfy Table D2.14, Parts D3.3 and D3.8 of the BCA, the DDA Premises Standards and the Penrith DCP.

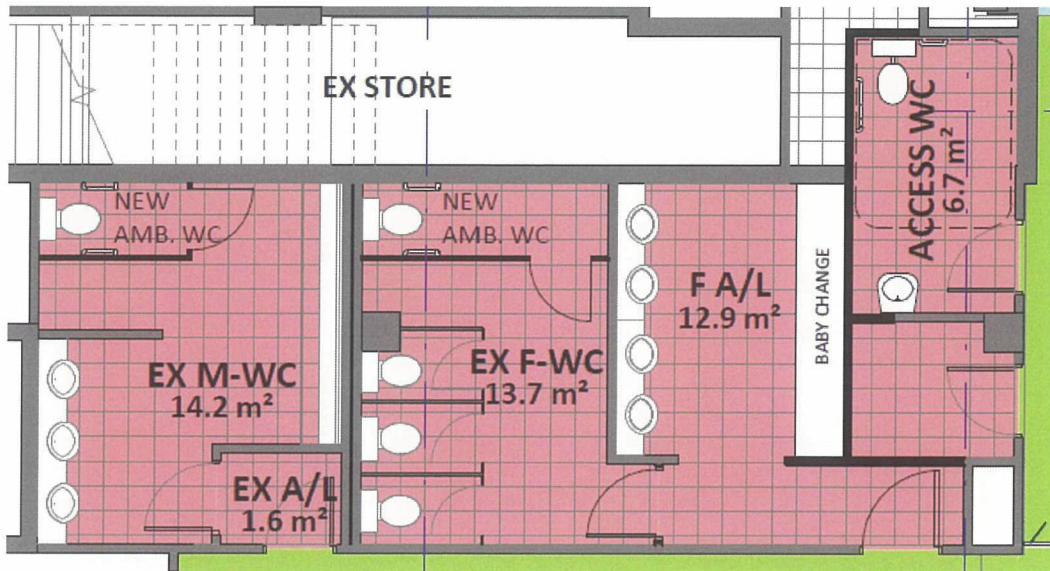
2.8 DOORS

Doors and gates shall require detailing at construction certificate stage to ensure 850mm clear opening width for a single active door leaf with a level or ramped threshold and doorway luminance contrast to comply with AS1428.1.

3.1 ACCESSIBLE TOILETS

The proposed MM Play Centre development shall provide a unisex **wheelchair** accessible toilet facility, which is approximately 1950mm X 3400mm with a layout that complies with AS1428.1.

The plans also indicate ambulant accessible male and female toilets and subject to the detailing of fittings and fixtures being confirmed at a future design stage in accordance with AS1428.1 I am satisfied the development will comply with Part F2.4 of the BCA, the DDA Premises Standards and the Penrith DCP.



3.2 Patrons of the RSL Club will have access to sanitary facilities on the first floor which are accessible via the main passenger lift.

3.3 **Tactile & Braille Signage** – The installation details of tactile and Braille signage for sanitary facilities shall be confirmed at construction certificate stage in accordance with Specification D3.6 of the BCA and AS1428.1 as applicable.



Sign for left handed toilet

4.1 TACTILE GROUND SURFACE INDICATORS

All stairways and ramps shall be installed with tactile ground surface indicators in accordance with AS1428.4.1 design requirements including 30% minimum luminance contrast to the landings for integrated tile form and 45% contrast for single colour studs and 60% for two colour studs.



Summary

Following an assessment of the plans it is apparent that the development will readily provide accessible site entrances and internal access paths to essential features and amenities for children, adults and staff with disabilities in a manner that can comply with the abovementioned standards and legislation subject to further detailing at construction certificate stage as mentioned within his report.

A handwritten signature in black ink, appearing to read 'Mark Relf'.

Mark Relf,
Access Consultant (ACAA)



CONSULTANCY PROFILE & STATEMENT OF EXPERTISE

Accessibility Solutions consultancy offers a range of services to provide advice for clients to develop new and modify existing buildings, facilities and services to be accessible to people with disabilities to comply with legislation and regulations relevant to people with disabilities.

Relevant legislation and regulations that underpins advice includes the Disability Discrimination Act (DDA) Building Code of Australia, Australian Standards 1428, DDA Premises Standards, DDA Transport Standard, State Environment Planning Policy Housing for Seniors or People With a Disability (SEPP HS) / Seniors Living Policy, SEPP 65 – Residential Flat Buildings Design Code and various local government DCP's.

The scope of services provided by Accessibility Solutions includes:

- Plan Appraisals and design advice
- Access Reports for development applications and construction certificates
- Expert Reports for Court evidence
- Access Auditing of existing buildings, facilities, transport conveyances and infrastructure
- Policy and document reviews and development of Disability Action Plans
- Staff training in access auditing

The services consider issues concerning people with all types of disability including; physical; vision; hearing, intellectual and other cognitive impairments that may affect access for people with a disability consistent with the Disability Discrimination Act.

As principal consultant Mark Relf has considerable experience and expertise in a wide range of access related projects and is an accredited member of the Association of Consultants in Access Australia for the purposes of providing advice concerning access to the built environment and services for people with disabilities.

His expertise has been gained over 20 years working in management and advocacy roles within the disability sector and since 1994 providing advice to clients on access issues. Mark also participates on various key committees concerning access for people with disabilities. His qualifications and affiliations are:

- Accredited Member of the Association of Consultants in Access Australia.
- Member, Standards Australia ME/64 Committee responsible for the AS1428 suite and AS4299 – Adaptable Housing.
- Member, NSW Heritage Office's – Fire, Access and Services Advisory Panel.

