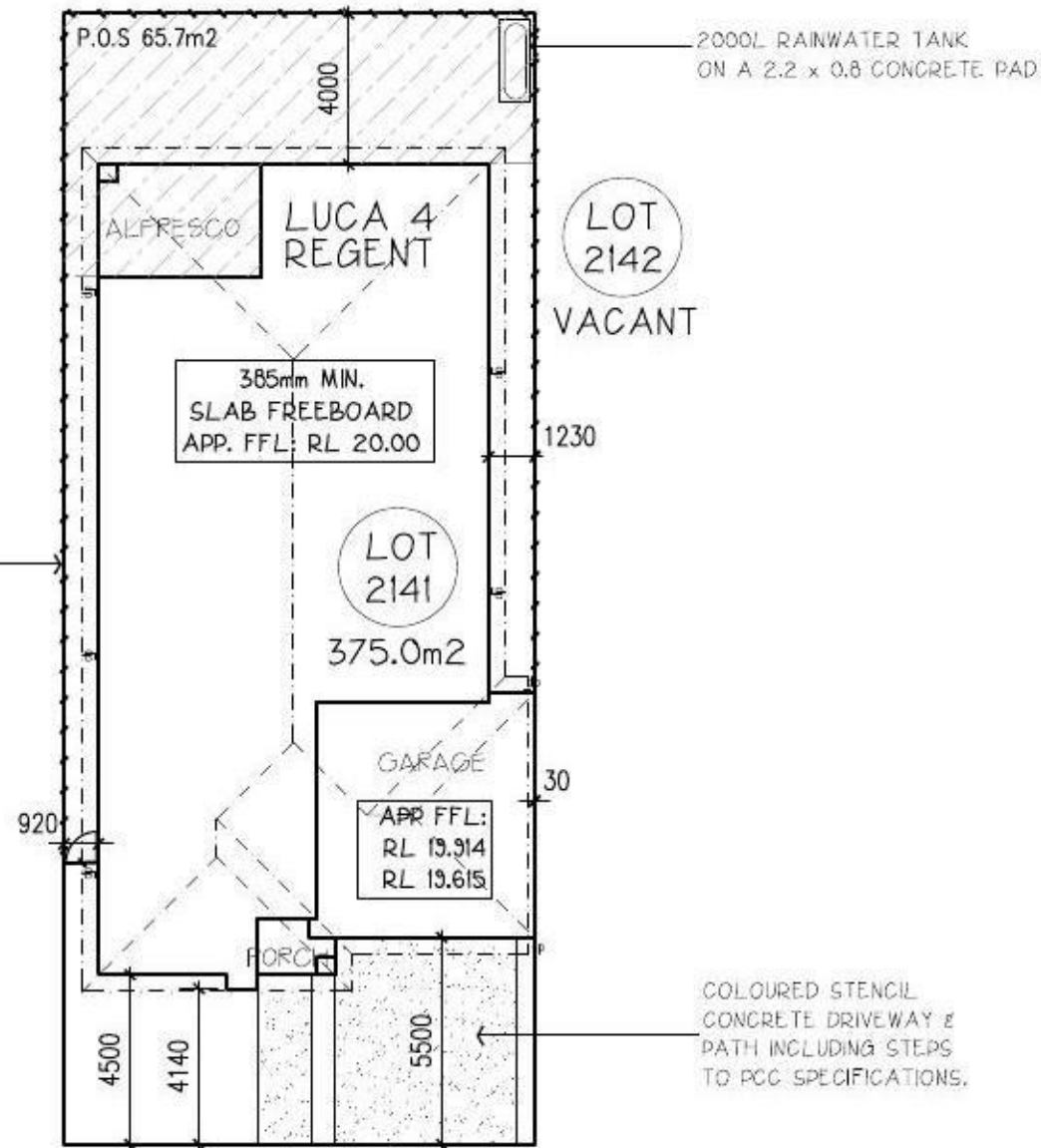


NOTE: DRIVEWAY IS DESIGNED IN ACCORDANCE WITH AS 2890.1 - 2004

LOT 2140  
VACANT

PROPOSED 1.8m HIGH LYSAGHT SMARTSCREEN 'GREY RIDGE' FENCING



2000L RAINWATER TANK ON A 2.2 x 0.8 CONCRETE PAD

COLOURED STENCIL CONCRETE DRIVEWAY & PATH INCLUDING STEPS TO PCC SPECIFICATIONS.

PLAIN CONCRETE CROSSOVER TO PCC SPECIFICATIONS.

ILLOURA WAY

### CUT & FILL BUILDING AREA TO RL 19.615 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB

#### CUT - LINE

NOTE: THIS SITING IS SUBJECT TO THE DEVELOPERS APPROVAL. BUILDER TO OBTAIN PRIOR TO PERMIT APPLICATION.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE ADJOINING PROPERTIES/Y BEING VACANT. SHOULD A SIGNIFICANT AMOUNT OF TIME PASS BEFORE THE BUILDING PERMIT IS APPLIED FOR, AN UPDATED SURVEY MAY BE REQUIRED TO CONFIRM THE ADJOINING PROPERTIES/Y STATUS. THE RESCODE REQUIREMENTS MAY NEED TO BE RE-EVALUATED AND MAY CAUSE CHANGES TO THE SITING/HOUSE.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE AVAILABLE INFORMATION FROM THE RELEVANT LOCAL COUNCIL AND/OR OTHER AUTHORITIES THAT IS NOT COMPLETE OR HAVE NOT BEEN FINALISED DUE TO THE TITLES NOT YET BEEN RELEASED IN THIS SUBDIVISION. ONCE THIS INFORMATION IS RELEASED IT WILL BE EXAMINED. THIS MAY REVEAL THE REQUIREMENT FOR ADDITIONAL WORKS AND THE SITING MAY CHANGE.

NOTE: ALL EXISTING STREET TREES AND VERGE PLANTING TO BE PROTECTED DURING CONSTRUCTION

#### SITE COVERAGE ANALYSIS

Roof Area	252.0 sqm	67.2 %
Ground Floor	174.7 sqm	
Garage	36.2 sqm	
Porch	2.7 sqm	
Alfresco	12.9 sqm	
Building	226.5 sqm	60.4 %
Hard Surface	32.9 sqm	8.7 %
Permeable	115.6 sqm	30.9 %
<b>Total Area</b>	<b>375.0 sqm</b>	<b>100.0 %</b>

PRELIMINARY DRAWINGS

DATE	REVISION	DRAWN
9.10.12	REV A PRELIM PLANS	JS

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### SITE PLAN

DRAWN	JS	D.P	XXXXXX
CHECKED	(CHKBY)	JOB No.	200029
SCALE	1:200	Date:	09/10/2012



Luca 4

For EDGEWATER HOMES

At LOT 2141 ILLOURA WAY JORDAN SPRINGS

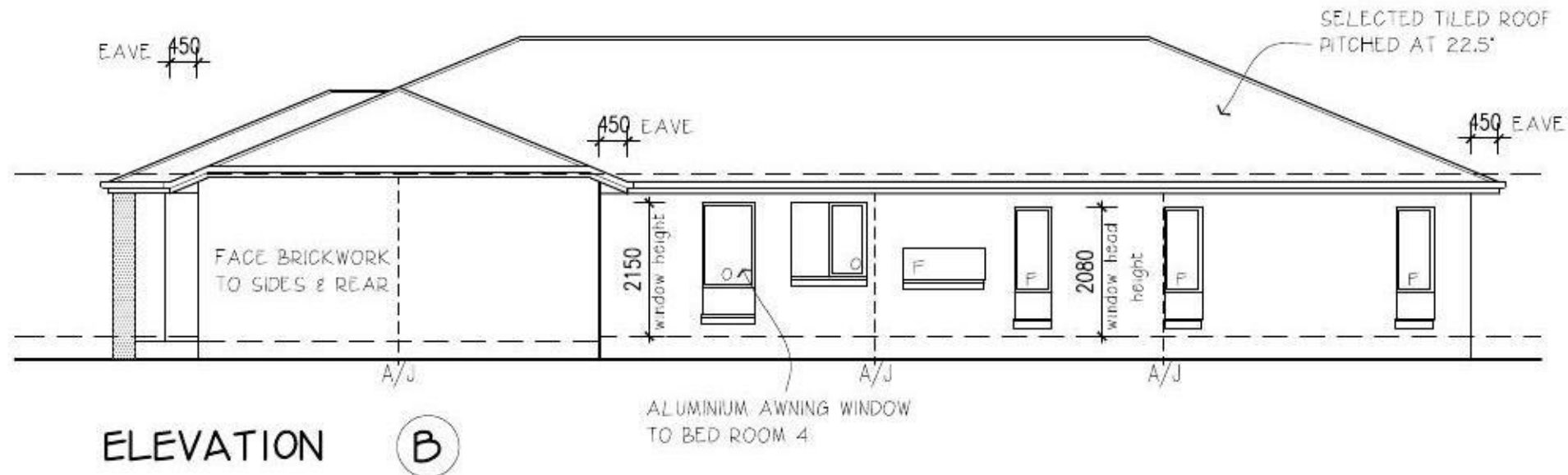
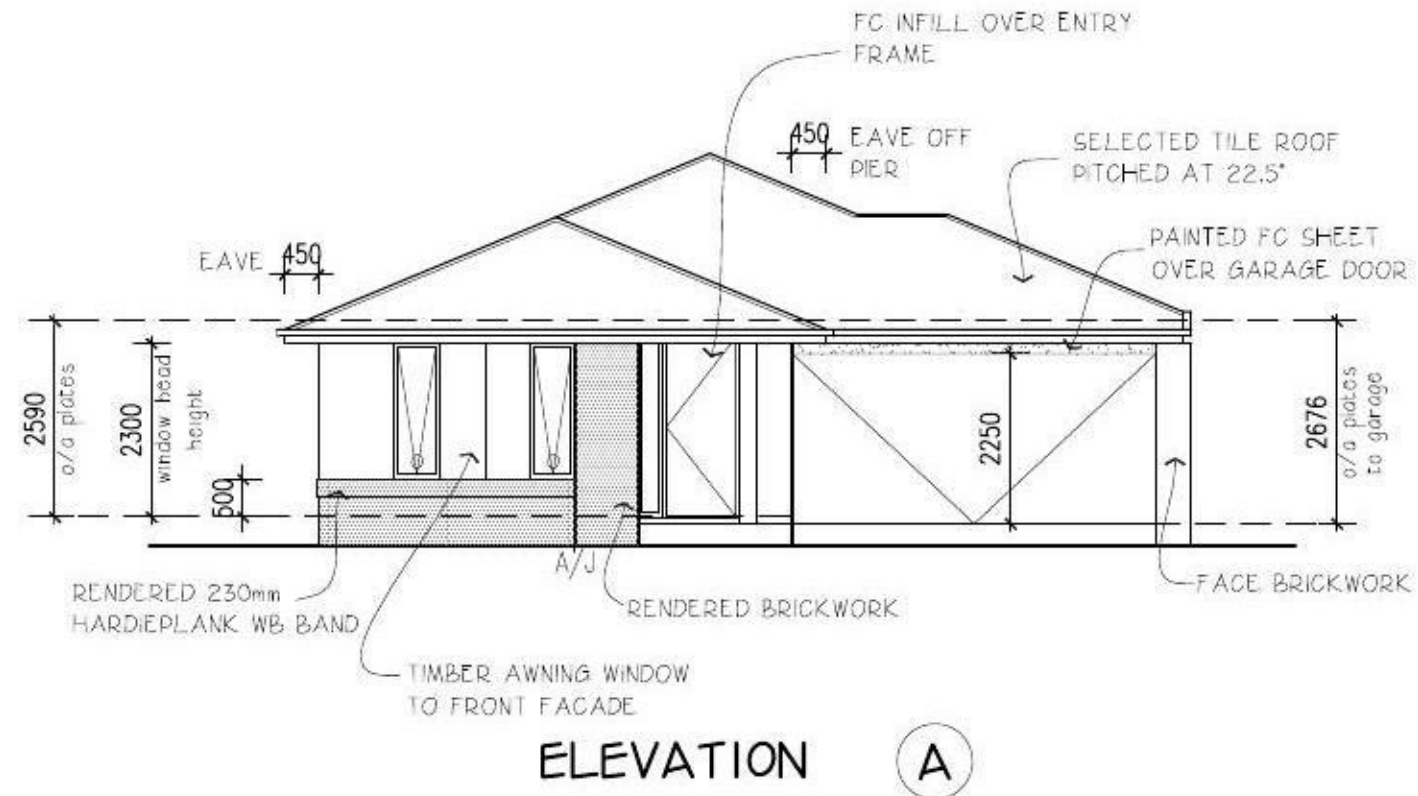
Regent

EDGEWATER HOMES

PO Box 550 Moorebank NSW 1875  
Ph: 9623 7526 Fax: 9673 5560



TABLE OF BASIX COMMITMENTS	
PROJECT ADDRESS: LOT 2141 ILLOURA WAY JORDAN SPRINGS	
CERTIFICATE NO.: 5	
<b>WATER</b>	
- DEVELOPMENT TO BE CONNECTED TO 2,000LT RAINWATER TANK.	
- RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 200m <sup>2</sup> ROOF RUN OFF.	
- TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK.	
- ALL SHOWER HEADS, TOILETS, KITCHEN TAPS AND BASIN TAPS TO BE 3 STAR RATED.	
<b>THERMAL</b>	
- ROOF INSULATION: NONE.	
- CEILING INSULATION: R2.5	
- WALL INSULATION: R1.5	
- EXTERNAL WALL: BRICK VENEER COLOUR: DARK	
- ROOFING: TILED COLOUR: DARK	
- GLAZING: ALL ALUMINIUM WINDOWS TO BE SINGLE CLEAR GLAZED WITH U VALUE OF 6.57 & SHGC OF 0.74	
- TIMBER WINDOWS TO MASTER SUITE AND REAR FAMILY / DINING STACKER DOORS TO BE SINGLE, CLEAR GLAZED, TIMBER FRAMED WITH A U VALUE OF 5.55 AND SHGC OF 0.73	
<b>ENERGY</b>	
- HOT WATER SYSTEM: GAS INSTANTANEOUS HWS WITH A PERFORMANCE OF 5 STARS OR BETTER.	
- DEVELOPMENT WILL NOT INCORPORATE ANY COOLING/HEATING SYSTEM.	
- KITCHEN: INDIVIDUAL FAN, DUCTED (RANGEHOOD), OPERATION CONTROL, MANUAL SWITCH.	
- BATHROOM III: INDIVIDUAL FAN, NOT DUCTED, OPERATION CONTROL, MANUAL SWITCH.	
- LAUNDRY: NATURAL VENTILATION.	
- WINDOW AND/OR SKYLIGHT TO KITCHEN FOR NATURAL LIGHTING.	
- WINDOW AND/OR SKYLIGHT TO BATHROOMS (2/TOILET 1) FOR NATURAL LIGHTING.	
- GAS COOKTOP AND ELECTRIC OVEN TO BE INSTALLED IN THE KITCHEN.	



**PRELIMINARY DRAWINGS**

DATE	REVISION	DRAWN
8.10.12	REV A PRELIM PLANS	JS

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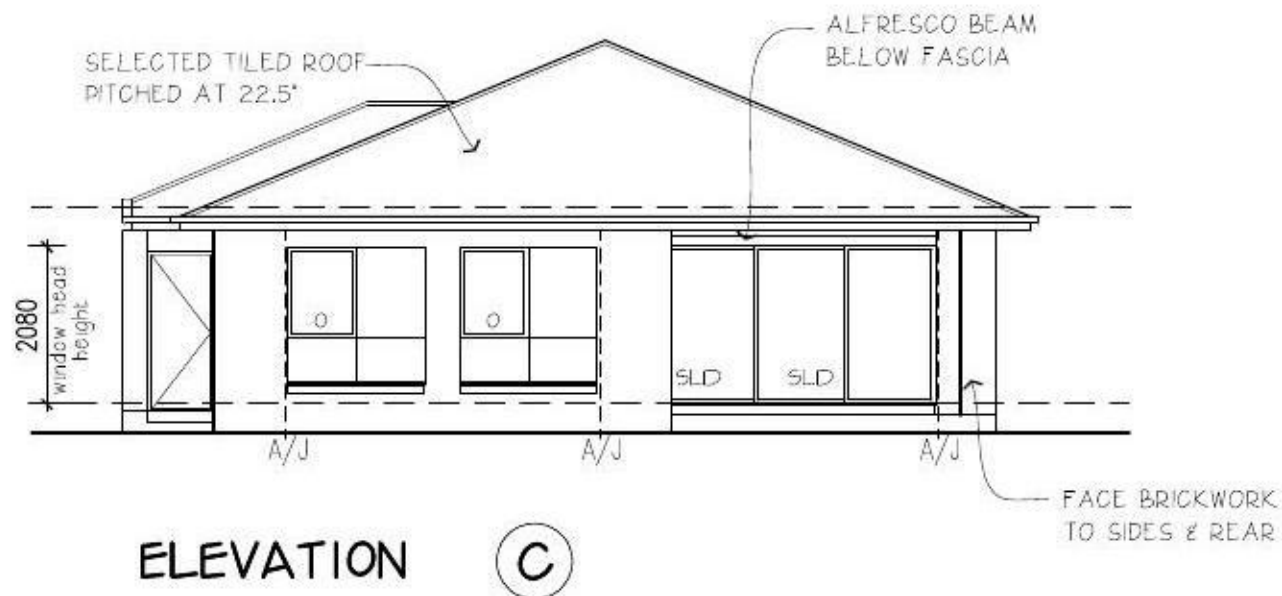
**ELEVATIONS**

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CHECKED	(CHKBY)	JOB No. 200029
SCALE	1:100	Date: 09/10/2012

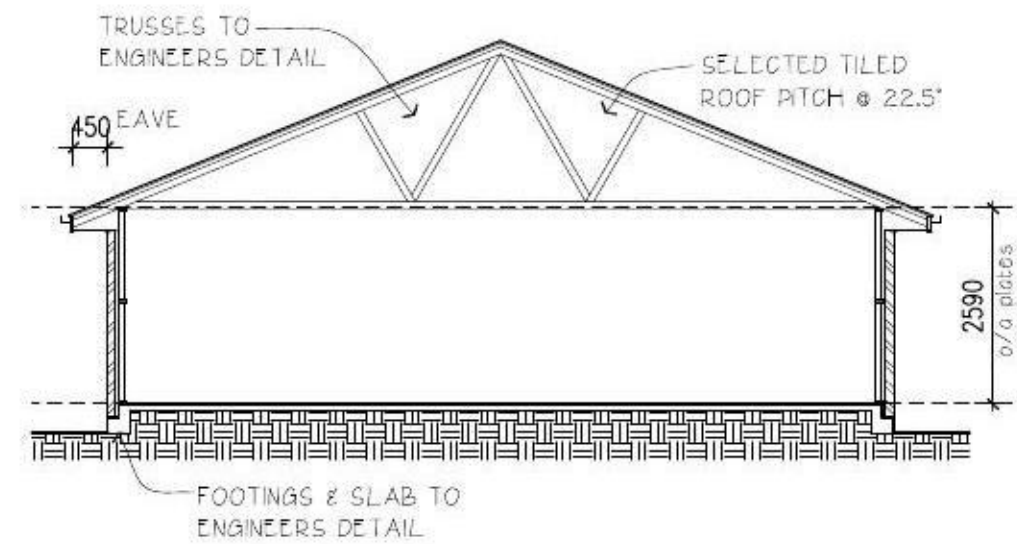
HAND	RH	SHT	3	Luca 4	Regent
For	EDGEWATER HOMES				
At	LOT 2141 ILLOURA WAY JORDAN SPRINGS				

**EDGEWATER HOMES**

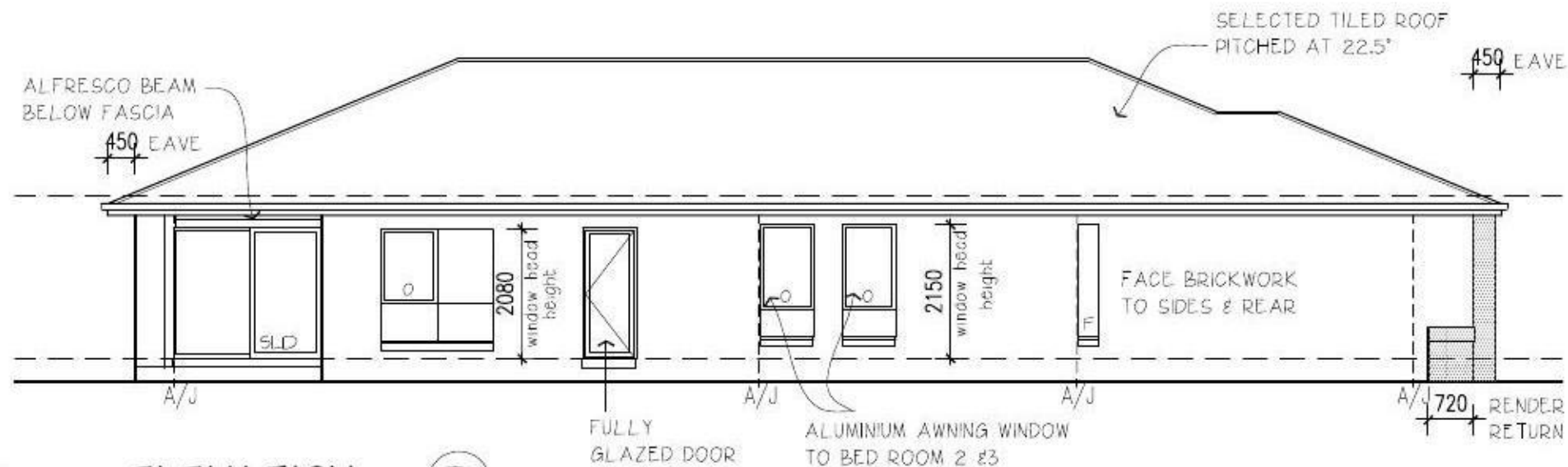
PO Box 550 Moorebank NSW 1875  
Ph: 9623 7526 Fax: 9673 5560



ELEVATION C



TYPICAL\_SECTION



ELEVATION D

PRELIMINARY DRAWINGS

DATE	REVISION	DRAWN
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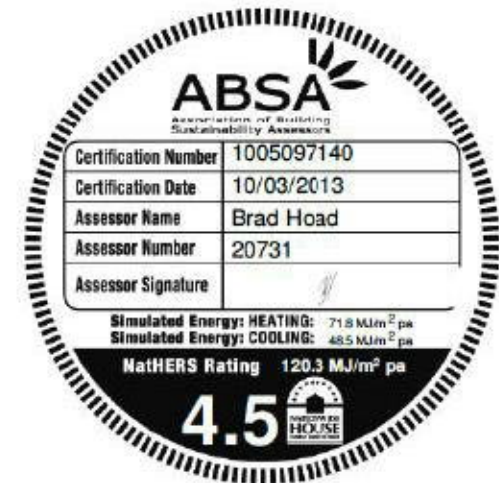
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ELEVATIONS

DRAWN	JS	
CHECKED	(CHKBY)	JOB No. 200029
SCALE	1:100	Date: 09/10/2012

HAND RH SHT 3A

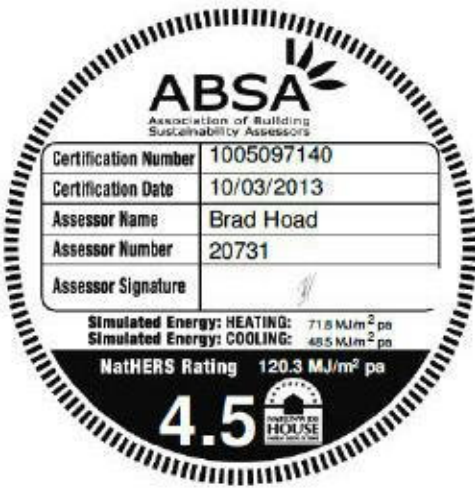
Luca 4	Regent
For	EDGEWATER HOMES
At	LOT 2141 ILLOURA WAY JORDAN SPRINGS



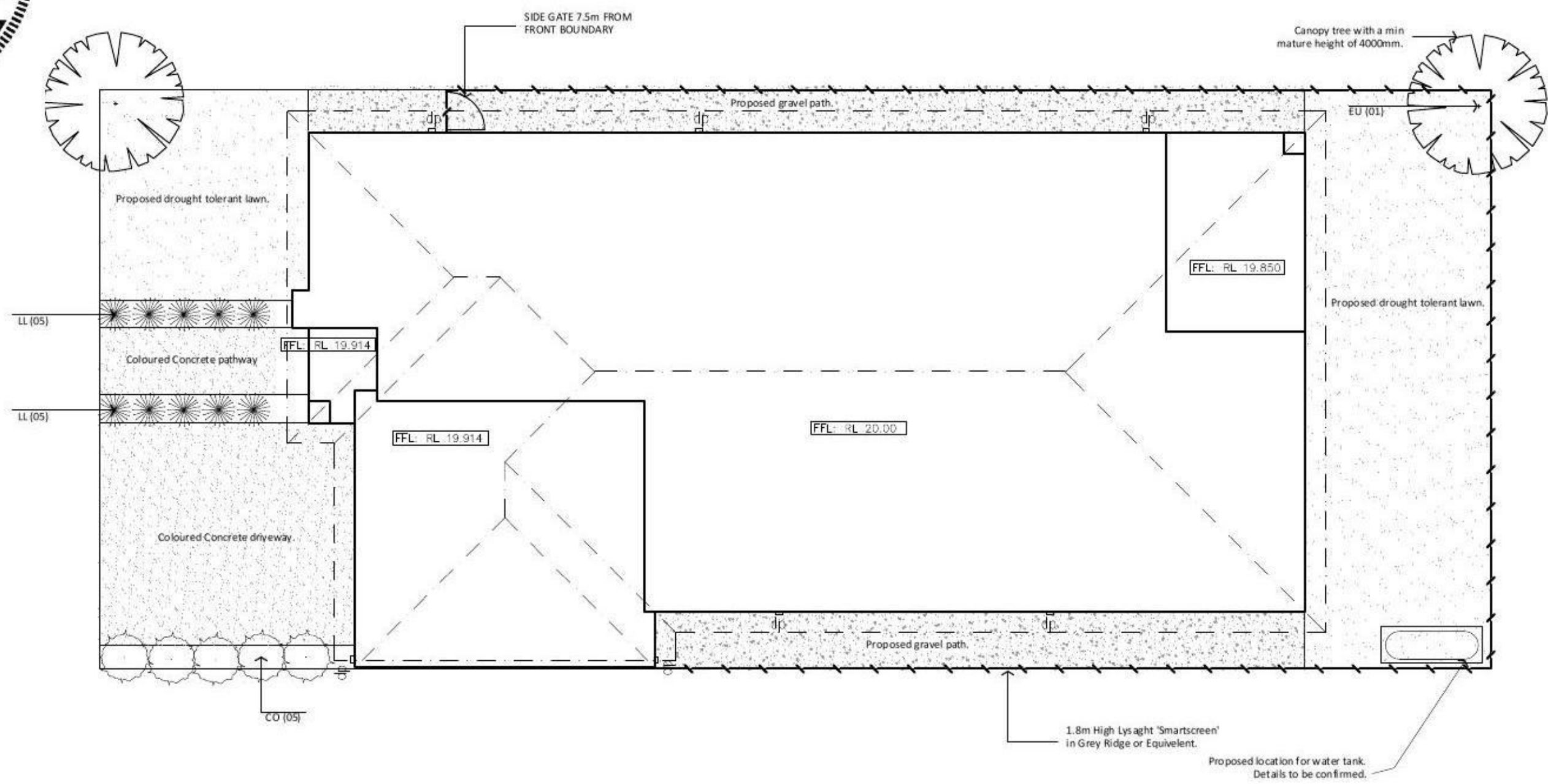
EDGEWATER HOMES

PO Box 550 Moorebank NSW 1875  
 Ph: 9623 7526 Fax: 9673 5560





ILLOURA WAY



**PRELIMINARY DRAWINGS**

# Please note the following:

Coloured concrete driveway & path including steps to P.C.C specs, vehicle crossover in plain concrete to P.C.C spec. If required by edgewater.

Plain concrete crossover to P.C.C specification max.5000mm wide.

All existing street trees and verge planting are to be protected during construction.

Letterbox to complement the design of the house and in accordance with the fencing design guidelines.

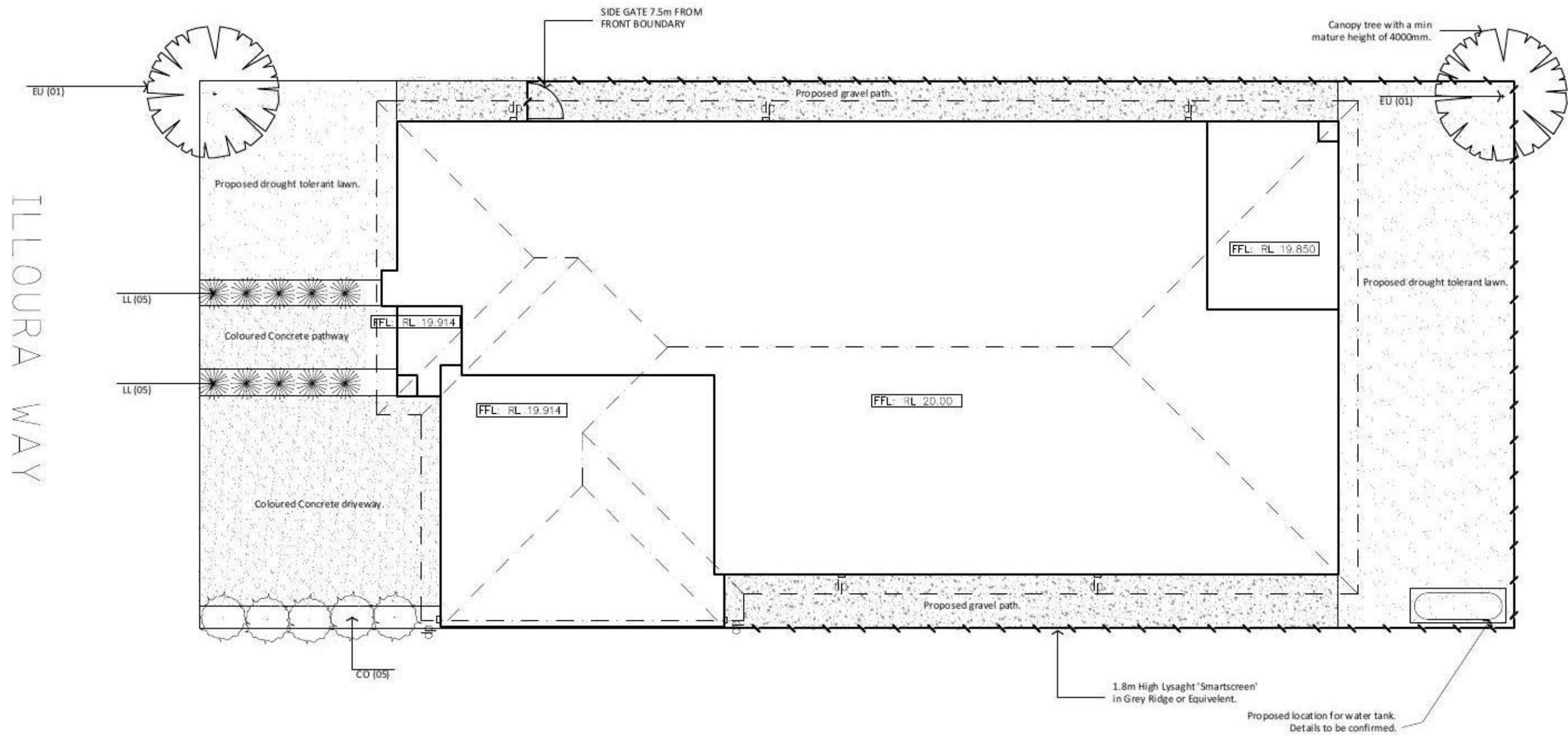
**PLANT SCHEDULE**

Code	Botanical name	Common Name	Height (mm)	Width (mm)	Quantity	Pot Size @ Planting
CO*	<i>Correa alba</i>	White Correa	1000	1200	5	140mm
EU*	<i>Eucalyptus pauciflora</i> 'Little Snowman'	Little Snowman	6500	4000	2	300mm
LL*	<i>Lomandra longifolia</i> 'Tanika'	Tanika Lomandra	700	700	16	140mm

\* Native plant selection

0.10.12	REV A PRELIM PLANS	JS
DATE	REVISION	DRAWN

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	DRAWN	JS								For	EDGEWATER HOMES
	CHECKED	(CHKBY)								At	LOT 2141 ILLOURA WAY JORDAN SPRINGS
SCALE	1:100	Job No.	200029	Date:	09/10/2012	PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560					



**PRELIMINARY DRAWINGS**

# Please note the following:

Coloured concrete driveway & path including steps to P.C.C specs, vehicle crossover in plain concrete to P.C.C spec. If required by edgewater.

Plain concrete crossover to P.C.C specification max 5000mm wide.

All existing street trees and verge planting are to be protected during construction.

Letterbox to complement the design of the house and in accordance with the fencing design guidelines.

## PLANT SCHEDULE

Code	Botanical name	Common Name	Height (mm)	Width (mm)	Quantity	Pot Size @ Planting
CO*	<i>Correa alba</i>	White Correa	1000	1200	5	140mm
EU*	<i>Eucalyptus pauciflora</i> 'Little Snowman'	Little Snowman	6500	4000	2	300mm
LL*	<i>Lomandra longifolia</i> 'Tanika'	Tanika Lomandra	700	700	16	140mm

\* Native plant selection

DATE	REVISION	DRAWN
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### LANDSCAPING

DRAWN	JS	
CHECKED	(CHKBY)	JOB No. 200029
SCALE	1:100	Date: 09/10/2012

HAND RH SIT 1B

Luca 4

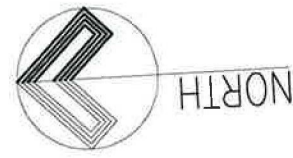
For EDgewater HOMES  
At LOT 2141 ILLOURA WAY JORDAN SPRINGS

Regent

**EDGEWATER HOMES**

PO Box 550 Moorebank NSW 1875  
Ph: 9623 7526 Fax:9673 5560





(A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE

**CUT & FILL BUILDING AREA TO RL 31.40 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB**

**CUT - LINE**

NOTE: THIS SITING IS SUBJECT TO THE DEVELOPERS APPROVAL. BUILDER TO OBTAIN PRIOR TO PERMIT APPLICATION.

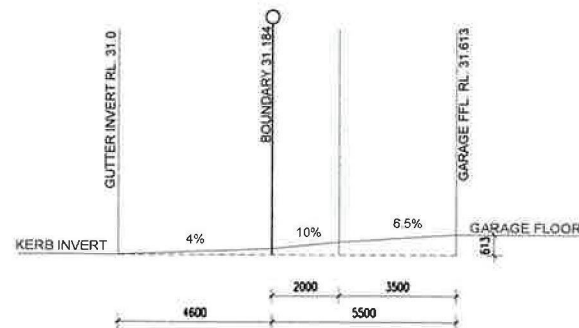
NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE ADJOINING PROPERTIES/Y BEING VACANT. SHOULD A SIGNIFICANT AMOUNT OF TIME PASS BEFORE THE BUILDING PERMIT IS APPLIED FOR, AN UPDATED SURVEY MAY BE REQUIRED TO CONFIRM THE ADJOINING PROPERTIES/Y STATUS. THE RESCODE REQUIREMENTS MAY NEED TO BE RE-EVALUATED AND MAY CAUSE CHANGES TO THE SITING/HOUSE.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE AVAILABLE INFORMATION FROM THE RELEVANT LOCAL COUNCIL AND/OR OTHER AUTHORITIES THAT IS NOT COMPLETE OR HAVE NOT BEEN FINALISED DUE TO THE TITLES NOT YET BEEN RELEASED IN THIS SUBDIVISION. ONCE THIS INFORMATION IS RELEASED IT WILL BE EXAMINED. THIS MAY REVEAL THE REQUIREMENT FOR ADDITIONAL WORKS AND THE SITING MAY CHANGE.

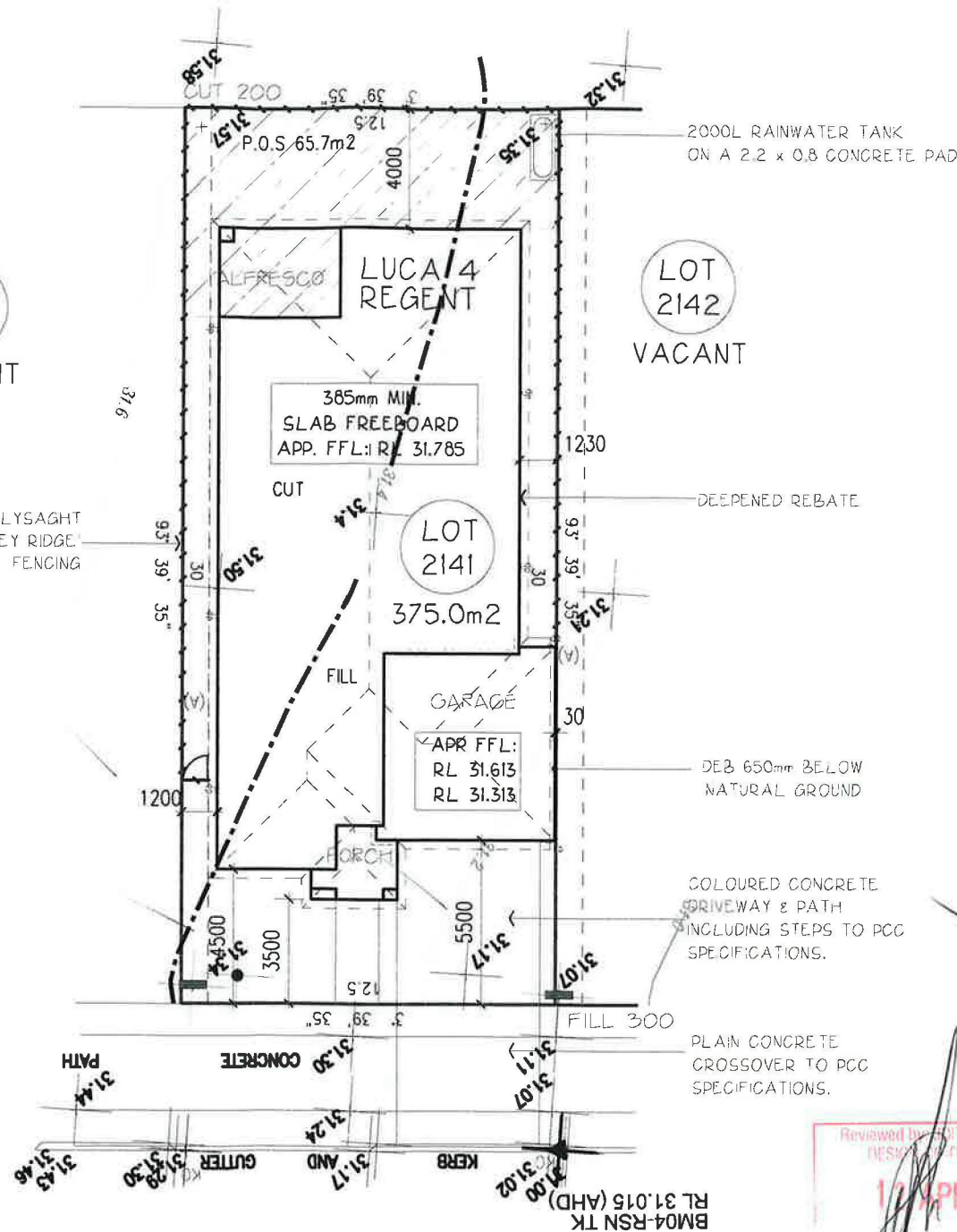
NOTE: ALL EXISTING STREET TREES AND VERGE PLANTING TO BE PROTECTED DURING CONSTRUCTION

NOTE: ANY RETAINING WALL VISABLE FROM THE STREET OR 300mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION

- CONTOUR INTERVALS 0.2 METRES
- ELECTRICITY LIGHT POLE
  - WATER METER
  - HYDRANT
  - COMMUNICATIONS PIT
  - ELECTRICAL TURRET
  - KERB
  - FOOTPATH
  - VEHICLE CROSSING VC
  - KERB OUTLET KO



NOTE: DRIVEWAY IS DESIGNED IN ACCORDANCE WITH AS 2890.1 - 2004



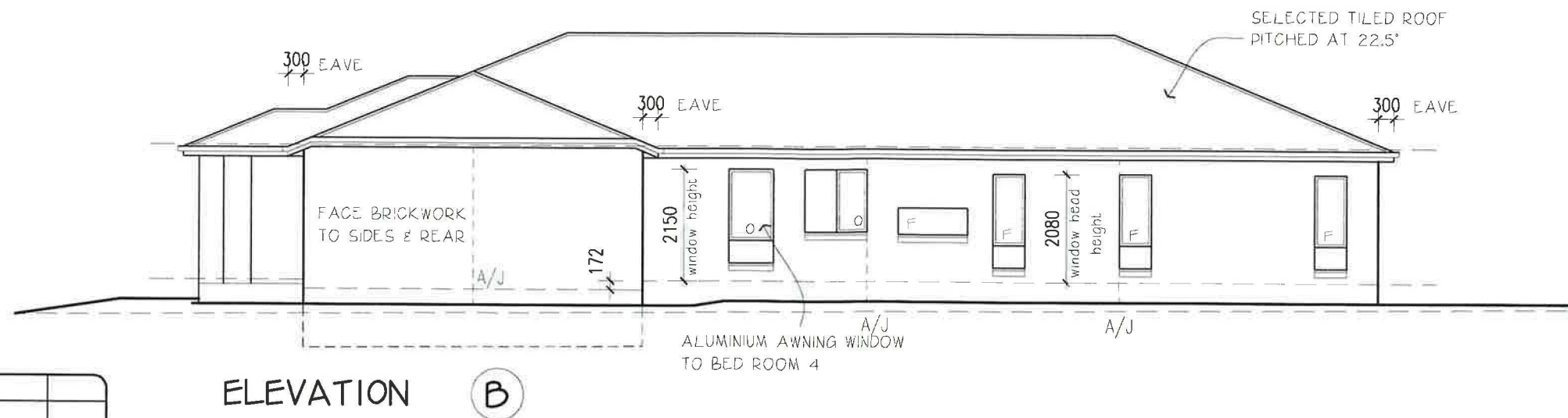
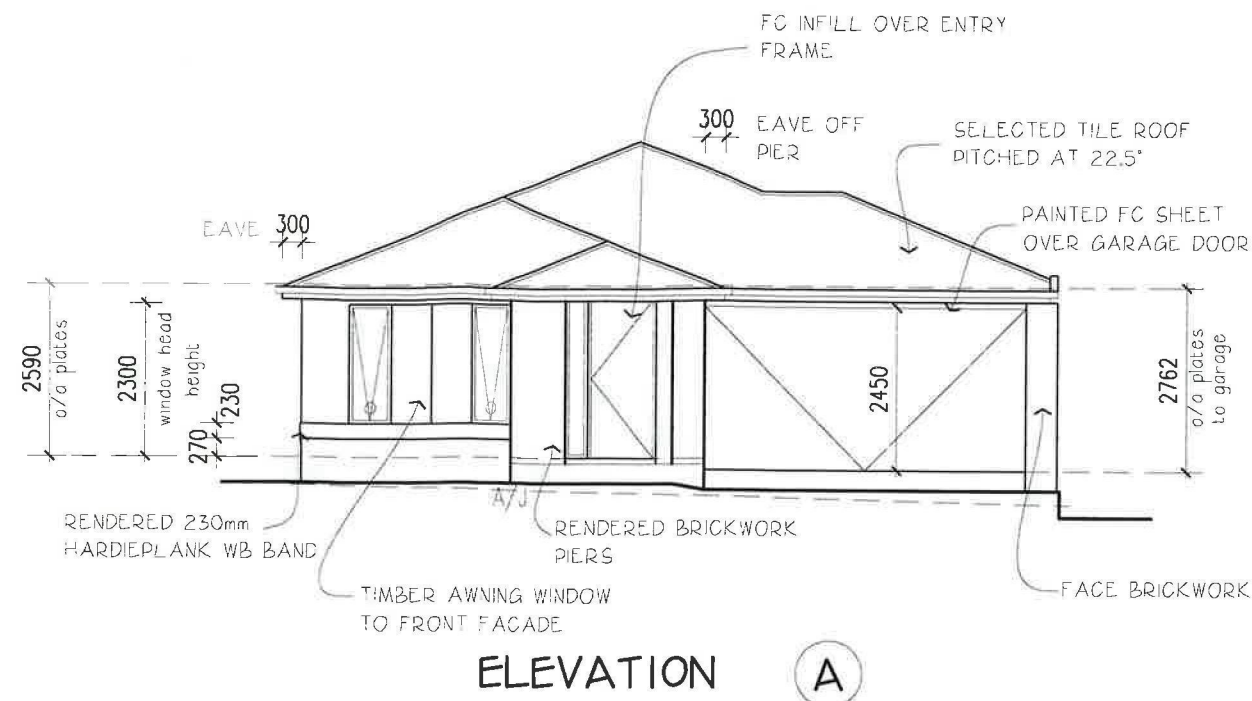
**SITE COVERAGE ANALYSIS**

Roof Area	252.0 sqm	67.2 %
Ground Floor	174.7 sqm	
Garage	36.2 sqm	
Porch	2.7 sqm	
Alfresco	12.9 sqm	
Building	226.5 sqm	60.4 %
Hard Surface	32.9 sqm	8.7 %
Permeable	115.6 sqm	30.9 %
<b>Total Area</b>	<b>375.0 sqm</b>	<b>100.0 %</b>

DATE	REVISION	DRAWN
9.10.12	REV A PRELIM PLANS	JS

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	<table border="1" style="width: 100%;"> <tr> <td>DRAWN</td> <td>JS</td> <td>D.P</td> <td>1168991</td> </tr> <tr> <td>CHECKED</td> <td>(CHKBY)</td> <td>JOB No.</td> <td>200029</td> </tr> <tr> <td>SCAI F</td> <td>1:200</td> <td>Date:</td> <td>09/10/2012</td> </tr> </table>	DRAWN	JS	D.P	1168991	CHECKED	(CHKBY)		JOB No.	200029	SCAI F	1:200	Date:	09/10/2012		For	EDGEWATER HOMES
DRAWN	JS	D.P	1168991														
CHECKED	(CHKBY)	JOB No.	200029														
SCAI F	1:200	Date:	09/10/2012														

TABLE OF BASIX COMMITMENTS	
PROJECT ADDRESS: LOT 2141 ILLOURA WAY JORDAN SPRINGS	
CERTIFICATE NO.: 4711215	
<b>WATER</b>	
- DEVELOPMENT TO BE CONNECTED TO 2,000LT RAINWATER TANK.	
- RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 205m <sup>2</sup> ROOF RUN OFF.	
- TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK.	
- ALL SHOWER HEADS, TOILETS, KITCHEN TAPS AND BASIN TAPS TO BE 3 STAR RATED.	
<b>THERMAL</b>	
- ROOF INSULATION: NONE.	
- CEILING INSULATION: R2.5	
- WALL INSULATION: R1.5	
- EXTERNAL WALL: BRICK VENEER COLOUR: DARK	
- ROOFING: TILED COLOUR: DARK	
- GLAZING: ALL ALUMINIUM WINDOWS TO BE SINGLE CLEAR GLAZED WITH U VALUE OF 6.57 & SHGC OF 0.74	
- TIMBER WINDOWS TO MASTER SUITE AND REAR FAMILY / DINING STACKER DOORS TO BE SINGLE, CLEAR GLAZED, TIMBER FRAMED WITH A U VALUE OF 5.55 AND SHGC OF 0.73	
<b>ENERGY</b>	
- HOT WATER SYSTEM: GAS INSTANTANEOUS HWS WITH A PERFORMANCE OF 5 STARS OR BETTER.	
- SINGLE PHASE AC UNIT TO 1 LIVING AREA EER 3.0-3.5.	
- KITCHEN: INDIVIDUAL FAN, DUCTED (RANGEHOOD), OPERATION CONTROL, MANUAL SWITCH.	
- BATHROOM #1: INDIVIDUAL FAN, NOT DUCTED, OPERATION CONTROL, MANUAL SWITCH.	
- LAUNDRY: NATURAL VENTILATION.	
- WINDOW AND/OR SKYLIGHT TO KITCHEN FOR NATURAL LIGHTING.	
- WINDOW AND/OR SKYLIGHT TO BATHROOMS (2)/TOILET (1) FOR NATURAL LIGHTING.	
- GAS COOKTOP AND ELECTRIC OVEN TO BE INSTALLED IN THE KITCHEN.	
- WELL VENTILATED FRIDGE SPACE.	

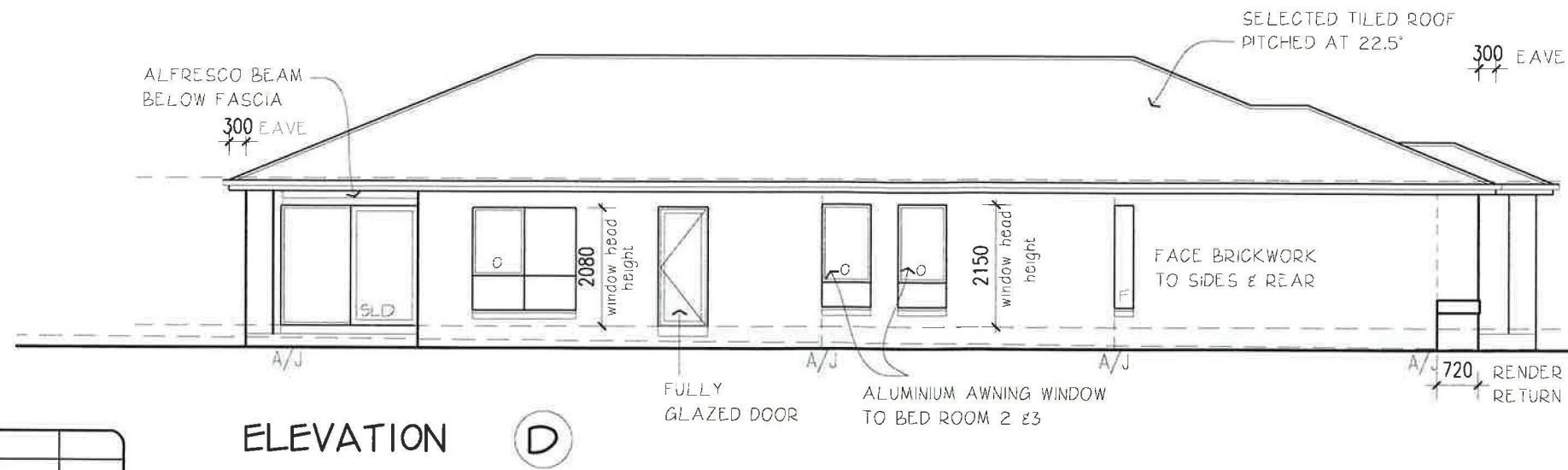
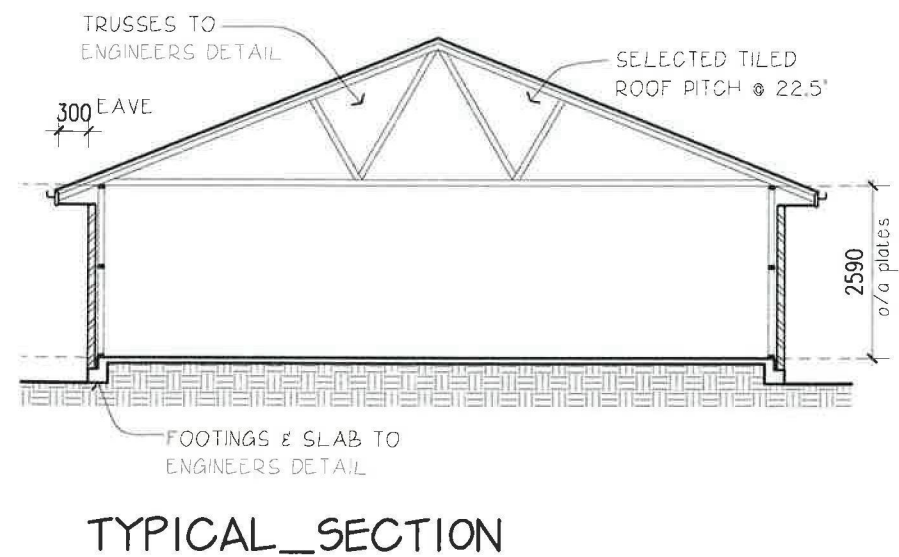
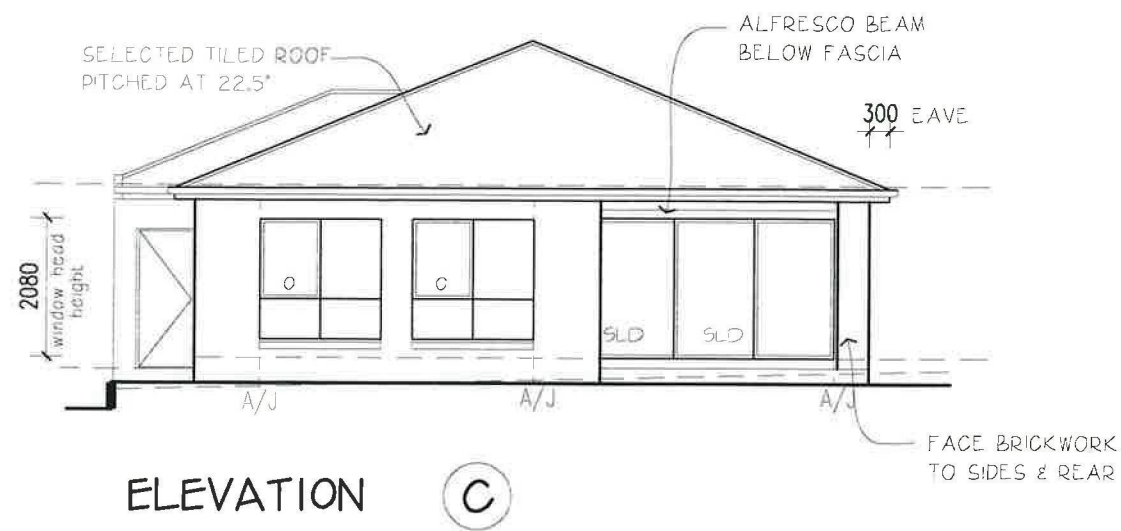


Reviewed by: JORDAN SPRINGS DESIGN  
17 APR 2013  
SIGNED: [Signature]

DATE	REVISION	DRAWN
9.10.12	REV A PRELIM PLANS	JS

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	DRAWN	JS					For	EDGEWATER HOMES	
	CHECKED	(CHKBY)	JOB No.	200029			At	LOT 2141 ILLOURA WAY JORDAN SPRINGS	
	SCALE	1:100	Date:	09/10/2012					





Reviewed by JORDAN SPRINGS DESIGN ARCHITECTS  
 1 APR 2013  
 SIGNED

9.10.12	REV A PRELIM PLANS	JS
DATE	REVISION	DRAWN

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	DRAWN	JS			For	EDGEWATER HOMES			
	CHECKED	(CHKBY)	JOB No.	200029		At	LOT 2141 ILLOURA WAY JORDAN SPRINGS		
SCALE	1:100	Date:	09/10/2012						



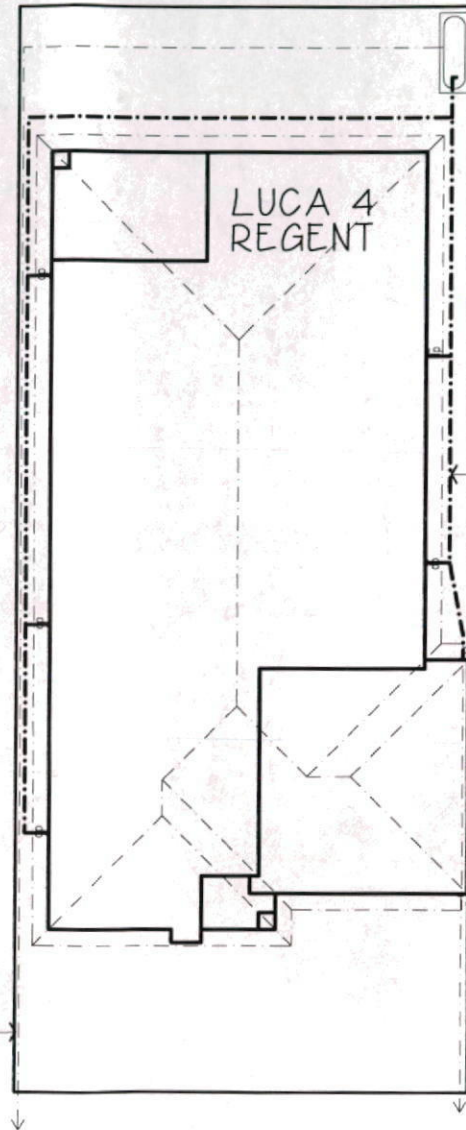
NOTE: STORMWATER DRAINAGE IS TO BE  
MINIMUM 600mm CLEAR FROM EDGE OF SLAB

STORMWATER DISPOSAL TO KERB & CHANNEL

STORMWATER - LINE



LOT  
2140  
VACANT



2000L RAINWATER TANK  
ON A 2.2 x 0.8 CONCRETE PAD

LOT  
2142  
VACANT

90MM STORMWATERPIPES  
FROM 90mm PVC DOWNPIPES

OVERFLOW LINE FROM  
TANK TO STREET

ILLOURA WAY

PRELIMINARY  
DRAWINGS

9.10.12	REV A PRELIM PLANS	JS
DATE	REVISION	DRAWN

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	DRAWN	JS	D.P	1168991	For	EDGEWATER HOMES			
	CHECKED	(CHKBY)	JOB No.	200029	At	LOT 2141 ILLOURA WAY JORDAN SPRINGS			
	SCALE	1:200	Date:	09/10/2012					