

NatHERS Certificate

New Dwelling

4.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name 14-14698_1
Date 26/08/2013
Location CAMBRIDGE PARK PC 2747
Climate file climat28.TXT
Adjusted Star Rating 4.5 Stars
Conditioned Area 166.08 m²
Unconditioned Area 70.67 m²
Adjusted Cooling 57.4 MJ/m²
Adjusted Heating 60.0 MJ/m²
Adjusted Total 117.4 MJ/m²

Dwelling Address

DP Number 1166546
Unit Number
Lot Number 11
House Number 16
Street Name Ghera Road
Development Name 655203 - Mr Baker & Ms Adams
Suburb Caddens NSW 2747

Client Details

Name Metricon Homes Pty Ltd
Phone 02 8887 9023 Fax 02 8079 5901
Email
Postal Address Building E, Level 4, 32 Lexington Drive, Bella Vista NSW 2153
Street Details Building E, Level 4, 32 Lexington Drive, Bella Vista NSW 2153

Assessor Details

Name Fadi Sweis
Phone 1800 372 669 Fax
Email fsweis@eraservices.com.au
Postal Address PO Box 7446, Baulkham Hills BC NSW 2153
Street Details

Signed by the Assessor.....Date...../...../.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project 14-14698 Run 1
CAMBRIDGE PARK PC 2747 Lat -33.70 Long 150.70 Climate File climat28.TXT

Summary

Conditioned Area	166.1 m ²
Unconditioned Area	70.7 m ²
Total Floor Area	236.7 m ²
Total Glazed Area	44.1 m ²
Total External Solid door Area	14.1 m ²
Glass to Floor Area	18.6 %
Gross External Wall Area	247.0 m ²
Net External Wall Area	188.8 m ²

Window

42.4 m ²	GGG-05-001a	Generics	Uval 6.57	SHGC 0.74
	Glass	Single Glazed	Clear	
	Frame	Aluminium		
1.8 m ²	GGG-05-002a	Generics	Uval 5.55	SHGC 0.73
	Glass	Single Glazed	Clear	
	Frame	Timber		

External Wall

77.1 m ²	Brick Veneer	Bulk Insulation R 1.5
21.2 m ²	Brick Veneer	No Insulation
90.5 m ²	Weatherboard Cavity Panel	Bulk Insulation R 1.5

Internal Wall

9.6 m ²	Brick Veneer	No Insulation
136.8 m ²	Cavity Panel 70mm gap	No Insulation

External Floor

77.5 m ²	Concrete Slab on Ground	Ceramic Tiles 8mm	No Insulation
26.3 m ²	Concrete Slab on Ground	80/20 Carpet 10mm/Ceramic	No Insulation
34.7 m ²	Concrete Slab on Ground	Bare	No Insulation

External Ceiling

104.0 m ²	Plasterboard	Bulk Insulation R2.0	Unventilated roofspace
34.7 m ²	Plasterboard	No Insulation	Unventilated roofspace

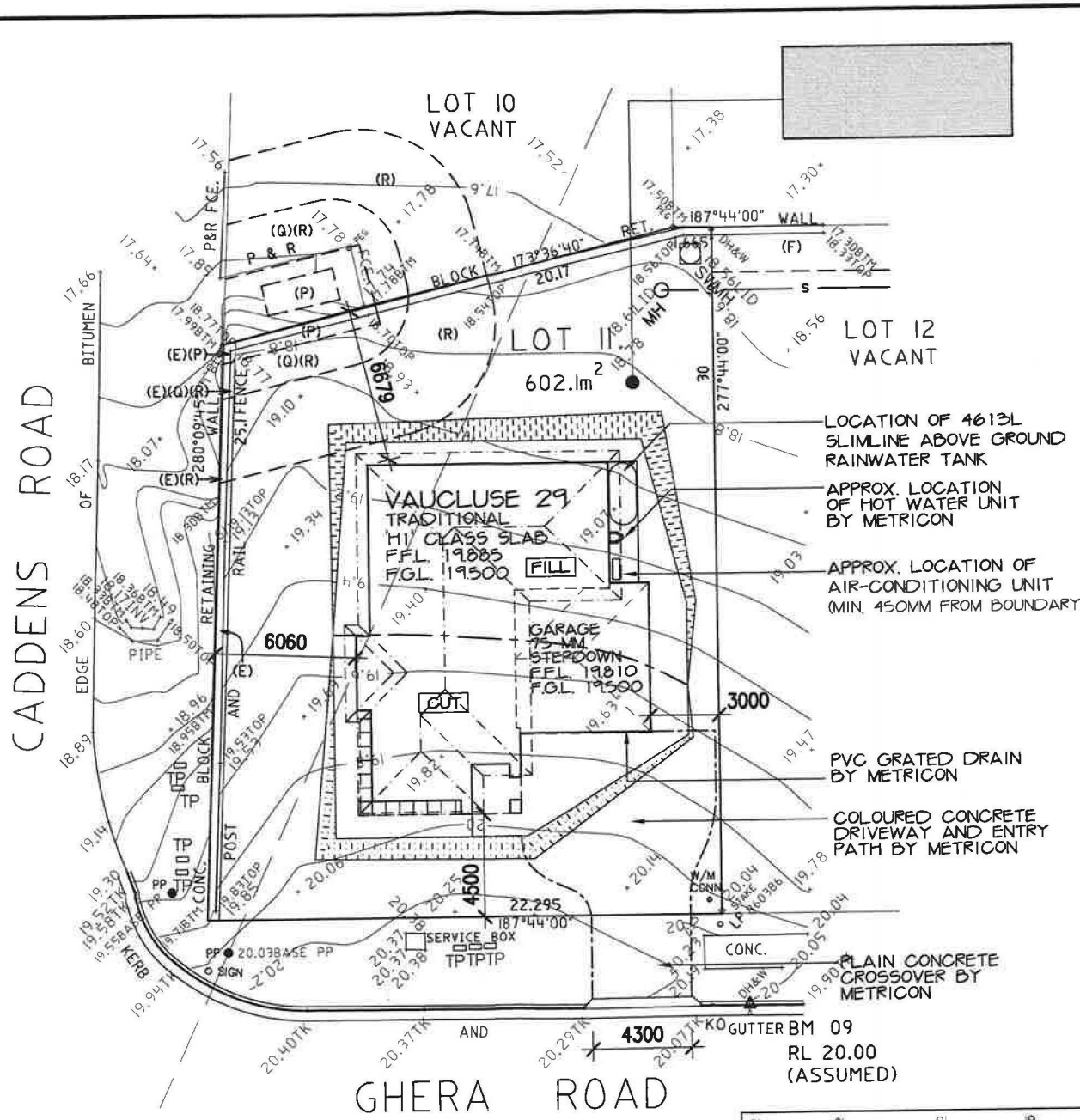
Internal Floor/Ceiling

103.6 m ²	Timber Above Plasterboard	No Insulation
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Roof (Horizontal area)

138.7 m ²	Roof Tiles	No Insulation, Only an Air Gap	23° slope	Hip roof
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SITE AREA:	602.1 SQM
PROPOSED ROOF COVERAGE	
ROOF COVERAGE AREA	174.8 SQM
SITE COVERAGE	
TOTAL SITE COVERAGE	222.4 SQM
INCLUDES ALL HARD SURFACES	36.9%
MAX. ALLOWABLE BY COUNCIL:	50%
LANDSCAPED AREA	
TOTAL LANDSCAPED AREA	370.4 SQM
EXCL. ALL HARD SURFACES	61.5%
MIN. DIMENSION OF 2M	
MIN. REQUIRED BY COUNCIL:	35%
PRIVATE OPEN SPACE	
PRIVATE OPEN SPACE:	311.6 SQM
	51.8%
MIN. REQUIRED BY COUNCIL:	20%
MINIMUM DIMENSION OF 3M	
PRINCIPAL PRIVATE OPEN SPACE	
PRINCIPAL PRIVATE OPEN SPACE:	40 SQM
MIN. REQUIRED BY COUNCIL:	40 SQM
MINIMUM DIMENSIONS OF 4M	
BUILDING HEIGHT RESTRICTION	
MAXIMUM 9M RIDGE HEIGHT	
(F.F.L. MUST BE ACCURATE TO COMPLY)	
MAXIMUM 1000 MM CUT	
MAXIMUM 1000MM FILL	
TERMITE PROTECTION	
PROVIDE TERMITE PROTECTION	
IN ACCORDANCE WITH A.3.3660.1	
SURVEYORS NOTES	
A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.	
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.	
C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.	
D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.	
DRAWINGS AMENDMENTS	
A 02.08.13 AMEND DRIVEWAY	BG



	LOT NO	11
	DEPOSITED PLAN	1166546
	COUNCIL / LGA	PENRITH
	SLAB CLASS	H1
MGA	WIND SPEED	N2

EXCAVATION NOTES:
 50MM (+/-) TOLERANCE TO NOMINATED RL'S
 EXCAVATE APPROX. 550MM ON RL 19500 AND FILL APPROX. 600MM
 EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT

IMPORTANT NOTES:
 SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD

STORMWATER TO DRAIN TO EXISTING EASEMENT VIA RAINWATER TANK(S)

TEMPORARY SITE FENCING:
 METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)

ALL WEATHER ACCESS:
 METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

SURVEY LEGEND

	GULLY PIT		SEWER LINE
	HYD. HYDRANT		VEHICLE CROSSING
	SIP SURFACE INLET PIT		STOP VALVE
	SIC SEWER INSPECTION COVER		DEEP EDGE DRAIN
	SMH SEWER MANHOLE		GAS METER
	WM WATER METER		LIGHT POLE
	EB ELECTRICITY BOX		INVERT
	SMWH STORMWATER MANHOLE		TOP OF KERB
	TP TELSTRA PIT		KERB OUTLET

ASPECT SURVEY DATE: 1906.13
 CONTOUR INTERVALS: 200MM
 LEVELS TO ASSUMED DATUM

SITE PLAN

Bld E Level 4, 32 Levington Dr, Baulkham Hills NSW 2153
 P.O. Box 7510, Northwest Business Park NSW 2163
 Tel: 02 8887 9000 Fax: 02 8079 5901
 Contractor Licence No: 174 839
 A.C.N. 005 108 752 www.metricron.com.au

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MR BAKER & MS ADAMS
 LOT 11 NO.16 GHERA ROAD
 CADDENS

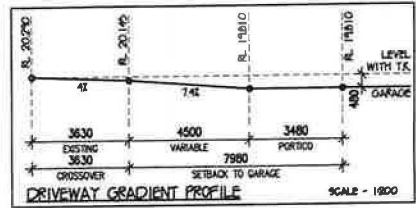
JOB No. 655203

DATE: 17.07.13	DRAWN: TL
SCALE: 1:200	SHEET: 1 OF 10

UDD REF: STD 184 F4

APPROXIMATE POSITION OF SEWER MAIN. REFER TO SEWER DIAGRAM FOR DETAILS

- (E) EASEMENT FOR SUPPORT 0.5, 0.9 & 1 WIDE
- (F) EASEMENT TO DRAIN WATER 2 WIDE
- (P) EASEMENT FOR PADMOUNT SUBSTATION 3.56 & 3.65 WIDE
- (Q) RESTRICTION ON THE USE OF LAND
- (R) RESTRICTION ON THE USE OF LAND

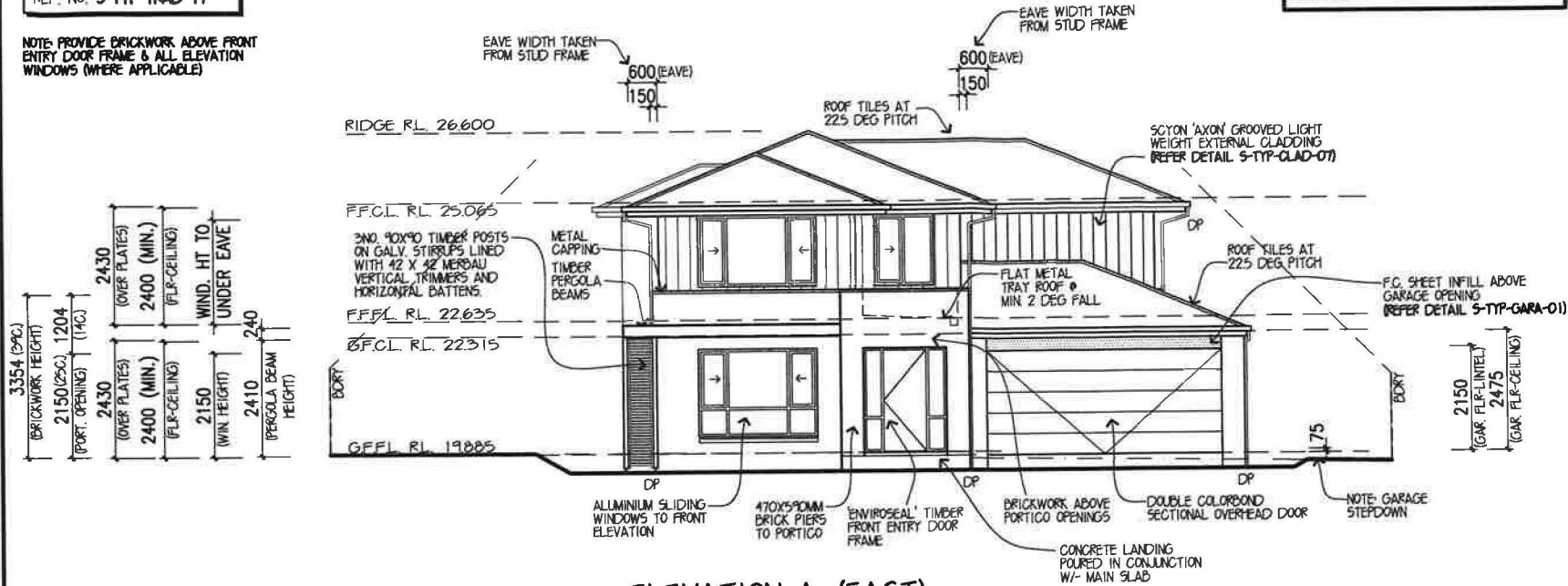


IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. S-TYP-TRAD-17

NOTE: PROVIDE BRICKWORK ABOVE FRONT
ENTRY DOOR FRAME & ALL ELEVATION
WINDOWS (WHERE APPLICABLE)

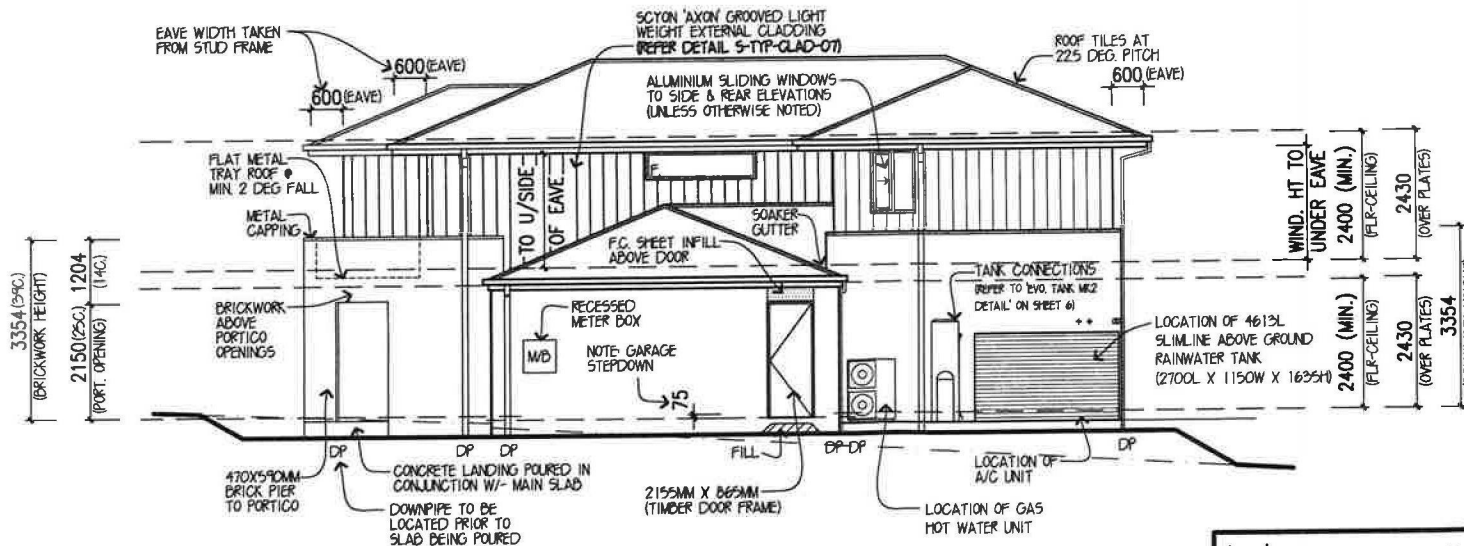
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REFER TO ENGINEERS PLANS FOR
ARTICULATION JOINT LOCATIONS

- NOTES:**
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 - ALL GLAZING TO COMPLY WITH A.S. 1288 2006 GLASS IN BUILDINGS, & WITH A.S. 4055 - 1992 FOR WINDLOADING.
 - WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
 - WINDOWS TO COMPLY WITH B.C.A. 3.9.2.5 2013



ELEVATION A. (EAST)

PROVIDE SELECTED FACE BRICKWORK
TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)



ELEVATION B. (NORTH)

ELEVATIONS 1:100

'H1' CLASS SLAB

DESIGN: VAUCLUSE 29
FACADE: TRADITIONAL CEILING: 24, L
GARAGE: DOUBLE LOCATION: F

ELEVATIONS

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Tel: 02 8887 9000 Fax: 02 8079 5901
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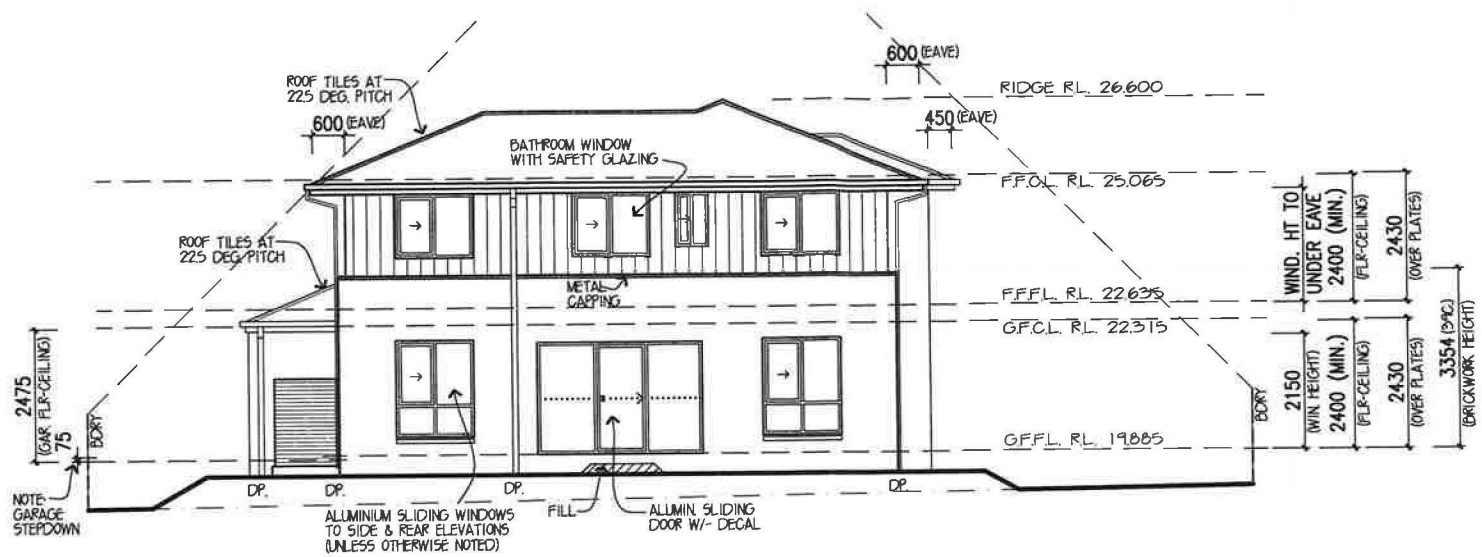
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LOT 11 NO.16 GHERA ROAD,
CADDENS

JOB NO: 655203 DATE: 11.08.13
F.C. DATE: MST VER: P 20 FEB 2013

PERMIT No:
DRAWN: CAD/CRAFT CHKD: BZ SHEET: 4 of 10

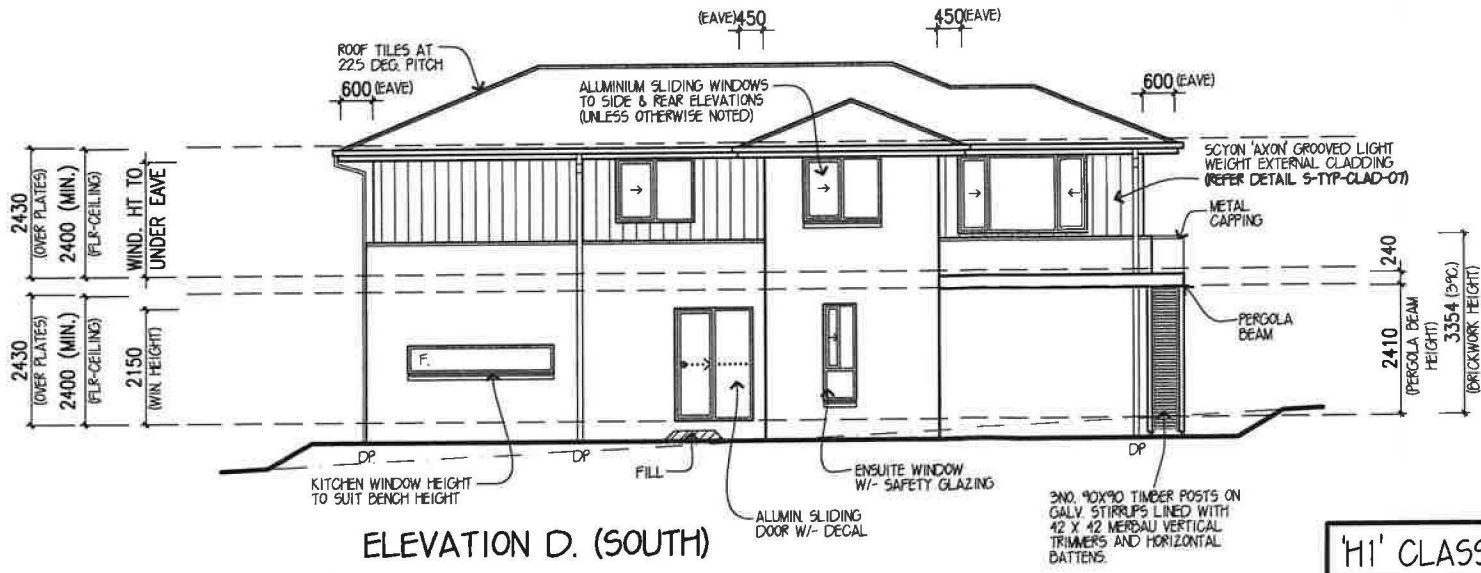
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ELEVATION C. (WEST)

PROVIDE SELECTED FACE BRICKWORK TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)



ELEVATION D. (SOUTH)

'H1' CLASS SLAB

ELEVATIONS 1:100

DESIGN: **VAUCLUSE 29**
 FACADE: **TRADITIONAL** CEILING: **24, L**
 GARAGE: **DOUBLE** LOCATION: **P**

ELEVATIONS

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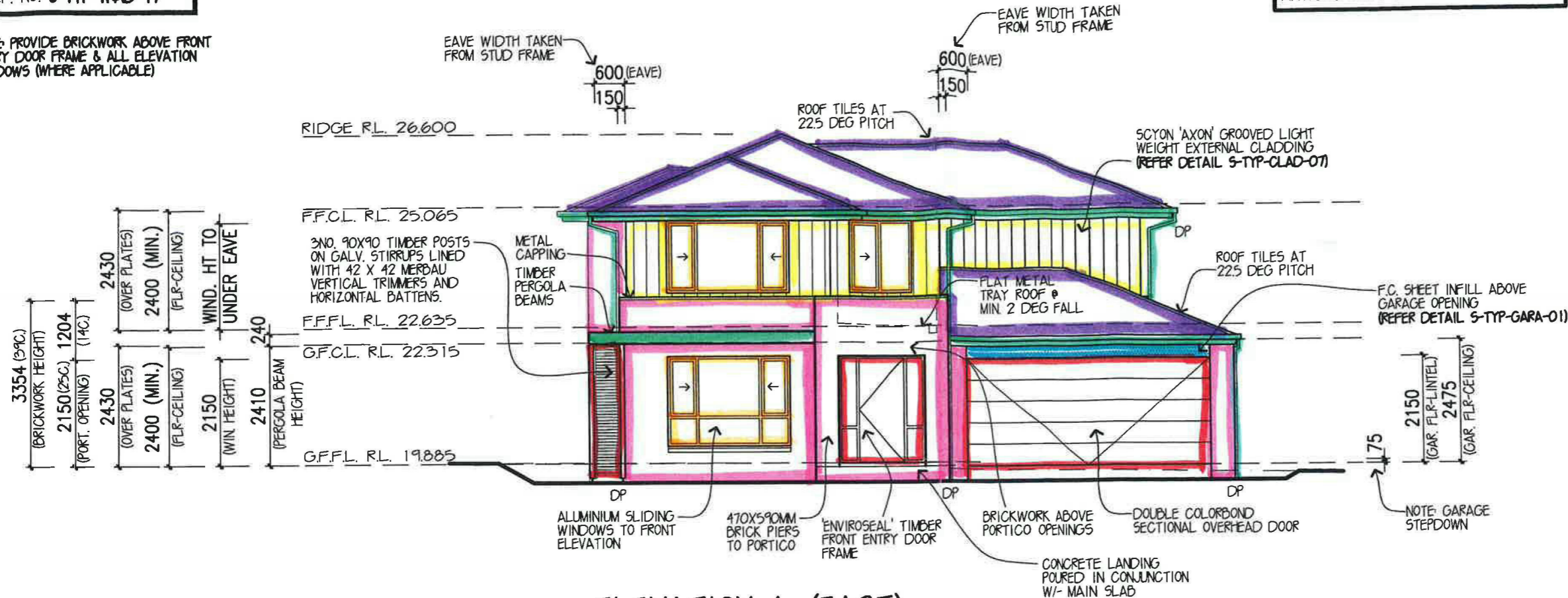
PERMIT No:

DRAWN: **CADDRAFT** CHKD: **BZ** SHEET: **5 of 10**

IMPORTANT NOTE
REFER TO FACADE DETAIL
REF. NO. S-TYP-TRAD-17

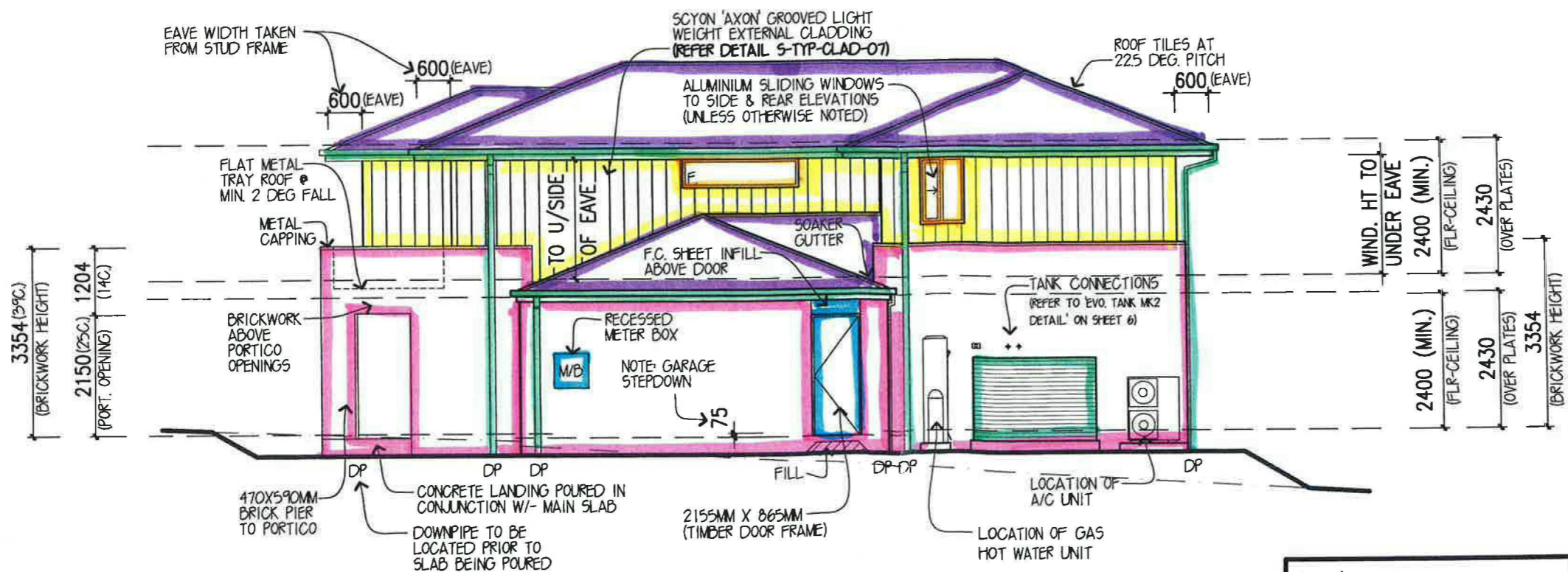
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ELEVATION A. (EAST)

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ELEVATION B. (NORTH)

'H1' CLASS SLAB

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 - * WINDOWS TO COMPLY WITH B.C.A. 3.9.2.5 2013

- - AUSTRAL OLD COLONIAL MAHOGNY
- - BRISTLE DESIGNER MAGNUM
- - COLORBOND MONUMENT
- - DULUX LIME WHITE QUARTER
- - CHARCOAL
- - MERBAU
- - DULUX LOG CABIN

DESIGN: VAUCLUSE 29
FACADE: TRADITIONAL CEILING: 24, L
GARAGE: DOUBLE LOCATION: F

ELEVATIONS

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OWNER: MR BAKER & MS ADAMS
LOT 11 NO.16 GHERA ROAD,
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JOB NO: 655203 DATE: 11.08.13

F.C. DATE: MST VER: P 28 FEB 2013

PERMIT No:

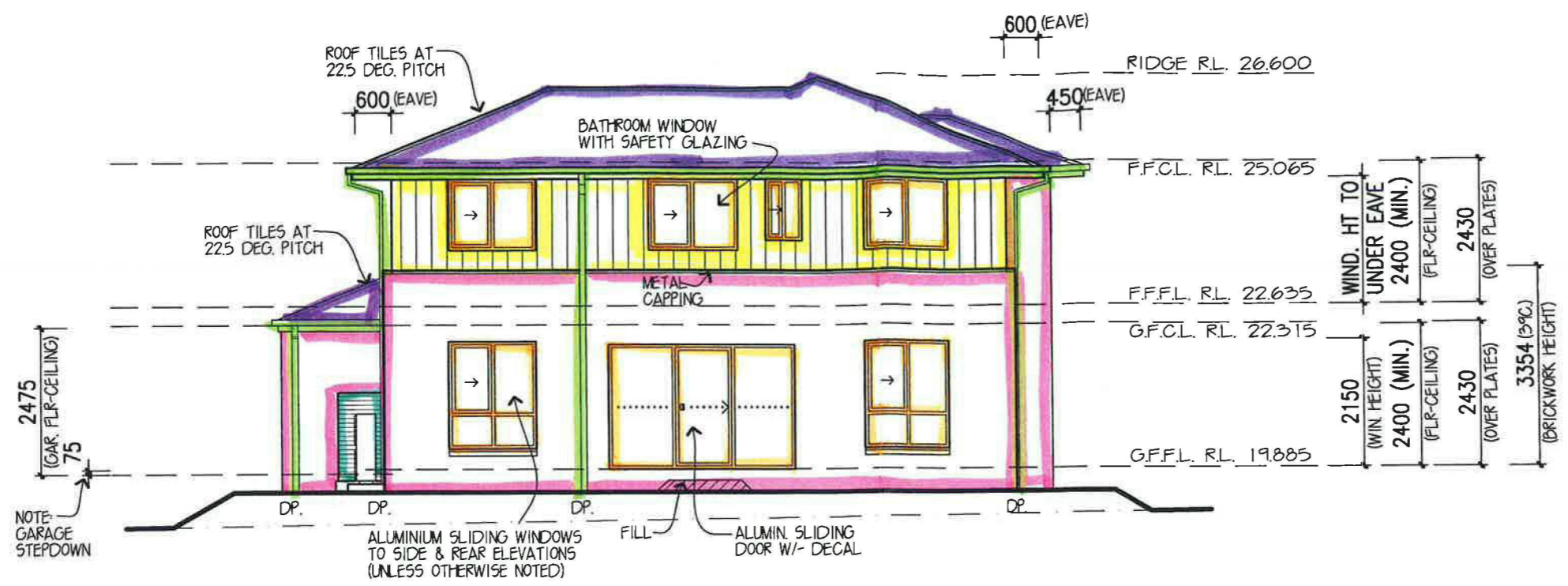
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ELEVATIONS 1:100

BAKER ADAMS • 655203

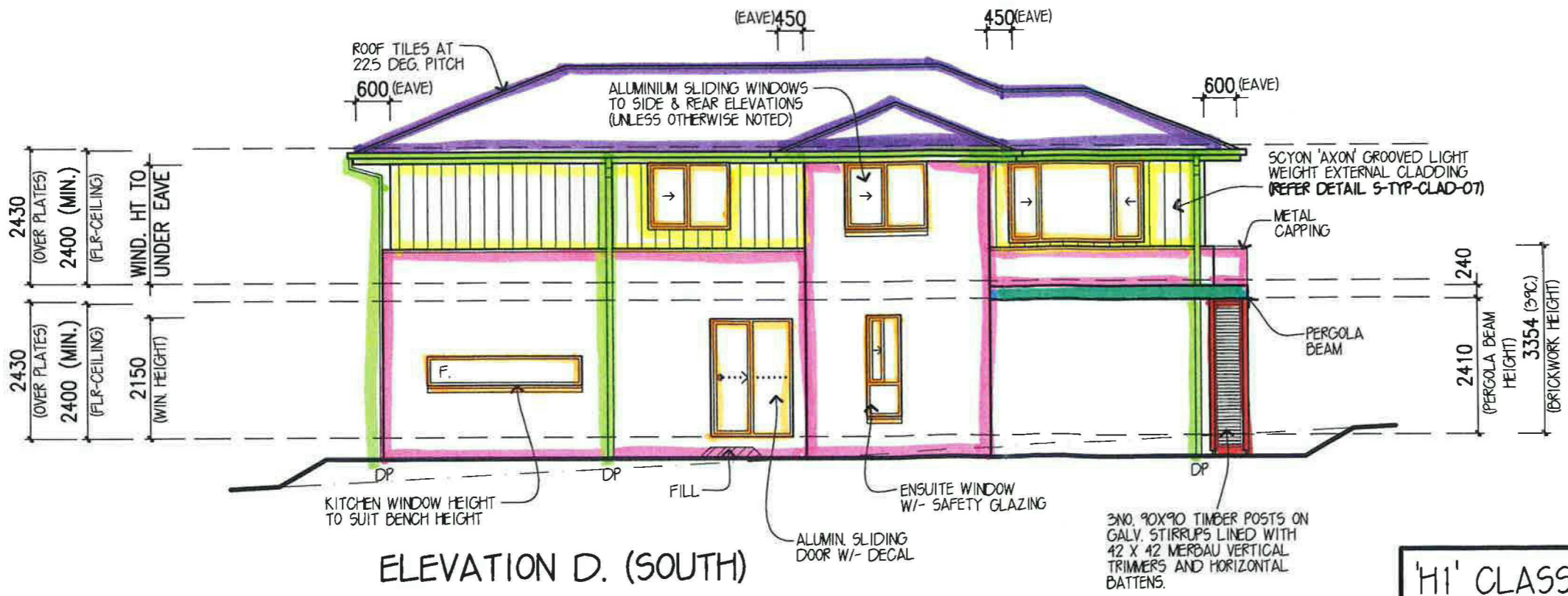
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'H1' CLASS SLAB

ELEVATIONS 1:100

DESIGN: **VAUCLUSE 29**
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GARAGE: **DOUBLE** LOCATION: **F**

ELEVATIONS

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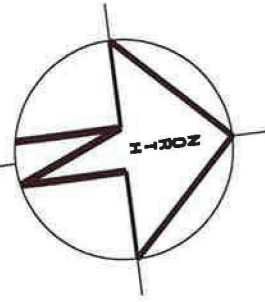
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PERMIT No:

DRAWN: **CADDRAFT** CHKED: **BZ** SHEET: **5 of 10**

NORTH

M.G.A.
DP 1166546



LOCALITY SKETCH

UBD AREA: SYD REVISION: 48
MAP: 184 REF: F4
S
GPS
E

CADDENS ROAD

LOT 10
VACANT

LOT 12
VACANT

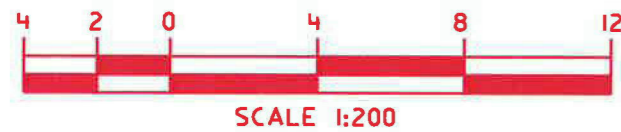
LOT II
602.1m²

GHERA ROAD

APPROXIMATE POSITION OF
SEWER MAIN. REFER TO
SEWER DIAGRAM FOR DETAILS



- (E) EASEMENT FOR SUPPORT 0.5, 0.9 & 1 WIDE
- (F) EASEMENT TO DRAIN WATER 2 WIDE
- (P) EASEMENT FOR PADMOUNT SUBSTATION 3.56 & 3.65 WIDE
- (Q) RESTRICTION ON THE USE OF LAND
- (R) RESTRICTION ON THE USE OF LAND



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GENERAL NOTES

A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.
 B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.
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SYMBOLS & ABBREVIATIONS:

GP	GULLY PIT	-E-	OVERHEAD ELEC LINE
HYD	HYDRANT	-S-	SEWER LINE
SIP	SURFACE INLET PIT	o	GM GAS METER
SIC	SEWER INSPECTION COVER	*	LP LIGHT POLE
SMH	SEWER MANHOLE	EC	ELECTRICITY CONDUIT
W/M	WATER METER	ECT	ELEC & TELE CONDUIT
EL	ELECTRICITY BOX	TC	TELECOM CONDUIT
TP	TELECOM PIT	WC	WATER CONDUIT
VC	VEHICLE CROSSING	INV	INVERT
SV	STOP VALVE	KO	KERB OUTLET
SWMH	STORMWATER MANHOLE	TK	TOP OF KERB

ASPECT DEVELOPMENT & SURVEY PTY LTD
CONSULTING REGISTERED SURVEYORS
ABN 60 078 649 000

SUITE 1
103 VANESSA STREET
KINGSGROVE NSW 2208
PHONE (02) 9554 8388
FAX (02) 9554 8588

PO BOX 161
KINGSGROVE NSW 1480
DX 11392
HURSTVILLE

PROJECT

OUR REFERENCE	3/1023009/138128
LOT 11	DP 1166546 SECTION
DATUM ASSUMED	SOURCE
ORIGIN OF LEVELS	BM 09 REDUCED LEVEL 20.00
SURVEYED NR	DATE 19/06/2013
DRAWN SK/NZ	DATE 25/06/2013
SCALE 1: 200	A3 SHEET

CLIENT: METRICON HOMES Pty. Ltd.
REF: ADAMS/BAKER
REF: 655203
ADDRESS: GHERA Rd. AND CADDENS Rd.
SUBURB CADDENS

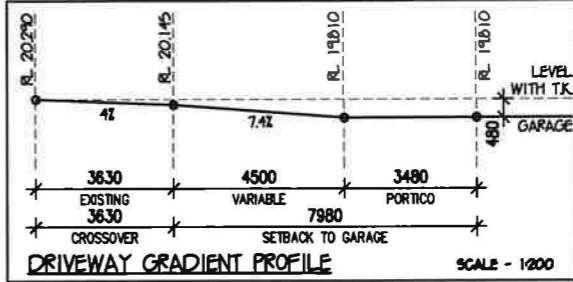
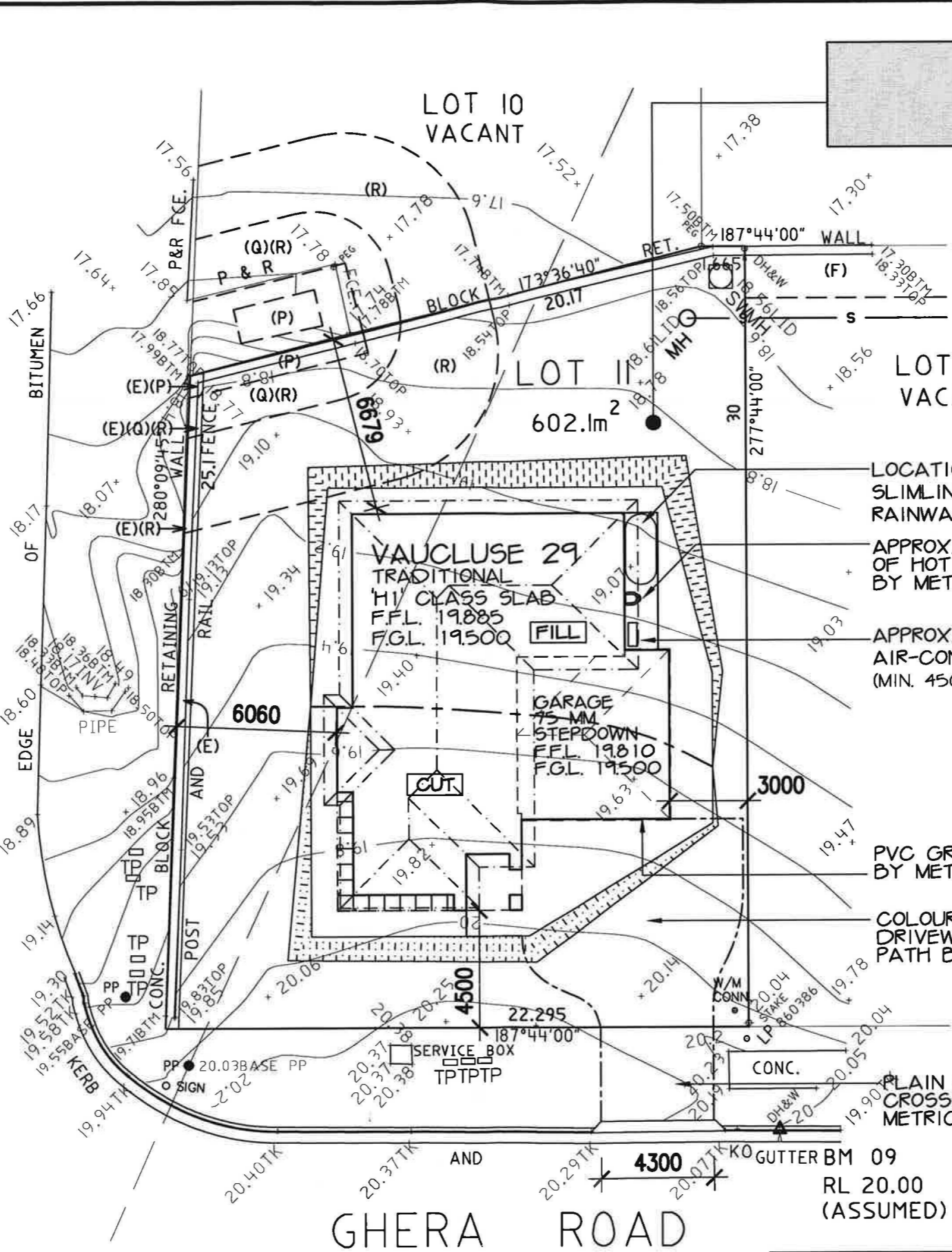
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-	----	-	-
-	----	-	-

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CADDENS ROAD



	LOT NO	11
	DEPOSITED PLAN	1166546
	COUNCIL / LGA	PENRITH
	SLAB CLASS	H1
MGA	WIND SPEED	N2

EXCAVATION NOTES
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 METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)

ALL WEATHER ACCESS
 METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

SURVEY LEGEND

GULLY PIT	SEWER LINE
HYD	VEHICLE CROSSING
SIP	SV
SIC	DEEP EDGE BEAM
SMH	GM
W/M	LP
EB	INV
STMH	TK
TP	KO

ASPECT SURVEY DATE: 19.06.13
 CONTOUR INTERVALS: 200MM
 LEVELS TO ASSUMED DATUM

SITE PLAN

m metricon
 Build E Level 4, 32 Levington Dr, Bullman Hills NSW 2163
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MR BAKER & MS ADAMS
 LOT 11 NO.16 GHERA ROAD
CADDENS

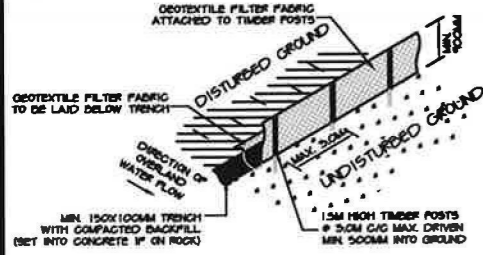
JOB No. 655203

DATE: 17.07.13	DRAWN: TL
SCALE: 1:200	SHEET: 1 OF 10

UBD REF: 5YD 184 F4

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.
7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE DETAIL
NOT TO SCALE

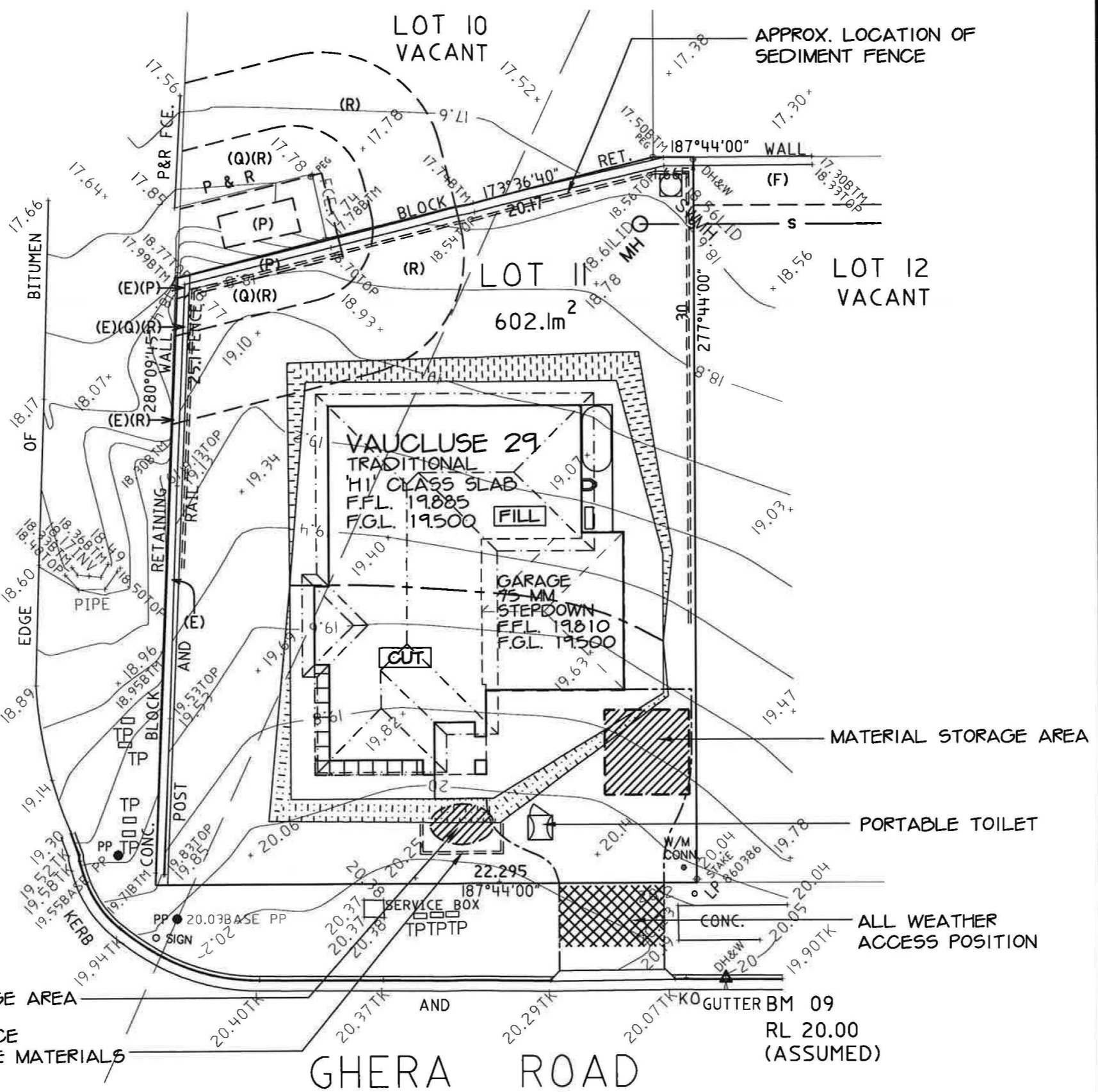
TEMPORARY SECURITY FENCING

TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS

ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

CADDENS ROAD



APPROXIMATE POSITION OF SEWER MAIN. REFER TO SEWER DIAGRAM FOR DETAILS

- (E) EASEMENT FOR SUPPORT 0.5, 0.9 & 1 WIDE
- (F) EASEMENT TO DRAIN WATER 2 WIDE
- (P) EASEMENT FOR PADMOUNT SUBSTATION 3.56 & 3.65 WIDE
- (Q) RESTRICTION ON THE USE OF LAND
- (R) RESTRICTION ON THE USE OF LAND

	LOT NO: 11
	DEPOSITED PLAN: 1166546
COUNCIL / LGA: PENRITH	
SLAB CLASS:	H1
WIND SPEED:	N2
MGA	

SOIL & WATER MANAGEMENT PLAN
EROSION & SEDIMENT CONTROL PLAN
CONSTRUCTION PLAN

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

ASPECT SURVEY DATE: 19.06.13
CONTOUR INTERVALS: 200MM
LEVELS TO: ASSUMED DATUM

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LOT 11 NO.16 GHERA ROAD
CADDENS

JOB No. 655203	
DATE: 11.09.13	DRAWN: JNTL
SCALE: 1:200	SHEET: 1A OF 10
UBD REF: SYD 184 F4	

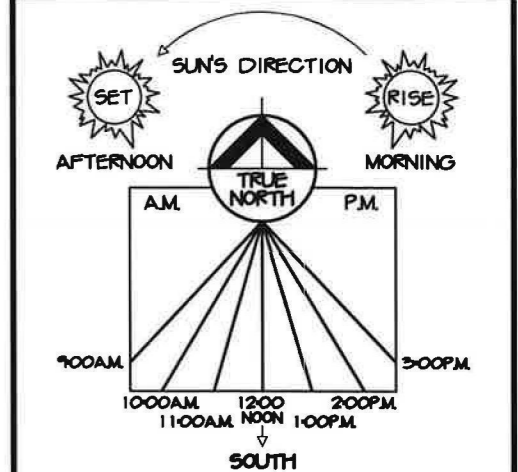
LOT NO:
11

DEPOSITED PLAN:
1166546

COUNCIL / LGA:
PENRITH

SLAB CLASS: H1

WIND SPEED: N2



NOTE: PICTORIAL REPRESENTATION ONLY. NOT TO BE USED AS TRUE NORTH POINT FOR THIS JOB

SHADOW LOCATION TIME OF DAY

	9:00 A.M. JUNE 21
	12:00 NOON JUNE 21
	3:00 P.M. JUNE 21

JUNE 21

TIME	SHADOW LENGTH PER METRE HIGH	ALTITUDE DEGREES	AZIMUTH DEGREES
9:00 AM	2.99 METRES	18.5 DEG.	43.2 DEG.
10:00 AM	2.05 METRES	26 DEG.	30.7 DEG.
11:00 AM	1.66 METRES	31 DEG.	16 DEG.
12:00 NOON	1.56 METRES	32.7 DEG.	0 DEG.
1:00 PM	1.66 METRES	31 DEG.	344 DEG.
2:00 PM	2.05 METRES	26 DEG.	329.3 DEG.
3:00 PM	2.99 METRES	18.5 DEG.	316.8 DEG.

ASPECT SURVEY DATE: 19.06.13
CONTOUR INTERVALS: 200MM
LEVELS TO ASSUMED DATUM

SHADOW DIAGRAM • JUNE 21

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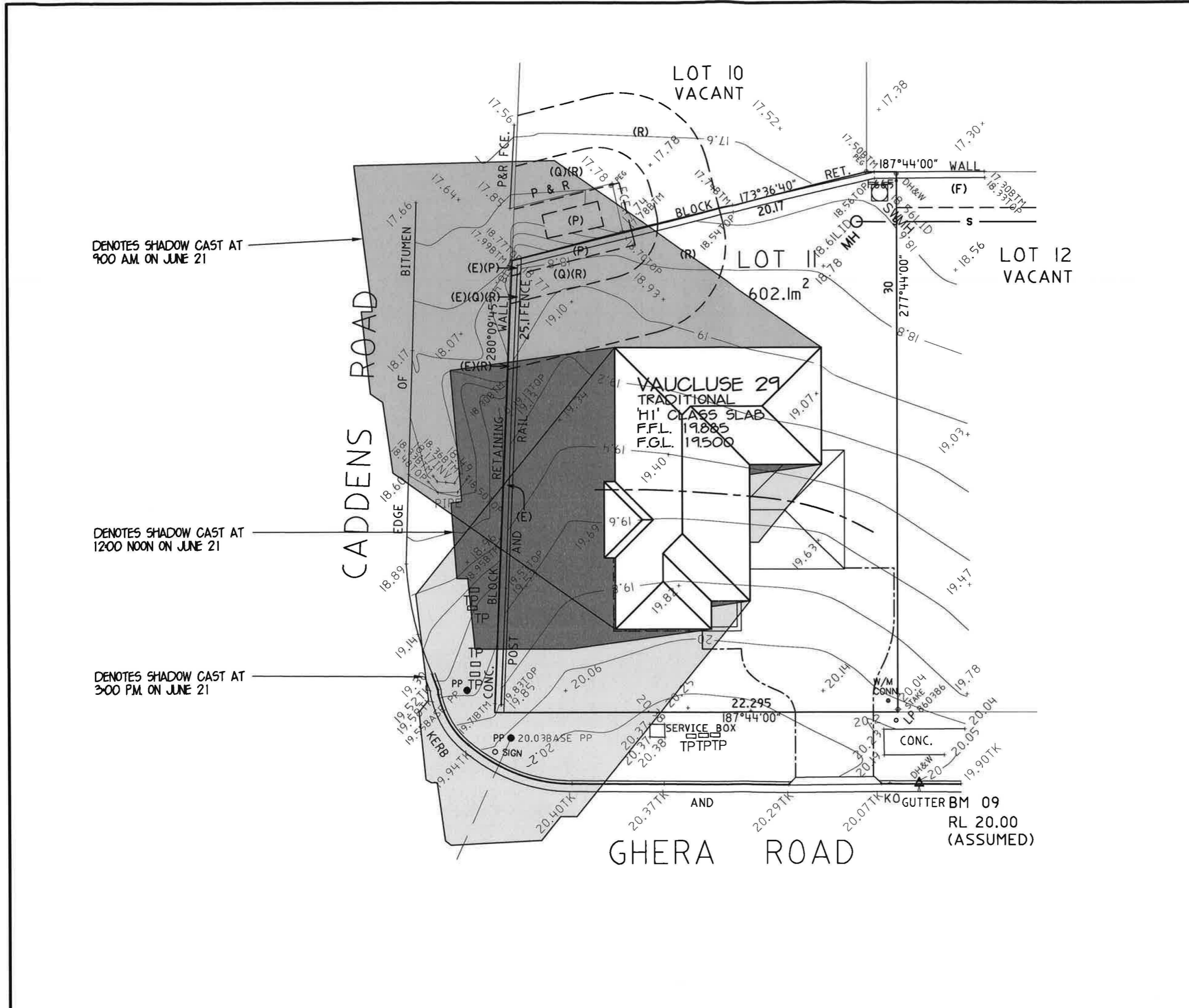
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MR BAKER & MS ADAMS
LOT 11 NO.16 GHERA ROAD
CADDENS

JOB No 655203

DATE: 11.09.13	DRAWN: JNTL
SCALE: 1200	SHEET: 18 OF 10

UBD REF: SYD 184 F4



DENOTES SHADOW CAST AT 9:00 AM ON JUNE 21

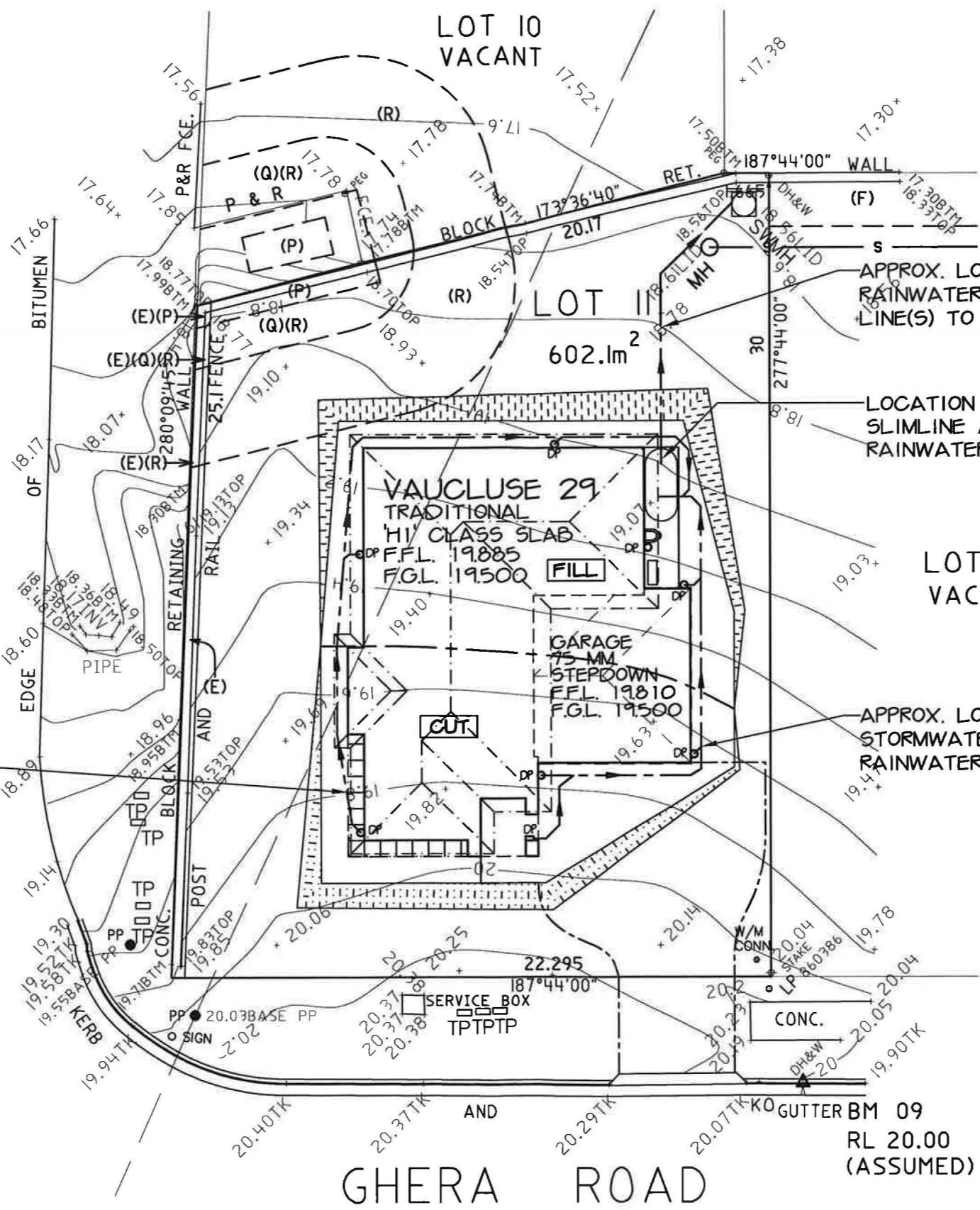
DENOTES SHADOW CAST AT 12:00 NOON ON JUNE 21

DENOTES SHADOW CAST AT 3:00 PM ON JUNE 21

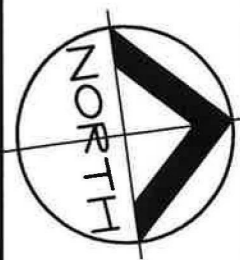
GHERA ROAD
AND
GUTTER BM 09
RL 20.00
(ASSUMED)

CADDENS ROAD

APPROX. LOCATION OF STORMWATER LINE(S) TO RAINWATER TANK(S)



GHERA ROAD



LOT NO:	11
DEPOSITED PLAN:	1166546
COUNCIL / LGA:	PENRITH
SLAB CLASS:	H1
WIND SPEED:	N2

MGA

STORMWATER TO DRAIN TO EXISTING EASEMENT VIA RAINWATER TANK(S)

ASPECT SURVEY DATE: 19.06.13

CONTOUR INTERVALS: 200MM

LEVELS TO ASSUMED DATUM

CONCEPT DRAINAGE PLAN

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MR BAKER & MS ADAMS
 LOT 11 NO.16 GHERA ROAD
 CADDENS

JOB No 655203

DATE: 11.09.13	DRAWN: JN/TL
SCALE: 1:200	SHEET: 1C OF 10

UBD REF: SYD 184 F4

LOT NO: 11	
DEPOSITED PLAN: 1166546	
COUNCIL / LGA: PENRITH	
SLAB CLASS:	H1
WIND SPEED:	N2

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 4500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 175 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note, NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under 'Assessor Details' on the front page of this BASIX certificate (the 'Assessor Certificate') to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas storage with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

ASPECT SURVEY DATE: 19.06.13

CONTOUR INTERVALS: 200MM

LEVELS TO: ASSUMED DATUM

BASIX COMMITMENTS

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MR BAKER & MS ADAMS
LOT 11 NO.16 GHERA ROAD
CADDENS

JOB No: 655203

DATE: 11.09.13 DRAWN: JN

SCALE: -- SHEET: 10 OF 10

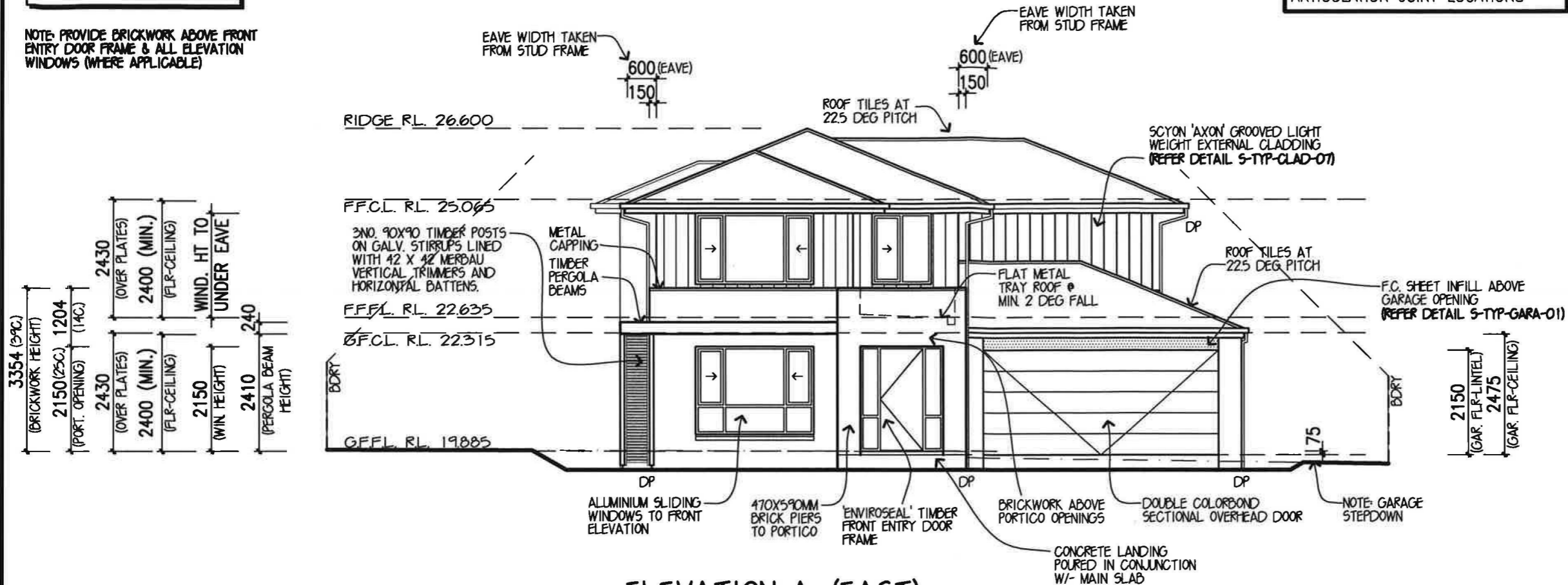
UBD REF: SYD 184 F4

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. S-TYP-TRAD-17

NOTE: PROVIDE BRICKWORK ABOVE FRONT
ENTRY DOOR FRAME & ALL ELEVATION
WINDOWS (WHERE APPLICABLE)

IMPORTANT NOTE:
REFER TO ENGINEERS PLANS FOR
ARTICULATION JOINT LOCATIONS

NOTES:
* WINDOW SUPPLIER TO SUPPLY COVER BOARDS
TO ALL CORNER WINDOWS U.N.O.
* ALL GLAZING TO COMPLY WITH A.S. 1288 -
2006 GLASS IN BUILDINGS, & WITH A.S. 4055
- 1992 FOR WINDLOADING.
* WINDOW HEAD HEIGHT DIMENSIONS TO BE
TAKEN TO THE NEAREST CORRESPONDING BRICK
COURSE.
* WINDOWS TO COMPLY WITH B.C.A. 3.9.2.5 2013



ELEVATION A. (EAST)

PROVIDE SELECTED FACE BRICKWORK
TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)

DESIGN: VAUCLUSE 29
FACADE: TRADITIONAL CEILING: 24, L
GARAGE: DOUBLE LOCATION: F

ELEVATIONS

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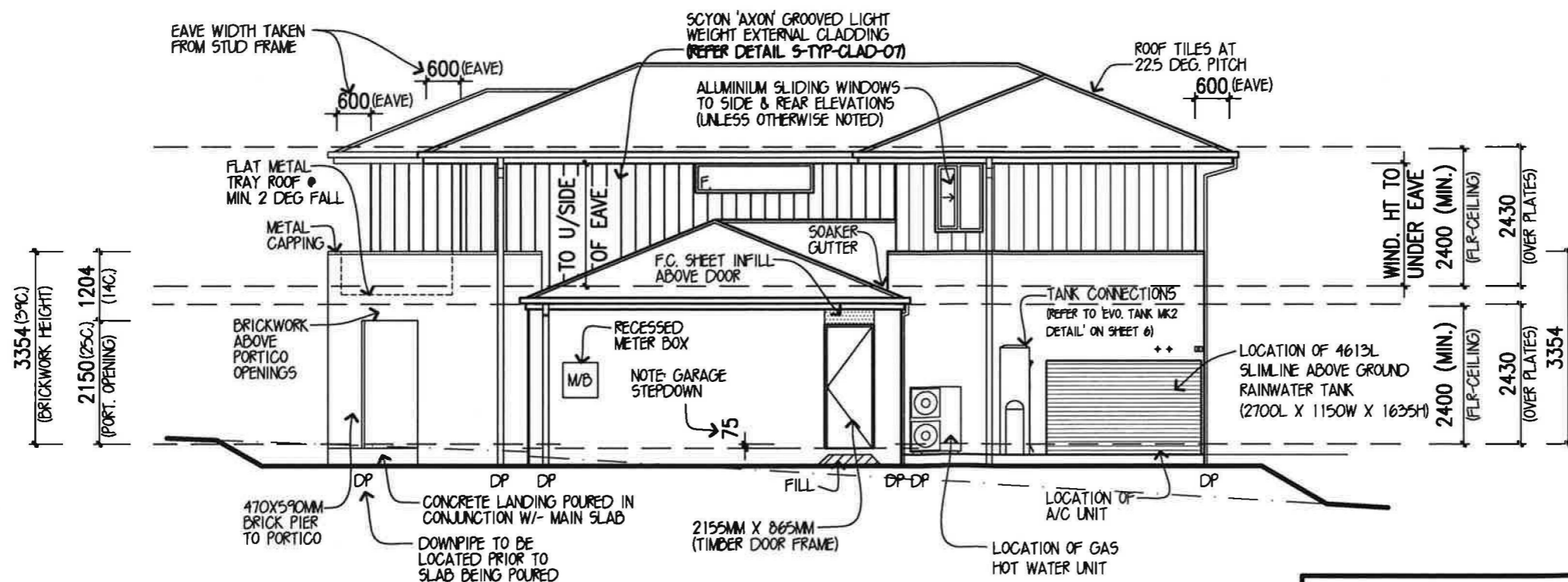
OWNER: MR BAKER & MS ADAMS
LOT 11 NO.16 GHERA ROAD,
CADDENS

JOB NO: 655203 DATE: 11.08.13

F.C.DATE: MST VER: P 28 FEB 2013

PERMIT No:

DRAWN: CADDRAFT CHKD: BZ SHEET: 4 of 10

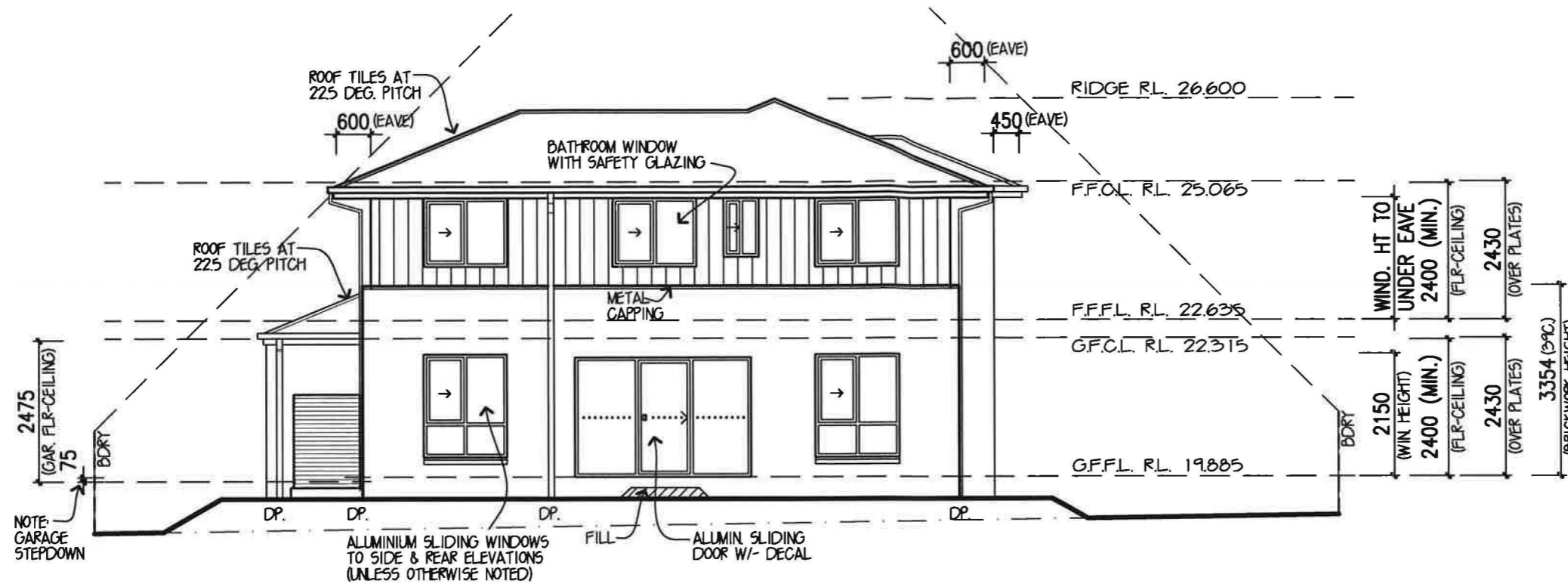


ELEVATION B. (NORTH)

'H1' CLASS SLAB

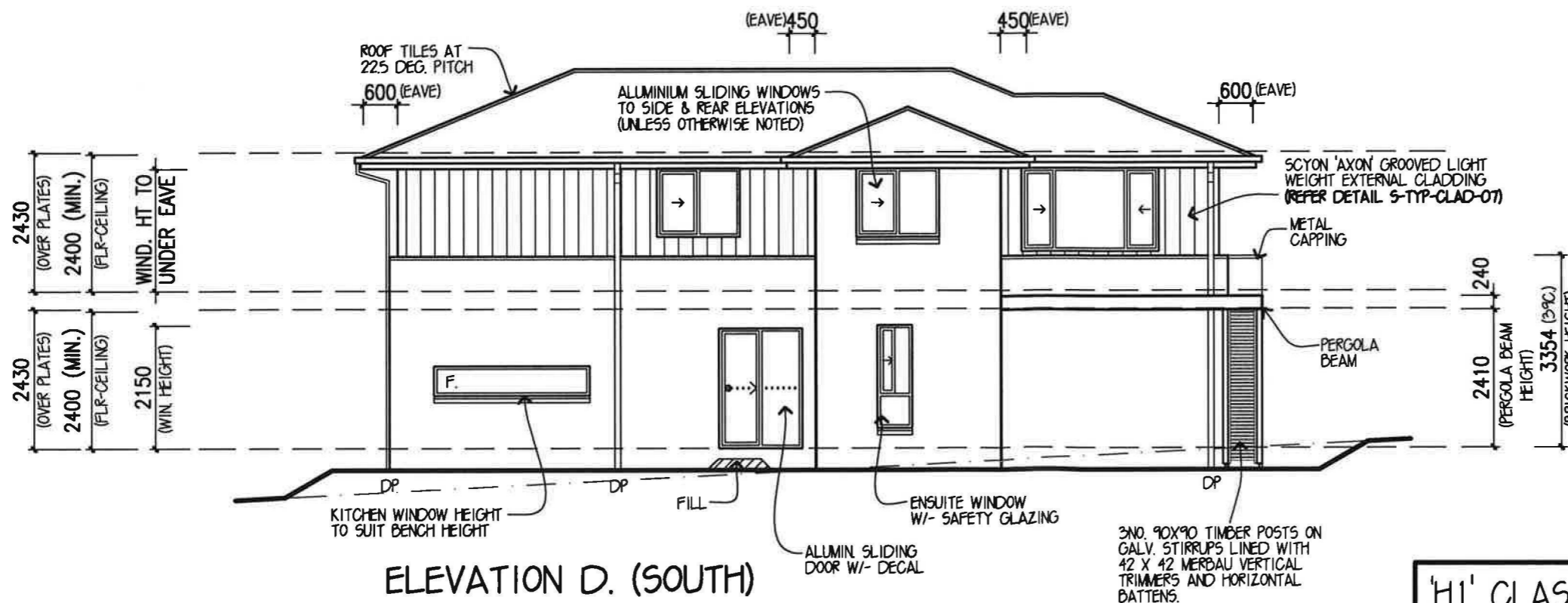
ELEVATIONS 1:100

IMPORTANT NOTE:
REFER TO ENGINEERS PLANS FOR
ARTICULATION JOINT LOCATIONS



ELEVATION C. (WEST)

PROVIDE **SELECTED FACE BRICKWORK**
TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)



ELEVATION D. (SOUTH)

'H1' CLASS SLAB

- NOTES:**
- * WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
 - * ALL GLAZING TO COMPLY WITH A.S. 1288 - 2006 GLASS IN BUILDINGS, & WITH A.S. 4055 - 1992 FOR WINDLOADING.
 - * WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
 - * WINDOWS TO COMPLY WITH B.C.A. 3.9.2.5 2013

DESIGN: **VAUCLUSE 29**
 FACADE: **TRADITIONAL** CEILING: **24, L**
 GARAGE: **DOUBLE** LOCATION: **F**

ELEVATIONS

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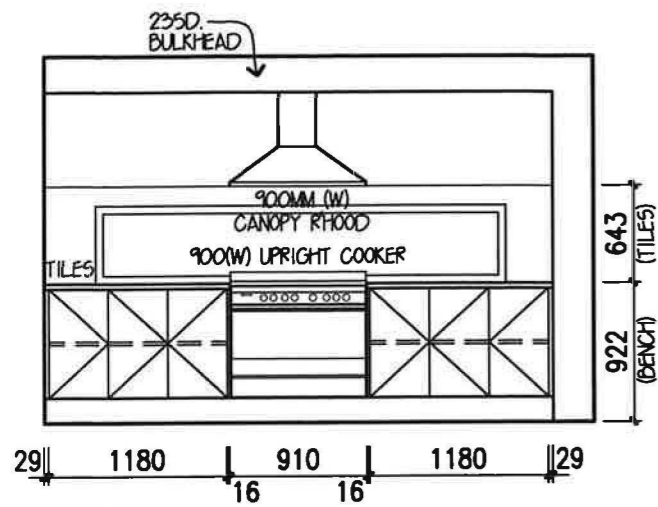
JOB NO: **655203** DATE: **11.08.13**

F.C. DATE: MST VER: **P 20 FEB 2013**

PERMIT No:

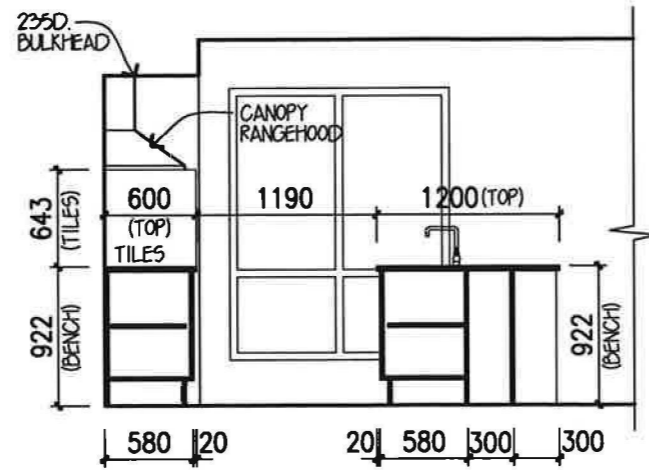
DRAWN: **CADDRAFT** CHKD: **BZ** SHEET: **5** of **10**

ELEVATIONS 1:100

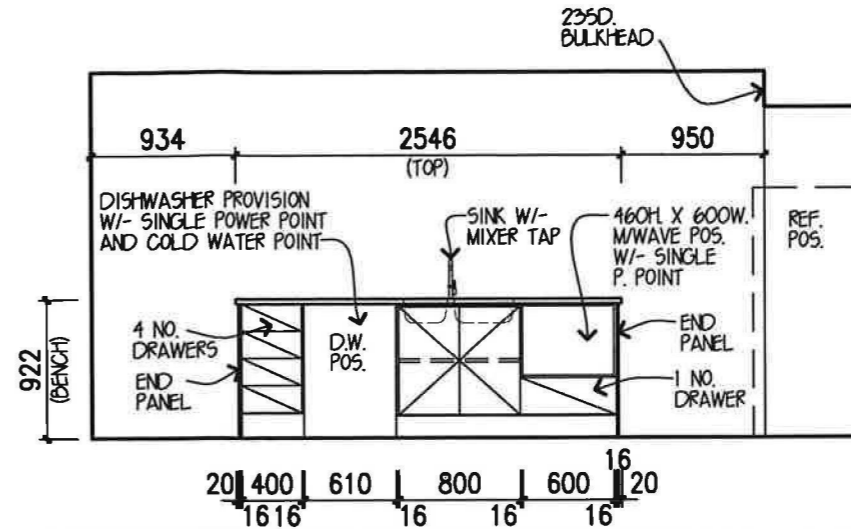


ELEVATION B
KITCHEN

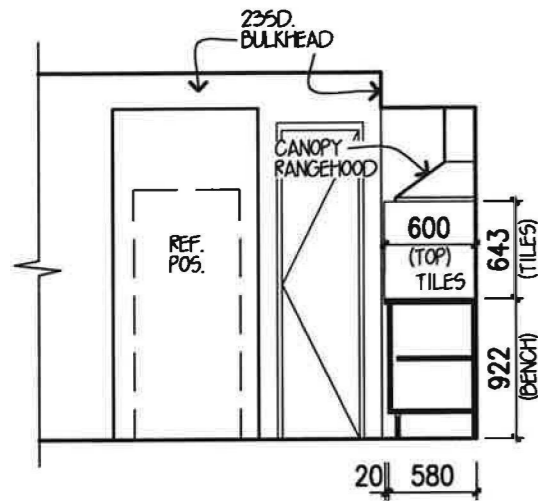
PROVIDE 20MM COMPOSITE STONE TO ALL KITCHEN BENCHTOPS



ELEVATION A

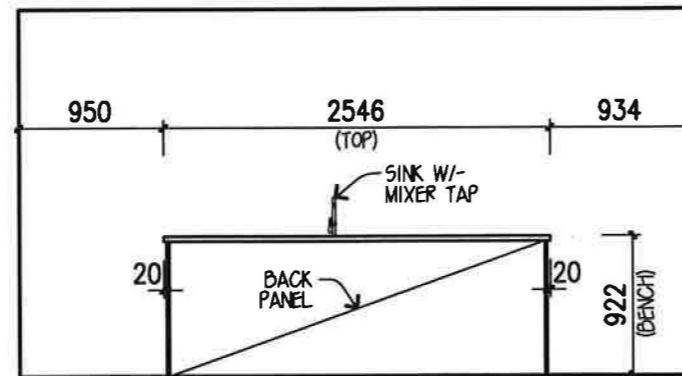


ELEVATION D

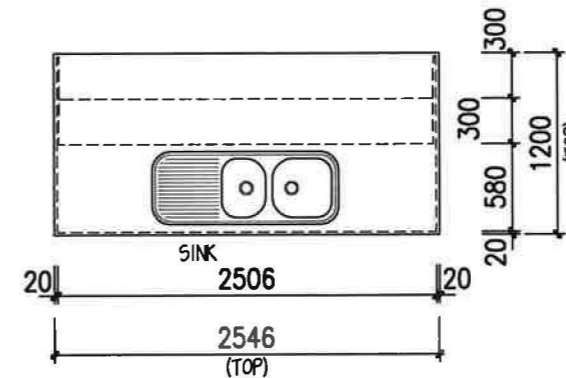


ELEVATION C
KITCHEN

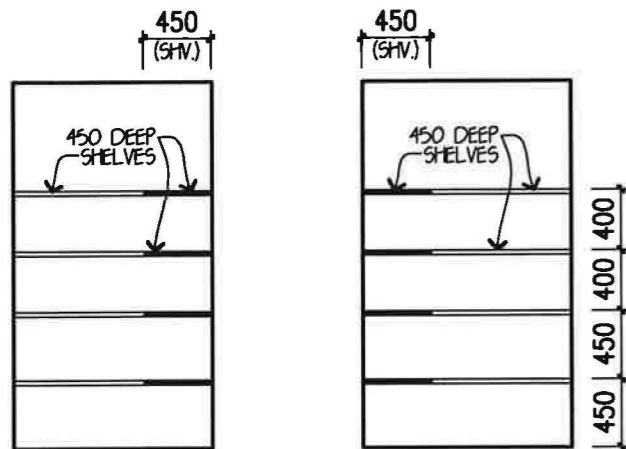
PROVIDE 20MM COMPOSITE STONE TO ALL KITCHEN BENCHTOPS



ELEVATION B
(ISLAND BENCH)

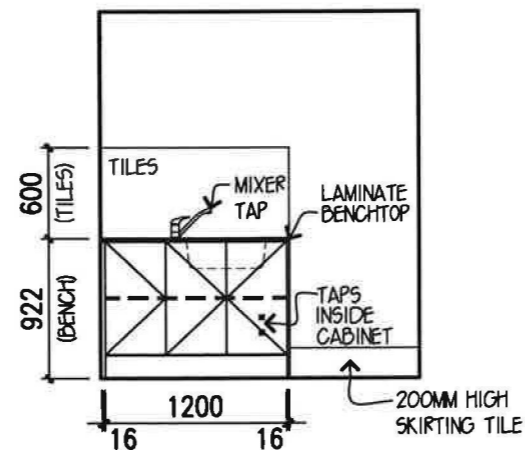


KITCHEN ISLAND
BENCH DETAIL

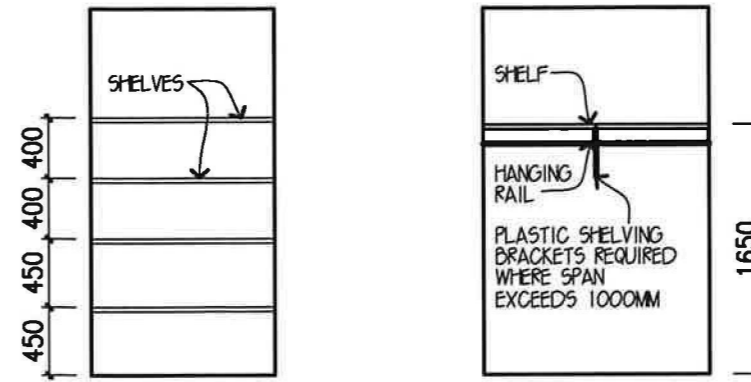


ELEVATION C
PANTRY

ELEVATION B



ELEVATION C
LAUNDRY



LINEN (TYPICAL)

BED 2, 3, 4 & 5
ROBE

INTERNALS 1:50

- NOTES:**
- * TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
 - * INTERNAL DIMENSIONS INDICATED ARE TAKEN FROM PLASTER.
 - * ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE
 - * SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS

BATHROOM ACCESSORIES LEGEND

TOILET RING (700MM ABOVE FFL)	☉	SGL TOWEL RAIL (750)
SGL ROBE HOOK (1700MM ABOVE FFL)	•	SGL TOWEL RAIL (900)
SOAP HOLDER (1100MM ABOVE FFL)	—	DBL TOWEL RAIL (750)
TOWEL RING (1100MM ABOVE FFL)	☉	DBL TOWEL RAIL (900)
GLASS SHELF (1100MM ABOVE FFL)	—	ALL TOWEL RAILS (1100MM ABOVE FFL)

BATHROOM ACCESSORIES NOTES:

- ONLY APPLICABLE WHEN INCLUDED IN THE CONTRACT
- ALL SYMBOLS ARE GENERIC ONLY
- ALL HEIGHTS ARE NOMINAL AND SUBJECT TO TILE SELECTION/LAYOUT
- HORIZONTAL POSITION OF ACCESSORIES WILL BE AT THE DISCRETION OF METRICON

DESIGN: **VAUCLUSE 29**
CEILING: **24, L**

INTERNAL ELEVATIONS

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LOT 11 NO.16 GHERA ROAD,
CADDENS

JOB NO: **655203** DATE: **11.08.13**

F.C.DATE: MST VER: **P 20 FEB 2013**

PERMIT No:

DRAWN: **CADDRAFT** CHKED: **BZ** SHEET: **9** of 10

NOTES:
 * TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
 * INTERNAL DIMENSIONS INDICATED ARE TAKEN FROM PLASTER.
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BATHROOM ACCESSORIES LEGEND

TOILET RING (700MM ABOVE FFL)	☉	SGL TOWEL RAIL (750)
SGL ROBE HOOK (1700MM ABOVE FFL)	•	SGL TOWEL RAIL (900)
SOAP HOLDER (1100MM ABOVE FFL)	—	DBL TOWEL RAIL (750)
TOWEL RING (1100MM ABOVE FFL)	☉	DBL TOWEL RAIL (900)
GLASS SHELF (1100MM ABOVE FFL)	— · — · —	ALL TOWEL RAILS (1100MM ABOVE FFL)

BATHROOM ACCESSORIES NOTES:

- ONLY APPLICABLE WHEN INCLUDED IN THE CONTRACT
- ALL SYMBOLS ARE GENERIC ONLY
- ALL HEIGHTS ARE NOMINAL AND SUBJECT TO TILE SELECTION/LAYOUT
- HORIZONTAL POSITION OF ACCESSORIES WILL BE AT THE DISCRETION OF METRICON

DESIGN: **VAUCLUSE 29**
 CEILING: **24, L**

INTERNAL ELEVATIONS (VX9VAU29TRAD1)

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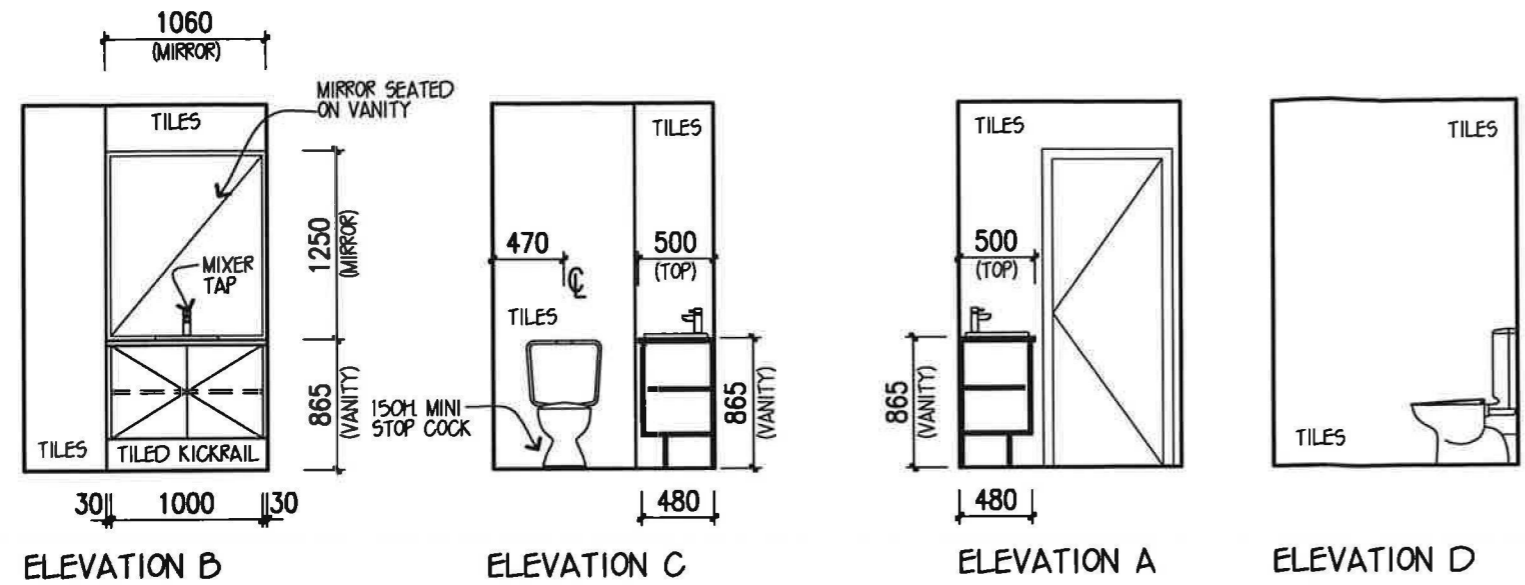
METRO
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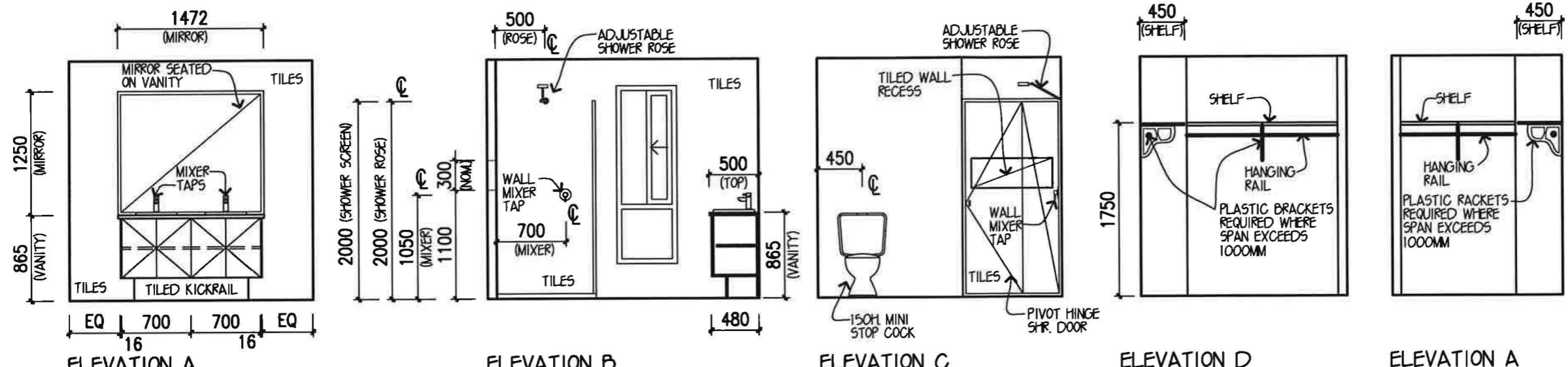
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LOT 11 NO.16 GHERA ROAD, CADDENS

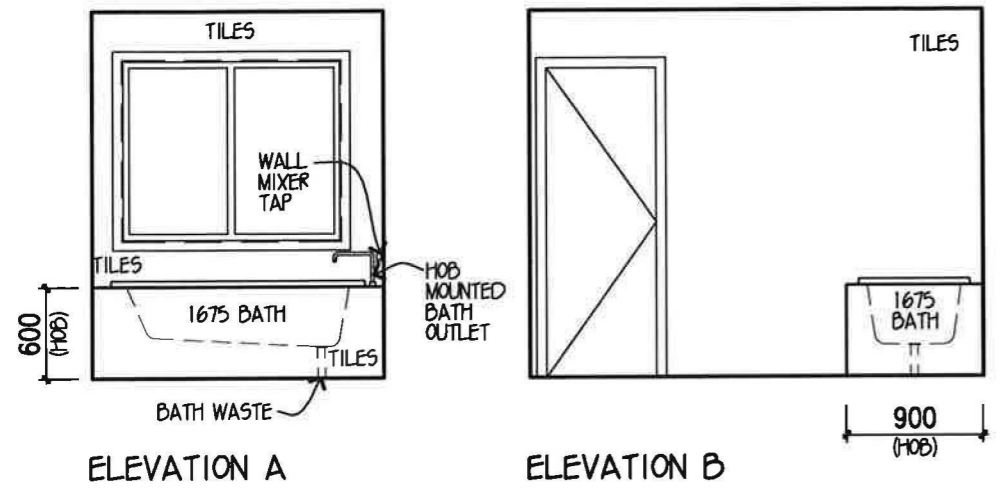
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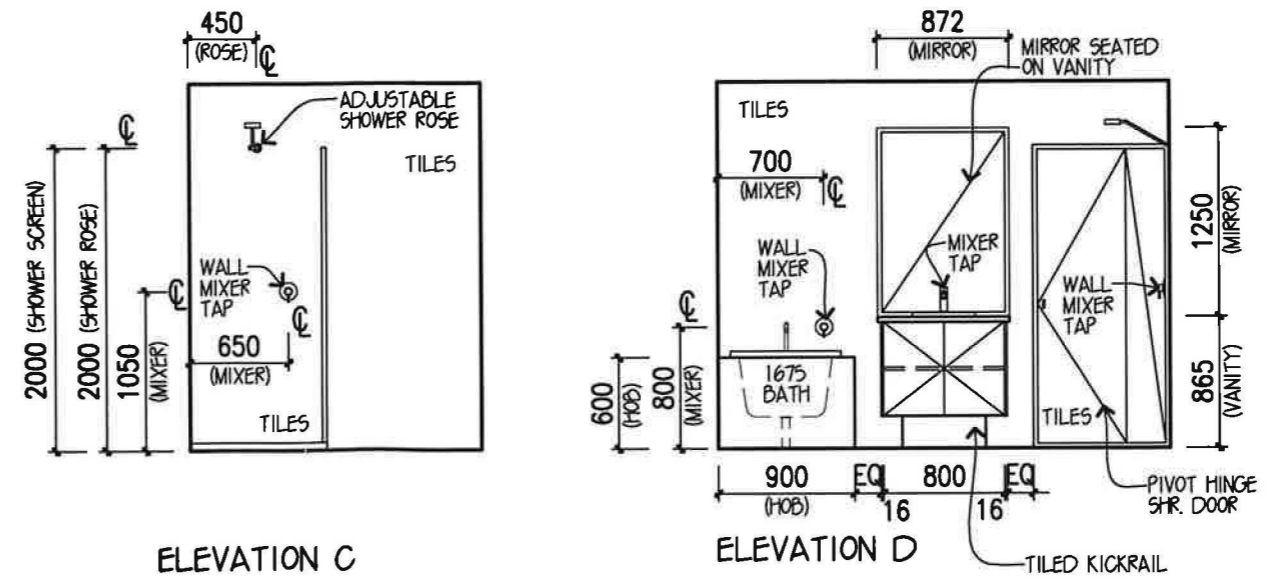
ELEVATION B POWDER
 PROVIDE FULL HEIGHT WALL TILING TO POWDER



ELEVATION A ENSUITE
 PROVIDE 20MM COMPOSITE STONE TO ENSUITE VANITY BENCHTOP
ELEVATION B
 PROVIDE FULL HEIGHT WALL TILING TO ENSUITE



ELEVATION A BATH
 PROVIDE FULL HEIGHT WALL TILING TO BATHROOM & WC
INTERNALS 1:50



ELEVATION C
ELEVATION D