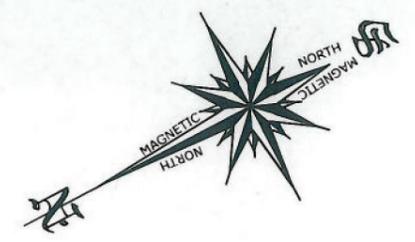
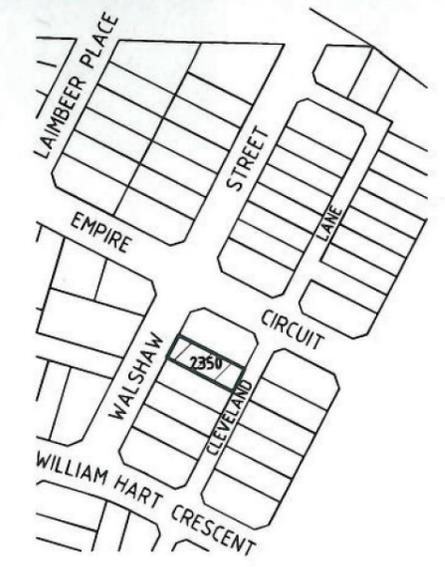
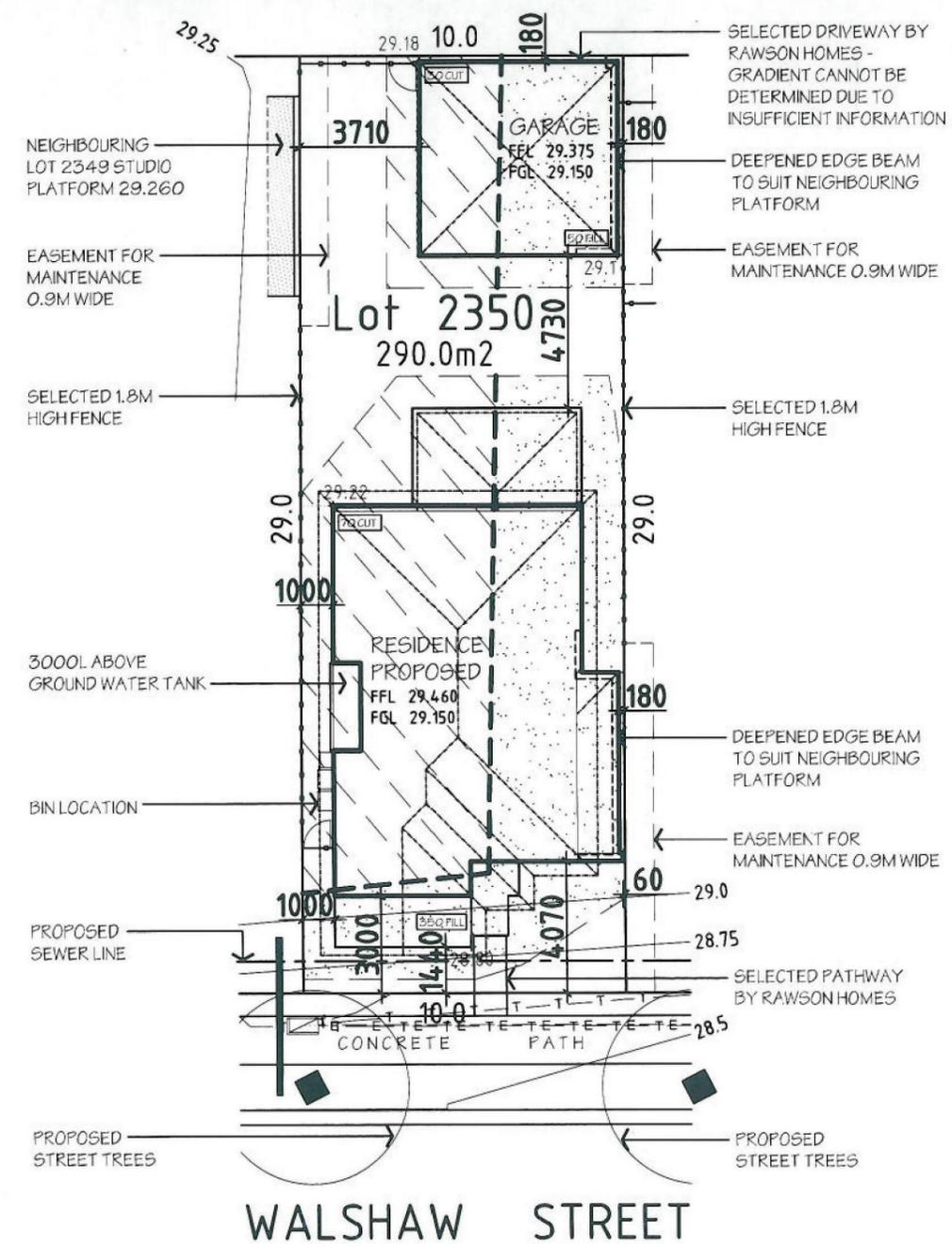


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Thorton Design Review Panel
LANDCOM
 Reviewed *ASCH* Date *9/4/14*



CLEVELAND LANE



LOCATION PLAN

LEGEND

DT	- DENOTES DEAD TREE	PP	- POWER POLE
EB	- ELECTRICAL BOX	SMH	- SEWER MAN HOLE
EM	- ELECTRICAL METER	SIO	- SEWER INSPECTION OPENING
G	- GAS METER	SV	- SEWER VENT PIPE STOP VALVE
H	- HYDRANT	S	- DENOTES TREE SET UP
R	- HYDRANT RECYCLED	SWP	- DENOTES STORMWATER PIT
SO	- DENOTES SORB OUTLET	T	- DENOTES TREE
LP	- LIGHT POLE	TP	- TELESTRAP PIT
LH	- LAMP POLE	WT	- WATER TAP
VH	- MAN HOLE	WM	- WATER METER



LOT 2350	
SITE DATA	
SITE AREA:	290.00 m ²
PRIVATE OPEN SPACE RATIO:	(34.2 %)
PRIVATE OPEN SPACE AREA:	99.32m ²
LANDSCAPE AREA:	
SITE AREA:	290.00m ²
TOTAL HARDSTAND AREAS: (INC. Driveway & Path.)	165.03m ²
REMAINING SOFT AREA:	124.97m ²
FLOOR AREAS	
GROUND FLOOR:	100.41 m ²
FIRST FLOOR:	92.34 m ²
DETACHED GARAGE:	36.60 m ²
PORCH:	3.00 m ²
PORTICO:	6.58 m ²
ALFRESCO:	15.68 m ²
BALCONY:	7.27 m ²
TOTAL FLOOR AREA:	261.88 m ²

NOTES:
 PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
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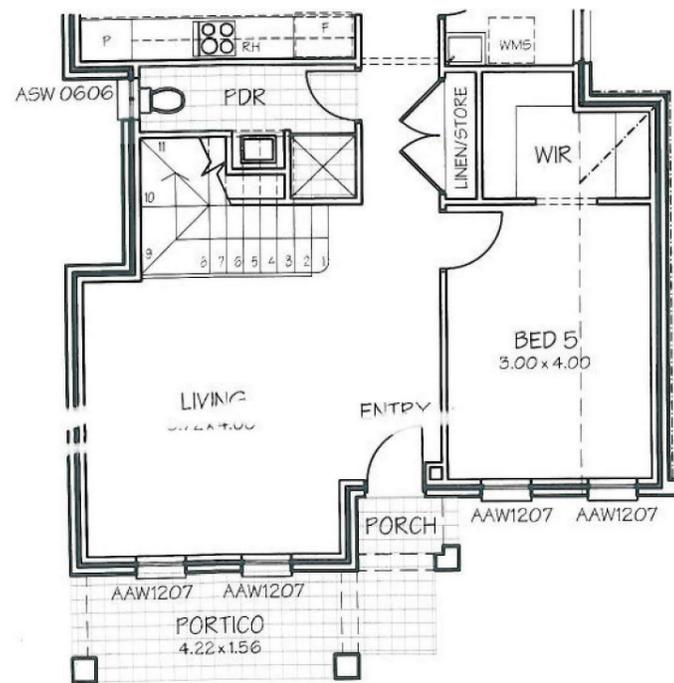
RAWSON HOMES
 1 HOMEBUSH BAY DRIVE
 BUILDING F, LEVEL 2, SUITE 1
 RHODES NSW 2138
 TELEPHONE: 02 8765 5500
 FAX : 02 8765 8099
 BUILDER'S LICENCE No. 33493C

CLIENT:
RAWSON HOMES
 SITE ADDRESS:
**LOT 2350
 WALSHAW STREET
 PENRITH (THORNTON ESTATE)**

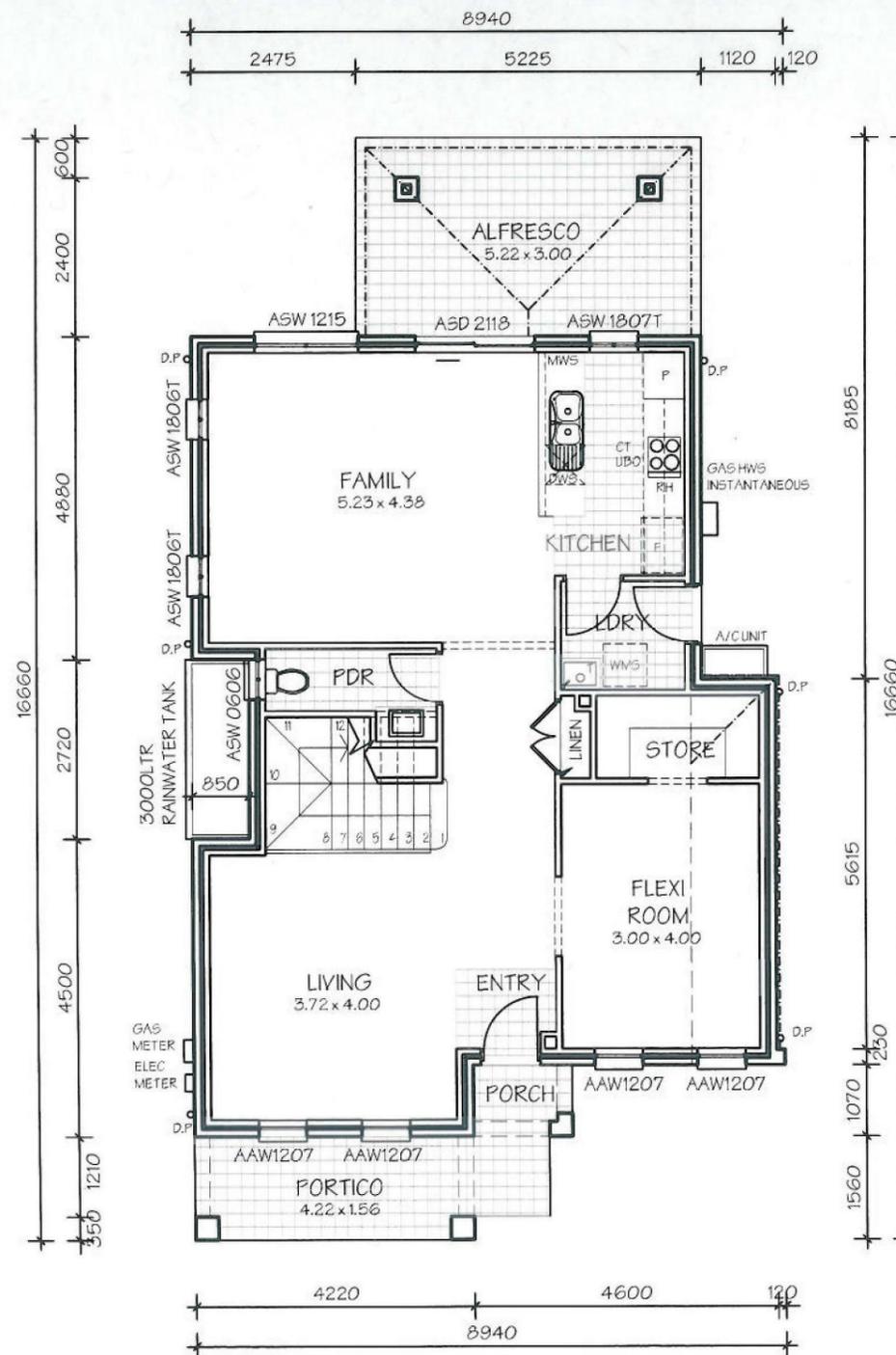
HOUSETYPE:
 MODEL: **BENHAM 24 LH MODIFIED**
 FACADE: **THORNTON CLASSIC**
 TYPE:
 SPECIFICATION:
 DRAWING TITLE:
SITE PLAN

DRAWN BY: SJB	DATE DRAWN: FEB.'14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:200	
JOB No:	DRWG No.:	ISSUE:	
	02	B	

LANDCOM Thorton Design Review Panel
Reviewed *ASH* Date *4/4/14*



BED 5 ALTERNATIVE



GROUND FLOOR PLAN

AREA SCHEDULE	
GROUND FLOOR	100.41 m ²
FIRST FLOOR	92.34 m ²
DETACHED GARAGE	36.60 m ²
PORCH	3.00 m ²
PORTICO	6.58 m ²
ALFRESCO	15.68 m ²
BALCONY	7.27 m ²
TOTAL	261.88 m ²

NOTES:

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

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- * ALL DIMENSIONS ARE IN MILLIMETRES
- * DO NOT SCALE - USE WRITTEN DIMENSIONS

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BUILDING F, LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C



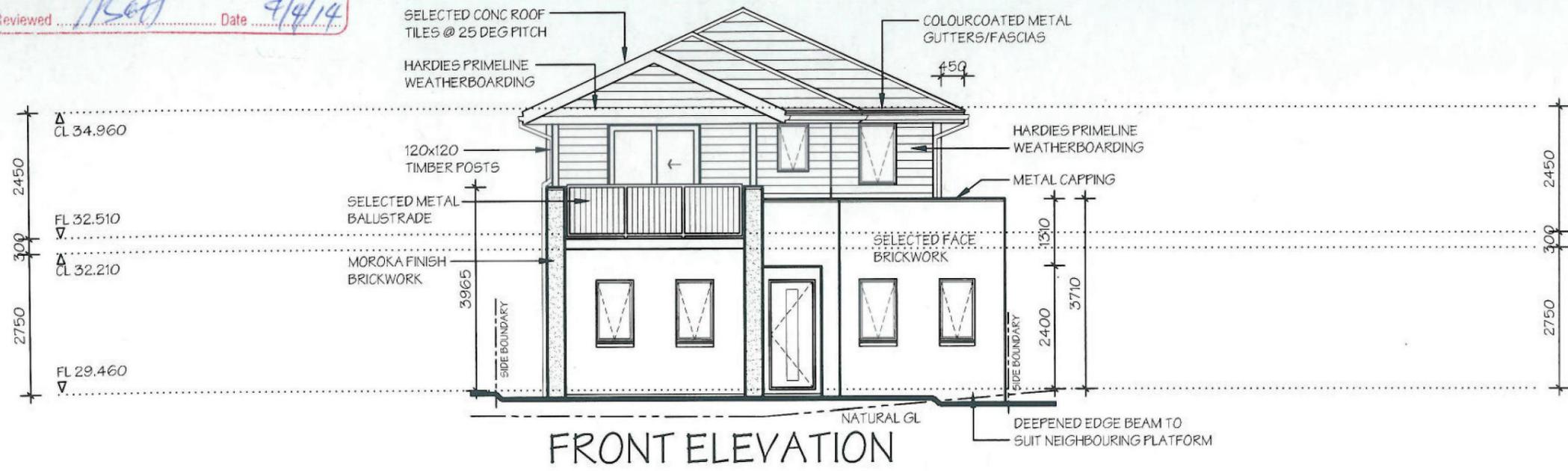
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RAWSON HOMES
SITE ADDRESS:
**LOT 2350
WALSHAW STREET
PENRITH (THORNTON ESTATE)**

HOUSETYPE:
MODEL: **BENHAM 24 LH MODIFIED**
FACADE: **THORNTON CLASSIC**
TYPE:
SPECIFICATION:
DRAWING TITLE:
GROUND FLOOR PLAN

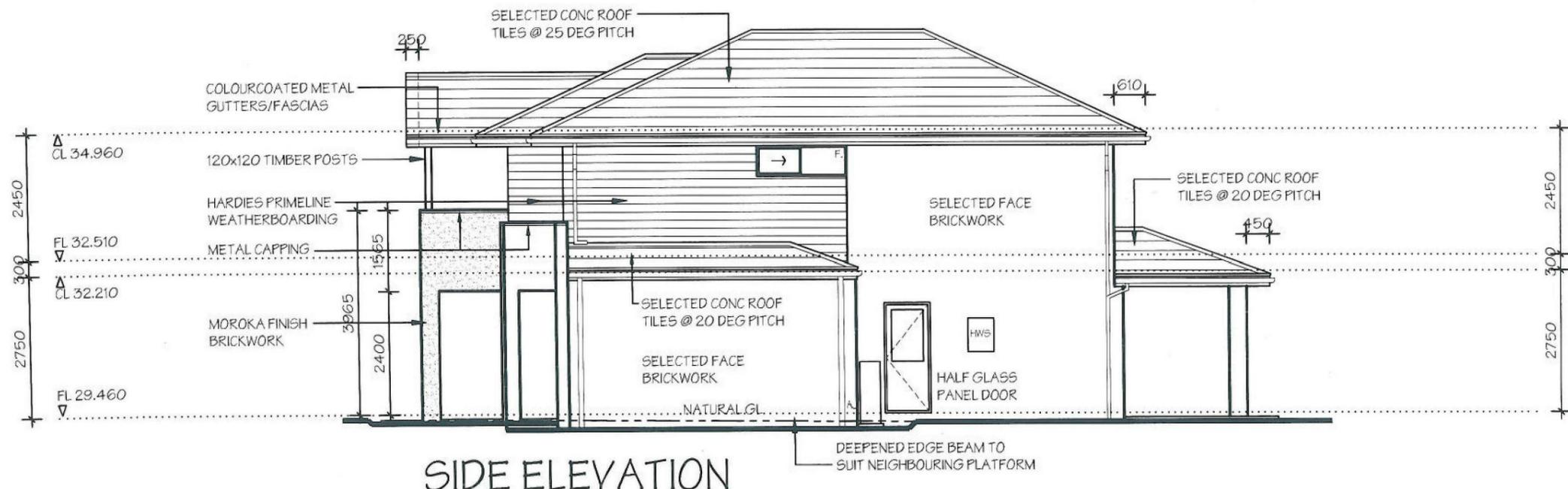
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JOB No:	DRWG No.:	ISSUE:	
	03	B	

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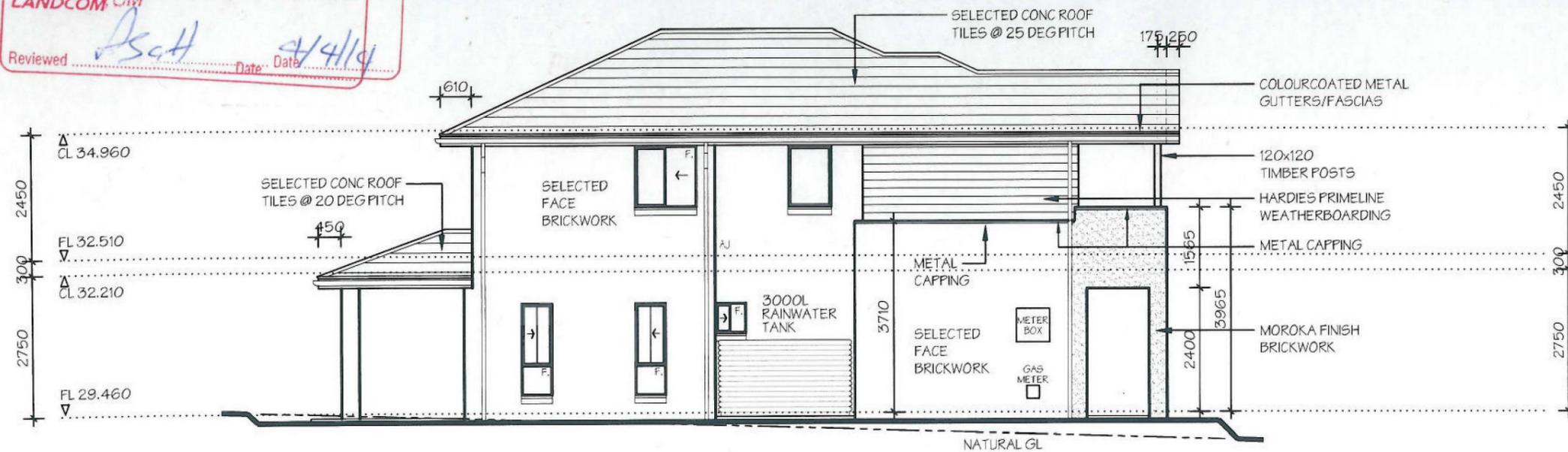
FRONT ELEVATION



SIDE ELEVATION

NOTES: PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS * ALL DIMENSIONS ARE TO STRUCTURAL FRAMES * ALL DIMENSIONS ARE IN MILLIMETRES * DO NOT SCALE - USE WRITTEN DIMENSIONS	RAWSON HOMES 1 HOMEBUSH BAY DRIVE BUILDING F, LEVEL 2, SUITE 1 RHODES NSW 2138 TELEPHONE: 02 8765 5500 FAX : 02 8765 8099 BUILDER'S LICENCE No. 33493C	 CLIENT: RAWSON HOMES SITE ADDRESS: LOT 2350 WALSHAW STREET PENRITH (THORNTON ESTATE)	HOUSETYPE: BENHAM 24 LH MODIFIED FACADE: THORNTON CLASSIC TYPE: SPECIFICATION: ELEVATIONS 1	DRAWN BY: SJB	DATE DRAWN: FEB:14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
				COUNCIL AREA: PENRITH		SCALE: 1:100	
				JOB No:	DRWG No.: 05	ISSUE: B	

Thornton Design Review Panel
LANDCOM
Reviewed: *Asch* Date: *2/4/14*



SIDE ELEVATION



REAR ELEVATION

NOTES:
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 RHODES NSW 2138
 TELEPHONE: 02 8765 5500
 FAX : 02 8765 8099
 BUILDER'S LICENCE No. 33493C

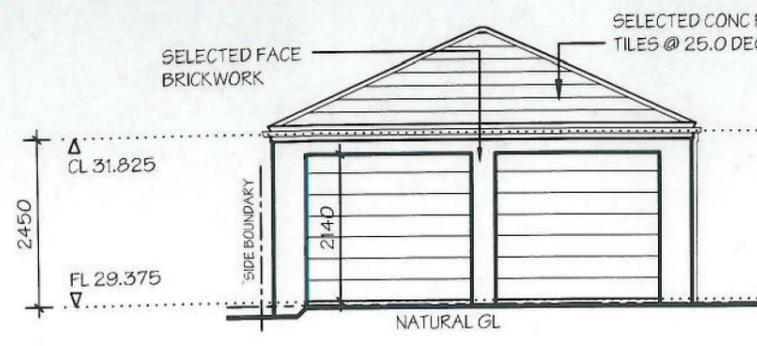
CLIENT:
RAWSON HOMES
 SITE ADDRESS:
 LOT 2350
 WALSHAW STREET
 PENRITH (THORNTON ESTATE)

HOUSETYPE:
 MODEL: BENHAM 24 LH MODIFIED
 FACADE: THORNTON CLASSIC
 TYPE:
 SPECIFICATION:
 DRAWING TITLE:
ELEVATIONS 2

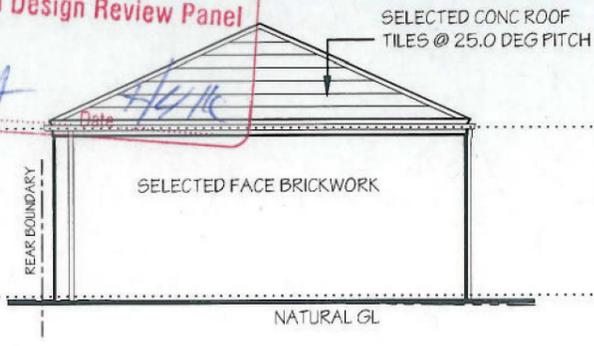
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JOB No:	DRWG No.: 06	ISSUE: B	

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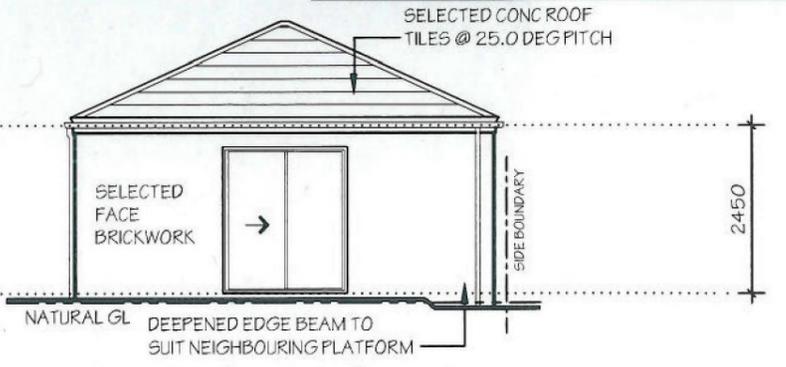
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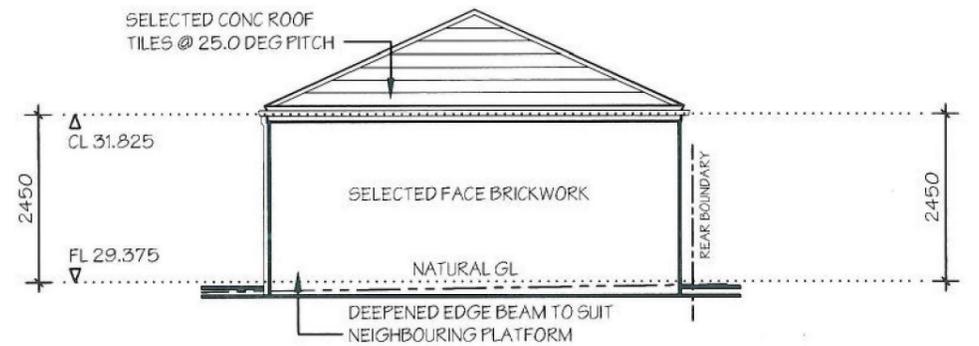
FRONT GARAGE - A



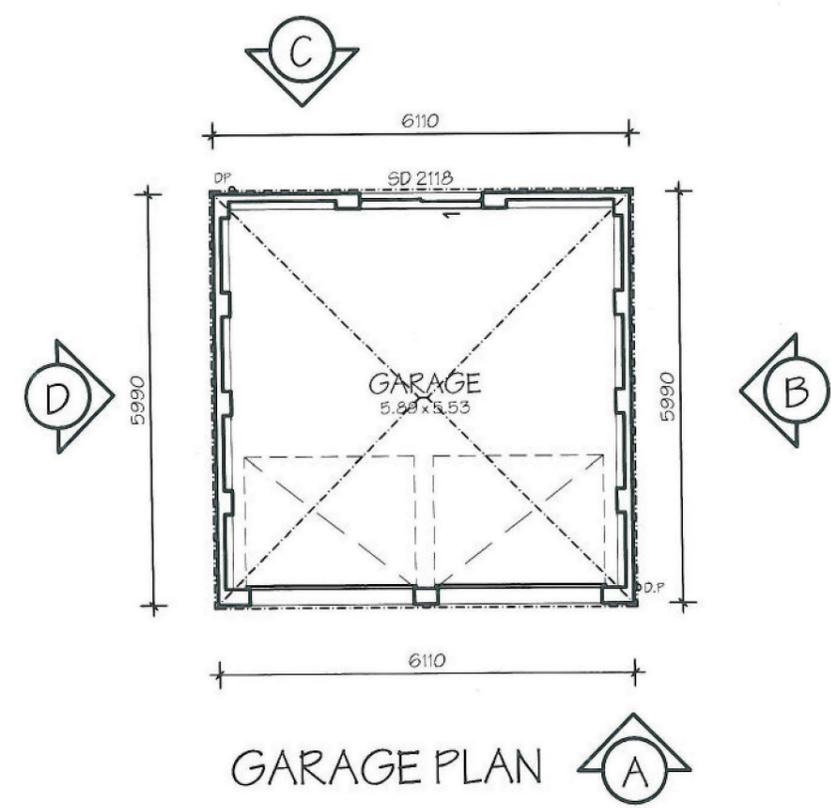
SIDE GARAGE - B



REAR GARAGE - C



SIDE GARAGE - D



GARAGE PLAN

NOTES:
 PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
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 BUILDER'S LICENCE No. 33493C

CLIENT:
RAWSON HOMES
 SITE ADDRESS:
 LOT 2350
 WALSHAW STREET
 PENRITH (THORNTON ESTATE)

HOUSETYPE:
 MODEL: BENHAM 24 LH MODIFIED
 FACADE: THORNTON CLASSIC
 TYPE:
 SPECIFICATION:
 DRAWING TITLE:
GARAGE DRAWINGS

DRAWN BY: SJB	DATE DRAWN: FEB.'14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:100	
JOB No:	DRWG No.: 07	ISSUE: B	

CLEVELAND LANE

6 x Lmv
Rear entry path
 Concrete pavers 'Adbri Stradapave', 300x300x50mm in 'Charcoal' colour, laid in stackbond pattern over 25mm compacted wet mortar bed of sand and cement

1 x Lix
 8 x Ll
Fence and gate type 4b
 Bins
Fence not required where the building meets the zero lot

DRIVEWAY
 10.0

8 x Lmv
VEHICLE CROSS-OVER
 Cross-over material to extend from the kerb to the garage. Paving laid over 25mm compacted wet mortar bed of sand and cement, on top of re-inforced concrete subgrade

Header course
 Concrete pavers 'Adbri Stradapave', 300x300x50mm in 'Charcoal' colour, laid in stackbond pattern. A mortar screed is to be applied to all exposed edges

In-fill pavement
 Concrete pavers 'Adbri Havenbrick', 200x100x50mm in 'Brushwood' colour, laid in herringbone pattern

EASEMENT

EASEMENT

TURF

Clothesline

NOTE
 All Landscaped area to have a minimum 1:100 fall away from dwellings for possible overland water drainage

Lawn selected by builder
Fence type 4a

ALFRESCO

29.0

29.0

FAMILY

KITCHEN

Stepping stones in pebbles

Fence type 4a

Sir Walter Buffalo lawn, or similar as selected by builder

Fence not required where the building meets the zero lot

R/W TANK

PDR

LDRY

STORE

FLEXI ROOM

Stepping stones in pebbles
Gate and fence type 4b (painted)

8 x Vh

Timber edging permitted between the lots, where required

8 x Dg

1 x Cbn

12 x Lwt

4 x Cpl

Fence Type 5

GATE

LIVING

ENTRY

P'RCH

PORTICO

TURF

16 x Lwt
 6 x Cpl
 Masonry garden edge to the street. **Refer to Fence Detail Type 5**

Future public footpath to street by UrbanGrowth contractor

Pedestrian entry path to extend to public footpath. **Refer to Fence Detail Type 5**

Letterbox to Front fence Type 5 detail

Future turf verge by UrbanGrowth contractor

WALSHAW STREET



REVISION A ISSUE FOR CLIENT REVIEW DATE 26-02-14		ecodeSIGN outdoor living environments PO Box 3134, Carlingford NSW 2118 Ph: (02) 9871 7701 Fax: (02) 9873 2583 Email: info@ecodesign.com.au Web: www.ecodesign.com.au		LOT 2350 WALSHAW STREET, PENRITH		NEW RESIDENCE LANDSCAPE PLAN		
				RAWSON HOMES		1:150 @ A3 DA L-01		
						RS BT 26-02-14 A		

Lot 2350 Walshaw

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Cpl	Camellia sasanqua 'Paradise Pearl'	Camellia	10	300mm	2m
Cbn	Catalpa bignonioides 'Nana'	Designer Catalpa	1	75L	5m
Lwt	Liriope muscari 'Monroe's White'	Liriope (white flowering)	28	200mm	450mm
Dg	Diets grandiflora	Wild Iris	8	200mm	1m
Vh	Viola hederacea	Native Violet	8	150mm	0.1m

CLEVELAND LANE - Supply + installation by BUILDER

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Lix	Lagerstroemia 'Sioux'	Crepe Myrtle	1	75L	4m
Lmv	Liriope muscari 'Variegatum'	Variegated Liriope	14	200mm	0.3m
LI	Lomandra longifolia 'Katrinus Deluxe'	Mat Rush	8	200mm	0.75m

CLEVELAND LANE CROSS-OVER - Supply + construction by BUILDER

MATERIAL SCHEDULE	Area m ² URBANGROWTH*	Area m ² BUILDER**
HEADER COURSE Concrete pavers 'Adbri Stradapave', 300x300x50mm in 'Charcoal' colour, laid in stackbond pattern	3.58	0.00
IN-FILL PAVEMENT Concrete pavers 'Adbri Havenbrick', 200x100x50mm in 'Brushwood' colour, laid in herringbone pattern	4.23	2.58
Total area	7.81	2.58

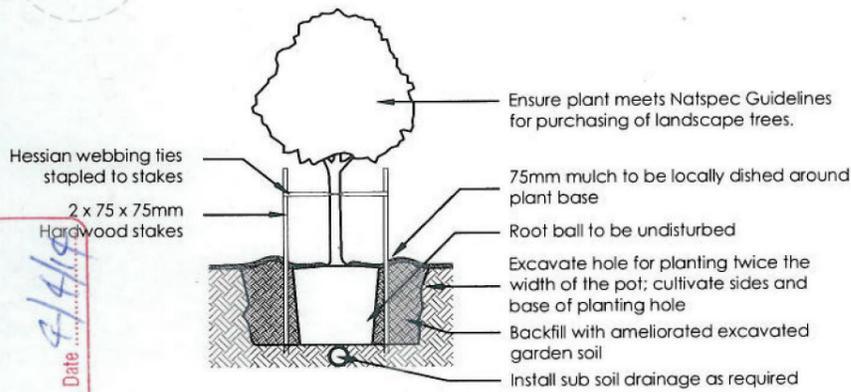
*Area's outside of the allotment boundary. **Area's inside of the allotment boundary

LOT PLANTING SUMMARY

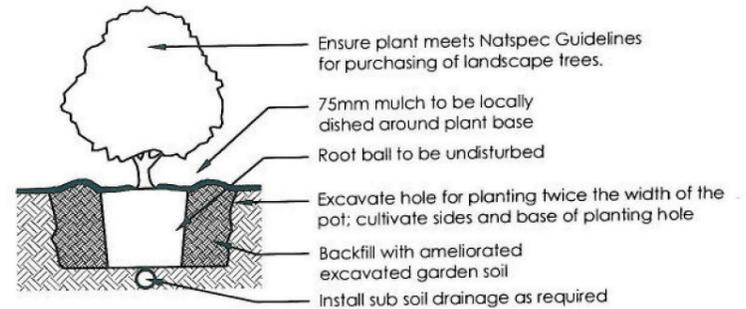
Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
55	10	0	45	1

LEGEND

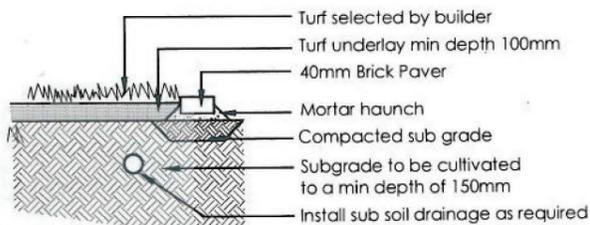
- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels
- Boundary
- Garden edging
- Masonry retaining walls
- Existing contours
- Existing tree to be retained
- Existing tree to be removed



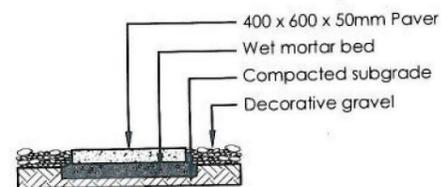
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size



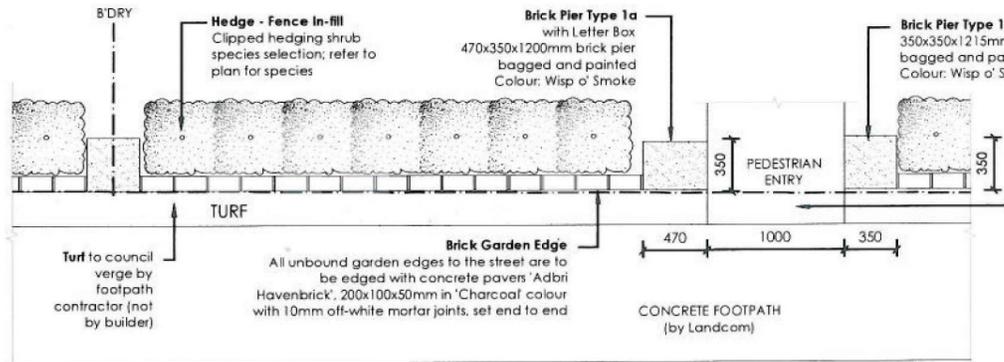
3 Turf Detail
NTS Brick Paver Edge



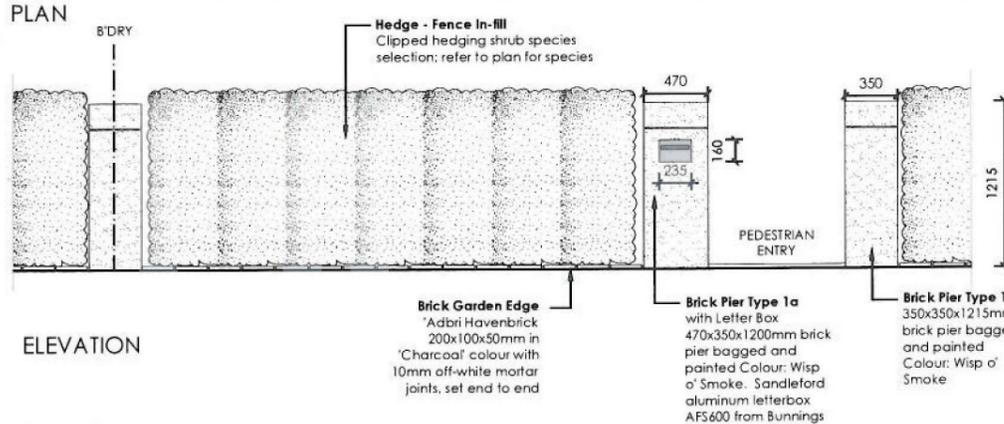
4 Stepping stones in gravel
NTS Low traffic zone

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 Reviewed Date 9/4/14

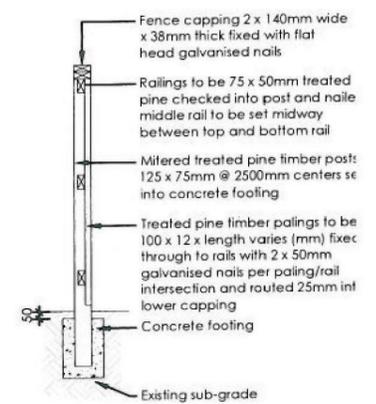
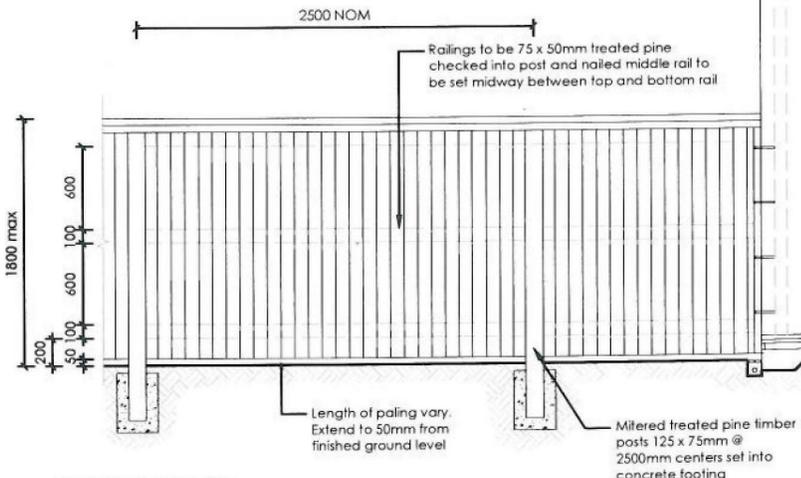
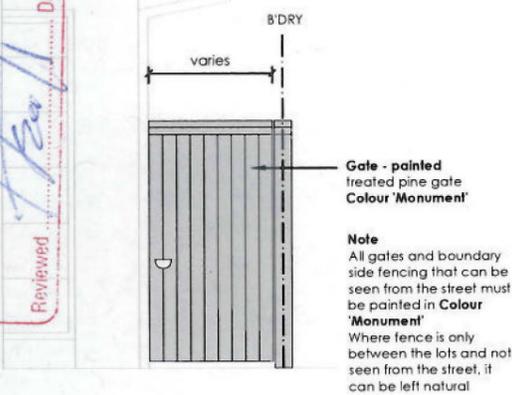
REVISION A ISSUE FOR CLIENT REVIEW DRAWN RS CHECK BT DATE 26-02-14	PO Box 3134, Carrington NSW 2118 Ph: (02) 9871 7701 Fax: (02) 9873 2583 Email: info@ecodeign.com.au Web: www.ecodeign.com.au <small>Member of the ecodeign group of companies</small>	PROJECT LOT 2350 WALSHAW STREET, PENRITH	PROJECT NEW RESIDENCE
1. Do not scale from drawings. 2. Verify all measurements on site. 3. Notify ecodeign of any inconsistencies. 4. Copyright © ecodeign. All rights reserved. 5. Drawing remains the property of ecodeign.	6. All work to comply with relevant Australian Standards of Building Code of Australia. 7. All work to be performed by a suitably qualified tradesperson. 8. For application purposes only - NOT FOR CONSTRUCTION.	CLIENT RAWSON HOMES	DRAWING LANDSCAPE PLAN
		SCALE 1:100 @ A3	DATE 26-02-14
		SHEET NO. DA	SHEET NO. L-02
		DRAWN BY RS	CHECKED BY BT
		DATE 26-02-14	SHEET NO. A



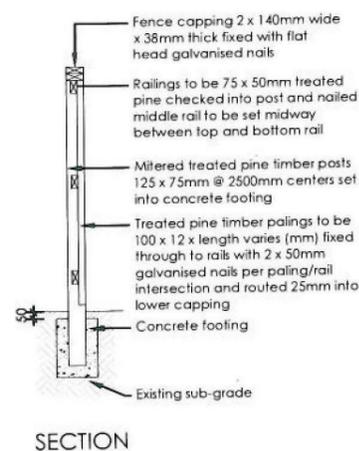
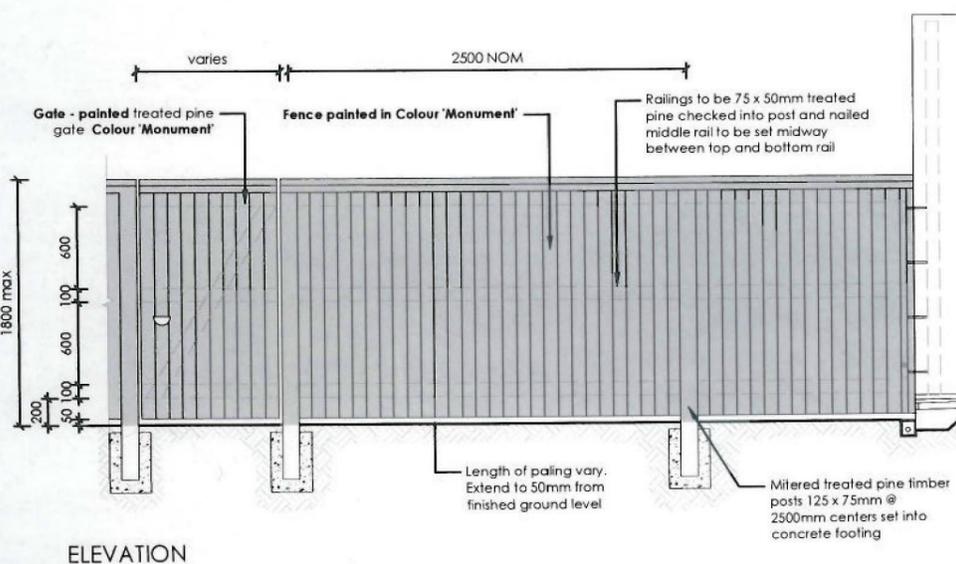
- Pedestrian path**
- Path within the lot is to be coloured concrete (CCS Onyx colour or equivalent)
 - Path between boundary and public footpath is to be plain uncoloured, broom-finished concrete, constructed by the builder
 - Pedestrian entry path is required where there is no driveway within the front setback, i.e. where driveway is via lane-way



5 **FENCE TYPE 5 - Front Fence**
1:50 Typical detail

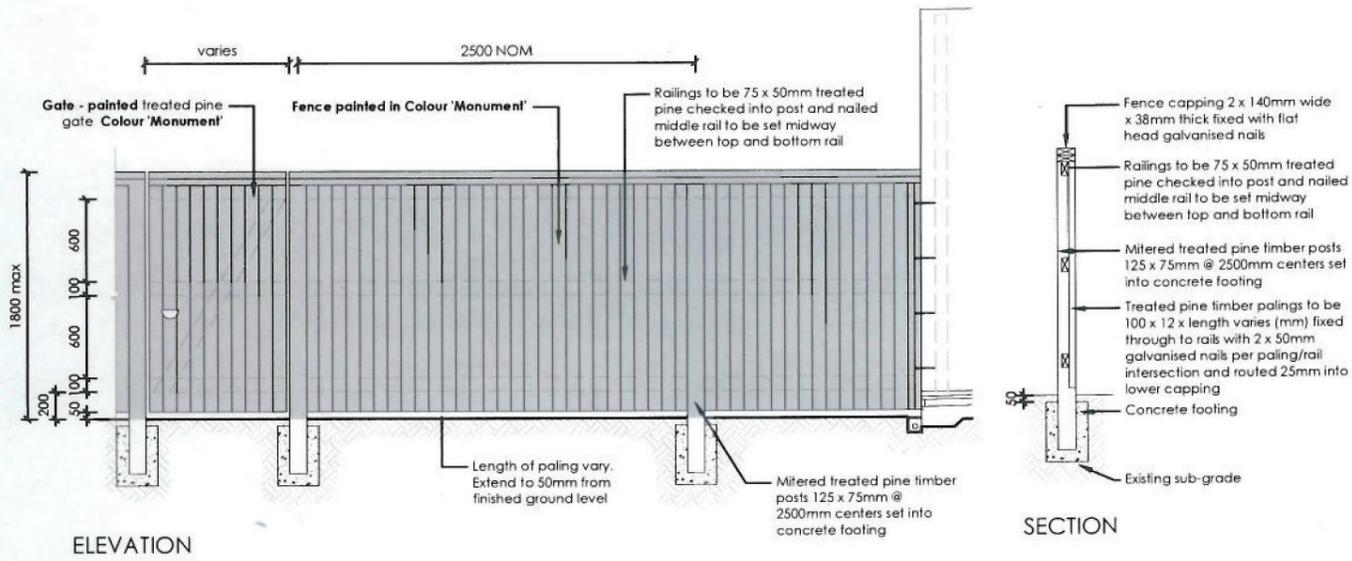


6 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



7 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE	<p>PO Box 3134, Carlingford 1619 2118 Ph (02) 9871 7701 Fax (02) 9873 2583 Email: info@ecodesign.com.au Web: www.ecodesign.com.au</p>	<p>LOT 2350 WALSHAW STREET, PENRITH</p>	<p>NEW RESIDENCE</p>				
A	ISSUE FOR CLIENT REVIEW	RS	BT	26-02-14			<p>LANDSCAPE PLAN</p>	<p>1:100 @ A3</p>		<p>DA</p>	<p>L-03</p>
<p>1. Do not scale from drawings 2. Verify all measurements on site 3. Notify ecodesign of any inconsistencies 4. Copyright © ecodesign. All rights reserved 5. Drawing remains the property of ecodesign</p>						<p>RAWSON HOMES</p>		<p>RS</p>	<p>BT</p>	<p>26-02-14</p>	<p>A</p>



ELEVATION

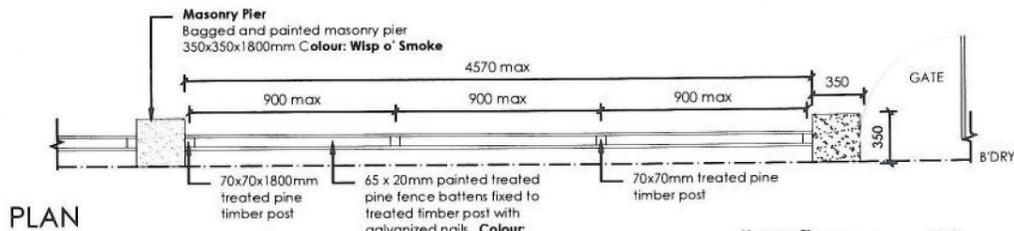
SECTION

FENCE TYPE 4b - Rear Boundary

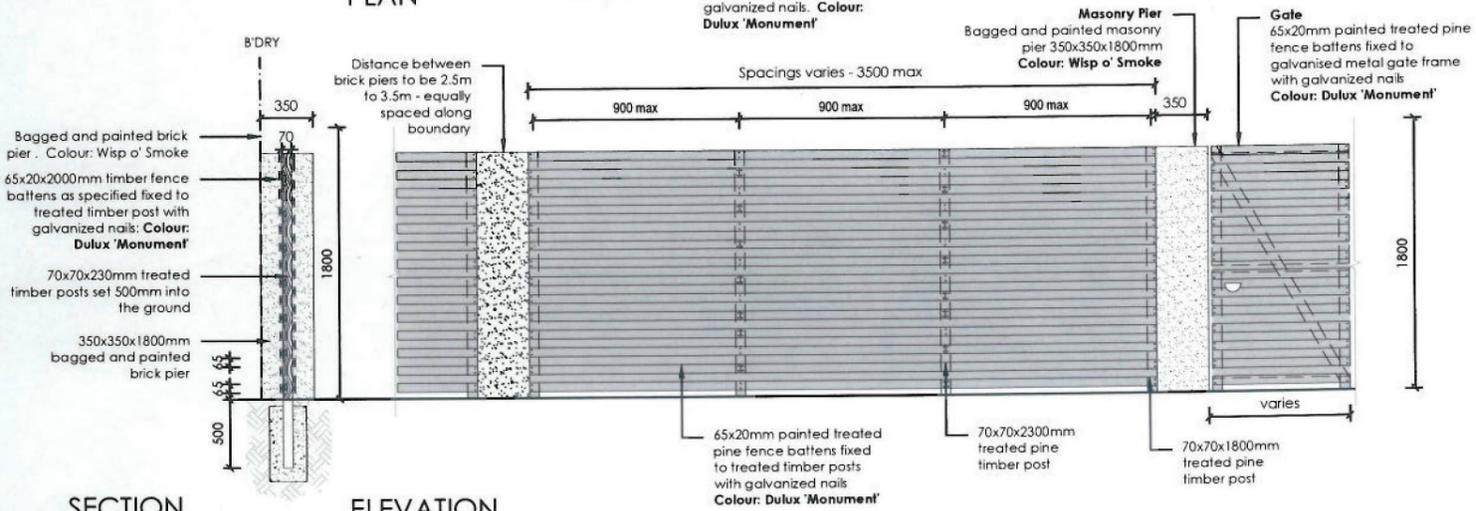
All Laneways (except Barlett Lane)

Typical detail

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 LANDCOM
 Reviewed Date 2/9/14
 [Signature]



PLAN



SECTION

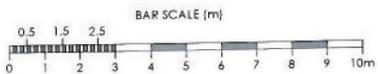
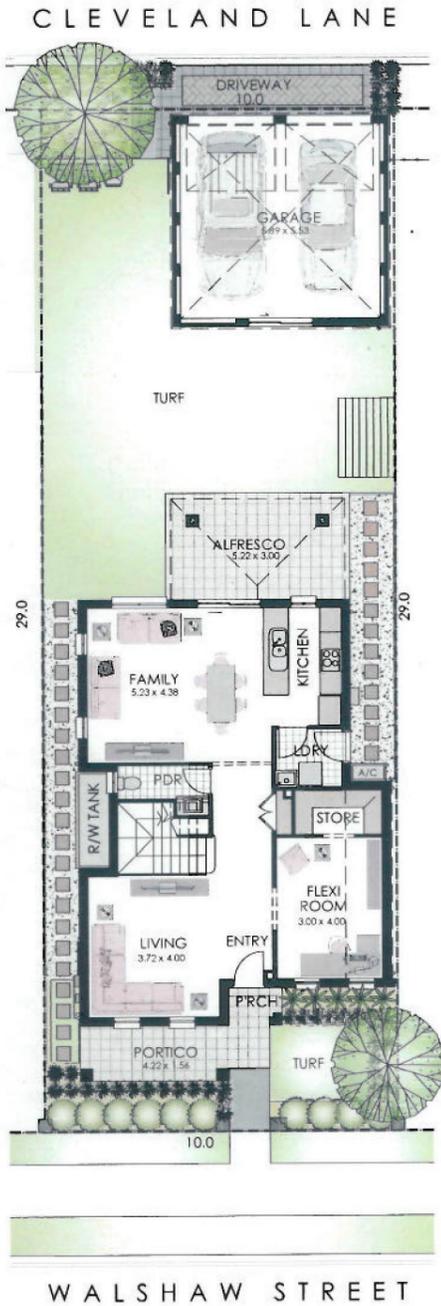
ELEVATION

FENCE TYPE 2a - Secondary Street Fencing

Typical detail

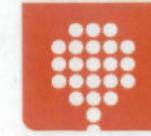
<table border="1"> <tr> <th>REVISION</th> <th>DESCRIPTION</th> <th>DRAWN</th> <th>CHECK</th> <th>DATE</th> </tr> <tr> <td>A</td> <td>ISSUE FOR CLIENT REVIEW</td> <td>RS</td> <td>BT</td> <td>26-02-14</td> </tr> </table>	REVISION	DESCRIPTION	DRAWN	CHECK	DATE	A	ISSUE FOR CLIENT REVIEW	RS	BT	26-02-14	<p>ecodesign outdoor living environments</p> <p>PO Box 3134, Carlingford, NSW 2118 Ph: (02) 9871 7701 Fax: (02) 9873 2583 Email: info@ecodesign.com.au Web: www.ecodesign.com.au Member of the Australian Institute of Landscape Designers & Planners</p>	<p>LOT 2350 WALSHAW STREET, PENRITH</p> <p>RAWSON HOMES</p>	<p>NEW RESIDENCE</p> <p>LANDSCAPE PLAN</p> <p>1:100 @ A3 DA L-04</p> <p>RS BT 26-02-14 A</p>
REVISION	DESCRIPTION	DRAWN	CHECK	DATE									
A	ISSUE FOR CLIENT REVIEW	RS	BT	26-02-14									

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 LANDCOM
 Reviewed: *Asat* Date: *4/4/14*



NOTE: Plans dimensions are indicative only; refer to contract drawings for full detail. Measurements provided longest x shortest

A ISSUE FOR CLIENT REVIEW	RS BT 26-02-14		LOT 2350 WALSHAW STREET, PENRITH RAWSON HOMES	NEW RESIDENCE COLOURED PLAN			
				1:200 @ A4	DA	L-05	
				RS	BT	26-02-14	A



**RAWSON
HOMES**

Lot 2350 Walshaw Street Thornton



Main Brick – PGH Alfresco Vino



Roof – Monier - Traditional Barramundi



Moroka & posts – Taubmans Foxtail



Windows & Balustrade – Surfmist



Cladding – Taubmans Abstract



Fascia, gutter and downpipes
Colorbond Monument



Garage Door, meter box & rainwater tank – Loft



Front Door –
Taubmans Abstract