

Lot 2377

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Gfs	Gardenia 'Four Seasons'	Four Seasons Gardenia	9	200mm	1m
Liy	Lagerstroemia 'Yuma'	Pink Flowering Crepe Myrtle	1	75L	4m
Lwt	Liriope muscari 'Monroe's White'	Liriope (white flowering)	12	200mm	450mm
Vo	Viburnum odoratissimum	Sweet Viburnum	7	200mm	2.5m
Vh	Viola hederacea	Native Violet	10	150mm	0.1m

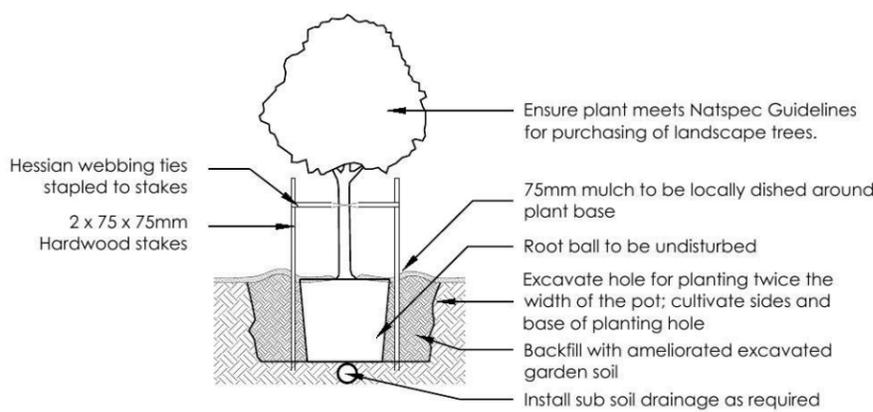
LOT PLANTING SUMMARY

Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
17	7	0	10	1

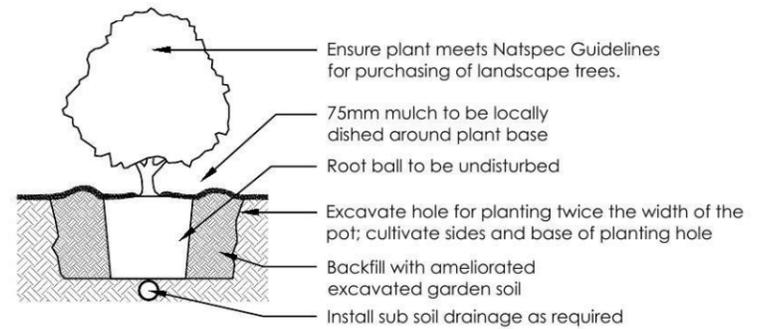
Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)

LEGEND

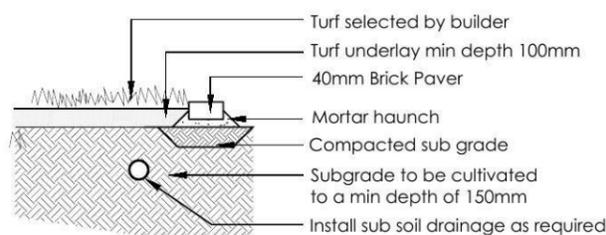
- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels
- Boundary
- Garden edging
- Masonry retaining walls
- Existing contours



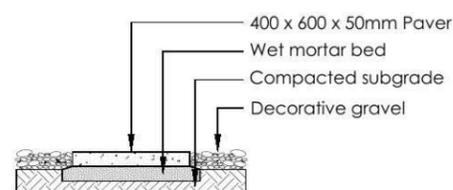
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR + DA DRAWINGS FOR CLIENT REVIEW	RS	BT	30-07-14

ecodeign
outdoor living environments

PO Box 8136, Southam Hts BC, NSW 2153
Ph: (02) 9480 7712 Fax: (02) 9480 7705
Email: info@ecodeign.com.au
Web: www.ecodeign.com.au
Member of the Australian Institute of Landscape Designers and Managers

1. Do not scale from drawings.
2. Verify all measurements on site.
3. Notify ecodeign of any inconsistencies.
4. Copyright © ecodeign. All rights reserved.
5. Drawing remains the property of ecodeign.

6. All work to comply with relevant Australian Standards or Building Code of Australia.
7. All work to be performed by a suitably qualified tradesperson.
8. For application purposes only - NOT FOR CONSTRUCTION.

PROJECT: NEW RESIDENCE

ADDRESS: LOT 2377 WILLIAM HART CRESCENT, PENRITH

CLIENT: WISDOM HOMES

PROJECT: NEW RESIDENCE

DRAWING: LANDSCAPE PLAN

SCALE: 1:100 @ A3

DATE: 30-07-14

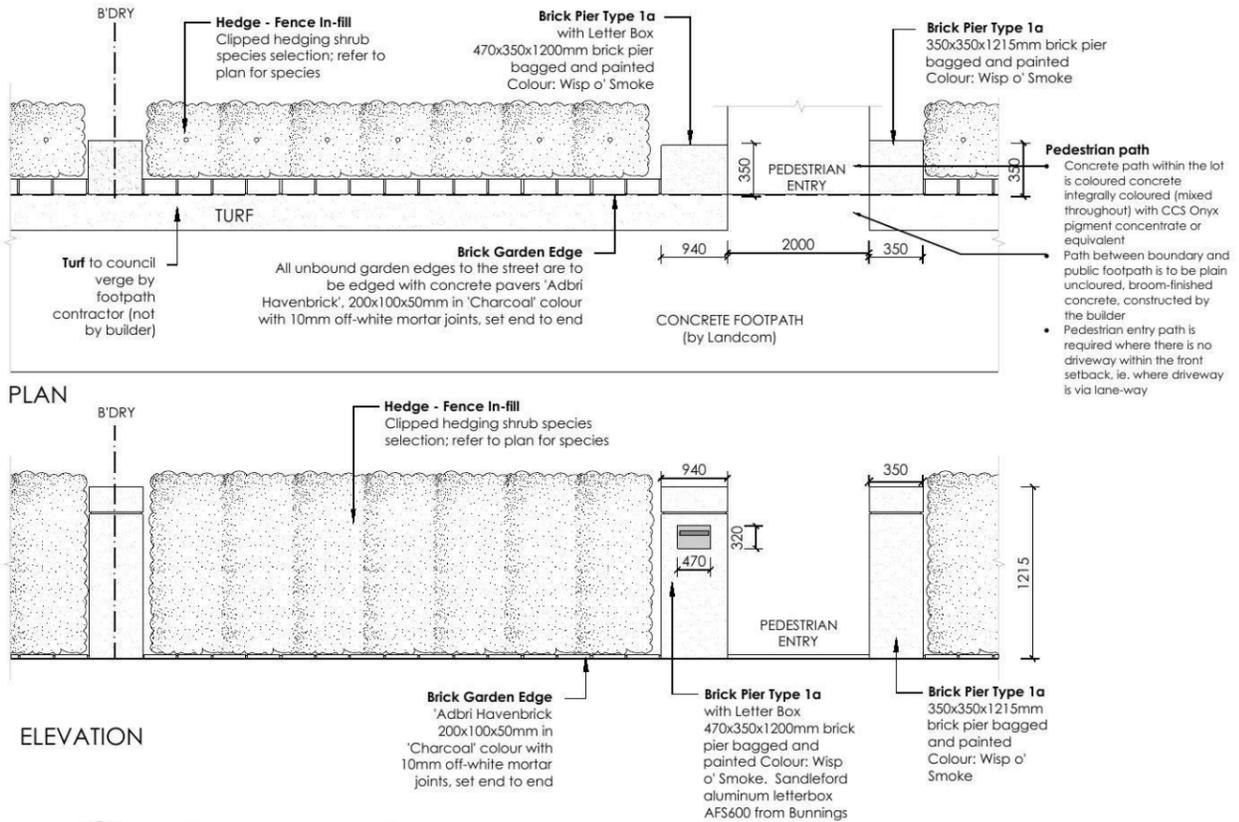
SHEET: 02

DRAWN: RS

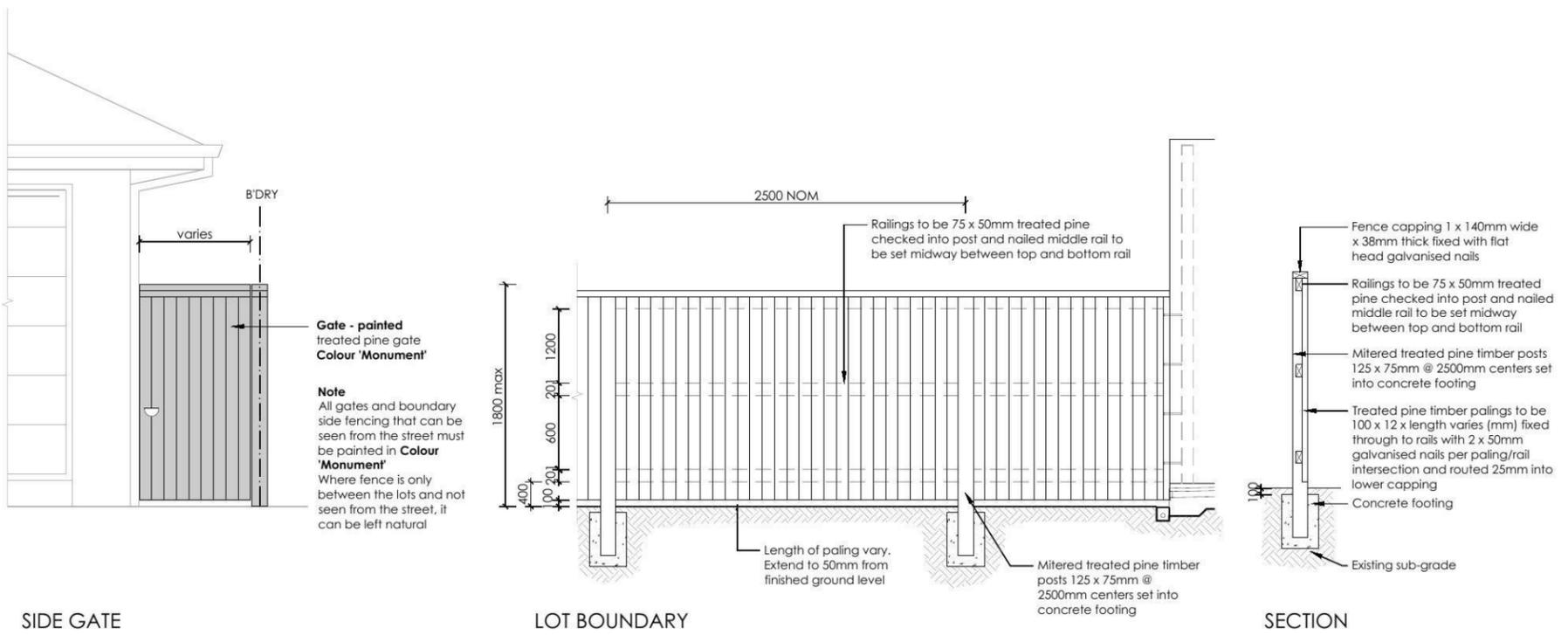
CHECK: BT

REVISION: A

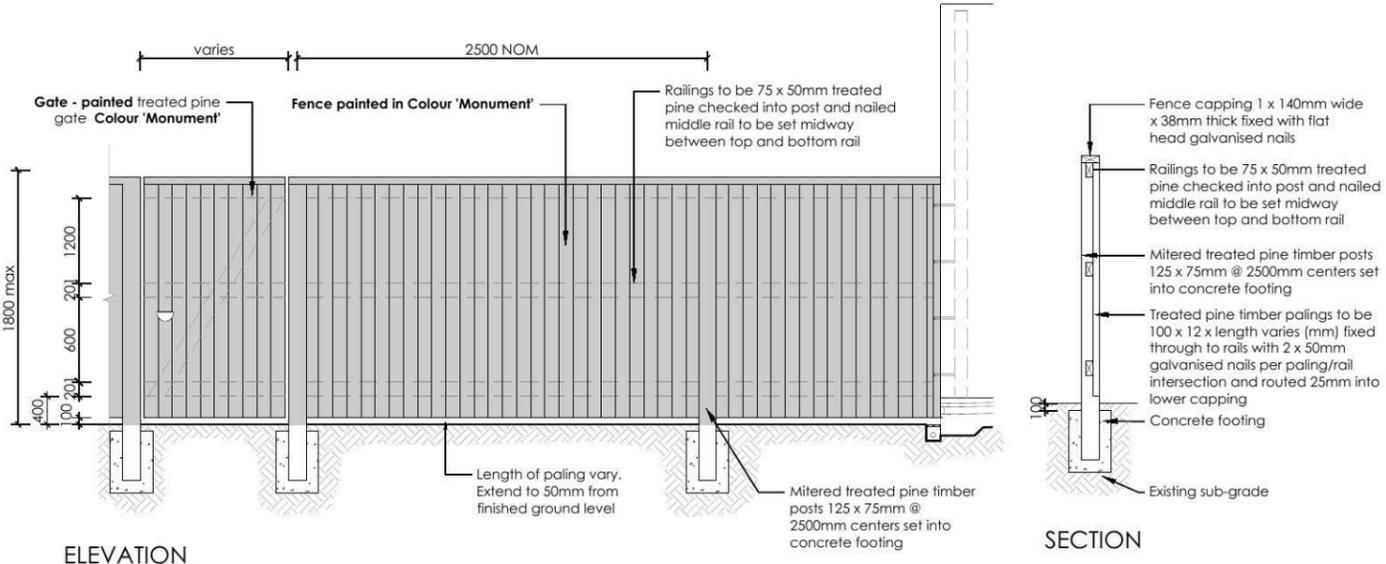




5 FENCE TYPE 5 - Front Fence
1:50 Typical detail



7 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail



8 FENCE TYPE 4b - Rear Boundary
1:50 All Laneways (except Barlett Lane)
Typical detail

REVISION A ISSUE COLOUR + DA DRAWINGS FOR CLIENT REVIEW DRAWN: RS CHECK: BT DATE: 30-07-14		PO Box 8136, Baulkham Hills BC, NSW 2153 Ph: (02) 9450 7712 Fax: (02) 9450 7705 Email: info@ecodesign.com.au Web: www.ecodesign.com.au Member of the Australian Institute of Landscape Designers and Managers		PROJECT NEW RESIDENCE DRAWING LANDSCAPE PLAN SCALE 1:100 @ A3 ISSUE DA SHEET 03		
1. Do not scale from drawings. 2. Verify all measurements on site. 3. Notify ecodesign of any inconsistencies. 4. Copyright © ecodesign. All rights reserved. 5. Drawing remains the property of ecodesign.		6. All work to comply with relevant Australian Standards or Building Code of Australia. 7. All work to be performed by a suitably qualified tradesperson. 8. For application purposes only - NOT FOR CONSTRUCTION		CLIENT WISDOM HOMES		

AREAS SCHEDULE

SITE DETAILS

LOT NUMBER: 2377
SITE AREA: 273.00m²

DWELLING AREAS

GROUND FLOOR LIVING: 82.11m²
FIRST FLOOR LIVING: 102.80m²
GARAGE: 20.71m²
PORCH: 1.98m²
TOTAL FLOOR AREA: 207.60m²

'H' CLASS

(Subject to borehole report)

LOT: 2377

AREA: 273m²

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000 (ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)

PRELIMINARY DEPOSITED PLAN

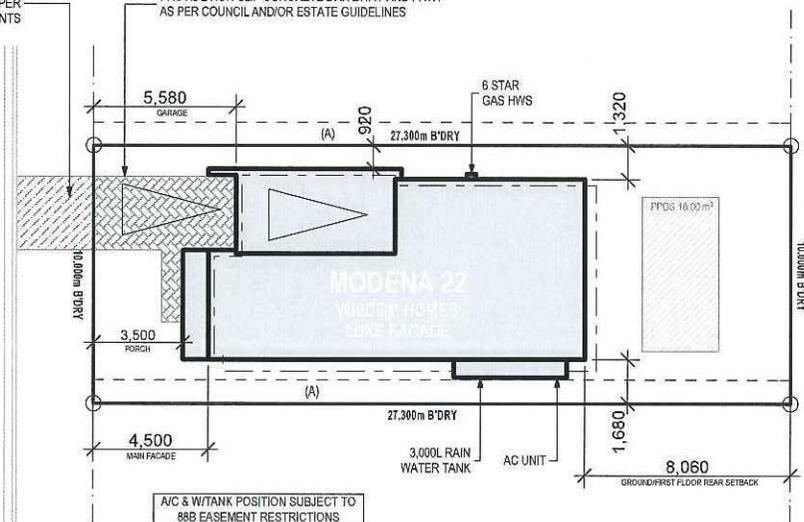
THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY URBANGROWTH NSW. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE ONLY. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL CONDITIONS OF APPROVAL

PROVIDE PLAIN CONCRETE TO CROSSOVER AS PER REQUIREMENTS

PROVIDE NON-SLIP CONCRETE DRIVEWAY AND PATH AS PER COUNCIL AND/OR ESTATE GUIDELINES



WILLIAM HART CRESCENT



SITE PLAN

1:200

NOTES:

REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
FLOOR FINISHES AS SELECTED AS PER TENDER.

BASIX NOTES

WATER

- RAINWATER TANK OF AT LEAST 3,000 LITRES TO BE INSTALLED.
- RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH APPLICABLE REGULATORY AUTHORITIES.
- RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 150.00m² OF ROOF AREA.
- RAINWATER TANK SUPPLY TO BE CONNECT TO ALL TOILETS IN THE DEVELOPMENT.
- KITCHEN TAP FITTING RATING: 4 STAR
- SHOWERHEAD RATING: 3 STAR
- TOILET RATING (DUAL FLUSH): 4 STAR
- BATHROOM TAP FITTING RATING: 6 STAR
- RAINWATER TANK TO BE CONNECTED TO AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

THERMAL COMFORT

EXTERNAL WALLS: BRICK VENEER/TIMBER FRAME
EXTERNAL WALL INSULATION: R2.0
EXTERNAL WALL COLOUR: MEDIUM
ROOFING MATERIAL: COLORBOND ROOF SHEETING
ROOF INSULATION: SARKING
ROOF COLOUR: MEDIUM
CEILING INSULATION: R3.5

ENERGY

- ACTIVE HEATING AND COOLING TO BE INSTALLED IN LIVING AND BEDROOMS, 3 PHASE A/C SYSTEM (EER 2.5-3.0), TO BE DAY/NIGHT ZONED BETWEEN LIVING AREAS AND BEDROOMS, TO BE INSTALLED PRIOR TO FINAL OCCUPATION CERTIFICATE.
- PROVIDE GAS 6 STAR INSTANTANEOUS HWIS.
- PROVIDE GAS COOKTOP TO KITCHEN.
- PROVIDE ELECTRIC OVEN TO KITCHEN.
- ALL REFRIGERATOR SPACES TO BE WELL VENTILATED.
- PROVIDE COMPACT FLUORESCENT ENERGY SAVING LIGHT BULBS TO ALL LIGHT POINTS.
- PROVIDE OUTDOOR CLOTHES LINE BY OWNER.

Wisdom Smart

Theeasystart

Ph: 4647 1200

Fax: 4647 1233

www.wisdomsmart.com.au

PROJECT:

PROPOSED BRICK VENEER DWELLING

CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:

Lot 2377 William Hart Crescent
Thornton Estate, Penrith

⊗ EXHAUST FAN

⊗ SMOKE ALARM AS 3786-1993

LODGEMENT:

D.A/C.C

DP No:

Unreg.

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES, BUILDERS LIC. No 131851C.
NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

JOB No:

143788

DRAWN:

DC

DATE:

24.07.14

LGA:

PENRITH

SITE CLASSIFICATION:

'H' Class

DESCRIPTION:

MODENA 22

FACADE:

LUXE

CODE:

WS-MODED LU LH

SHEET:

1

PROJECT:
PROPOSED BRICK VENEER DWELLING

CLIENT:
Wisdom Homes Pty Ltd

ADDRESS:
Lot 2377 William Hart Crescent
Thornton Estate, Penrith

☒ EXHAUST FAN

☒ SMOKE ALARM AS 3786-1993

LODGEMENT:

DP No:

D.A/C.C

Unreg.

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD TRU WISDOM HOMES, BUILDERS LIC. No 131961C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

JOB No:
143788

DRAWN:
DC

DATE:
24.07.14

LGA:
PENRITH

DESCRIPTION:
MODENA 22

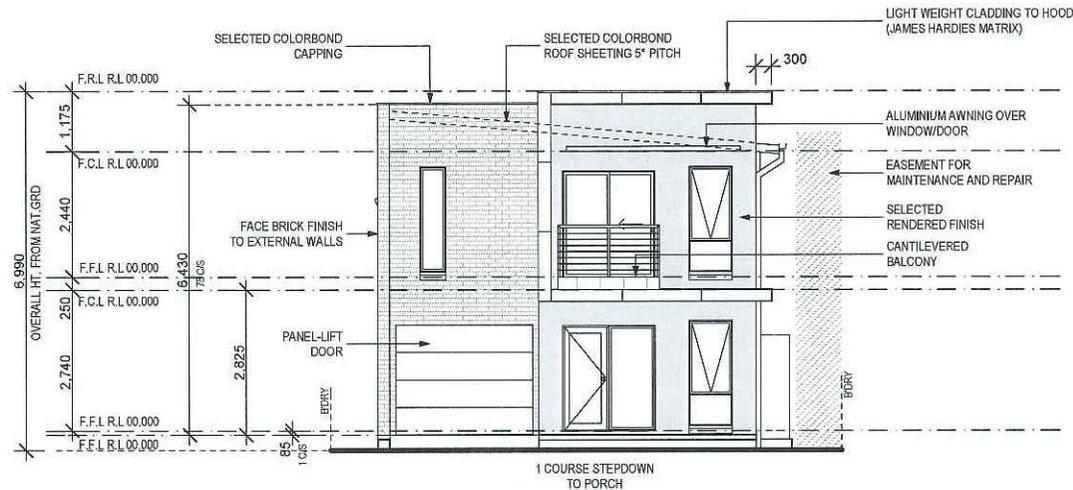
CODE:
WS-MODED LU LH

DATE:
24.07.14

SITE CLASSIFICATION:
'H' Class

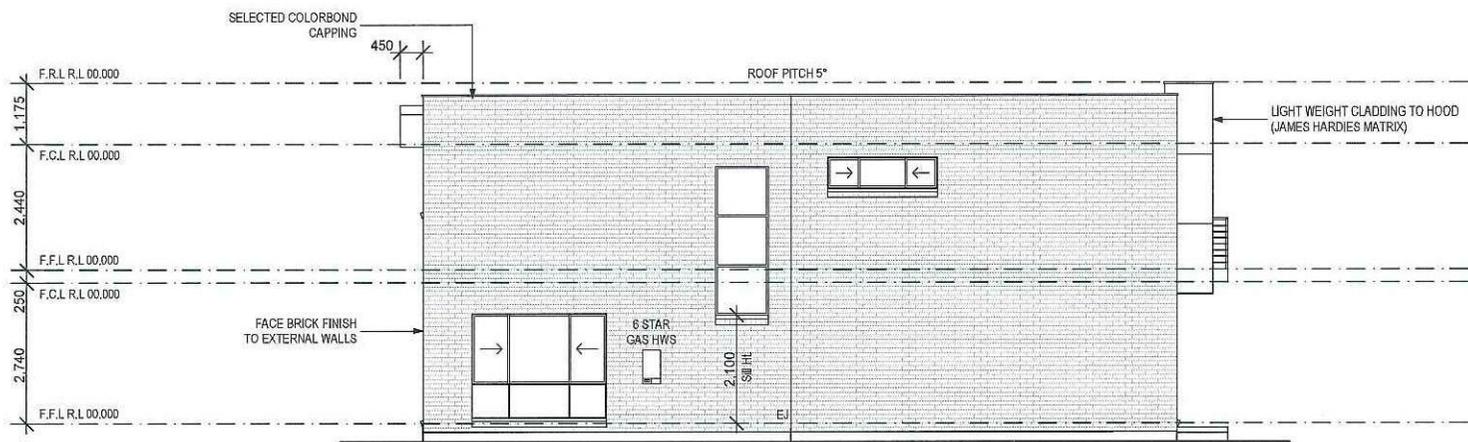
FAÇADE:
LUXE

SHEET:
5



FRONT/SOUTH ELEVATION

1:100



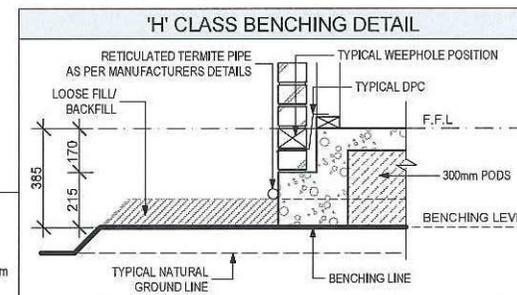
LEFT/WEST ELEVATION

1:100

NOTES:
REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
FLOOR FINISHES AS SELECTED AS PER TENDER.

NOTE:

OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 -
FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



PROJECT:
PROPOSED BRICK VENEER DWELLING

CLIENT:
Wisdom Homes Pty Ltd

ADDRESS:
Lot 2377 William Hart Crescent
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

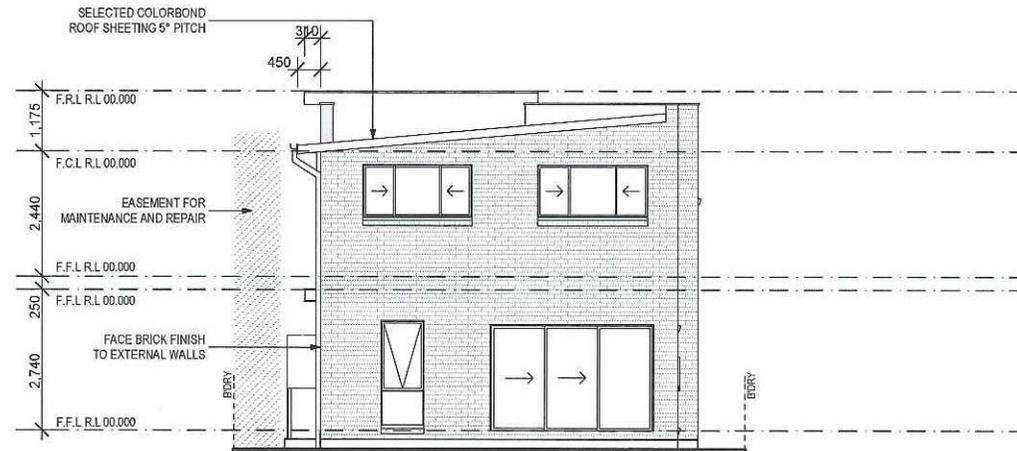
LODGEMENT: D.A/C.C DP No: Unreg.

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.
NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

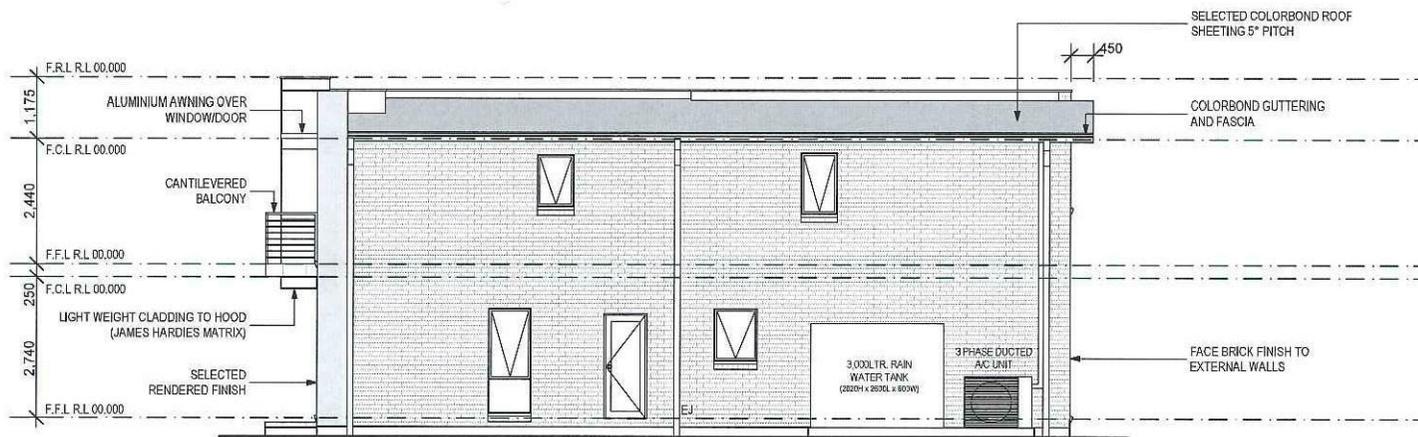
REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

JOB No: **143788**
DRAWN: DC
DATE: 24.07.14
LGA: PENRITH
SITE CLASSIFICATION: 'H' Class
DESCRIPTION: MODENA 22
FAÇADE: LUXE
CODE: WS-MODED LU LH
SHEET: **6**



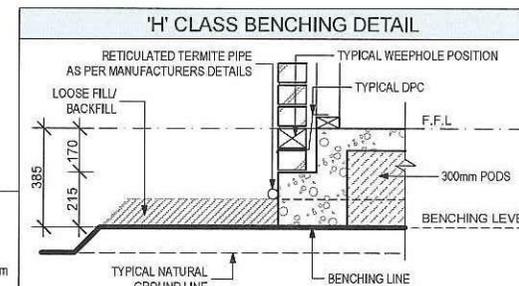
REAR/NORTH ELEVATION
1:100



RIGHT/EAST ELEVATION
1:100

NOTES:
REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
FLOOR FINISHES AS SELECTED AS PER TENDER.

NOTE:
OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 -
FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



PROJECT:

PROPOSED BRICK VENEER DWELLING

CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:

Lot 2377 William Hart Crescent

Thornton Estate, Penrith

⊗ EXHAUST FAN

⊗ SMOKE ALARM AS 3786-1993

LODGEMENT:

DP No:

D.A/C.C

Unreg.

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES, BUILDERS LIC. No 131951C.

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

JOB No:

143788

LGA:

PENRITH

DESCRIPTION:

MODENA 22

CODE:

WS-MODED LU LH

DRAWN:

DC

DATE:

24.07.14

SITE CLASSIFICATION:

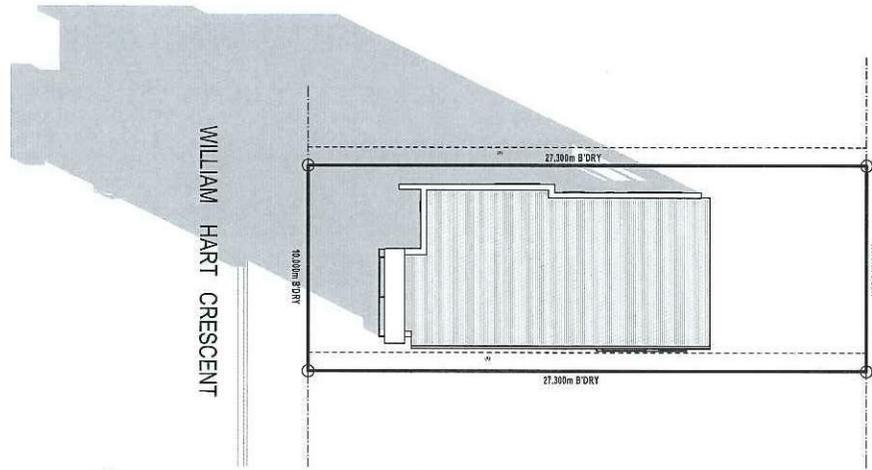
'H' Class

FACADE:

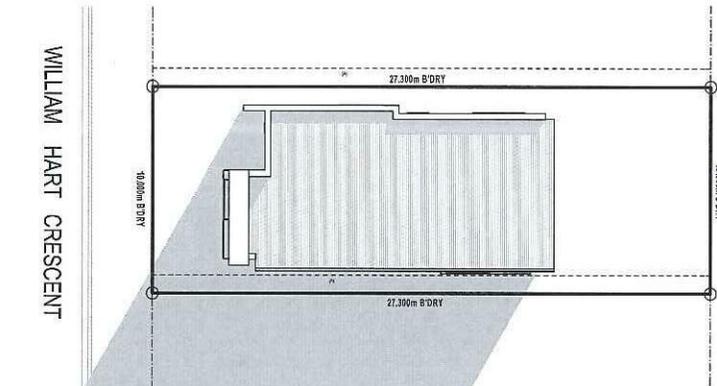
LUXE

SHEET:

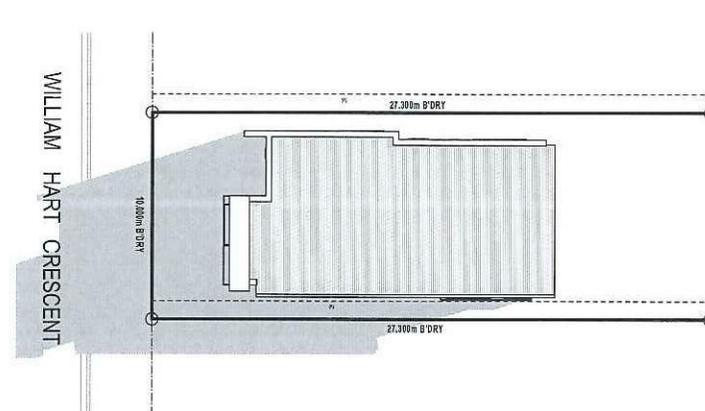
17



SHADOW 9AM
1:250



SHADOW 3PM
1:250



SHADOW 12 MIDDAY
1:250

NOTES:

REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
FLOOR FINISHES AS SELECTED AS PER TENDER.

SHADOW PROJECTIONS 21st JUNE

Modena 22 Luxe

Page	Drawing
1	SITE PLAN
2	BENCHING PLAN
3	GROUND FLOOR PLAN
4	FIRST FLOOR PLAN
5	ELEVATIONS
6	ELEVATIONS
7	SECTIONS
8	DETAILS
9	WINDOW SCHEDULE
10	DOOR SCHEDULE
11	GROUND FLOOR WET AREA DETAILS
12	FIRST FLOOR WET AREA DETAILS
13	GROUND FLOOR ELECTRICAL PLAN
14	FIRST FLOOR ELECTRICAL PLAN
15	SITE ANALYSIS PLAN
16	CONCEPT STORMWATER PLAN
17	SHADOW DIAGRAMS



**Wisdom
Smart
The easystart**
Ph: 4647 1200
Fax: 4647 1233
www.wisdomsmart.com.au

PROJECT: PROPOSED BRICK VENEER DWELLING
CLIENT: Wisdom Homes Pty Ltd
ADDRESS: Lot 2377 William Hart Crescent
Thornton Estate, Penrith

JOB No: 143788

PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:
Lot 2377 William Hart Crescent
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

LODGEMENT: **D.A/C.C** DP No: **Unreg.**

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES, BUILDERS LIC. No 131951C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

JOB No: 143788	DRAWN: DC
LGA: PENRITH	DATE: 24.07.14
DESCRIPTION: MODENA 22	SITE CLASSIFICATION: 'H' Class
CODE: WS-MODED LU LH	FACADE: LUXE
	SHEET: 1

AREAS SCHEDULE

SITE DETAILS

LOT NUMBER: 2377
SITE AREA: 273.00m²

DWELLING AREAS

GROUND FLOOR LIVING: 82.11m²
FIRST FLOOR LIVING: 102.80m²
GARAGE: 20.71m²
PORCH: 1.98m²

TOTAL FLOOR AREA: 207.60m²

'H' CLASS

(subject to borehole report)

LOT: 2377

AREA: 273m²

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000(ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

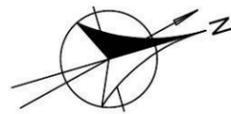
(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)

PRELIMINARY DEPOSITED PLAN

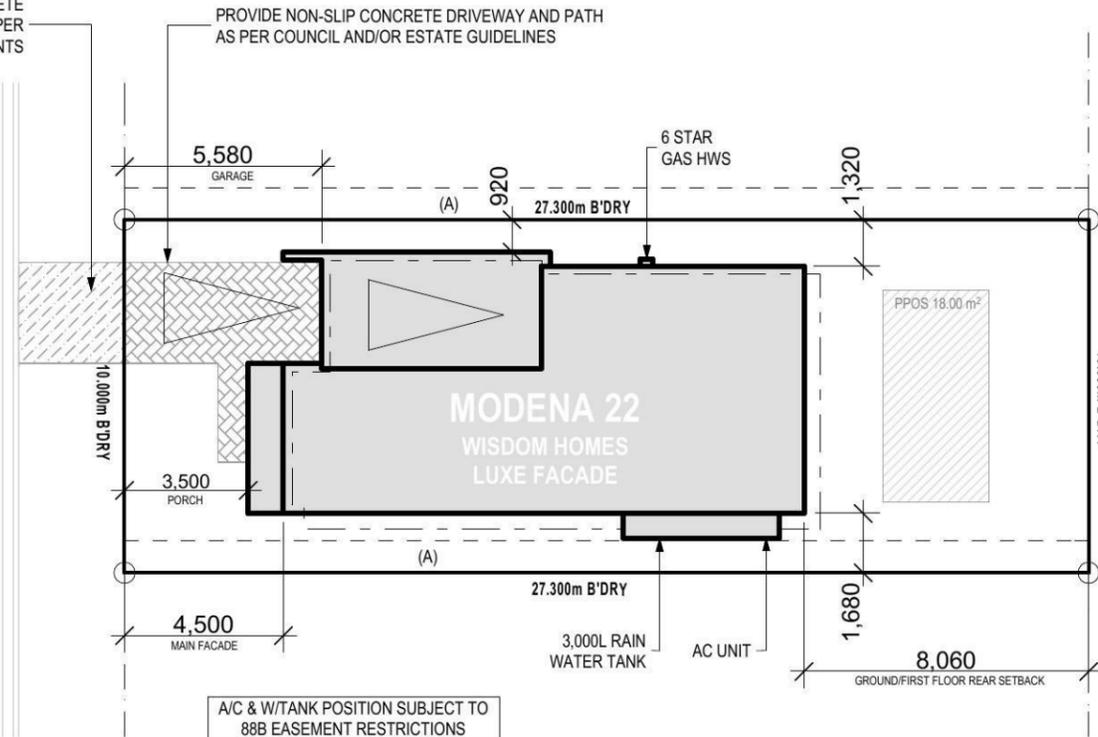
THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY URBANGROWTH NSW. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE ONLY. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL CONDITIONS OF APPROVAL

PROVIDE PLAIN CONCRETE TO CROSSOVER AS PER REQUIREMENTS

PROVIDE NON-SLIP CONCRETE DRIVEWAY AND PATH AS PER COUNCIL AND/OR ESTATE GUIDELINES



WILLIAM HART CRESCENT



A/C & W/TANK POSITION SUBJECT TO 88B EASEMENT RESTRICTIONS

BASIX NOTES

WATER

- RAINWATER TANK OF AT LEAST 3,000 LITRES TO BE INSTALLED.
- RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH APPLICABLE REGULATORY AUTHORITIES.
- RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 150.00m² OF ROOF AREA.
- RAINWATER TANK SUPPLY TO BE CONNECT TO ALL TOILETS IN THE DEVELOPMENT.
- KITCHEN TAP FITTING RATING: 4 STAR
- SHOWERHEAD RATING: 3 STAR
- TOILET RATING (DUAL FLUSH): 4 STAR
- BATHROOM TAP FITTING RATING: 6 STAR
- RAINWATER TANK TO BE CONNECTED TO AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

THERMAL COMFORT

- EXTERNAL WALLS: BRICK VENEER/TIMBER FRAME
- EXTERNAL WALL INSULATION: R2.0
- EXTERNAL WALL COLOUR: MEDIUM
- ROOFING MATERIAL: COLORBOND ROOF SHEETING
- ROOF INSULATION: SARKING
- ROOF COLOUR: MEDIUM
- CEILING INSULATION: R3.5

ENERGY

- ACTIVE HEATING AND COOLING TO BE INSTALLED IN LIVING AND BEDROOMS, 3 PHASE A/C SYSTEM (EER 2.5-3.0). TO BE DAY/NIGHT ZONED BETWEEN LIVING AREAS AND BEDROOMS. TO BE INSTALLED PRIOR TO FINAL OCCUPATION CERTIFICATE.
- PROVIDE GAS 6 STAR INSTANTANEOUS HWS.
- PROVIDE GAS COOKTOP TO KITCHEN.
- PROVIDE ELECTRIC OVEN TO KITCHEN.
- ALL REFRIGERATOR SPACES TO BE WELL VENTILATED.
- PROVIDE COMPACT FLUORESCENT ENERGY SAVING LIGHT BULBS TO ALL LIGHT POINTS.
- PROVIDE OUTDOOR CLOTHES LINE BY OWNER.

NOTES:

- *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
- *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
- *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
- *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
- *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).

PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:
Wisdom Homes Pty Ltd

ADDRESS:
**Lot 2377 William Hart Crescent
Thornton Estate, Penrith**

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

LODGEMENT: **D.A/C.C** DP No: **Unreg.**

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.
NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY, FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

JOB No: 143788	DRAWN: DC
LGA: PENRITH	DATE: 24.07.14
DESCRIPTION: MODENA 22	SITE CLASSIFICATION: 'H' Class
CODE: WS-MODED LU LH	FACADE: LUXE
	SHEET: 2

'H' CLASS

(subject to borehole report)

LOT: 2377

AREA: 273m²

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000(ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)

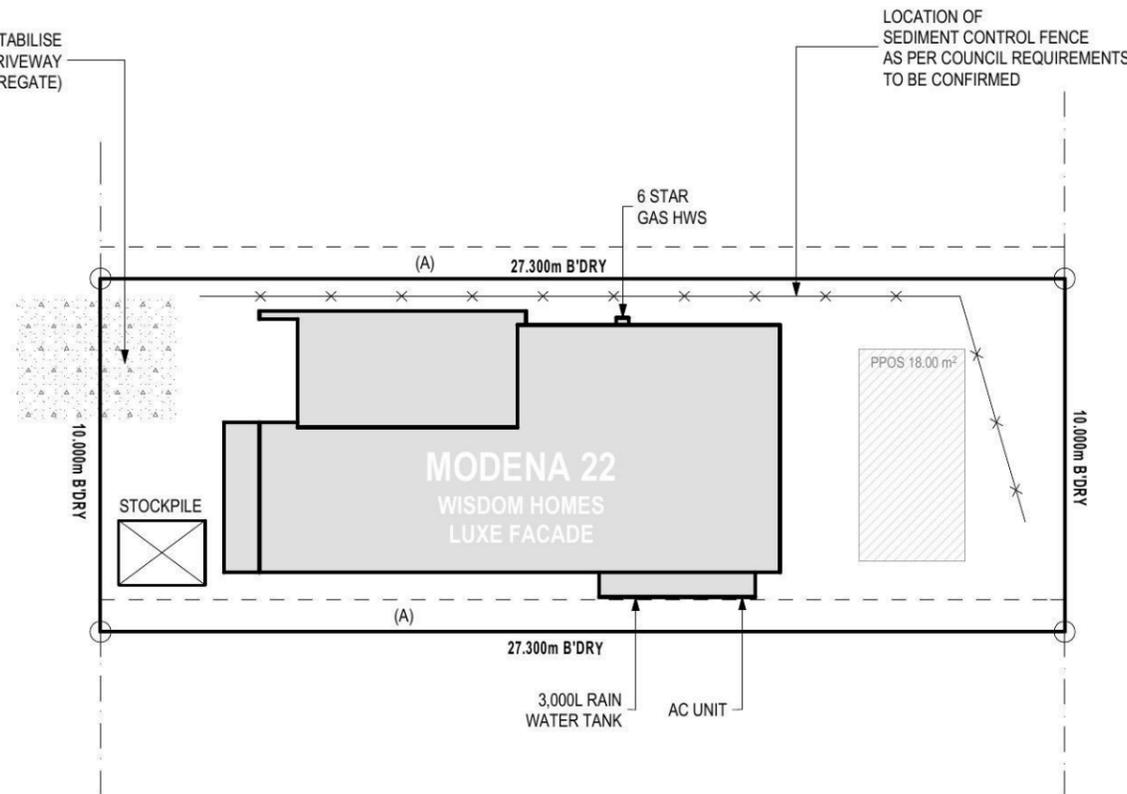
PRELIMINARY DEPOSITED PLAN

THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY URBANGROWTH NSW. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE ONLY. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL CONDITIONS OF APPROVAL



TEMPORARILY STABILISE VEHICLE ACCESS DRIVEWAY (GRAVEL/ROCK AGGREGATE)

WILLIAM HART CRESCENT



BENCHING PLAN

1:200

NOTES:

- *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
- *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
- *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
- *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
- *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).

PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:
Lot 2377 William Hart Crescent
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

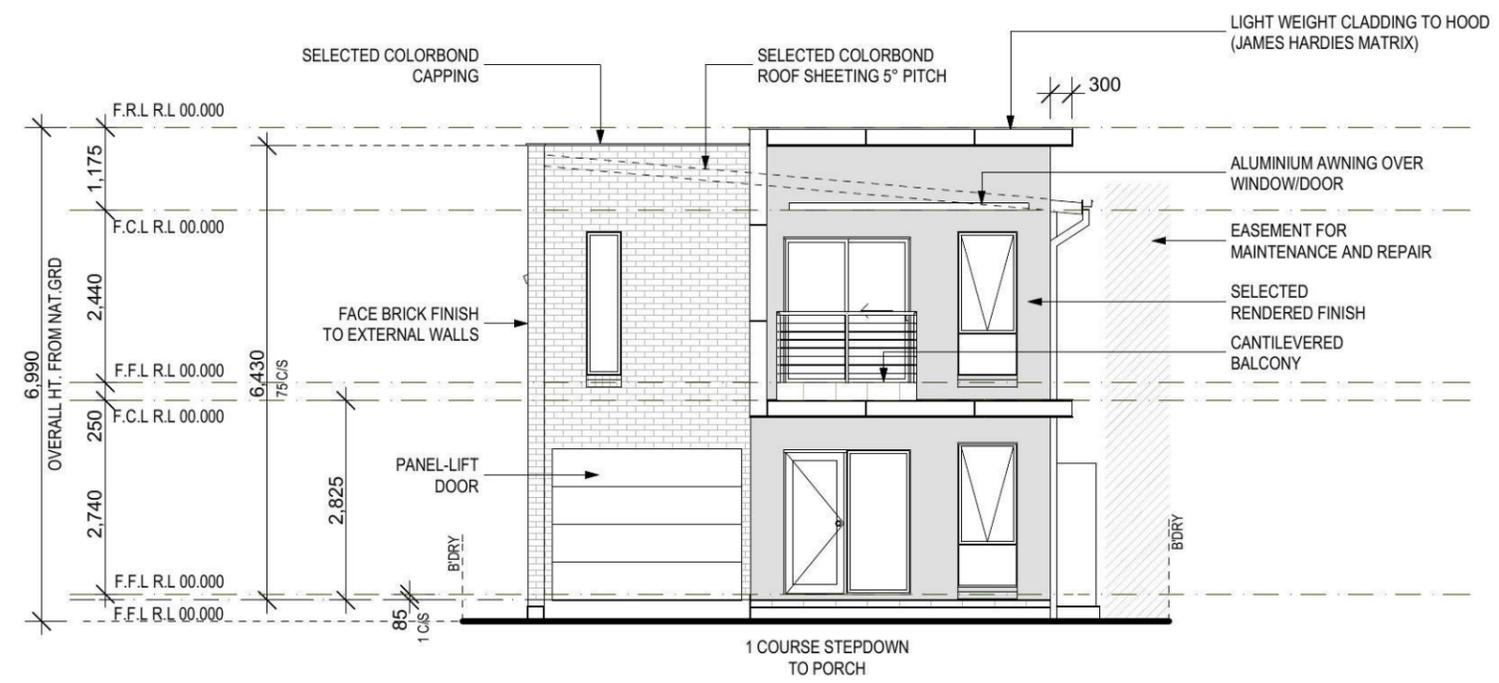
LODGEMENT: **D.A/C.C** DP No: **Unreg.**

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.
NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY, FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

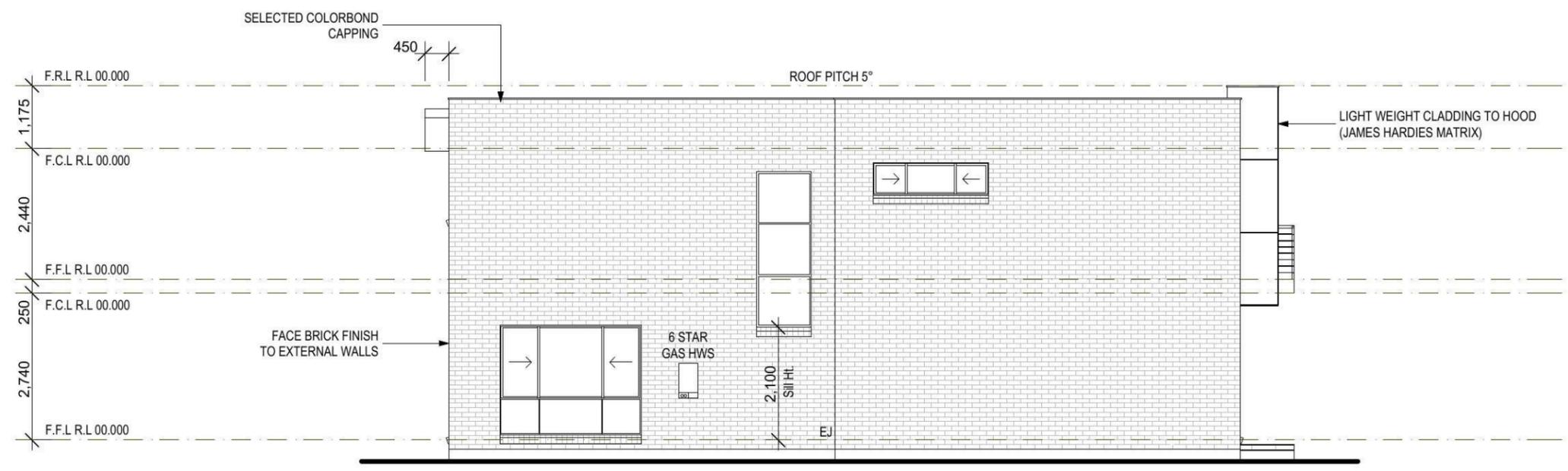
REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

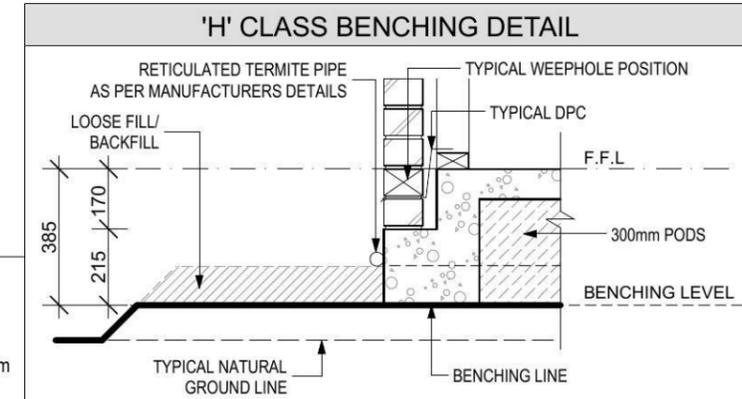
JOB No: **143788** DRAWN: **DC**
 DATE: **24.07.14**
 LGA: **PENRITH** SITE CLASSIFICATION: **'H' Class**
 DESCRIPTION: **MODENA 22** FACADE: **LUXE**
 CODE: **WS-MODED LU LH** SHEET: **5**



FRONT/SOUTH ELEVATION
1:100



LEFT/WEST ELEVATION
1:100



NOTES:
 *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
 *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
 *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
 *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
 *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
 DOCUMENT SET ID: 6184399 PER TENDER.

NOTE:
 OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 - FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:
Lot 2377 William Hart Crescent
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

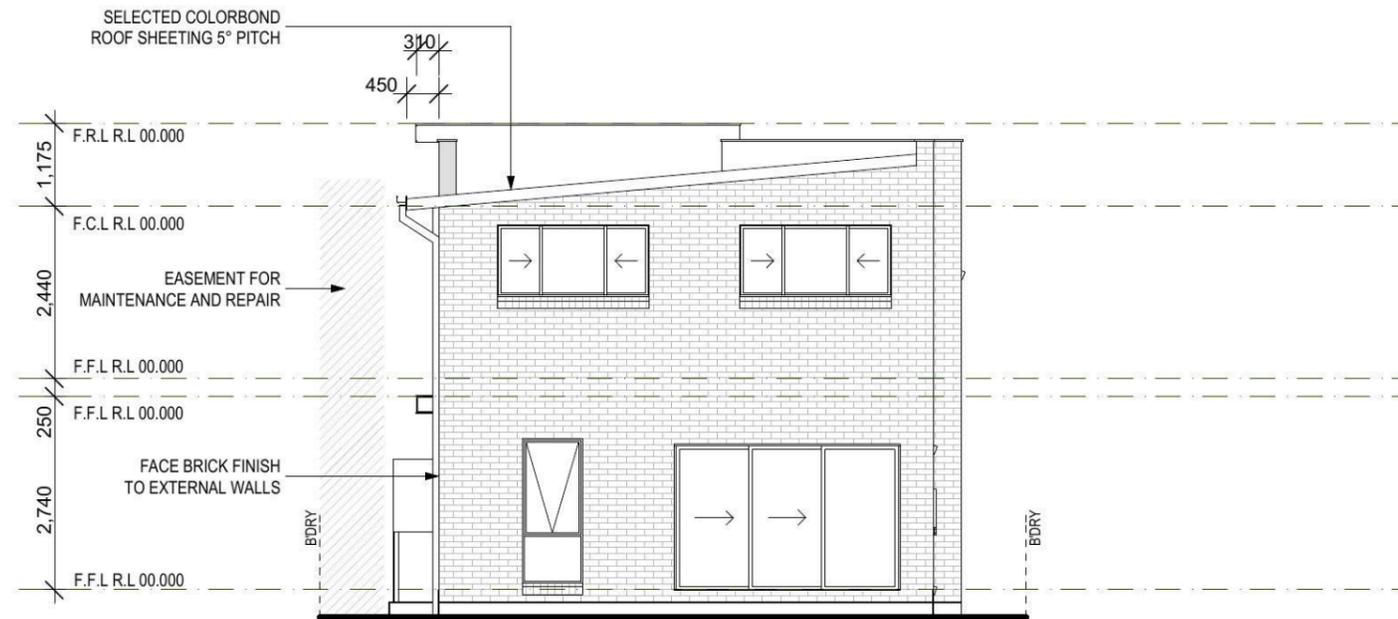
LODGEMENT: **D.A/C.C** DP No: **Unreg.**

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.
NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY, FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

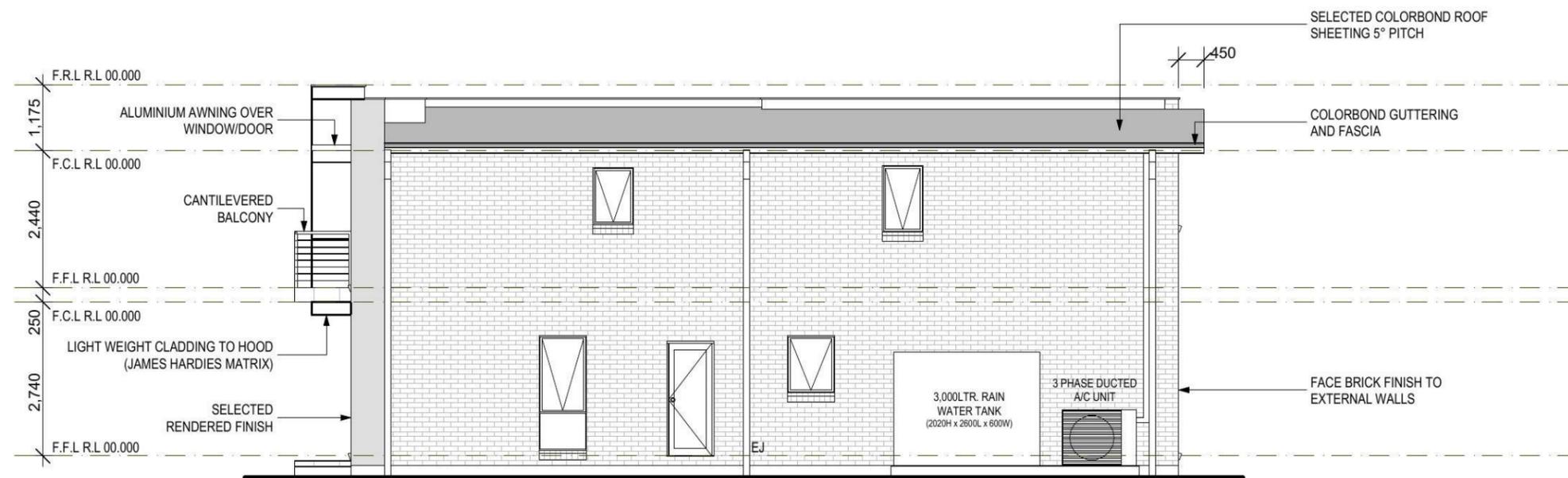
REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

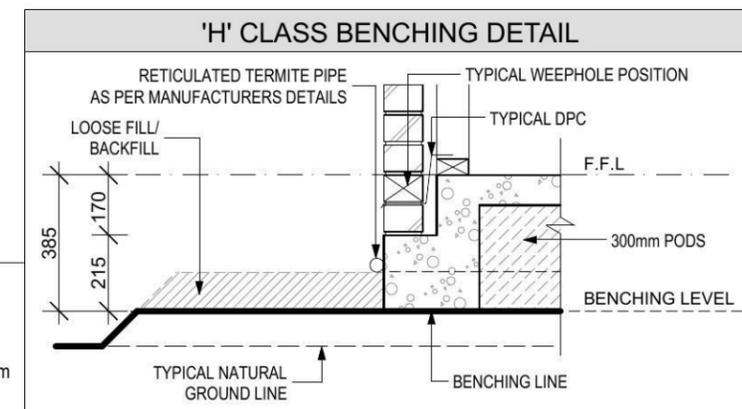
JOB No: **143788** DRAWN: **DC**
DATE: **24.07.14**
LGA: **PENRITH** SITE CLASSIFICATION: **'H' Class**
DESCRIPTION: **MODENA 22** FACADE: **LUXE**
CODE: **WS-MODED LU LH** SHEET: **6**



REAR/NORTH ELEVATION
1:100



RIGHT/EAST ELEVATION
1:100



NOTE:
OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 -
FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

NOTES:
REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
REFER TO ARCHITECT'S DETAILS FOR ALL OTHER TENDER.

PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:
Wisdom Homes Pty Ltd

ADDRESS:
**Lot 2377 William Hart Crescent
Thornton Estate, Penrith**

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

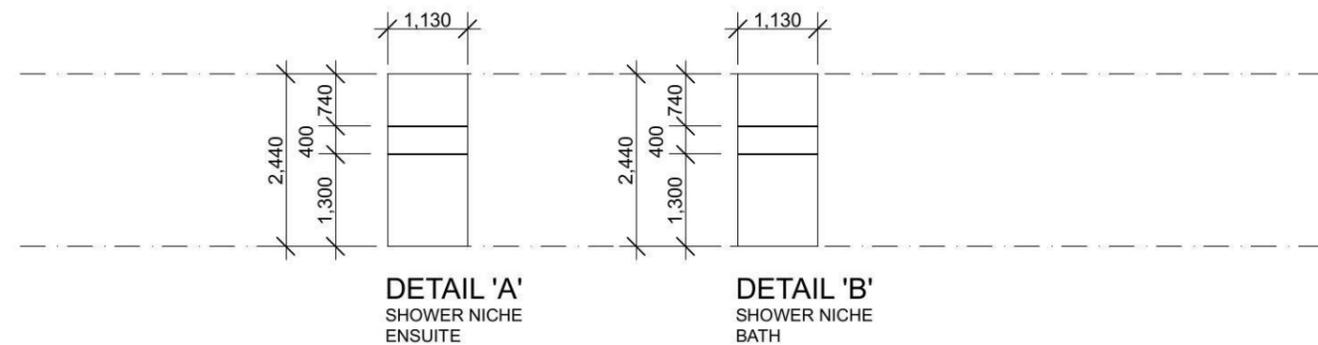
LODGEMENT: **D.A/C.C** DP No: **Unreg.**

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.
NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY, FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

JOB No: 143788	DRAWN: DC
LGA: PENRITH	DATE: 24.07.14
DESCRIPTION: MODENA 22	SITE CLASSIFICATION: 'H' Class
CODE: WS-MODED LU LH	FACADE: LUXE
	SHEET: 8



○ DETAILS
1:100

NOTES:
 *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
 *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
 *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
 *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
 *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
 *REFER TO ARCHITECT'S DETAILS FOR ALL OTHER TENDER REQUIREMENTS.

PROJECT:

PROPOSED BRICK VENEER DWELLING

CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:

Lot 2377 William Hart Crescent
Thornton Estate, Penrith

⊗ EXHAUST FAN

⊗ SMOKE ALARM AS 3786-1993

LODGEMENT:

D.A/C.C

DP No:

Unreg.

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES, BUILDERS LIC. No 131951C.
NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY, FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

JOB No:
143788

LGA:
PENRITH

DESCRIPTION:
MODENA 22

CODE:
WS-MODED LU LH

DRAWN:
DC

DATE:
24.07.14

SITE CLASSIFICATION:
'H' Class

FACADE:
LUXE

SHEET:

9

Window Schedule									
Window No.	Type	Window Size		Plan View	Elev. View	Glazing	Frame and reveal	Flyscreens	Others
		Height	Width						
W1	AA2009T	2,042	843			Single clear	240mm BV		
W2	AA2009T	2,042	843			Single clear	240mm BV		
W3	AA1009	1,020	843			Single clear	240mm BV		
W4	AA2009T	2,042	843			Single clear	240mm BV		
W5	AS2026T	2,042	2,630			Single clear	240mm BV		
W6	AF2910T Spec.	2,900	1,020			Single clear	240mm BV		2100mm Sill ht.
W7	AF2005	2,042	500			Single clear	90mm TF		
W8	AA2009T	2,042	843			Single clear	240mm BV		
W9	AA1007	1,020	724			Single clear	240mm BV		
W10	AA1207	1,191	724			Single clear	240mm BV		
W11	AS1022	1,020	2,153			Single clear	240mm BV		
W12	AS1022	1,020	2,153			Single clear	240mm BV		
W13	AS1022	610	2,153			Single clear	240mm BV		

NOTES:

*REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
*REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
*REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
*REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
*A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
*REFER TO ARCHITECT'S DETAILS FOR ALL OTHER TENDER REQUIREMENTS.

PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:
**Lot 2377 William Hart Crescent
Thornton Estate, Penrith**

⊗ EXHAUST FAN

⊗ SMOKE ALARM AS 3786-1993

LODGEMENT: D.A/C.C	DP No: Unreg.
------------------------------	-------------------------

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.
NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

JOB No: 143788	DRAWN: DC
LGA: PENRITH	DATE: 24.07.14
DESCRIPTION: MODENA 22	SITE CLASSIFICATION: 'H' Class
CODE: WS-MODED LU LH	FACADE: LUXE
	SHEET: 10

Door Schedule									
Door No.	Type	Door Size		Plan View	Elev. View	Glazing	Frame and reveal	Flyscreens	Others
		Height	Width						
D1	MEF5	2,040	820				240mm BV		
D2	MEF5	2,040	770				240mm BV		
D3	TSD2032	2,065	3,195			Single clear	240mm BV		
D4	820mm hung door	2,040	820				90mm TF		
D5	820mm hung door	2,040	820				90mm TF		
D6	820mm hung door	2,040	820				90mm TF		
D7	820mm csd	2,040	820				90mm TF		
D8	820mm hung door	2,040	820				90mm TF		
D9	TXD2018	2,065	1,800				240mm BV		
D10	820mm hung door	2,040	820				70mm TF		
D11	820mm hung door	2,040	820				70mm TF		
D12	2 x 820mm hung doors	2,040	1,640				70mm TF		
D13	2 x 820mm hung doors	2,040	1,640				70mm TF		
D14	820mm hung door	2,040	820				70mm TF		
D15	820mm hung door	2,040	820				70mm TF		
D16	2 x 820mm hung doors	2,040	1,640				70mm TF		
D17	820mm hung door	2,040	820				70mm TF		
D18	820mm hung door	2,040	820				70mm TF		
D19	2 x 820mm hung doors	2,040	1,640				70mm TF		

NOTES:
 *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
 *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
 *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
 *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
 *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
 *REFER TO ARCHITECT'S DETAILS FOR ALL OTHER TENDER DETAILS.

PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:
Lot 2377 William Hart Crescent
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

LODGEMENT: **D.A/C.C** DP No: **Unreg.**

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY, FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

JOB No: **143788** DRAWN: **DC**
DATE: **24.07.14**
LGA: **PENRITH** SITE CLASSIFICATION: **'H' Class**
DESCRIPTION: **MODENA 22** FACADE: **LUXE**
CODE: **WS-MODED LU LH** SHEET: **15**

'H' CLASS
(subject to borehole report)

LOT: 2377
AREA: 273m²

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000(ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

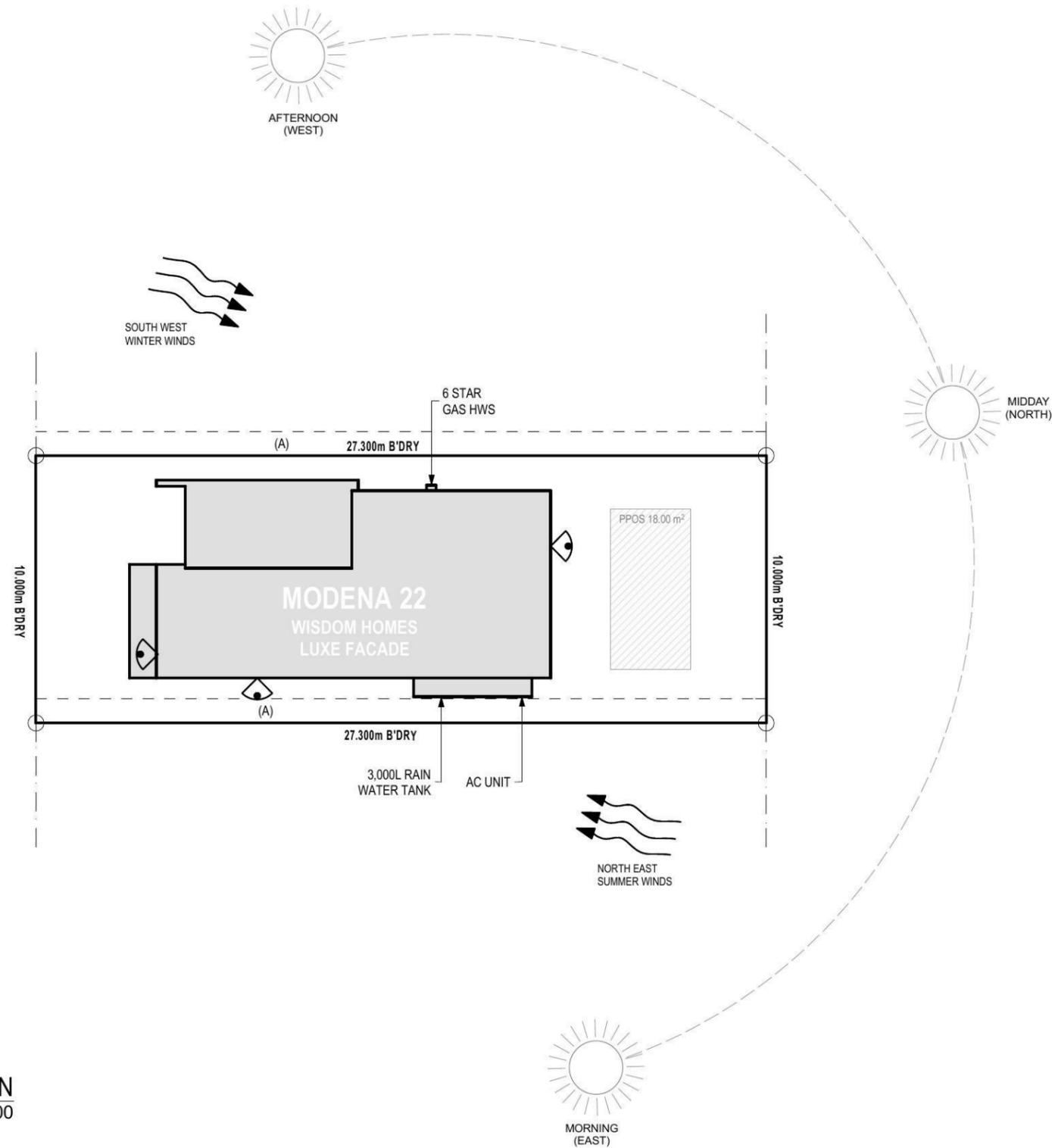
(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)

PRELIMINARY DEPOSITED PLAN

THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY URBANGROWTH NSW. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE ONLY. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL CONDITIONS OF APPROVAL



WILLIAM HART CRESCENT



SITE ANALYSIS PLAN
1:200

NOTES:

- *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
- *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
- *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
- *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
- *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).

PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:
Lot 2377 William Hart Crescent
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

LODGEMENT: **D.A/C.C** DP No: **Unreg.**

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY, FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
A-3	CREATED DA PACK AS REQUESTED 15/09	DM	24/09/14
-	-	-	-
-	-	-	-

JOB No: **143788** DRAWN: **DC**
DATE: **24.07.14**
LGA: **PENRITH** SITE CLASSIFICATION: **'H' Class**
DESCRIPTION: **MODENA 22** FACADE: **LUXE**
CODE: **WS-MODED LU LH** SHEET: **16**

'H' CLASS

(subject to borehole report)

LOT: 2377

AREA: 273m²

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000(ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

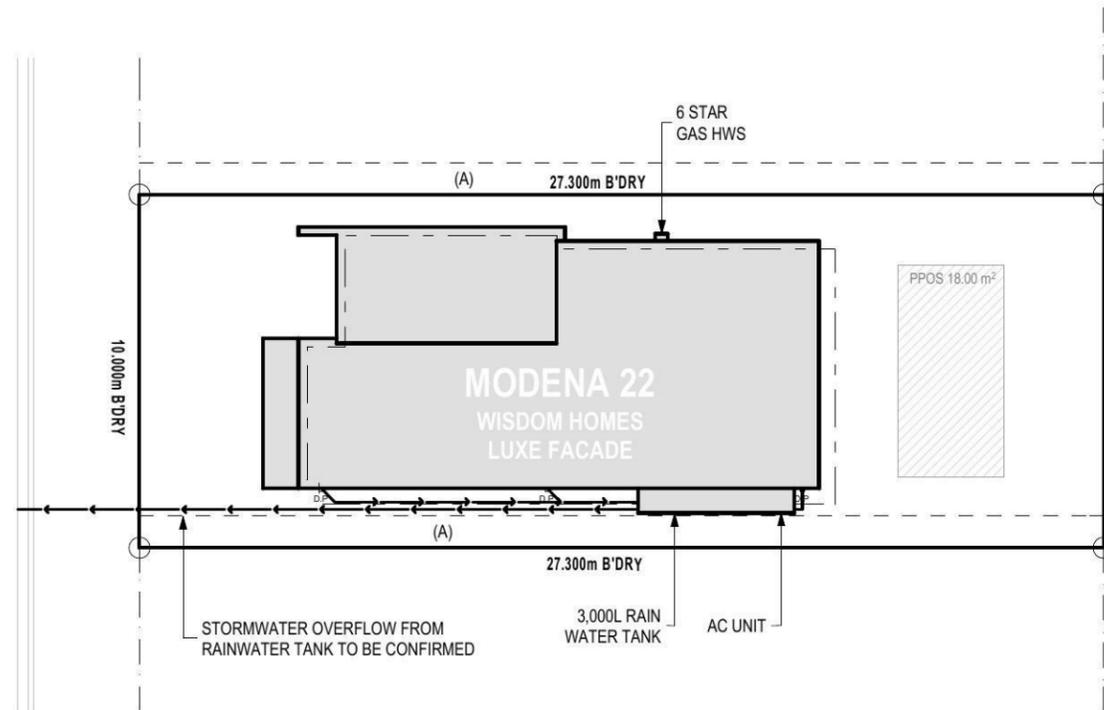
(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)

PRELIMINARY DEPOSITED PLAN

THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY URBANGROWTH NSW. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE ONLY. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL CONDITIONS OF APPROVAL



WILLIAM HART CRESCENT



CONCEPT STORMWATER PLAN 1:200

→ → → → → STORMWATER LINES

The stormwater design/layout which flows to the street/easement is in compliance with:

- Building Code of Australia Vol. 2 (BCA) Sections 3.1 Site Preparation, and 3.5 Roof and Wall Cladding
- Council stormwater DCP requirements (if applicable).
- Using data from BCA Tables 3.5.2.1 and 3.5.2.2 the number of downpipes required based on a roof area of 270m² is 7.

Name _____
Signed _____ Date _____

NOTES:
REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
Document Set ID: 6184399 PER TENDER.