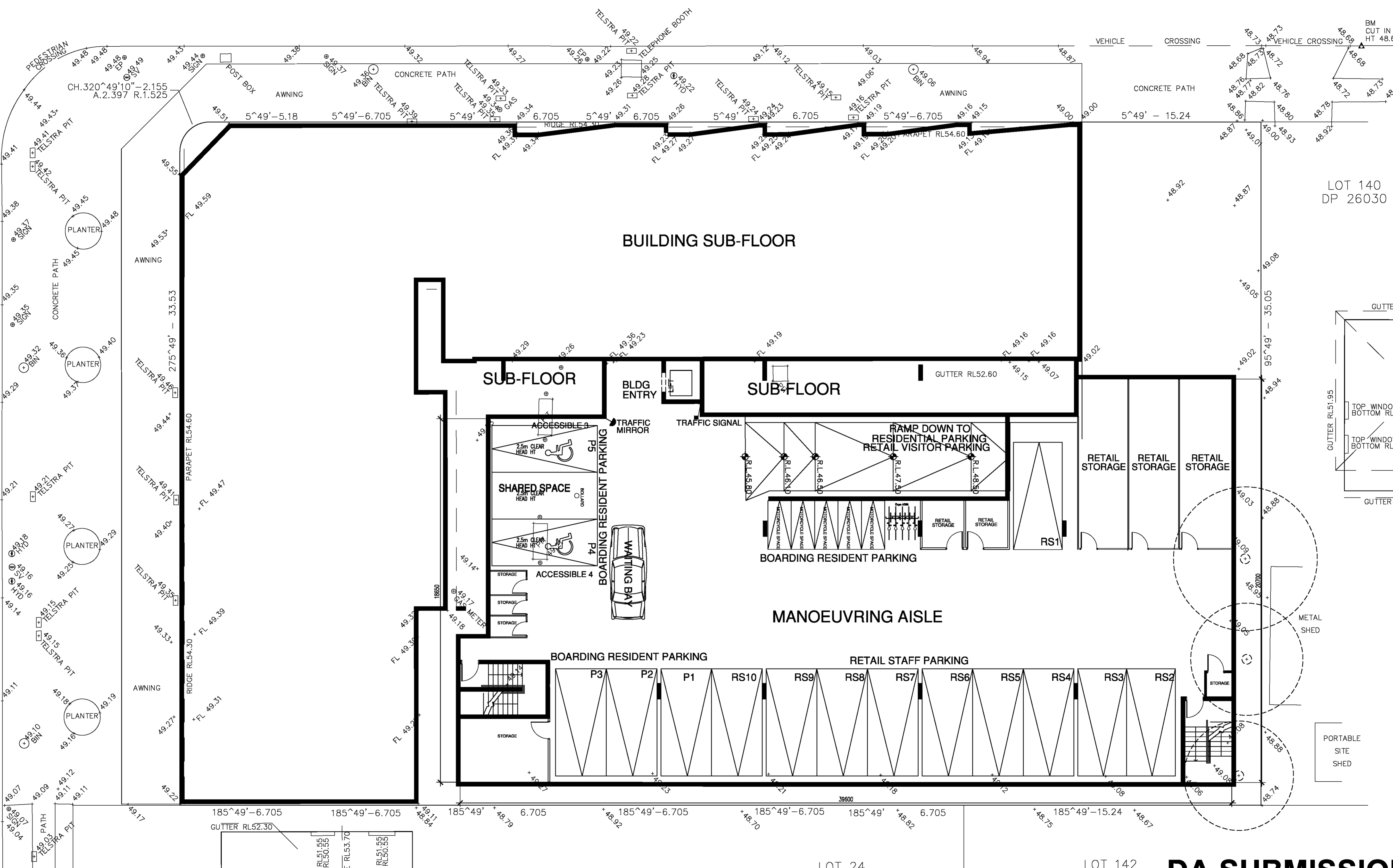


DAY

STREET

STREET

CARPENTER



**DA SUBMISSION
DECEMBER 2017**

Project no: 21705	Sheet No: DA02	Issues	Amendments	Initials	Date
		A	DEVELOPMENT APPLICATION SUBMISSION	JH	21-12-17

Legend
110mm, thick timber wall.
110mm, thick brick wall.
230mm, thick brick veneer wall.
270mm, thick double brick wall.
200mm, concrete wall.

General notes

- All dimensions in millimetres unless show otherwise.
- Drawings are not to be scaled, work to figured dimensions.
- All dimensions are to be checked onsite prior to construction.
- Any discrepancies are to be reported to the architect prior to proceeding with any more work.
- Drawings to be read in conjunction with the Specifications and Engineers drawings.

Head heights of all doors and windows to be 2100 mm.
 Unless specified, the windows are to be centered with the internal wall.
 All workmanship and materials shall comply with all the relevant codes, ordinances, Australian standards and manufacturers instructions.

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 Millennium Design Consultants Pty. Ltd.
 42 Dolphin Crescent
 Avalon Beach
 NSW 2107
 Telephone: +61 2 9974 5007
 Fax: +61 2 9974 5004
 Mobile: +61 0411 333 293
 email: rds@millenniumdesign.com.au

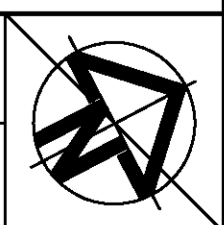
Client:
 INFINITI 3
 Project: BOARDING HOUSE ADDITION TO EXISTING COMMERCIAL DEVELOPMENT
 Location:
 30 DAY STREET, COLYTON

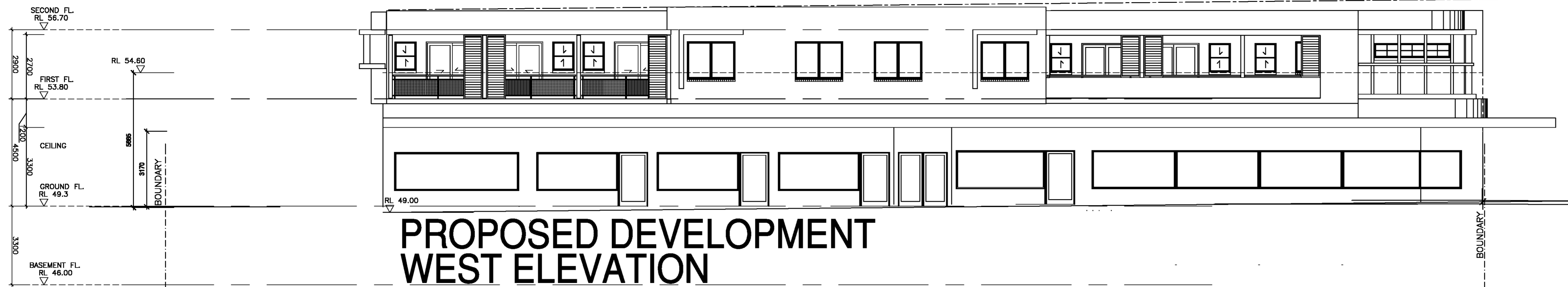
Scale	1:100 or as shown	Drawn by	J.H.
Date	APRIL 2012	Checked by	Jamal Jibri

Sheet Title:
BASEMENT FLOOR PLAN

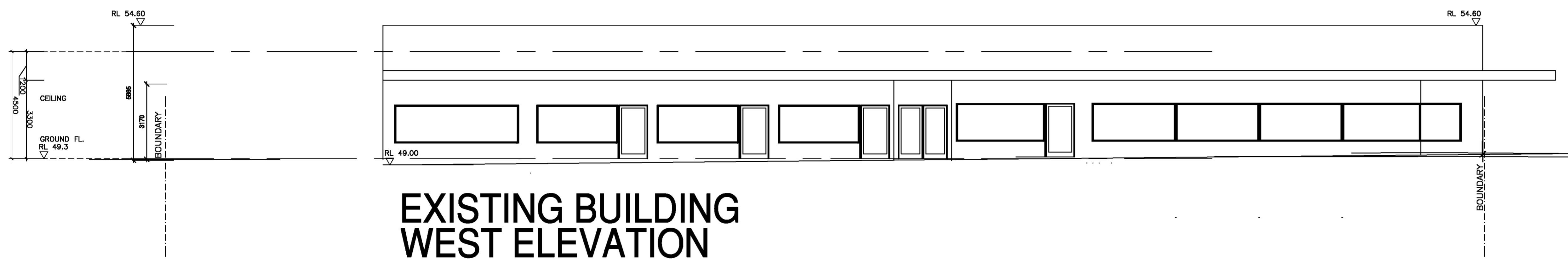
Sheet No:
DA02

Project no:
21705

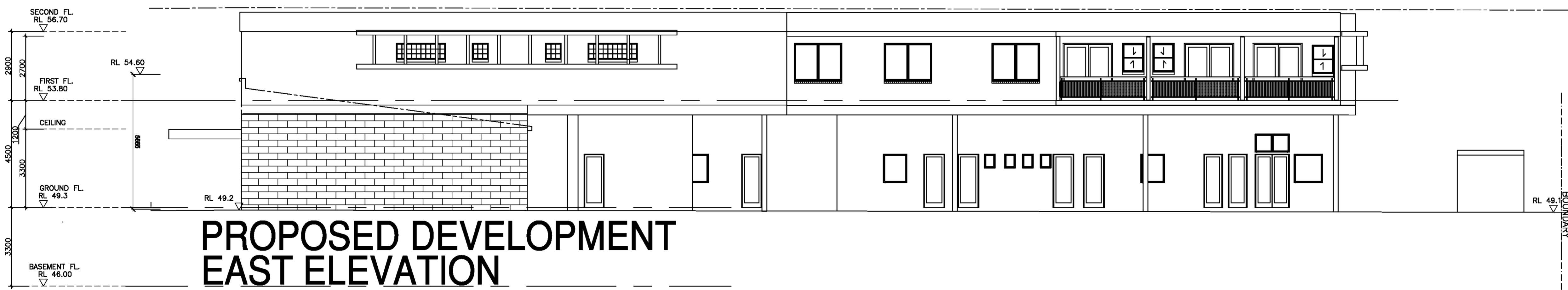




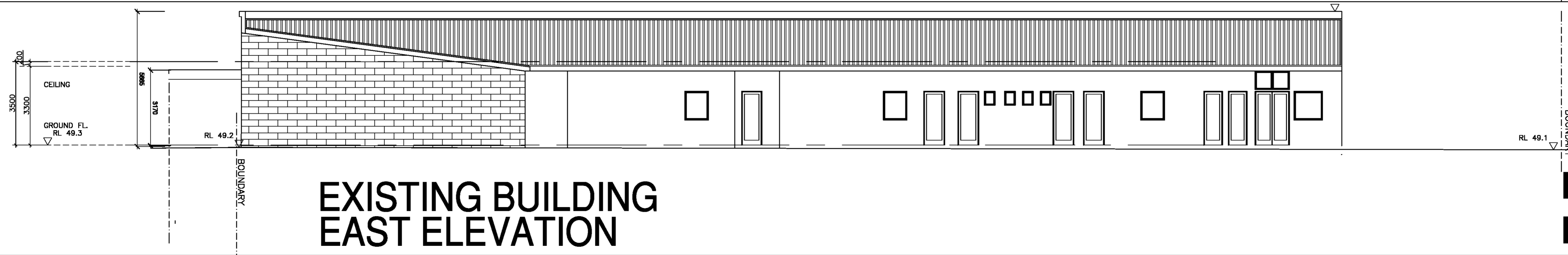
**PROPOSED DEVELOPMENT
WEST ELEVATION**



**EXISTING BUILDING
WEST ELEVATION**



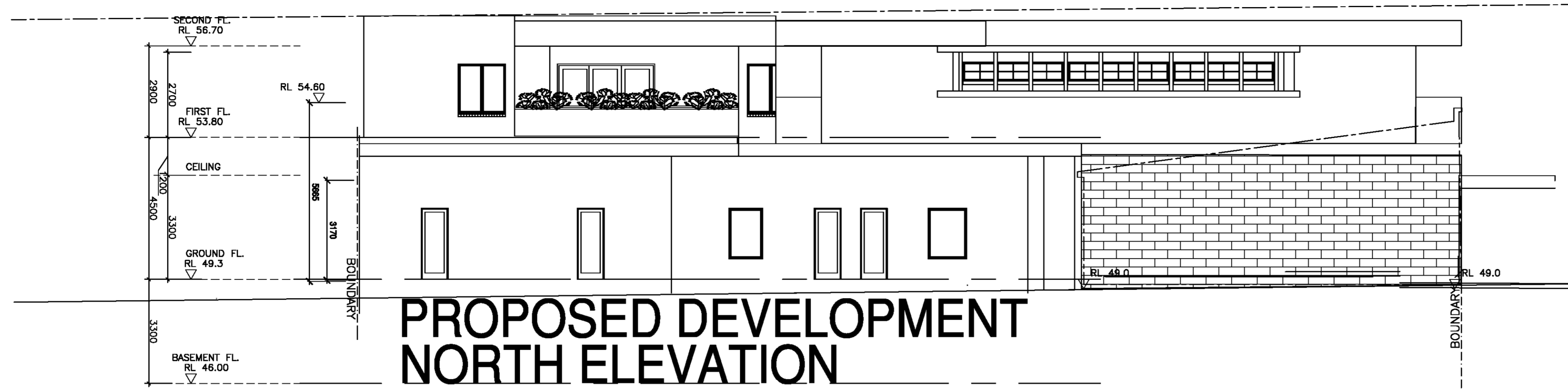
**PROPOSED DEVELOPMENT
EAST ELEVATION**



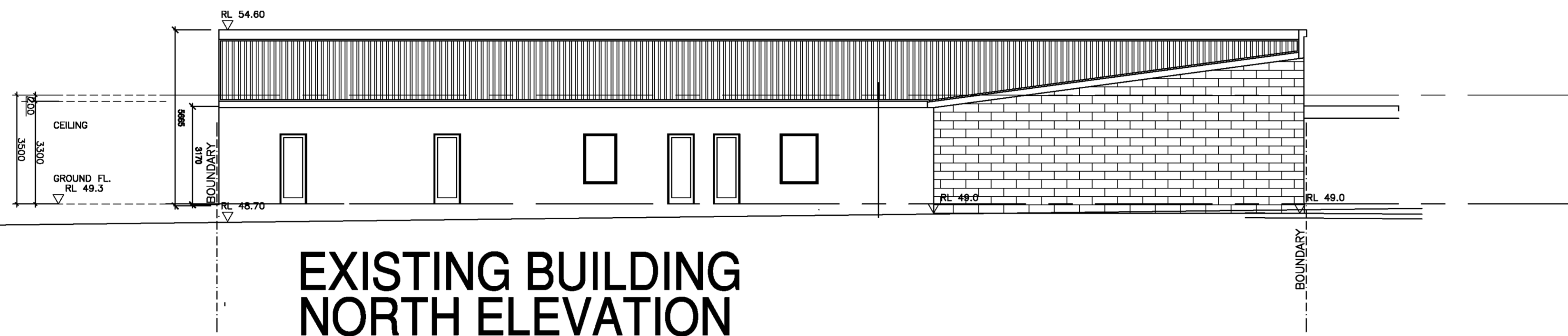
**EXISTING BUILDING
EAST ELEVATION**

**DA SUBMISSION
DECEMBER 2017**

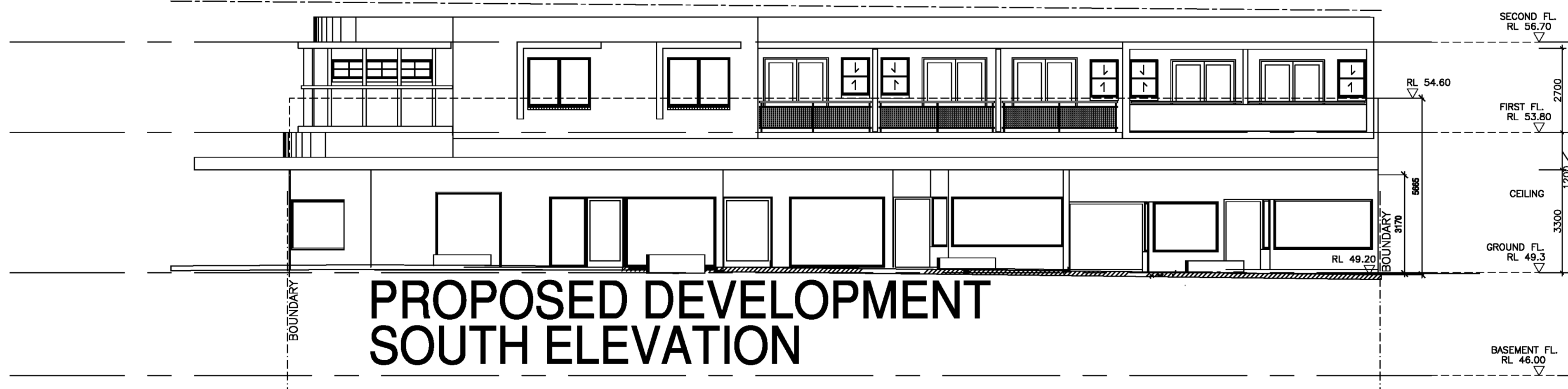
Project No: 21705	Sheet No: DA05	Issues	Amendments	Initials	Date	Legend 110mm, thick timber wall. 110mm, thick brick wall. 230mm, thick brick wall. 250mm, thick brick veneer wall. 270mm, thick double brick wall. 200mm, concrete wall.	General notes • All dimensions in millimetres unless show otherwise. • Drawings are not to be scaled, work to figured dimensions. • All dimensions are to be checked onsite prior to construction. • Any discrepancies are to be reported to the architect prior to proceeding with any more work. • Drawings to be read in conjunction with the Specifications and Engineers drawings.	• Head heights of all doors and windows to be 2100 mm. • Unless specified, the windows are to be centered with the internal wall. • All workmanship and materials shall comply with all the relevant codes, ordinances, Australian standards and manufacturers instructions.	COPYRIGHT Millennium Design Consultants Pty Ltd is the owner of the copyright pertaining to these plans, designs, and specifications. The design and details shown on these drawings may not be reproduced in whole or in part without the written permission of Millennium Design Consultants Pty Ltd, with whom the copyright resides.	Millennium Design Consultants Pty. Ltd. Nominated Registered Architect: J. Hibri Reg. No. 6757 42 Dolphin Crescent Avalon Beach NSW 2107 Telephone: +61 2 9974 5007 Fax: +61 2 9974 5004 Mobile: +61 0411 333 293 email: mdc@millenniumdesign.com.au	Client: INFINITI 3 Project: BOARDING HOUSE ADDITION TO EXISTING COMMERCIAL DEVELOPMENT Location: 30 DAY STREET, COLYTON	Sheet Title: EAST ELEVATION WEST ELEVATION	Sheet No: DA05 Project no: 21705	
		Scale	Date	Drawn by J.H.	Checked by Jamal Hibri.									



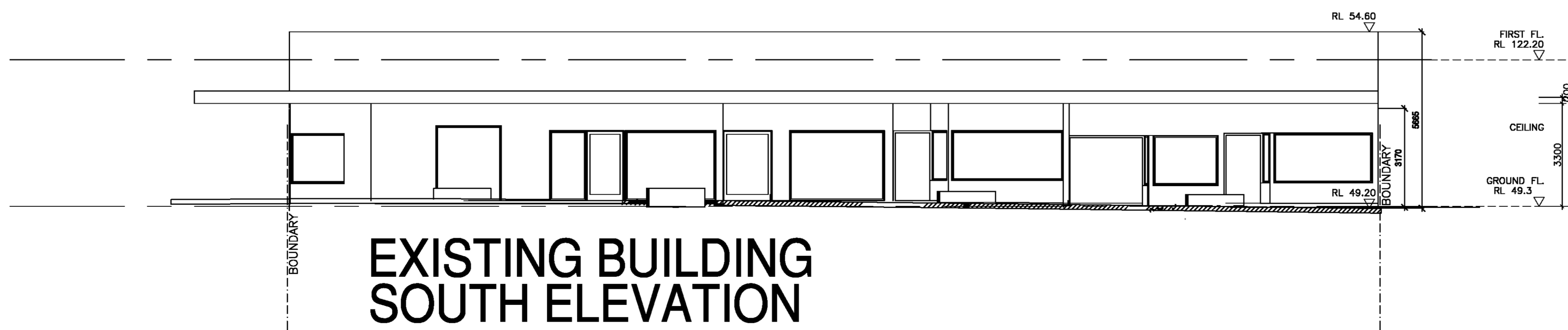
**PROPOSED DEVELOPMENT
NORTH ELEVATION**



**EXISTING BUILDING
NORTH ELEVATION**



**PROPOSED DEVELOPMENT
SOUTH ELEVATION**



**EXISTING BUILDING
SOUTH ELEVATION**

**DA SUBMISSION
DECEMBER 2017**

Project no: 21705	Sheet No: DA06	Issues	Amendments	Initials	Date	Legend 110mm, thick timber wall. 110mm, thick brick wall. 250mm, thick brick veneer wall. 270mm, thick double brick wall. 200mm, concrete wall.	General notes * All dimensions in millimetres unless show otherwise. * Drawings are not to be scaled, work to figured dimensions. * All dimensions are to be checked onsite prior to construction. * Any discrepancies are to be reported to the architect prior to proceeding with any more work. * Drawings to be read in conjunction with the Specifications and Engineers drawings.	* Head heights of all doors and windows to be 2100 mm. * Unless specified, the windows are to be centered with the internal wall. * All workmanship and materials shall comply with all the relevant codes, ordinances, Australian standards and manufacturers instructions.	COPYRIGHT Millennium Design Consultants Pty Ltd is the owner of the copyright pertaining to these plans, designs and specifications. The design and details shown on these drawings may not be reproduced in whole or in part without the written permission of Millennium Design Consultants Pty Ltd, with whom the copyright resides.	Millennium Design Consultants Pty. Ltd. Nominated Registered Architect: J. Hibri Reg. No. 6757 42 Dolphin Crescent Avalon Beach NSW 2107 Telephone: +61 2 9974 5007 Fax: +61 2 9974 5004 Mobile: +61 0411 333 293 email: mdc@millenniumdesign.com.au	Client: INFINITI 3 Project: BOARDING HOUSE ADDITION TO EXISTING COMMERCIAL DEVELOPMENT Location: 90 DAY STREET, COLYTON	Sheet Title: NORTH ELEVATION SOUTH ELEVATION	Sheet No: DA06 Project no: 21705	
		Scale	Date	Drawn by	Checked by									

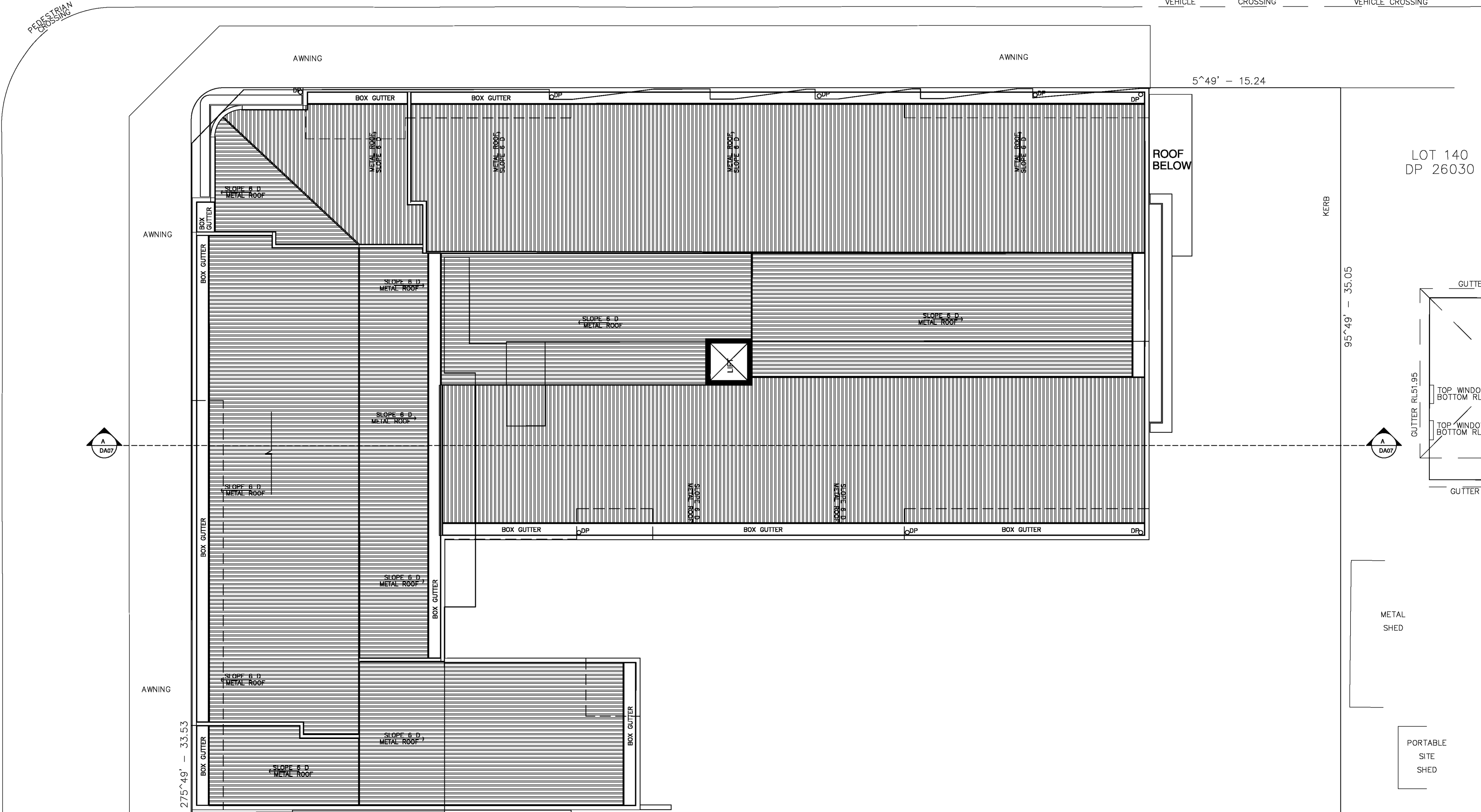
DAY

STREET

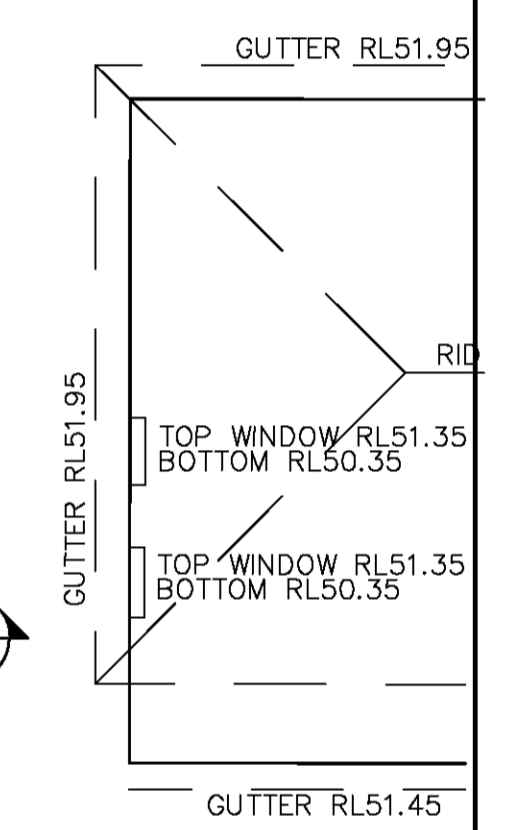
STREET

CARPENTER

VEHICLE CROSSING VEHICLE CROSSING



LOT 140 DP 26030



METAL SHED

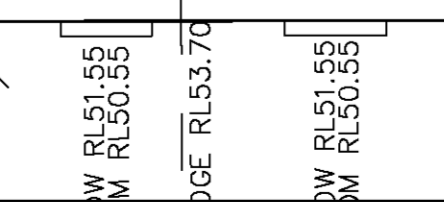
PORTABLE SITE SHED

DA SUBMISSION
DECEMBER 2017

185'49" - 55.467

LOT 24 DP 26030

LOT 142 DP 26030



Project No:	Issues	Amendments	Initials	Date
21705	A	DEVELOPMENT APPLICATION SUBMISSION	JH	21-12-17
DA08				

Legend
110mm, thick timber wall.
110mm, thick brick wall.
230mm, thick brick wall.
250mm, thick double brick wall.
270mm, thick double brick wall.
200mm, concrete wall.

General notes

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All workmanship and materials shall comply with all the relevant codes, ordinances, Australian standards and manufacturers instructions.

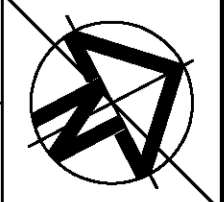
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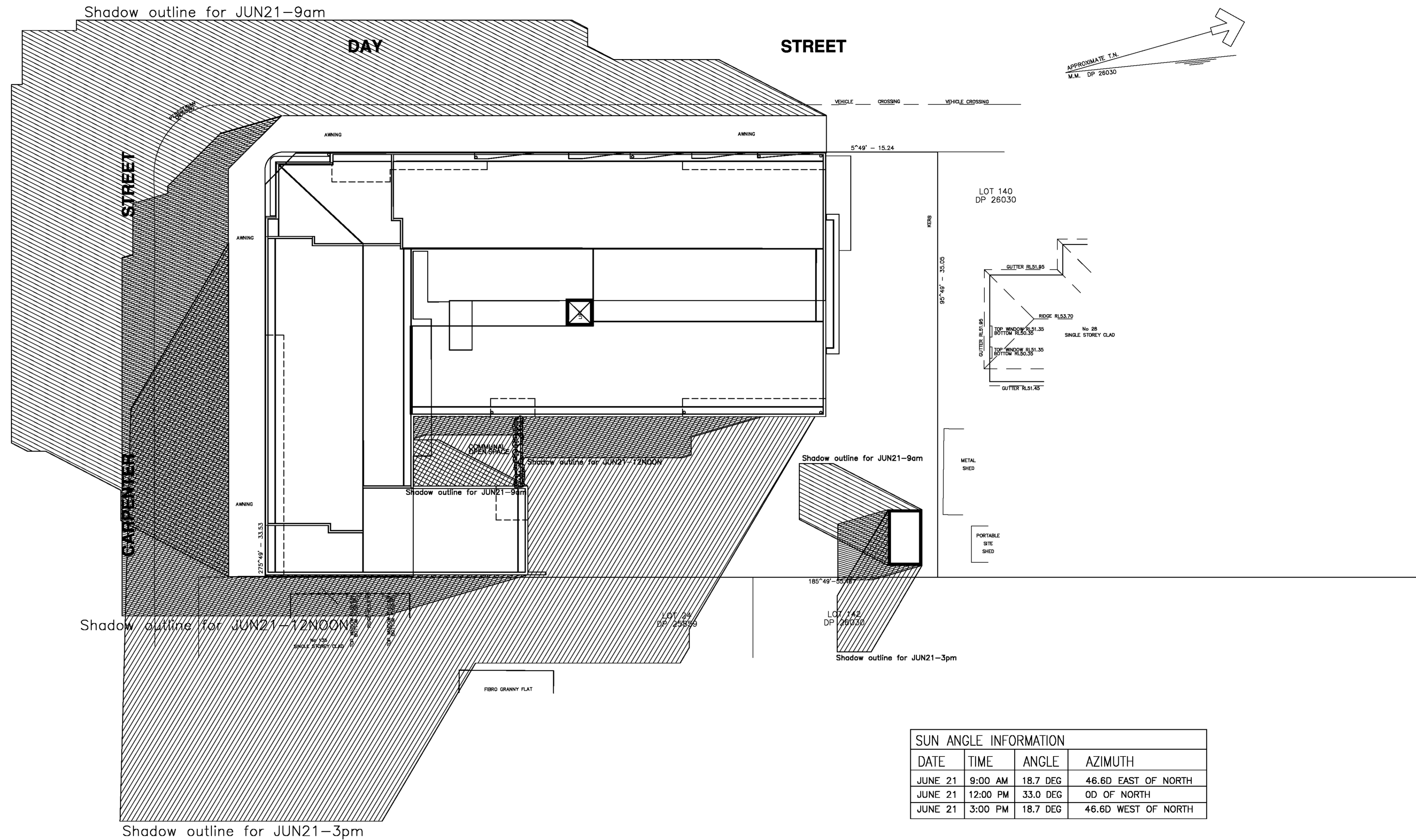
Millennium Design Consultants Pty. Ltd.
Nominated Registered Architect: J. Hibri Reg. No. 6757
42 Dolphin Crescent
Avalon Beach
NSW 2107
Telephone: +61 2 9974 5007
Fax: +61 2 9974 5004
Mobile: +61 0411 333 293
email: mdc@millenniumdesign.com.au

Client: INFINITI 3
Project: BOARDING HOUSE ADDITION TO EXISTING COMMERCIAL DEVELOPMENT
Location: 30 DAY STREET, COLYTON

Scale	Date	Drawn by	Checked by
1:100 or as shown	APRIL 2012	J.H.	Jamal Hibri

Sheet Title: **ROOF PLAN**
Sheet No: **DA08**
Project no: **21705**



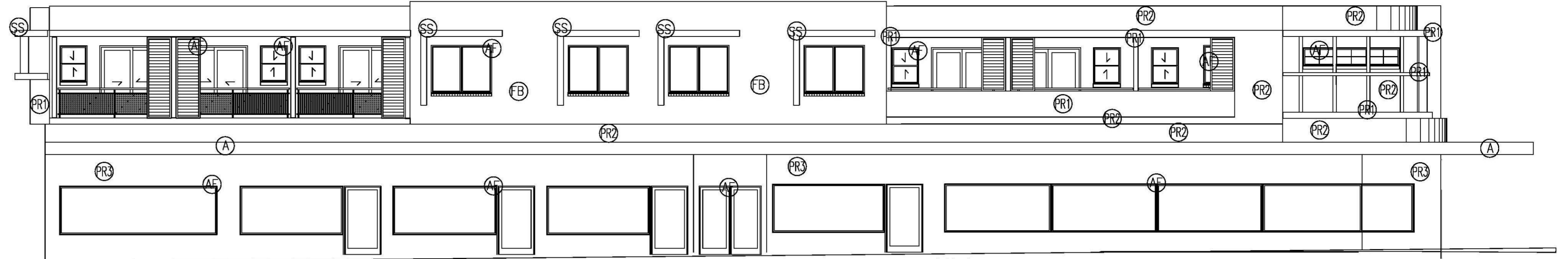


SHADOW DIAGRAM

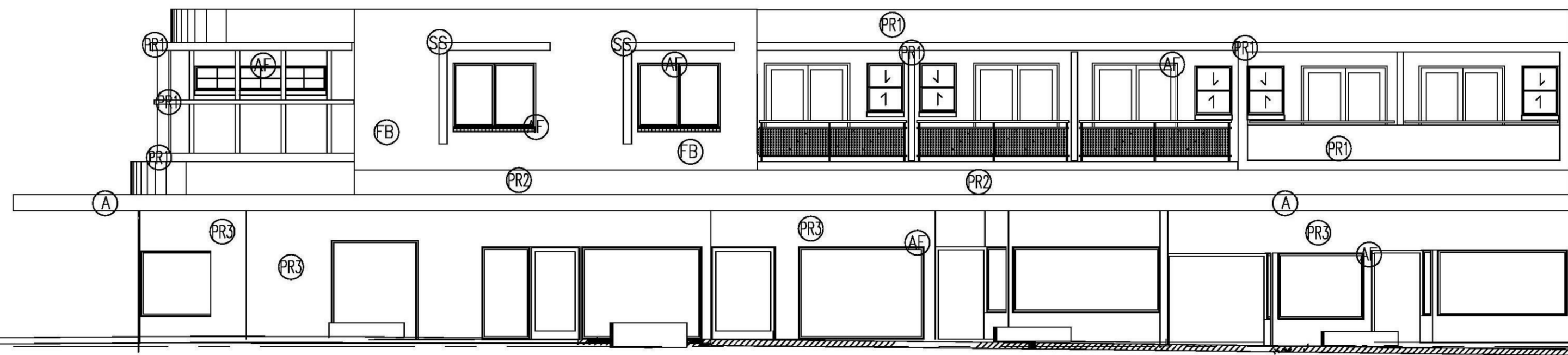
SCALE 1:200

**DA SUBMISSION
DECEMBER 2017**

Project no: 21705	Sheet No: DA10	Issues	Amendments	Initials	Date	Legend <ul style="list-style-type: none"> 110mm, thick timber wall. 110mm, thick brick wall. 230mm, thick brick wall. 250mm, thick brick veneer wall. 270mm, thick double brick wall. 200mm, concrete wall. 	General notes <ul style="list-style-type: none"> All dimensions in millimetres unless show otherwise. Drawings are not to be scaled, work to figured dimensions. All dimensions are to be checked onsite prior to construction. Any discrepancies are to be reported to the architect prior to proceeding with any more work. Drawings to be read in conjunction with the Specifications and Engineers drawings. 	<ul style="list-style-type: none"> * Head heights of all doors and windows to be 2100 mm. * Unless specified, the windows are to be centered with the internal wall. * All workmanship and materials shall comply with all the relevant codes, ordinances, Australian standards and manufacturers instructions. 	COPYRIGHT Millennium Design Consultants Pty Ltd is the owner of the copyright pertaining to these plans, designs and specifications. The design and details shown on these drawings may not be reproduced in whole or in part without the written permission of Millennium Design Consultants Pty Ltd, with whom the copyright resides.	Millennium Design Consultants Pty. Ltd. Nominated Registered Architect: J. Hibri Reg. No. 6757 42 Dolphin Crescent Avalon Beach NSW 2107 Telephone: +61 2 9974 5007 Fax: +61 2 9974 5004 Mobile: +61 0411 333 293 email: mdc@millenniumdesign.com.au	Client: INFINITI 3 Project: BOARDING HOUSE ADDITION TO EXISTING COMMERCIAL DEVELOPMENT Location: 90 DAY STREET, COLYTON	Sheet Title: SHADOW DIAGRAM	Sheet No: DA10	
		Project no: 21705	Scale: 1:100 or as shown	Date: APRIL 2012	Drawn by: J.H.							Checked by: Jamal Hibri.	Project no: 21705	



WEST ELEVATION

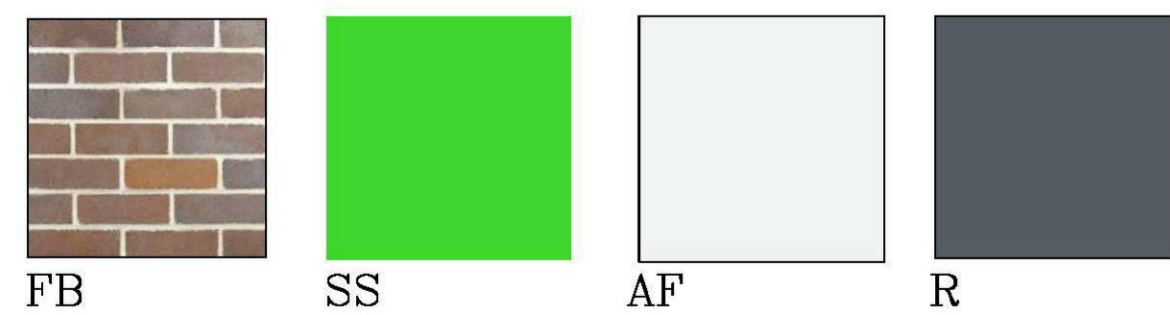
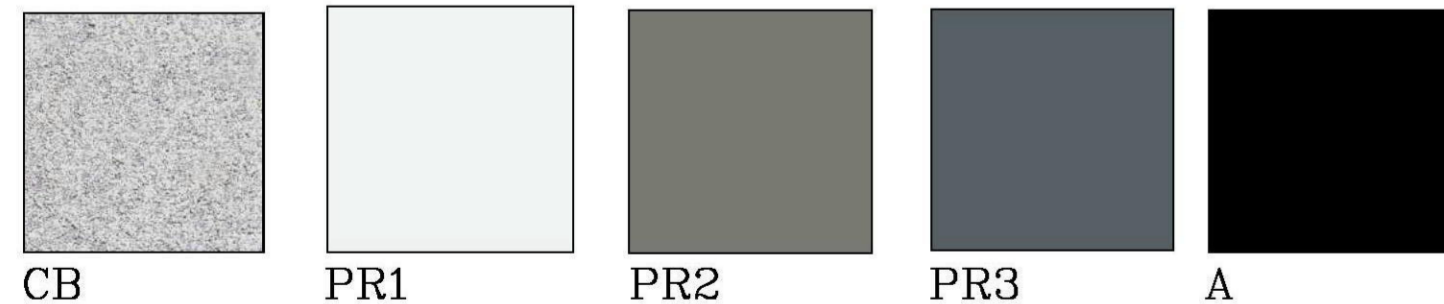


SOUTH ELEVATION

SCALE 1:100

EXTERNAL FINISHES

LOCATION	MATERIAL	COLOUR NAME COLOUR No.	SUPPLIER	COLOUR SAMPLE	COLOUR CODE	LOCATION	MATERIAL	COLOUR NAME COLOUR No.	SUPPLIER	COLOUR SAMPLE	COLOUR CODE
EXTERNAL WALLS	COLOURED BLOCK LIGHT COLOUR	PEARL GREY HONED	BORAL		CB	EXTERNAL WALL 1ST - 4TH TERRACE	PAINTED RENDER DARK COLOUR	WESTERN MAYAL P01.F7	DULUX		PR3
EXTERNAL WALLS	FACE BRICK MED COLOUR	CERTRUDIS BROWN	AUSTRAL		FB	SUNSHADE STRUCTURE	PAINTED RENDER DARK COLOUR	MIADENHAR FERN P2488	DULUX		SS
EXTERNAL WALLS	PAINTED RENDER LIGHT COLOUR	WHITE WATSONIA PWZ.D4	DULUX		PR1	BALUSTRADES, HAND RAILS, WINDOW FRAME, SCREEN	ALUMINIUM POWDERCOAT	PRECIOUS PEARL 32999	DULUX POWDER COATING		AF
EXTERNAL WALL GROUND FL	PAINTED RENDER MED COLOUR	TRISTAN PG2.C5	DULUX		PR2	ROOF	METAL COLORBOND	COLORBOND ARMOUR GREY 84760	DULUX		R
						AWNING	METAL	NOBEL BROWN PG2B8	DULUX		A



DA SUBMISSION
DECEMBER 2017

Project No: 21705	Sheet No: DA11	Issues	Amendments	Initials	Date	Legend 110mm, thick timber wall. 110mm, thick brick wall. 230mm, thick brick wall. 250mm, thick brick veneer wall. 270mm, thick double brick wall. 200mm, concrete wall.	General notes * All dimensions in millimetres unless show otherwise. * Drawings are not to be scaled, work to figured dimensions. * All dimensions are to be checked onsite prior to construction. * Any discrepancies are to be reported to the architect prior to proceeding with any more work. * Drawings to be read in conjunction with the Specifications and Engineers drawings.	Head heights of all doors and windows to be 2100 mm. * Unless specified, the windows are to be centered with the internal wall. * All workmanship and materials shall comply with all the relevant codes, ordinances, Australian standards and manufacturers instructions.	COPYRIGHT Millennium Design Consultants Pty Ltd. is the owner of the copyright pertaining to these plans, designs, and specifications. The design and details shown on these drawings may not be reproduced in whole or in part without the written permission of Millennium Design Consultants Pty Ltd. with whom the copyright resides.	Millennium Design Consultants Pty. Ltd. Nominated Registered Architect: J. Hibri Reg. No. 6757 42 Dolphin Crescent Avalon Beach NSW 2107 Telephone: +61 2 9974 5007 Fax: +61 2 9974 5004 Mobile: +61 0411 333 293 email: mdc@millenniumdesign.com.au	Client: INFINITI 3 Project: BOARDING HOUSE ADDITION TO EXISTING COMMERCIAL DEVELOPMENT Location: 30 DAY STREET, COLYTON	Sheet Title: SCHEDULE OF FINISHES	Sheet No: DA11	
		Project no: 21705	Scale: 1:100 or as shown	Date: APRIL 2012	Drawn by: J.H.							Checked by: Jamal Hibri.		

General Notes

- All lines area to be UPVC @ min 1.0% grade unless noted otherwise.
- It is the contractors responsibility to locate & level all existing services prior to the commencement of any earthworks. All design levels shown on plan shall be verified on site prior to the commencement of any work.
- All pipes to have min. 300mm cover if located within property.
- All pits in driveways be heavy duty grates. Direct surface flow to all grated surface inlet pits.
- All work do be done in accordance with council's DCP and to council's satisfaction.
- Location of downpipes and floor wastes are indicative only. Downpipes and floor waste size, location & quantity to be determined by builder and in accordance with relevant Australian Standards.
- This plan is to be read in conjunction with the Architectural, Landscape and Survey plans.
- Any discrepancies or omissions shall be referred to the design Engineer and Council Engineer for resolution.
- All pits or grates in trafficable areas to be heavy duty.
- All gutters will be fitted with leaf guards and should be inspected and cleaned to ensure leaf litter cannot enter the down pipes.
- All pit grates on site must be hinged with J-bolt lock down system.
- Pits deeper than 1m require step irons in a staggered manner. The depth of any pit in excess of 2m shall be structurally designed and certified by a Structural Engineer and submitted to council for approval.

Stormwater Drainage Notes

- Pipes will be UPVC in accordance with AS1254.
- Workmanship and materials to comply with AS2032 for UPVC pipes as appropriate.
- Invert levels shown on drawing are to be checked on site before excavation or installation of pipe work to ensure correct cover and fall.
- Do not cover or conceal from view underground or enclosed work until it has been inspected and approved.
- Concrete in pipes and elsewhere in the drainage system to have a characteristic compressive strength in accordance with AS3600 of 20MPa.
- Trenches for drain pipes shall be of sufficient width to allow for backfilling firmly around pipes and provide a clearance on each side of pipes equal to at least one-sixth the internal diameter of the pipe but not less than 50mm.
- Pipes shall be laid true to grade and alignment on a firm, well rammed, and consolidated foundation. Any soft or yielding material shall be removed and replaced with sound, well consolidated material. Any rock encountered shall be excavated to a depth not less than 100mm below bottom of pipe and the excavation refilled with well consolidated sand. Alternatively on a rock foundation the pipe may be bedded for at least one third of its circumference in an approved concrete cradle. Recesses shall be left under socketed joints to allow the barrels to bear evenly on the foundation for their full length.
- Any pipes which is not in true alignment or grade or which shows any settlement after laying or which is damaged during laying or the operation of rolling the formation shall be taken up and replaced.
- Small surface inlet pits up to 450 deep can be in PVC

Pump-Out Notes

The pump-out system is designed to work in the following manner. The pump shall be programmed to work alternatively so as to allow:

- Both pump to have equal operation load and pump life.
- A low level float shall be provided to ensure that the minimum required water level is maintain within the sump area of the below ground tank. In this regards the float will function as an off switch for the pumps.
- A second float shall be provided at a higher level, approximately 300mm above the minimum water level, whereby one of the pumps will operate and drain the tank to the level of the low level float.
- The third float shall be provided at a higher level, which is approximately the roof level of the below ground tank. This float should start other pump that is not operating and activate the alarm.
- An alarm system shall be provided with a flashing strobe light and a pump failure warning sign which are to be located at the driveway entrance to the basement level. The alarm system shall be provided with a battery back up in case of power failure.

Drainage Pipes Calculations - 30 DAY STREET, COLYTON

Line	Roof Area	Paved Area	Pervious Area	Equivalent impervious area	Design flows	Pipe Dia.	Pipe Gradient min.	Full Pipe Velocity	Cover	Check		
				sub catchment	Cumulative		%		U/S Pipe end	D/S Pipe end	Pipe Capacity	Water Speed
L1 - L2	167			167.00	167.00	100	1	0.70	0.3	0.3	OK	Ok
L2 - L3	100			100.00	267.00	100	1	1.12	0.3	0.3	OK	Ok
L3 - RWT 1 & 2	380			380.00	647.00	150	1	1.21	0.3	0.3	OK	Ok
RWT 1 & 2 - L4 - Junction Pit				0.00	647.00	150	1	1.21	0.3	0.3	OK	Ok
Pump-out - L5		50.6		45.54	45.54	50	1	0.77	0.3	0.3	OK	Ok
L6 - Outlet Pit		595.1	6.7	537.81	1230.35	225	1	1.02	0.3	0.3	OK	Ok
L7 - Outlet Pit	12.8			12.80	12.80	90	1	0.07	0.3	0.3	OK	Ok
Outlet Pit - L8				0.00	1243.15	100x200x6mm RHS	1	1.03	0.3	0.3	OK	Ok
Bypass to Outlet Pit			57	18.93	18.93							
	659.8	645.7		1262.08								

PIPE DIA.	MIN. GRADIENT	PIPE CAPACITY
90 / 100	1 IN 100	10 L/s
150	1 IN 100	25 L/s
225	1 IN 100	70 L/s
100x200 RHS	1 IN 100	70 L/s

Run-Off Coefficient C
ROOF AREA 1
PAVED AREA 0.9
PERVIOUS AREA 0.332

5YR ARI 6 MIN INTENSITY =119mm/hr

Type of area	AREA	Run-off C	CA	Q (Discharge)(L/s)
Roof	659.8	1.000	659.80	21.8
Paved	645.7	0.900	581.13	19.2
Pervious	63.7	0.332	21.15	0.7
Total	1369.2		1262.08	41.7

m (multiplier)	0.95
Roughness coefficient of Pipe (K)	0.015
n	0.01

WARNING - SERVICES

www.dialbeforeyoudig.com.au

NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

DESIGN SUMMARY FOR RAINWATER TANK (DETENTION ONLY)

SITE AREA = 1943.7m² (0.194ha)
 PREVIOUS ROOF COVERAGE = 856.65m²
 PROPOSED ROOF COVERAGE = 1234.30m²
 SSR = 280m²/ha
 PSD = 120L/s/ha
 BASIC SITE DISCHARGE = 23.28L/s

TOTAL SITE DISCHARGE
 PRE-DEVELOPMENT WITHOUT DETENTION = (856.65x1 + 975.33x0.9 + 111.72x0.332) x 205 / 3600 = 100.93 L/s
 POST-DEVELOPMENT = (1234.3x1 + 645.7x0.9 + 63.7x0.332) x 205 / 3600 = 104.58 L/s
 MAXIMUM EXCEEDED FLOW RATE INTO RWT = 3.65 L/s
 DETENTION VOLUME OVER 5mins. DURATION = 1.095m³ (1095L)
 PERMISSIBLE DISCHARGE FROM ROOF = 7.76 L/s
 PROPOSED TANK VOLUME PROVIDED = 2/5000L SLIMLINE RWT

DOWNPIPE CALCULATION

ROOF AREA = 1234.30m²
 RAINFALL INTENSITY 20yr. 6min. = 156.0mm/hr.
 ROOF PITCH = 6°
 EVES & GUTTER = STEEPER THAN 1 IN 500
 DOWNPIPES REQUIRED = 15 DPS WITH MIN. GUTTER CROSS SECTIONAL AREA OF 11750mm².
 RECOMMENDED STRATCO 175mmQUAD GUTTER OR APPROVED EQUIVALENT.

PUMP-OUT PIT CALCULATION

AREA TO PUMP OUT SYSTEM = 50.60m²
 INTENSITY OF 100yrs. 2hrs. STORM = 43.5mm/hr
 REQUIRED CAPACITY OF BELOW GROUND PUMP-OUT PIT = 4.4m³
 PROPOSED SIZE OF THE PUMP-OUT PIT = 2.0m x 2.0m x 1.2m
 INTENSITY 100yrs. 6min. STORM = 205.0mm/hr
 REQUIRED PUMP OUT RATE IN 100yrs 6min. = 2.88L/s

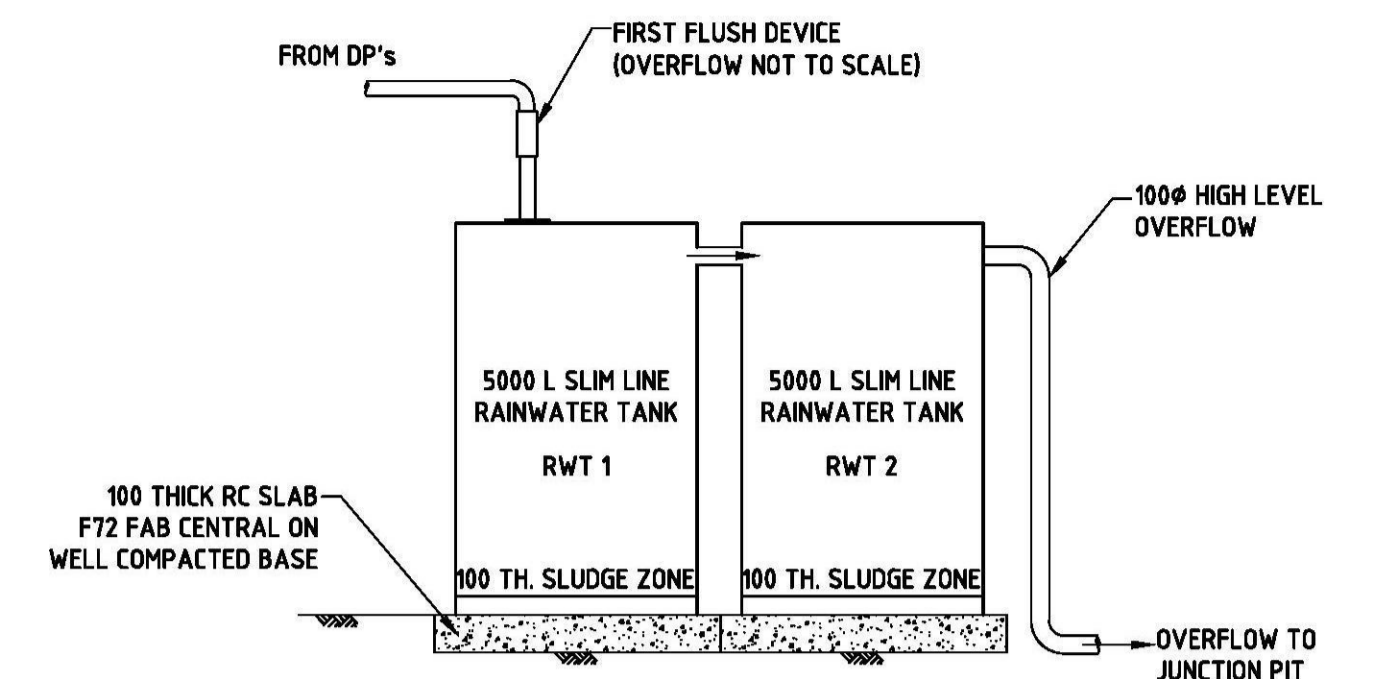
NOTES:

THIS DESIGN HAVE BEEN CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING CODES, STANDARDS AND PRACTICES:

- AS/NZS 3500.3 - STORMWATER DRAINAGE
- PENRITH CITY COUNCIL STORMWATER DRAINAGE FOR BUILDING DEVELOPMENTS

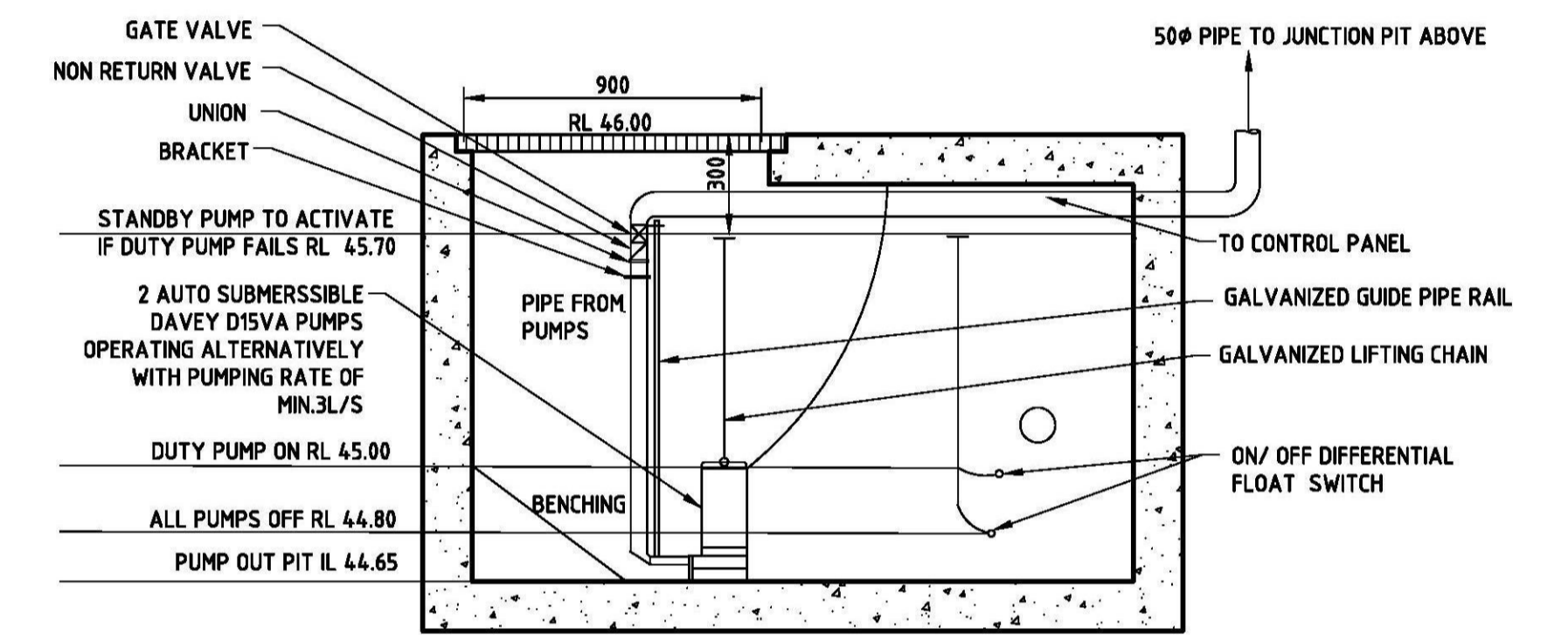
DRAWING LIST

- C1 - CONSTRUCTION NOTES, CALCULATIONS & DETAILS
- C2 - BASEMENT STORMWATER DRAINAGE PLAN
- C3 - SITE STORMWATER DRAINAGE PLAN
- C4 - ROOF STORMWATER DRAINAGE PLAN
- C5 - EROSION & SEDIMENTATION CONTROL PLAN
- C6 - EROSION & SEDIMENTATION DETAILS



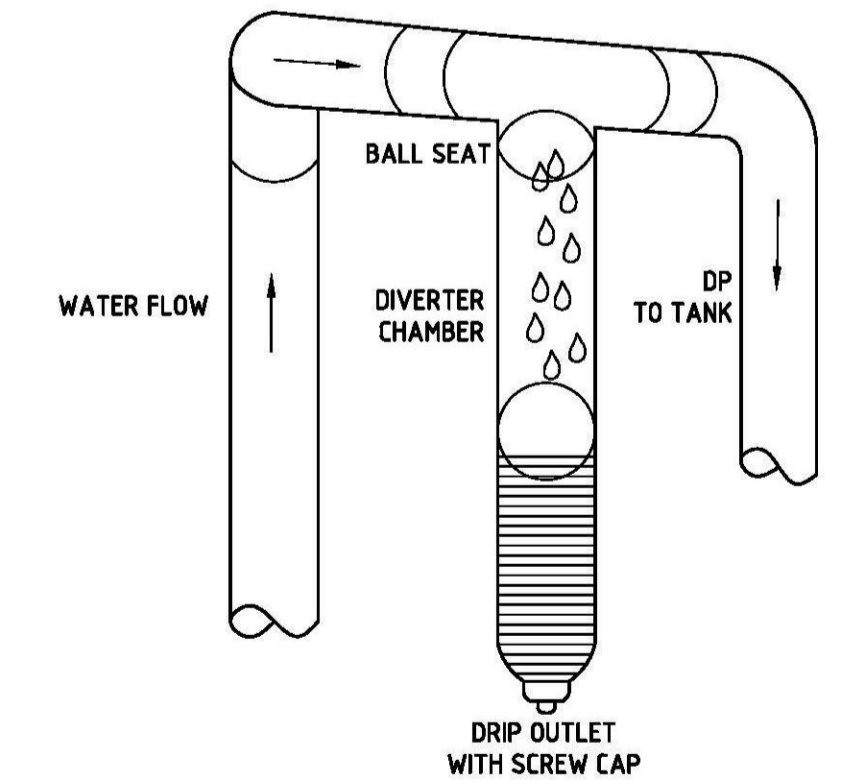
TYPICAL RAINWATER TANK DETAIL
N.T.S.

DETENTION ONLY



2.0m x 2.0m x 1.2m DEEP PUMP OUT PIT
SCALE 1:20

FIRST FLUSH OF CONTAMINATED WATER IS DIVERTED INTO CHAMBER. DIVERTER DESIGNED TO CAUSE MINIMUM OF 1mm OF INITIAL RUNOFF FROM ROOF AREA TO BYPASS RAINWATER TANK(S)

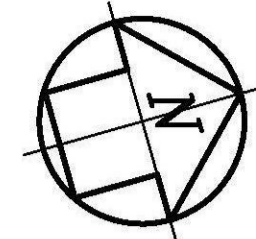


PROPRIETARY FIRST FLUSH DIVERTER
SCALE N.T.S.

NOTES: RAINWATER TANK

- PROPOSED RAINWATER TANK CAPACITY AS SPECIFIED.
- THE SYSTEM TO HAVE THE FOLLOWING FEATURES
 - A FIRST FLUSH DIVERSION TO REMOVE ROOF CONTAMINANTS
 - ADEQUATE SCREENING TO PREVENT MOSQUITO BREEDING AND ENTRY OF ANIMALS OR FOREIGN MATTER.
- TANKS TO BE PLUMBED TO TOP -UP FROM THE POTABLE WATER SUPPLY DURING DRY PERIODS WHEN THE TANKS ARE 80% EMPTY.
- THERE SHALL BE NO DIRECT CROSS-CONNECTION WITH THE SYDNEY WATER POTABLE SUPPLY AND AN AIR GAP SHALL BE MAINTAINED ABOVE THE OVERFLOW IN THE TANK.
- A SIGN SHALL BE INSTALLED STATING "NOT FOR HUMAN CONSUMPTION".
- RAINWATER TANK SHALL BE CONNECTED AS PER DETAILS.
- OVERFLOW FROM THE TANK SHALL BE PIPED TO RUBBLE PIT.

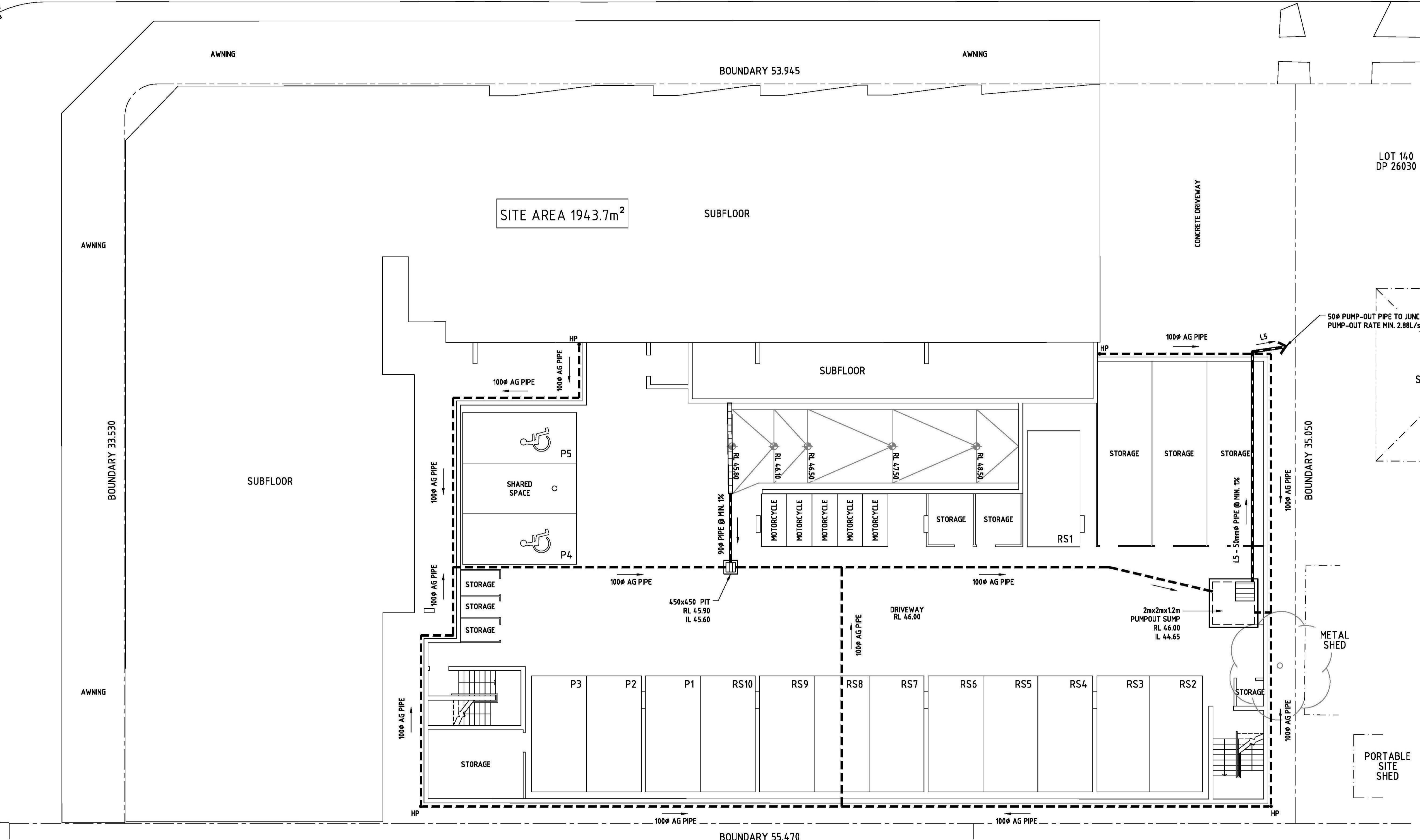
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REV. DATE DETAILS ENG DFT. REVISIONS	USE OF THESE DRAWINGS THE DESIGN AND DETAILS SHOWN ON THESE DRAWINGS ARE APPLICABLE TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART OR BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF INHOUSE CONSULTING ENGINEERS WITH WHOM COPYRIGHT RESIDES				



DAY STREET

STREET

CARPENTER

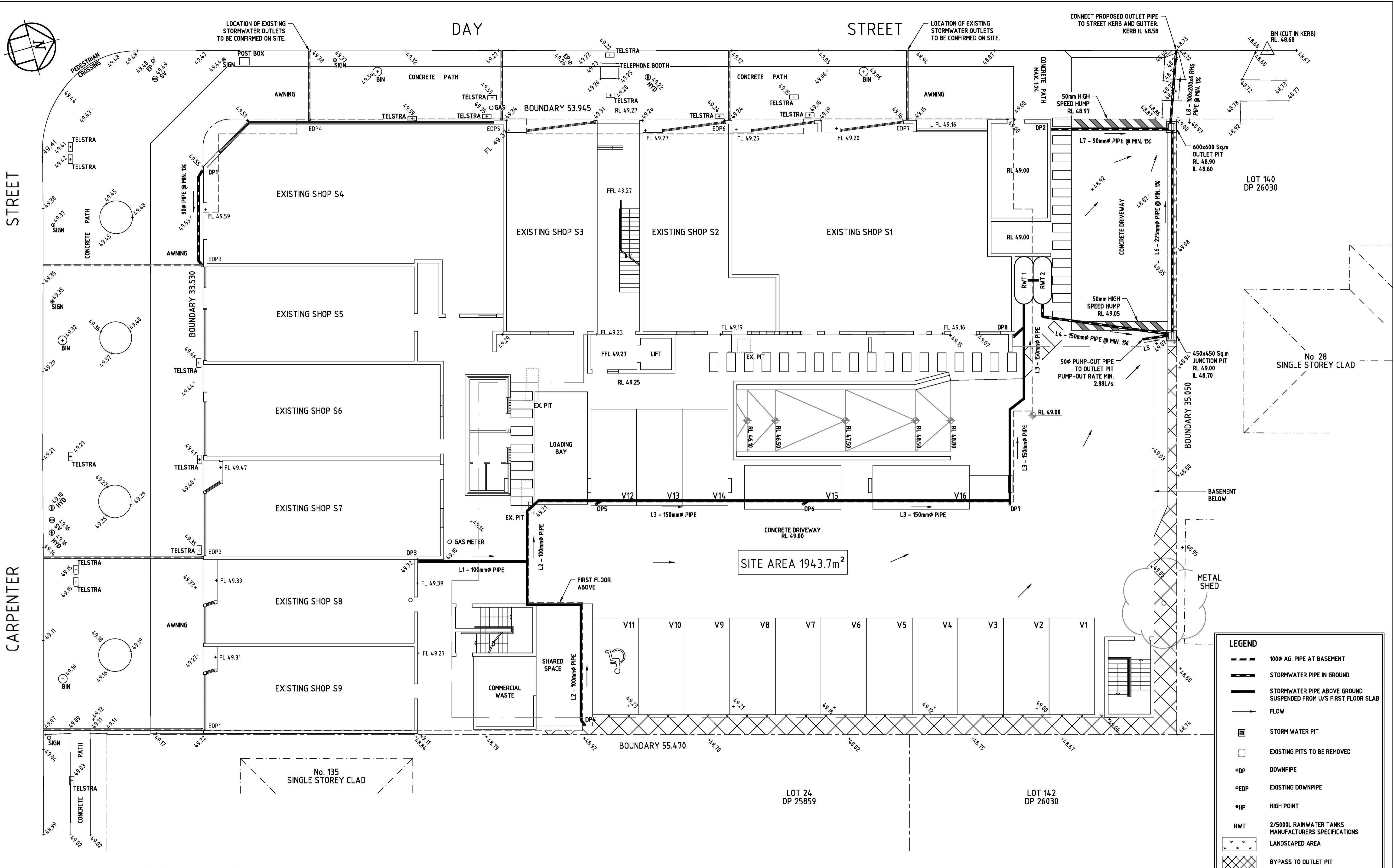


BASEMENT STORMWATER DRAINAGE PLAN
SCALE 1:100

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REV.	DATE	DETAILS	ENG	DFT.
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SITE STORMWATER DRAINAGE PLAN

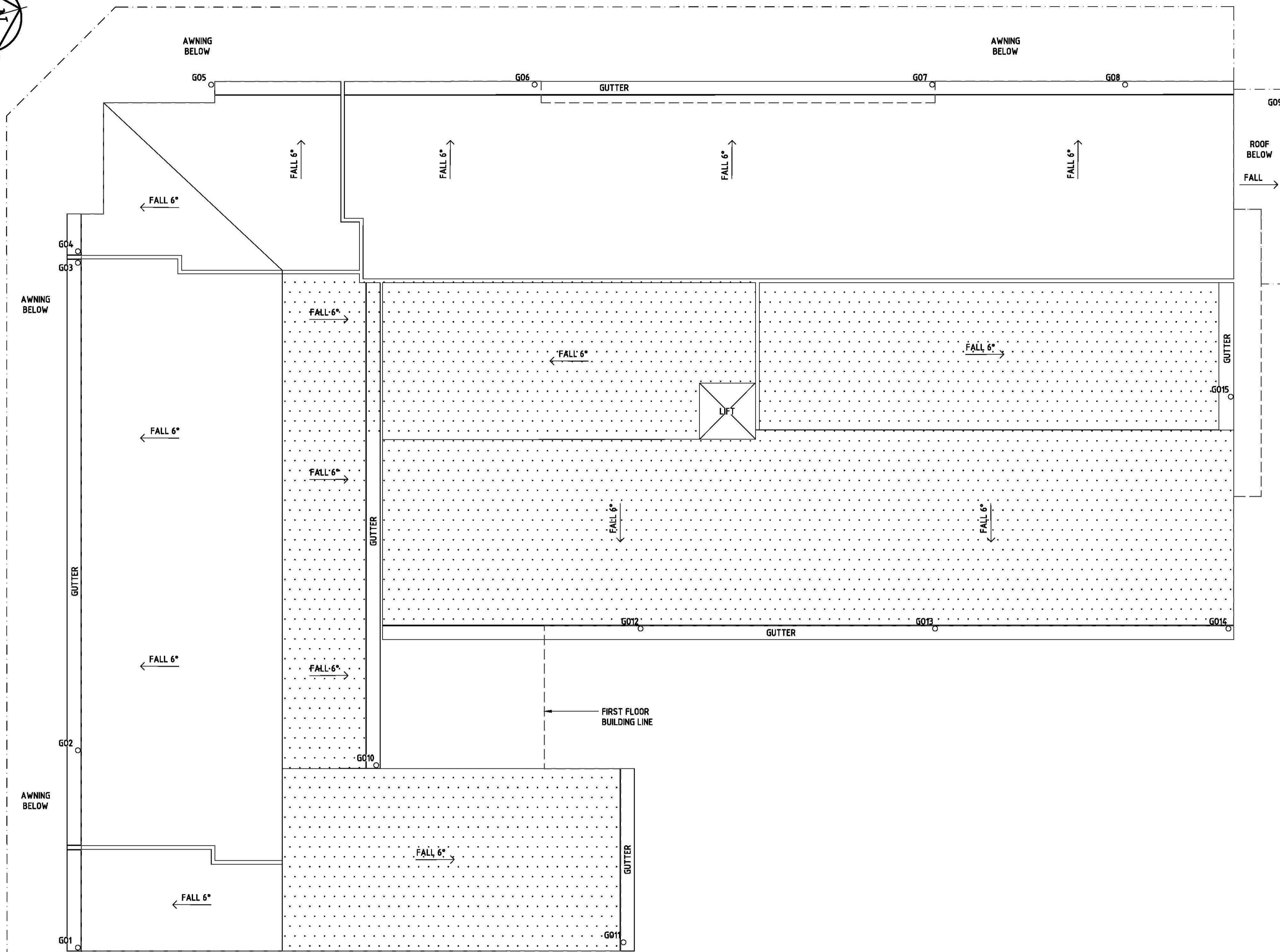
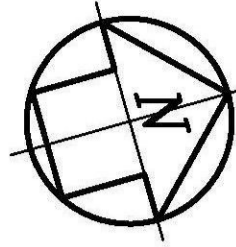
SCALE 1:100

- NOTES:**
- ALL DOWN PIPES ARE 125Ø OR 100 x 100 Sq. PIPES U.N.O.
 - L1, L2 & L3 PIPE LINES AT FIRST FLOOR SLAB LEVEL CONNECTED TO RAINWATER TANKS
 - EXISTING PITS TO BE REMOVED
 - REFER TO ARCHITECTURAL & SURVEY PLANS FOR GROUND LEVELS AND UNDERGROUND SERVICES LINE LOCATIONS

LEGEND

	100Ø AG. PIPE AT BASEMENT
	STORMWATER PIPE IN GROUND
	STORMWATER PIPE ABOVE GROUND SUSPENDED FROM U/S FIRST FLOOR SLAB
	FLOW
	STORM WATER PIT
	EXISTING PITS TO BE REMOVED
	DOWNPIPE
	EXISTING DOWNPIPE
	HIGH POINT
	2/5000L RAINWATER TANKS MANUFACTURERS SPECIFICATIONS
	LANDSCAPED AREA
	BYPASS TO OUTLET PIT

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<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>DETAILS</th> <th>ENG</th> <th>DFT.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV.	DATE	DETAILS	ENG	DFT.						<p><small>USE OF THESE DRAWINGS</small> THE DESIGN AND DETAILS SHOWN ON THESE DRAWINGS ARE APPLICABLE TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART OR BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF INHOUSE CONSULTING ENGINEERS WITH WHOM COPYRIGHT RESIDES.</p>				
REV.	DATE	DETAILS	ENG	DFT.											



ROOF STORMWATER DRAINAGE PLAN

SCALE 1:100

NOTES:

- ALL PROPOSED DOWN PIPES ARE 125Ø OR 100 x 100 Sq. PIPES U.N.D.
- ALL SELECTED FLOOR GRATES FROM BALCONY IS CONNECTED TO DOWNPIPES OR BELOW GROUND PIPE LINES.
- REFER TO ARCHITECTURAL PLANS FOR ROOF PITCHES

G0 - DENOTES SELECTED GUTTER OUTLETS CONNECTED TO NEAREST DOWNPIPES

- ROOF AREA CONNECTED TO RWT1 & RWT2

REV.	DATE	DETAILS	ENG	DFT.
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P.O. BOX 752,
KINGSWOOD, NSW 2747
Telephone : (02) 4721 0044
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Email: info@inhouseengineers.com.au

A.B.N. 44 066 587 719

DESIGNED
J MORGAN

DRAWN
J MORGAN

SCALE
1:100 (A1)

DATE
DEC ' 2017

CLIENT
REDAN CONSTRUCTIONS

Mr Roger E. Dohnt
DipTechEng, B.E. MIEAust, CPEng

Signature: *R. Dohnt* Date: **07.12.17**

Registered on the National Engineering Register
in the following areas of practice
Civil / Structural - N.E.R. No. 61807

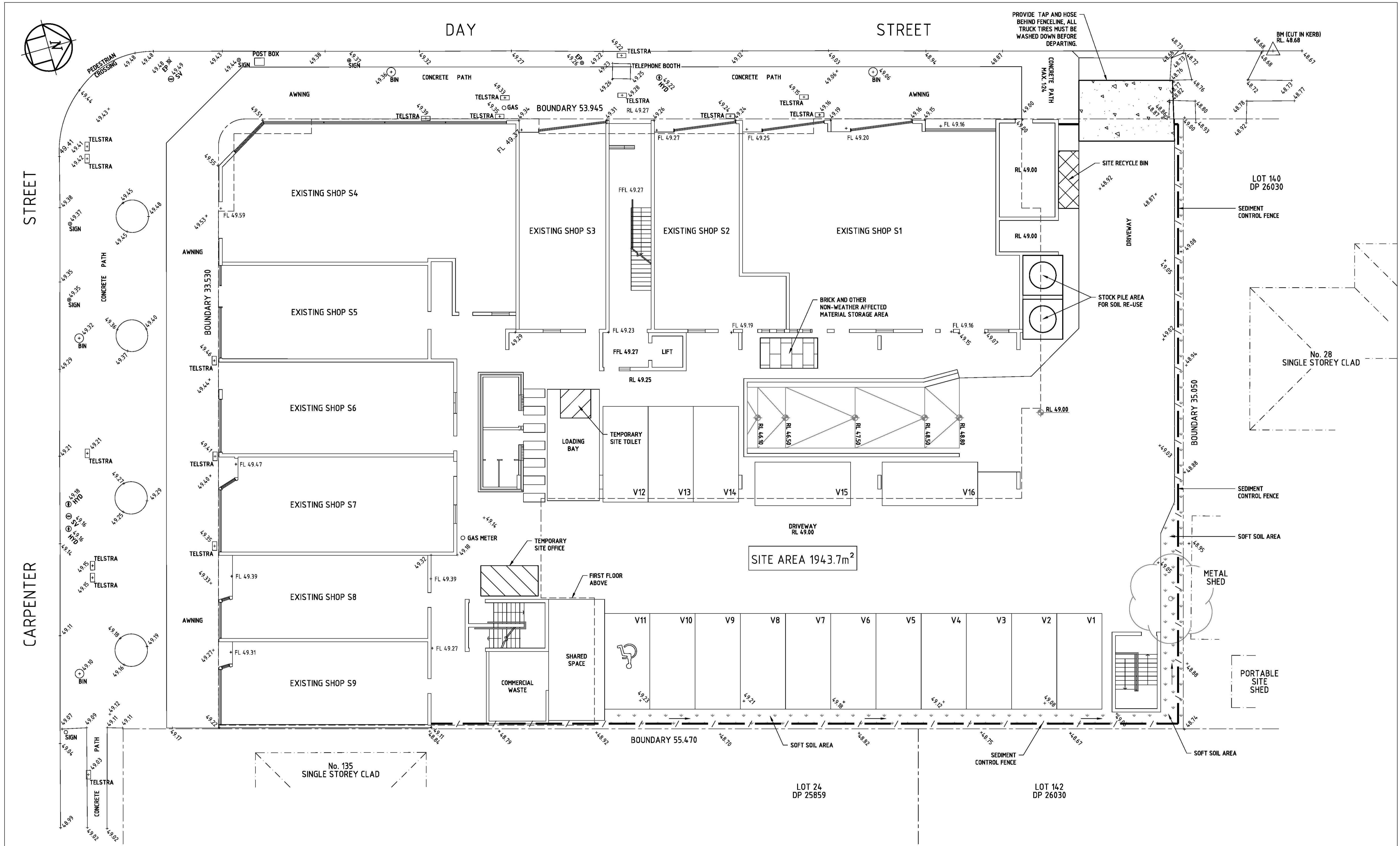
PROJECT
PROPOSED BOARDING HOUSE
AT 30 DAY STREET, COLYTON
FOR REDAN CONSTRUCTIONS

DRG TITLE
ROOF STORMWATER DRAINAGE PLAN

JOB No.
16450

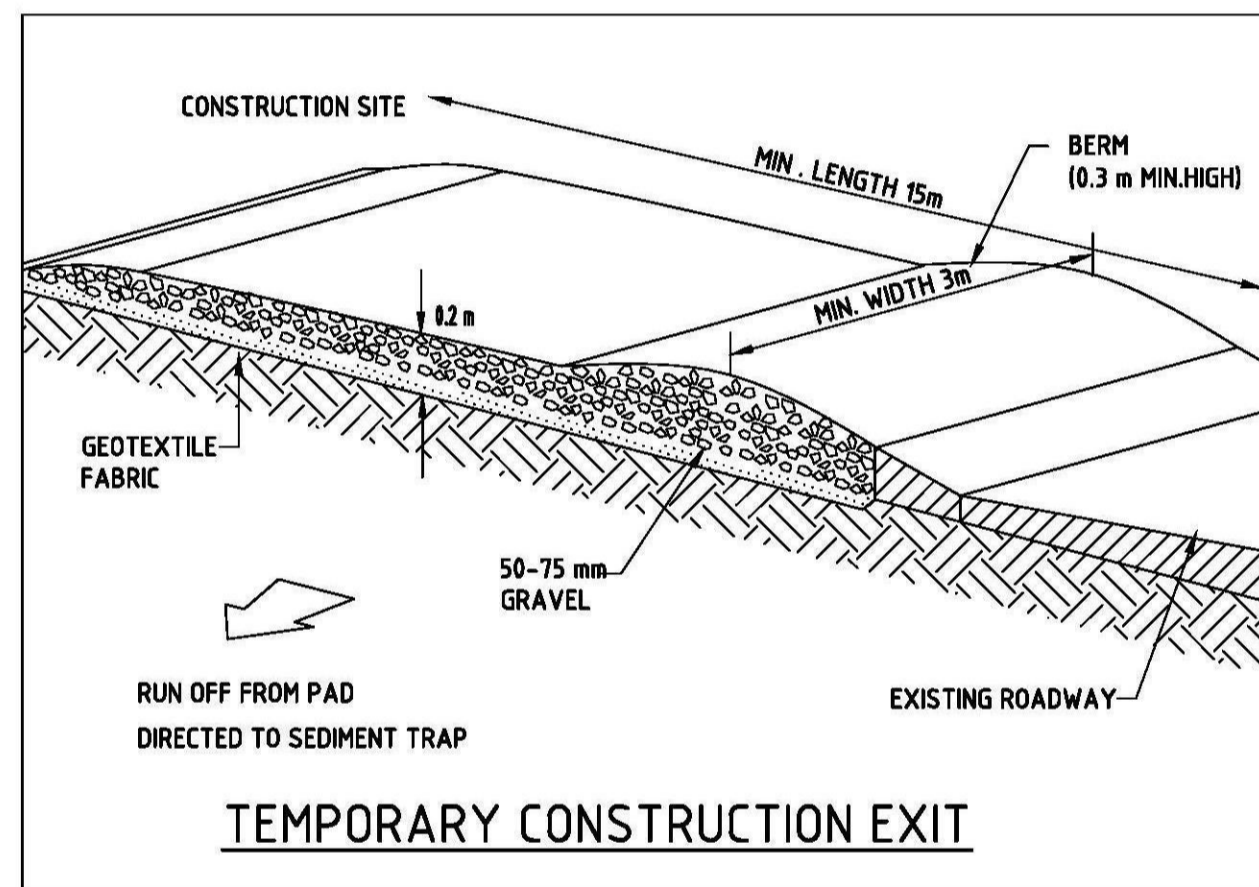
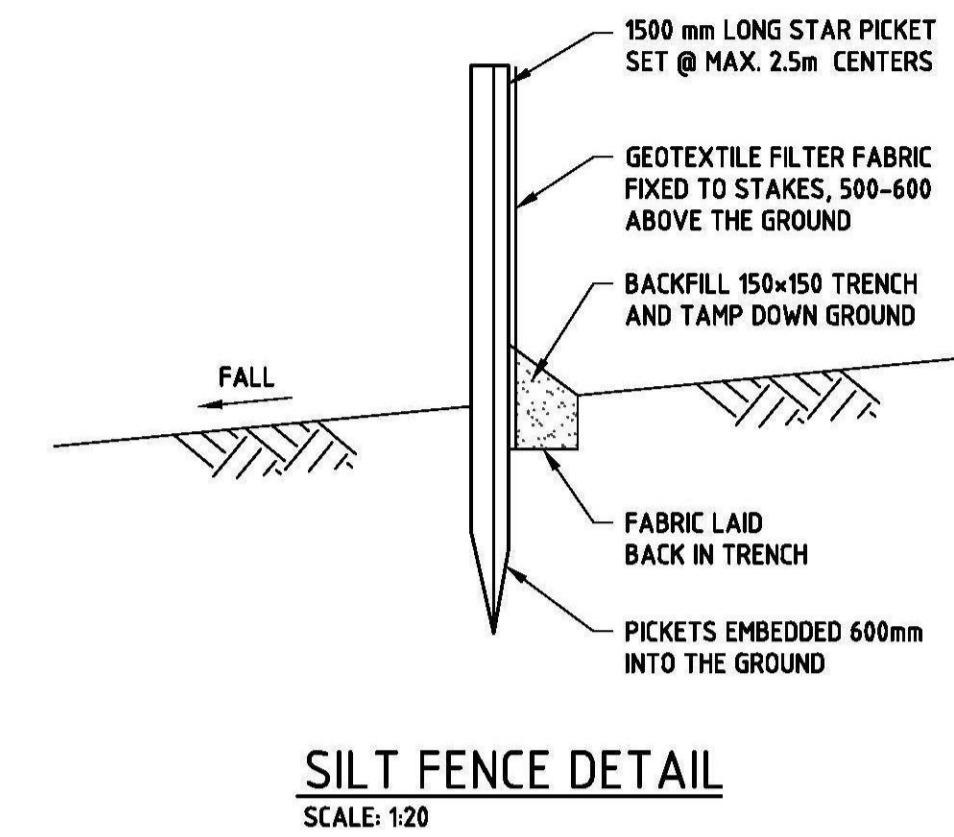
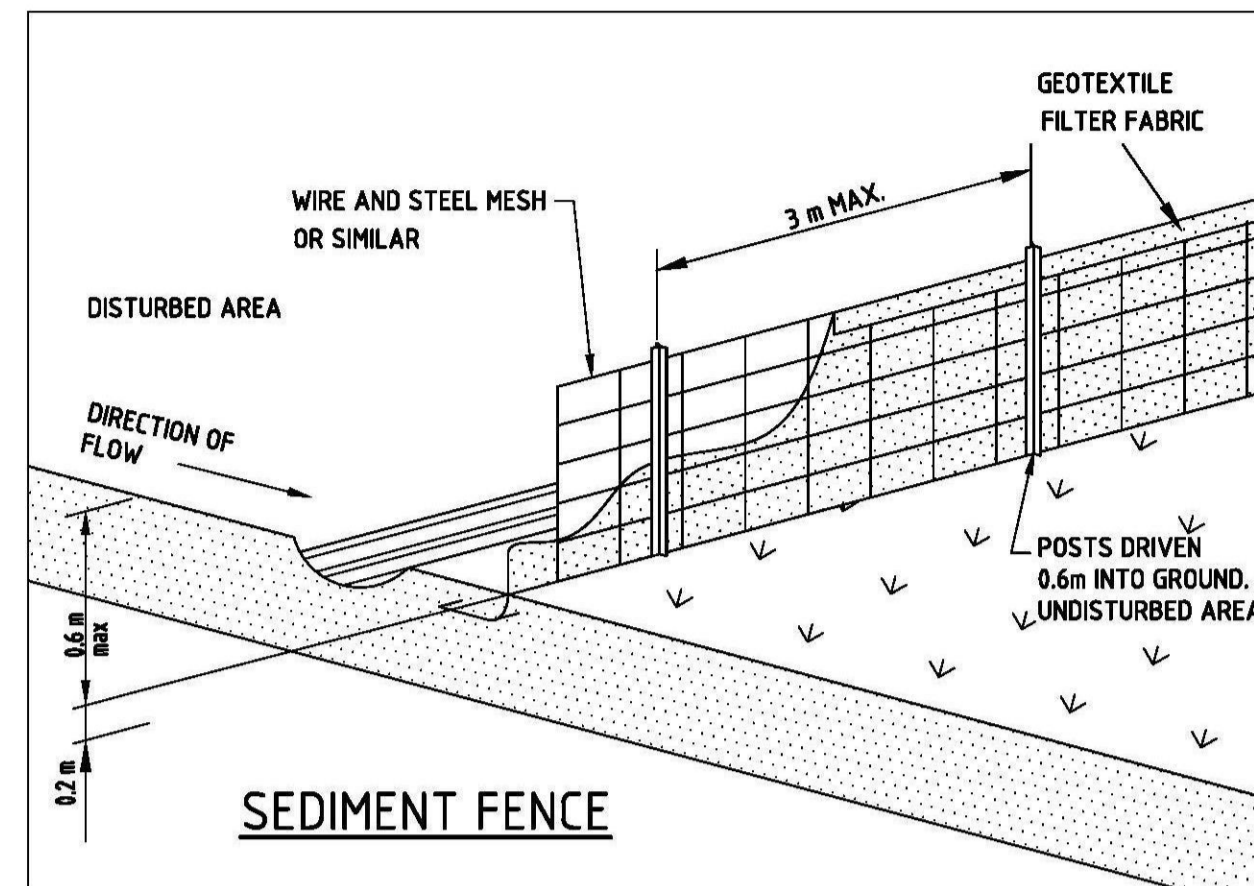
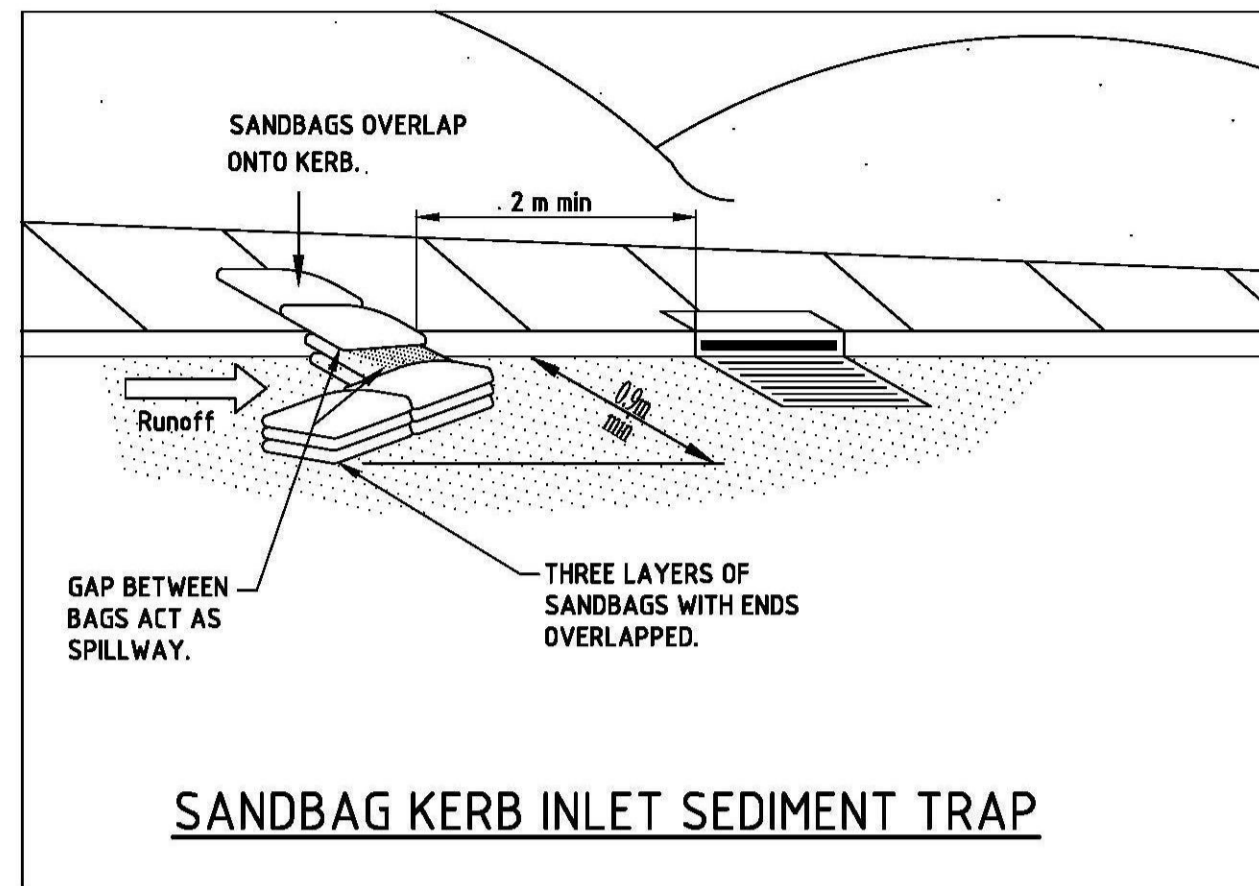
DRG No.
C4

REV.
-



EROSION & SEDIMENTATION CONTROL PLAN
SCALE 1:100

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REV. DATE DETAILS ENG DFT. REVISIONS	USE OF THESE DRAWINGS THE DESIGN AND DETAILS SHOWN ON THESE DRAWINGS ARE APPLICABLE TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART OR BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF INHOUSE CONSULTING ENGINEERS WITH WHOM COPYRIGHT RESIDES.				



EROSION AND SEDIMENT CONTROL

1. BUILDER SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE BOUNDARIES. THE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL STANDING 300mm MIN. ABOVE GROUND AND EXTENDING 200mm BELOW GROUND.

2. EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.

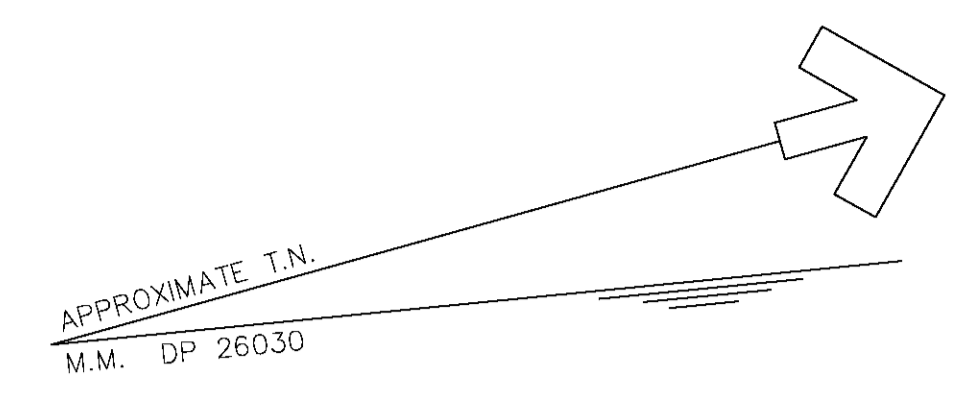
BUILDERS ACCESS

3. NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.

4. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICAL.

5. BUILDER SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING AND LEAVING THE SITE DO SO IN A FORWARD DIRECTION.

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REV.	DATE	DETAILS	ENG	DFT.	
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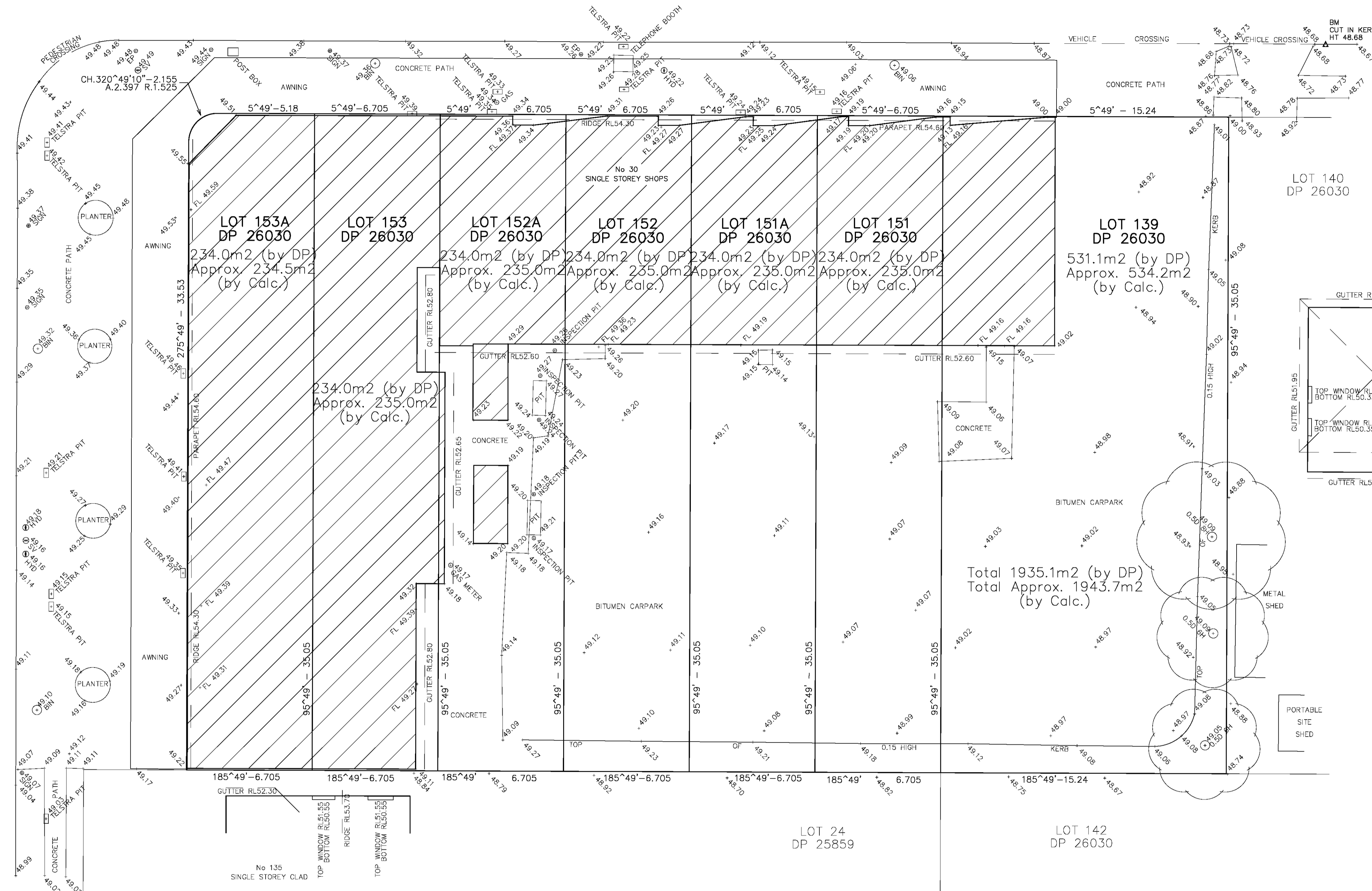


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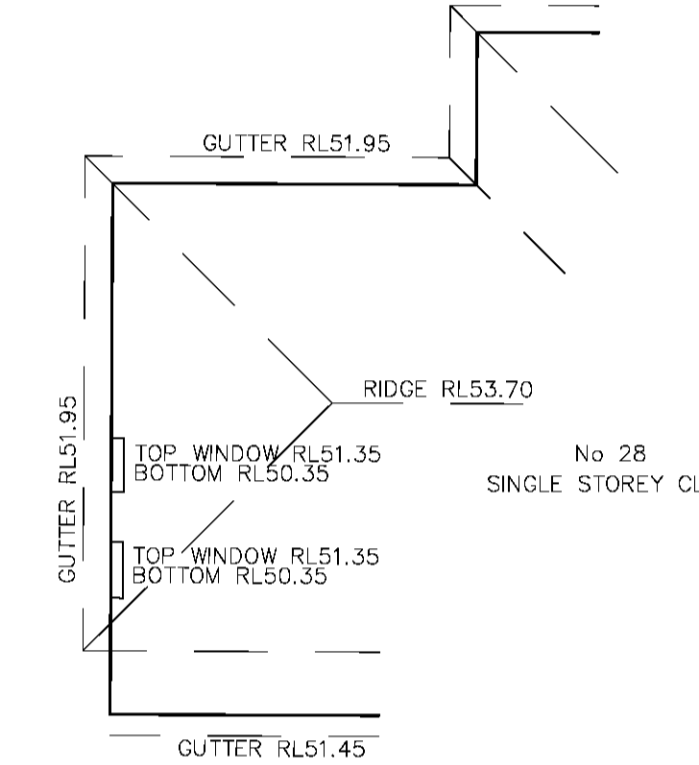
STREET

STREET

CARPENTER



Total 1935.1m2 (by DP)
Total Approx. 1943.7m2 (by Calc.)



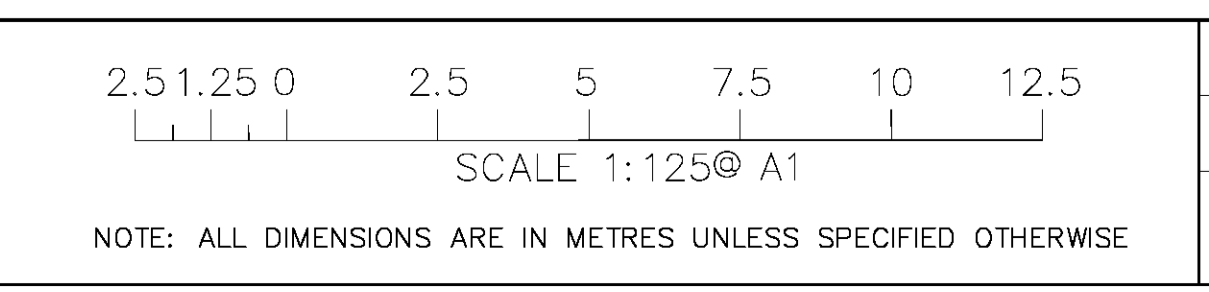
- IMPORTANT NOTES:**
1. This detail survey is not a "survey" as defined by the Surveying and Spatial Information Act 2002. If any structure is to be erected upon the land then the boundary corners MUST be marked.
 2. All bearings and distances are subject to final survey.
 3. If any building or structure is to be located relative to an existing feature shown on this plan, such feature should be located accurately by survey.
 4. Underground services have not been surveyed. Only visible services are shown and are in approximate positions only. A "Dial Before You Dig" search MUST be made before any excavation and construction work can commence.
 5. Ridge and gutter heights on subject and adjoining properties are approximate only.
 6. All tree canopies are to scale.
 7. Contours show indicative relief patterns only and are not to be used for level interpolation.
 8. These general notes should be stored with the supplied CAD drawing.

AUSTRALIAN HEIGHT DATUM

ORIGIN: PM 42452
RL: 56.640
SCIMS: 08/05/2015

DATE	REVISION	BY

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Land & Engineering Surveyors
P.O. BOX 119 Granville NSW 2142
Mobile: 0405 416 914 Fax: (02)9885 0630
Email: info@newsouthsurveys.com.au

CLIENT:	INFNITI 3 PTY LTD	SCALE:	1 : 125@ A1
PROJECT:	30 DAY STREET COLYTON TOPOGRAPHICAL SURVEY	DATE:	08/05/2015
		DRAWING No:	115221