

# EAST TO WEST OPEN CHANNEL EXTENSION

## Jordan Springs

*Landscape Drawings*



prepare for



Lend Lease

prepare by



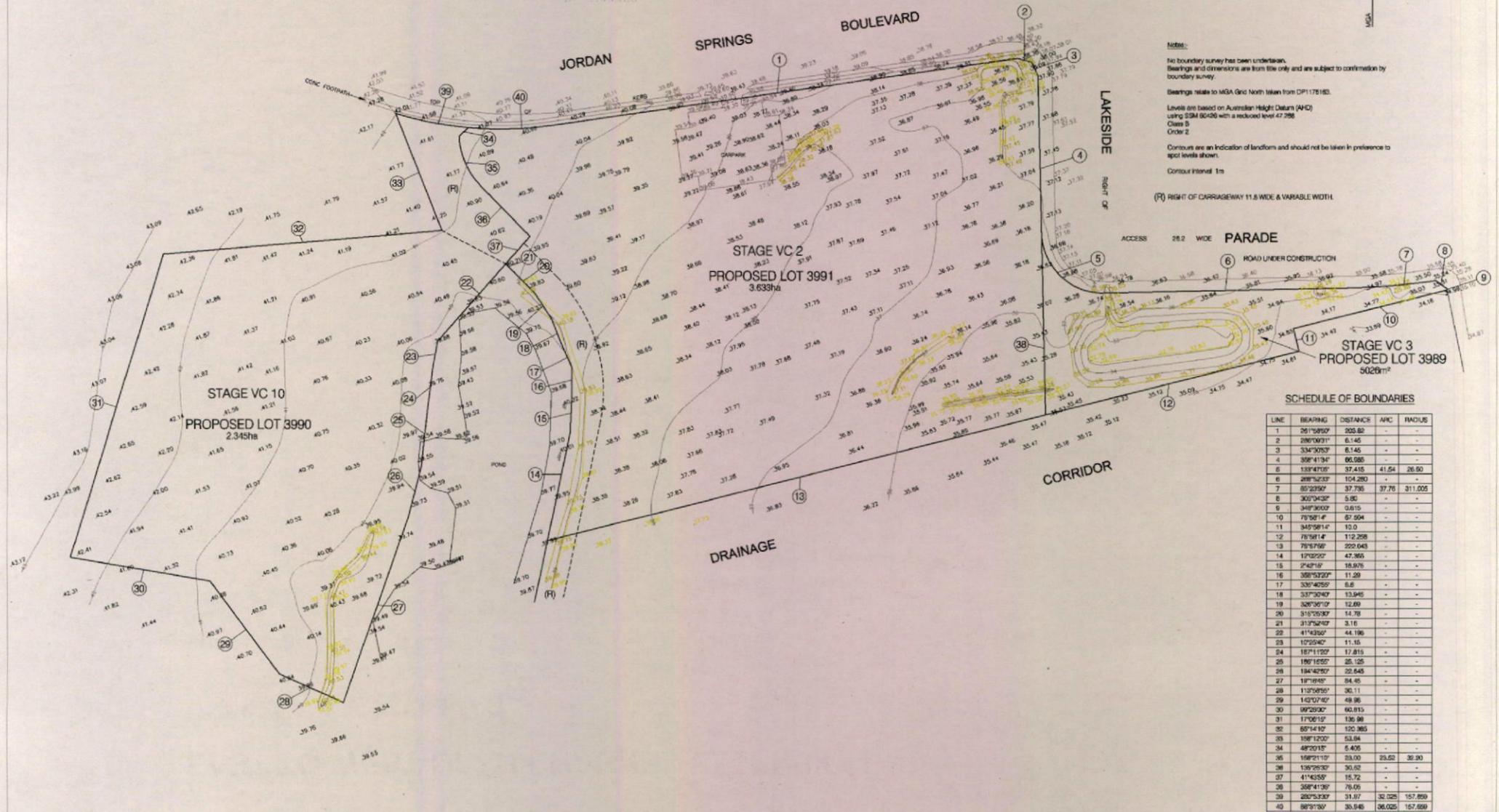
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#### DRAWING SCHEDULE

Drawing	Title
3305.VC2.01	Cover Sheet
3305.VC2.02	Landscape Plan
3305.VC2.03	Indicative Sections

NOV 13  
Issue  
A  
A  
A

1:500  
DATE: 25/09/13



**Notes:**  
 No boundary survey has been undertaken.  
 Bearings and dimensions are from this only and are subject to confirmation by boundary survey.  
 Bearings relate to MGA Grid North taken from DPI 178183.  
 Levels are based on Australian Height Datum (AHD) using DSM 60-06 with a reduced level 47.286.  
 Class B  
 Order 2  
 Contours are an indication of landform and should not be taken in preference to spot levels shown.  
 Contour Interval: 1m

(R) RIGHT OF CARRIAGEWAY 11.8 M WIDE & VARIABLE WIDTH

SCHEDULE OF BOUNDARIES

LINE	BEARING	DISTANCE	ARC	RADIUS
1	267°08'00"	325.86	-	-
2	286°00'00"	6.145	-	-
3	334°30'00"	6.145	-	-
4	358°41'34"	66.985	-	-
5	133°47'00"	37.415	41.54	26.50
6	288°52'00"	104.280	-	-
7	85°20'00"	37.735	37.75	311.005
8	300°34'00"	5.85	-	-
9	348°30'00"	0.615	-	-
10	78°58'14"	67.904	-	-
11	345°58'14"	13.0	-	-
12	78°58'14"	112.258	-	-
13	78°58'14"	222.043	-	-
14	172°22'00"	47.365	-	-
15	2°42'16"	18.976	-	-
16	358°53'20"	11.29	-	-
17	338°40'55"	6.8	-	-
18	337°30'40"	13.945	-	-
19	328°38'07"	12.89	-	-
20	316°25'00"	14.78	-	-
21	313°52'40"	3.16	-	-
22	41°43'50"	44.196	-	-
23	10°29'40"	11.15	-	-
24	167°17'50"	17.815	-	-
25	188°15'50"	25.125	-	-
26	184°42'00"	22.645	-	-
27	18°16'48"	64.45	-	-
28	113°58'55"	36.11	-	-
29	143°07'40"	49.98	-	-
30	98°29'00"	60.815	-	-
31	172°07'07"	1.96	-	-
32	85°14'10"	120.965	-	-
33	158°12'00"	53.94	-	-
34	48°20'15"	6.405	-	-
35	158°21'10"	23.00	23.02	36.90
36	136°29'30"	30.52	-	-
37	41°43'58"	15.72	-	-
38	358°41'38"	76.05	-	-
39	282°53'30"	31.87	32.025	157.850
40	88°31'30"	30.846	30.025	157.650

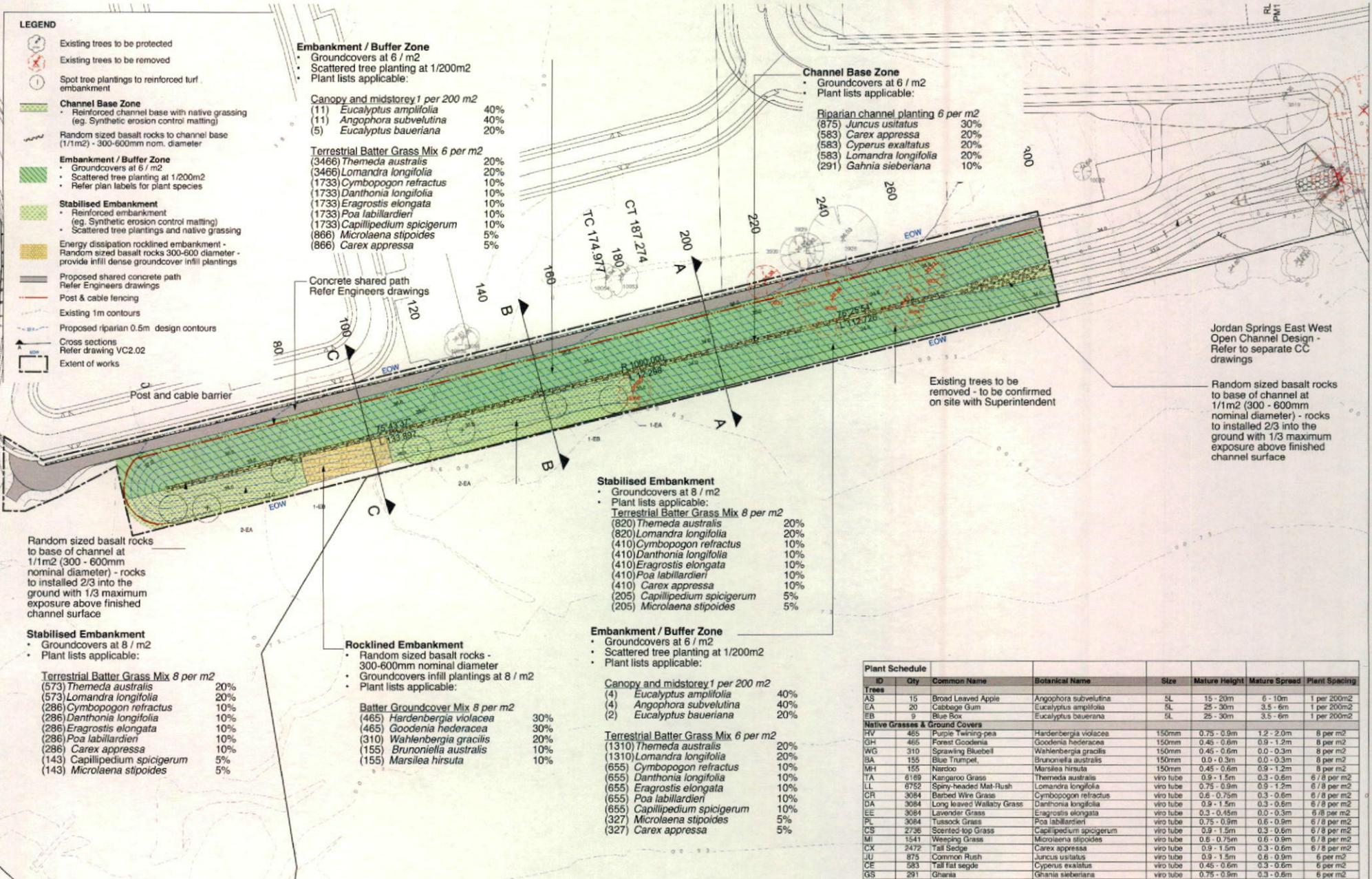
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NO.	DESCRIPTION	DATE

**LEGEND**

- TOP OF BANK
- TOE OF BANK

CLIENT	PROJECT	TITLE INFORMATION	QUALITY ASSURANCE	COMMENTS
CID GROUP	WESTERN PRECINCT - VC 2, 3 & 10 JORDAN SPRINGS	PROPOSED LOTS 3990, 3991, 3992	Drawn: DS Checked: GC Designed: PB Date: 25/09/13 Reviewed: PB Date: 25/09/13	Date of Survey: 17-20/09/13 Datum: AHD Scale: 1:800 Drawing Number: 132673 Sheet 1 of 1 Date: 25/09/13 Drawing: DETL-001/A



**LEGEND**

- Existing trees to be protected
- Existing trees to be removed
- Spot tree plantings to reinforced turf embankment
- Channel Base Zone**
  - Reinforced channel base with native grassing (eg. Synthetic erosion control matting)
  - Random sized basalt rocks to channel base (1/1m<sup>2</sup>) - 300-600mm nom. diameter
- Embankment / Buffer Zone**
  - Groundcovers at 6 / m<sup>2</sup>
  - Scattered tree planting at 1/200m<sup>2</sup>
  - Plant lists applicable:
- Stabilised Embankment**
  - Reinforced embankment (eg. Synthetic erosion control matting)
  - Scattered tree plantings and native grassing
- Energy dissipation rocklined embankment**
  - Random sized basalt rocks 300-600 diameter - provide infill dense groundcover infill plantings
- Proposed shared concrete path  
Refer Engineers drawings
- Post & cable fencing
- Existing 1m contours
- Proposed riparian 0.5m design contours
- Cross sections  
Refer drawing VC2.02
- Extent of works

**Embankment / Buffer Zone**

- Groundcovers at 6 / m<sup>2</sup>
- Scattered tree planting at 1/200m<sup>2</sup>
- Plant lists applicable:

- Canopy and midstorey 1 per 200 m<sup>2</sup>**
- (11) *Eucalyptus amplifolia* 40%
  - (11) *Angophora subvelutina* 40%
  - (5) *Eucalyptus baueriana* 20%
- Terrestrial Batter Grass Mix 6 per m<sup>2</sup>**
- (3466) *Themeda australis* 20%
  - (3466) *Lomandra longifolia* 20%
  - (1733) *Cymbopogon refractus* 10%
  - (1733) *Danthonia longifolia* 10%
  - (1733) *Eragrostis elongata* 10%
  - (1733) *Poa labillardieri* 10%
  - (1733) *Capillipedium spicigerum* 10%
  - (866) *Microlaena stipoides* 5%
  - (866) *Carex appressa* 5%

**Channel Base Zone**

- Groundcovers at 6 / m<sup>2</sup>
- Plant lists applicable:

- Riparian channel planting 6 per m<sup>2</sup>**
- (875) *Juncus usitatus* 30%
  - (583) *Carex appressa* 20%
  - (583) *Cyperus exaltatus* 20%
  - (583) *Lomandra longifolia* 20%
  - (291) *Gahnia sieberiana* 10%

**Stabilised Embankment**

- Groundcovers at 8 / m<sup>2</sup>
- Plant lists applicable:

- Terrestrial Batter Grass Mix 8 per m<sup>2</sup>**
- (820) *Themeda australis* 20%
  - (820) *Lomandra longifolia* 20%
  - (410) *Cymbopogon refractus* 10%
  - (410) *Danthonia longifolia* 10%
  - (410) *Eragrostis elongata* 10%
  - (410) *Poa labillardieri* 10%
  - (410) *Carex appressa* 10%
  - (205) *Capillipedium spicigerum* 5%
  - (205) *Microlaena stipoides* 5%

**Embankment / Buffer Zone**

- Groundcovers at 6 / m<sup>2</sup>
- Scattered tree planting at 1/200m<sup>2</sup>
- Plant lists applicable:

- Canopy and midstorey 1 per 200 m<sup>2</sup>**
- (4) *Eucalyptus amplifolia* 40%
  - (4) *Angophora subvelutina* 40%
  - (2) *Eucalyptus baueriana* 20%

- Terrestrial Batter Grass Mix 6 per m<sup>2</sup>**
- (1310) *Themeda australis* 20%
  - (1310) *Lomandra longifolia* 20%
  - (655) *Cymbopogon refractus* 10%
  - (655) *Danthonia longifolia* 10%
  - (655) *Eragrostis elongata* 10%
  - (655) *Poa labillardieri* 10%
  - (655) *Capillipedium spicigerum* 10%
  - (327) *Microlaena stipoides* 5%
  - (327) *Carex appressa* 5%

**Rocklined Embankment**

- Random sized basalt rocks - 300-600mm nominal diameter
- Groundcovers infill plantings at 8 / m<sup>2</sup>
- Plant lists applicable:

- Batter Groundcover Mix 8 per m<sup>2</sup>**
- (465) *Hardenbergia violacea* 30%
  - (465) *Goodenia hederacea* 30%
  - (310) *Wahlenbergia gracilis* 20%
  - (155) *Brunoniella australis* 10%
  - (155) *Marsilea hirsuta* 10%

Random sized basalt rocks to base of channel at 1/1m<sup>2</sup> (300 - 600mm nominal diameter) - rocks to installed 2/3 into the ground with 1/3 maximum exposure above finished channel surface

- Stabilised Embankment**
- Groundcovers at 8 / m<sup>2</sup>
  - Plant lists applicable:
- Terrestrial Batter Grass Mix 8 per m<sup>2</sup>**
- (573) *Themeda australis* 20%
  - (573) *Lomandra longifolia* 20%
  - (286) *Cymbopogon refractus* 10%
  - (286) *Danthonia longifolia* 10%
  - (286) *Eragrostis elongata* 10%
  - (286) *Poa labillardieri* 10%
  - (286) *Carex appressa* 10%
  - (143) *Capillipedium spicigerum* 5%
  - (143) *Microlaena stipoides* 5%

Existing trees to be removed - to be confirmed on site with Superintendent

Jordan Springs East West Open Channel Design - Refer to separate CC drawings

Random sized basalt rocks to base of channel at 1/1m<sup>2</sup> (300 - 600mm nominal diameter) - rocks to installed 2/3 into the ground with 1/3 maximum exposure above finished channel surface

Plant Schedule							
ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread	Plant Spacing
<b>Trees</b>							
AS	15	Broad Leaved Apple	<i>Angophora subvelutina</i>	5L	15 - 20m	6 - 10m	1 per 200m <sup>2</sup>
EA	20	Cabbage Gum	<i>Eucalyptus amplifolia</i>	5L	25 - 30m	3.5 - 6m	1 per 200m <sup>2</sup>
EB	9	Blue Box	<i>Eucalyptus baueriana</i>	5L	25 - 30m	3.5 - 6m	1 per 200m <sup>2</sup>
<b>Native Grasses &amp; Ground Covers</b>							
HV	465	Purple Twinning-pea	<i>Hardenbergia violacea</i>	150mm	0.75 - 0.9m	1.2 - 2.0m	8 per m <sup>2</sup>
GH	465	Forest Goodenia	<i>Goodenia hederacea</i>	150mm	0.45 - 0.6m	0.9 - 1.2m	8 per m <sup>2</sup>
WG	310	Sprawling Bluebell	<i>Wahlenbergia gracilis</i>	150mm	0.45 - 0.6m	0.0 - 0.3m	8 per m <sup>2</sup>
BA	155	Blue Trumpet	<i>Brunoniella australis</i>	150mm	0.0 - 0.3m	0.0 - 0.3m	8 per m <sup>2</sup>
MH	155	Nardoo	<i>Marsilea hirsuta</i>	150mm	0.45 - 0.6m	0.9 - 1.2m	8 per m <sup>2</sup>
TA	6168	Kangaroo Grass	<i>Themeda australis</i>	viro tube	0.9 - 1.5m	0.3 - 0.6m	6 / 8 per m <sup>2</sup>
LL	6752	Spiny-headed Mat-Rush	<i>Lomandra longifolia</i>	viro tube	0.75 - 0.9m	0.9 - 1.2m	6 / 8 per m <sup>2</sup>
CR	3084	Barbed Wire Grass	<i>Cymbopogon refractus</i>	viro tube	0.6 - 0.75m	0.3 - 0.6m	6 / 8 per m <sup>2</sup>
DA	3084	Long leaved Wallaby Grass	<i>Danthonia longifolia</i>	viro tube	0.9 - 1.5m	0.3 - 0.6m	6 / 8 per m <sup>2</sup>
EE	3084	Lavender Grass	<i>Eragrostis elongata</i>	viro tube	0.3 - 0.45m	0.0 - 0.3m	6 / 8 per m <sup>2</sup>
PL	3084	Tussock Grass	<i>Poa labillardieri</i>	viro tube	0.75 - 0.9m	0.6 - 0.9m	6 / 8 per m <sup>2</sup>
CS	2736	Scented-top Grass	<i>Capillipedium spicigerum</i>	viro tube	0.9 - 1.5m	0.3 - 0.6m	6 / 8 per m <sup>2</sup>
MI	1541	Weeping Grass	<i>Microlaena stipoides</i>	viro tube	0.6 - 0.75m	0.6 - 0.9m	6 / 8 per m <sup>2</sup>
CX	2472	Tall Sedge	<i>Carex appressa</i>	viro tube	0.9 - 1.5m	0.3 - 0.6m	6 / 8 per m <sup>2</sup>
JU	875	Common Rush	<i>Juncus usitatus</i>	viro tube	0.9 - 1.5m	0.6 - 0.9m	6 per m <sup>2</sup>
CE	583	Tall flat sedge	<i>Cyperus exaltatus</i>	viro tube	0.45 - 0.6m	0.3 - 0.6m	6 per m <sup>2</sup>
GS	291	Ghania	<i>Ghania sieberiana</i>	viro tube	0.75 - 0.9m	0.3 - 0.6m	6 per m <sup>2</sup>

GENERAL NOTES:  
 1. Do not scale off drawings. Follow written dimensions.  
 2. If you plan create within advice from the Superintendent.  
 3. Verify all dimensions on site.  
 4. Refer to legend for all symbols and code keys.  
 5. Read in conjunction with all specifications.  
 6. Read in conjunction with all associated drawings.

DESIGNED:	DATE:	APPROVED:	PREPARED FOR:
EP	JAN 11		
DRAWN:	DATE:	APPROVED:	
BL	JAN 11		
CHECKED:	DATE:	APPROVED:	
BL	14 11 13	AH	JAN 11

LANDSCAPE ARCHITECTS AND URBAN DESIGNERS

**Lend Lease**

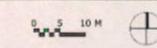
Environmental Partnership

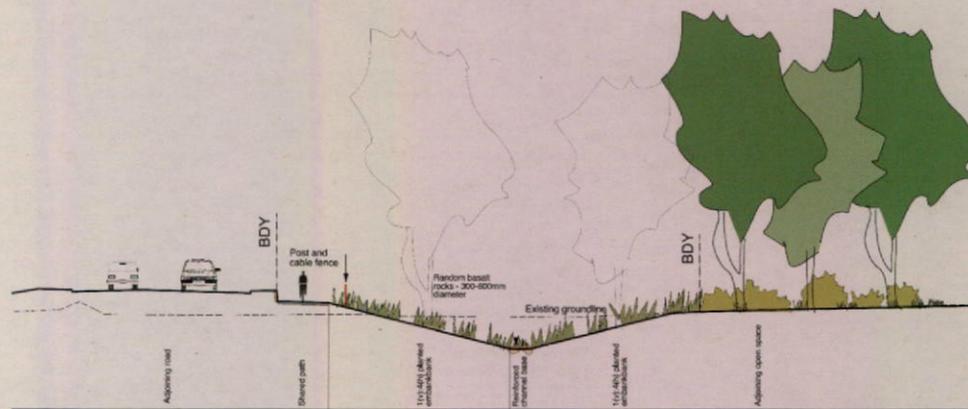
JORDAN SPRINGS

PROJECT: **East to West Open Channel Extension Jordan Springs**

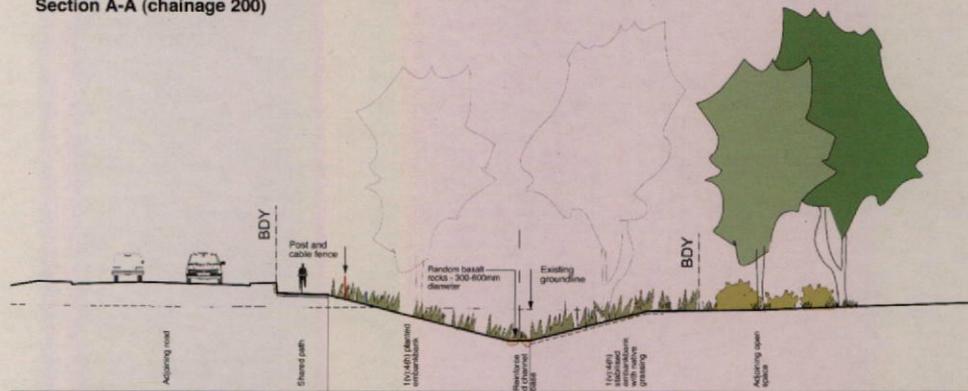
DRAWING TITLE: **Landscape Plan**

DATE:	NOVEMBER 2013
SCALE:	1:500 (@A1)
ISSUE:	A
DRAWING NO:	3305.VC2-01

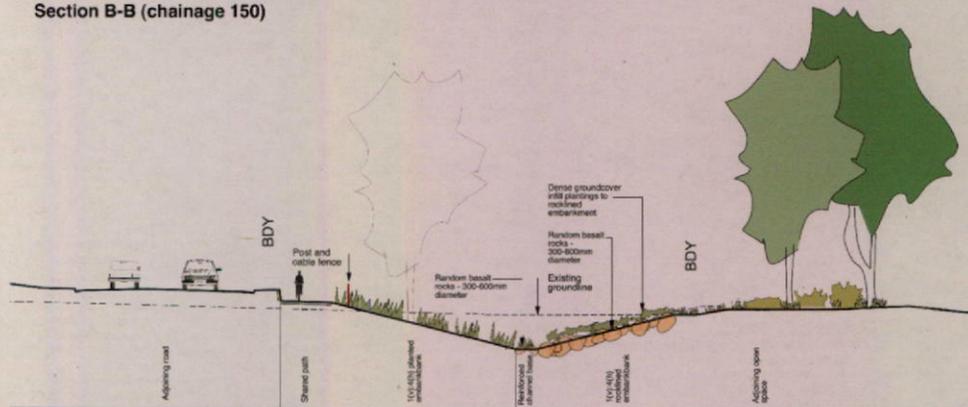




Section A-A (chainage 200)



Section B-B (chainage 150)



Section C-C (chainage 100)

- GENERAL NOTES:
1. Do not scale drawings. Follow written dimensions.
  2. If in doubt, obtain written advice from the Superintendent.
  3. Verify all dimensions on site.
  4. Refer to legend for all symbols and code keys.
  5. Read in conjunction with the specifications.
  6. Read in conjunction with all associated drawings.

DESIGNED:	DATE:	APPROVED:	PREPARED FOR:
EP	JAN 11		
DRAWN:	DATE:	APPROVED:	
BL	JAN 11		
CHECKED:	DATE:	APPROVED:	
BL	14.11.13		
ISSUE:	AMENDMENT:	DRAWN:	DATE:
A	FOR REVIEW	BL	14.11.13
		AH	JAN 11

**Lend Lease**

LANDSCAPE ARCHITECTS AND URBAN DESIGNERS



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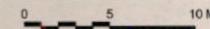
PROJECT

**East to West Open Channel Extension  
 Jordan Springs**



DRAWING TITLE:

**Indicative Cross Sections**



DATE:	NOVEMBER 2013
SCALE:	1:150 (@A1)
SHEET:	A
DRAWING NO:	3305.VC2-02





MIXED USE DEVELOPMENT, JORDAN SPRINGS  
LANDSCAPE DEVELOPMENT APPLICATION

Client:  
C.I.D Group

Prepared by:

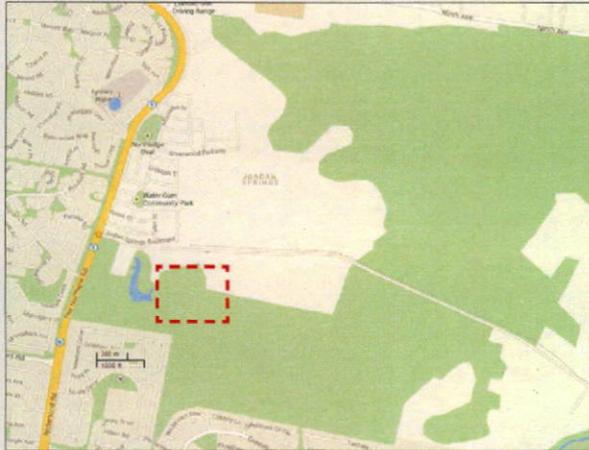
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Document	Issue	Date	Status	Review	Verify	Validate
S13-0083	01	05/03/2014	DA ISSUE	JW	JW	ED

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Site Location on Aerial Photograph (Source: Google Maps, 2012)

### 1. SITE LOCATION AND CONTEXT

The site is located within Jordan Springs a residential estate development being delivered by Lend Lease (refer above). It is situated to the south of the existing entry road, Jordan Springs Boulevard between the farm lake (undeveloped at this stage) to the east and the main Lake across Lakeside Drive to the west. It is bounded by a drainage corridor to the south and beyond this the wider Wianamatta Regional Park (containing significant Cumberland Plain Woodland). The land is relatively flat with an approximate 1:40 grade running east to west. To the north, across Jordan Springs Boulevard, is the local town centre containing Woolworths, a fitness centre and other retail outlets. Also significant to the sites context is the Town Square located to the north east of the site opposite the town centre and adjacent the main Lake.

### 2. TOWN CENTRE AND LAKESIDE DRIVE INTEGRATION

To ensure the Piazza integrates with, complements and extends the emerging activities of Town Centre, Town Square and Lake, the principal street address and entrance to the Piazza is flanked by two cafe-restaurants. This generous forecourt opens up prominent vistas to and from the lake, as well as providing ample room for outdoor dining, casual meeting and free pedestrian passageway at all times.

Lakeside Drive has been developed as main street concept with the town centre development and town square addressing this street. It has a high quality streetscape and the proposed development will form an extension of this main street enhancing and extending it without competing or drawing activity away. Extending an active commercial streetscape and social buzz through the centre of town, is the basic strategy for delivering a popular and attractive main street – benefitting both the town centre and the Piazza. The urban form of the development allows open visual and physical connections from the Lake, main shopping street and town square into the Piazza.

To create continuity in the identity of the primary shopping and civic spine, it is important to ensure the character of this zone is consistent. This consistency will be achieved by the continuation of public domain treatments along the Piazza's eastern frontage. This will extend to public pavement widths, materials, patterns, furniture and colours, including verge shrub planting and street trees where practical and where not constricting sight lines and significant views. The main street circulation along Lakeside Drive is interwoven with the main Piazza forecourt, building entrances and cafe areas by redirecting coursing and contrasting concrete panel sizes, making thresholds legible but allowing spaces to flow seamlessly into each other.

There is an opportunity beyond the Piazza site, to further emphasise this urban structure with a planting feature and artwork terminating the southern end of Lakeside Parade, acting also as an entry gateway from the east.



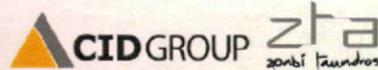
### 3. THE PIAZZA - A DISTINCT PLACE

The proposed concept reflects the importance of a strong relationship between all landscape elements within the Jordan Springs Town Centre, but at the same time it includes features and a design language to identify the Piazza as a distinct place in its own right. Beyond its immediate street frontages, the Piazza's attractions and functions are arranged with to balance strategic location, visibility, clear circulation and a hierarchy of defined spaces – public to private.

The concept includes a range of sizes and orientations of shops, cafes and restaurants brought together through the landscape. Key to the Piazza concept are visually prominent sculptural elements, a defined but informal play area, provision of shelter for changing weather and seasonal enjoyment, decorative lighting, integrated planting and furniture – all of which will contribute to the vitality and appeal of the Piazza.

The pedestrian pavement plays a significant role in delineating specific areas and functions while unifying the public domain network. The proposal suggests a consistent palette of concrete materials, colours and finishes and utilises a co-ordinated language of paving patterns. In the inner court of the Piazza, the public spaces and outdoor dining boundaries are subtly articulated by paving unit size and geometry, gathering and passive spaces are delineated from movement corridors. This pavement language is reinforced by raised planters with integrated seating edges and low shrub/lawns to moderate the scale of the space and define a range of activity areas including circulation, informal and formal seating, play and programmed events while maintaining clear circulation routes throughout the Piazza.

All service areas are discretely located to minimise their impact on the public spaces to the south west of the Piazza development.



Mixed Use Development • Jordan Springs

SITE LOCATION & CONTEXT

S13-0083 DA 3

MAR 2014 issue 01

#### 4. RESIDENTIAL DESIGN STRATEGY

The strategy for the hard landscape is to provide a consistent approach to the wider Jordan Springs development already approved by Penrith City Council. It will consist of simple materials in muted tones including broom finished concrete footpaths and strong mass planting. A feature entry wall to complement the existing entry from The Northern Road is proposed at a height of 1.2m.

A landscape planting strategy has been developed that seeks to integrate the site within its development and regional park context. In reference to the diagram, the Dark Green areas to the southern and western boundaries of the site, will consist only of native trees that form part of the Cumberland Plain Woodland (CPW) community. This will ensure that the character of the site will respond to its location and offers the potential for enhancing biodiversity and extending ecological habitats into the site. The nominated CPW species include *Angophora subvelutina*, *Eucalyptus crebra*, *Eucalyptus fibrosa*, *Eucalyptus maculata*, *Eucalyptus punctata* and *Eucalyptus sideroxylon*.

The central north-south spine of the site, native tree species - *Melaleuca linariifolia* and *Tristaniopsis laurina* 'Luscious' - will line the streets and form a further native 'layer' to the development. Deciduous ornamental tree species are proposed to the central east west orientated streets - *Fraxinus oxycarpa raywoodii* and *Pyrus ussuriensis* - chosen to integrate with existing plantings through the wider Jordan Springs development.

Street trees provide shade to all residential roads, and help to make the community more beautiful and environmentally healthy. The street trees increase property values and complement the turf and garden bed verges that they are situated in.

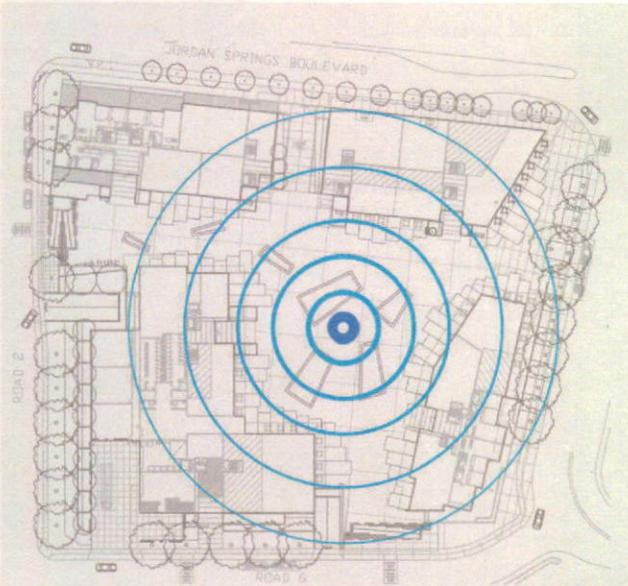
The residential fencing will consist of a combination of 1.8 m high colourbond and horizontal timber panelled fences. The colourbond fencing will be set out internally (between neighbours) with plants positioned to the base. These plants will soften, and screen the fences once established. The higher spec finished timber fencing will be located where they are visible from the public verges and roads.

All private townhouse backyards have been laid with a groundcover turf for low maintenance. To all fence perimeters, planter beds have been implemented to enclose, and soften the space. Feature pavement has been positioned to access the town houses, service corridors and gates where situated. Clothes lines are located to all backyards.



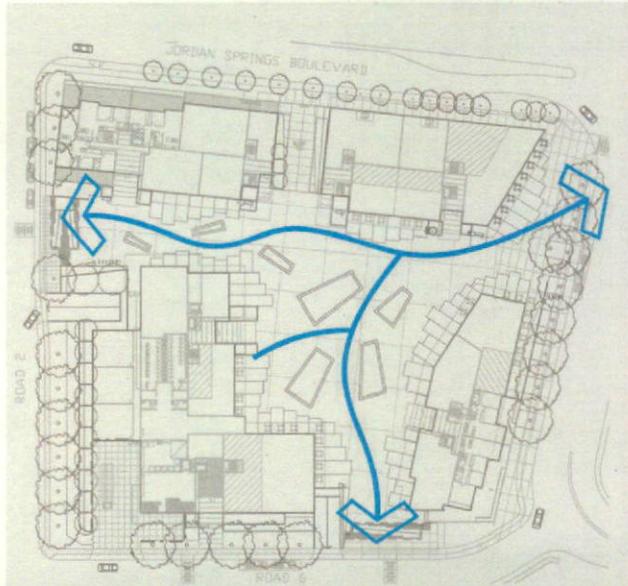
- LEGEND**
- Native Trees - Cumberland Plain Woodland
  - Native Tree Avenues
  - Deciduous Ornamental Trees
  - To match Existing Species





### THE SPRING

The simple, contextual design theme that underpins the imagery of the Piazza is 'The Spring'. A source of water or in a more urban form, the village well. As a traditional focus for a community life from time immemorial and one shared in many cultures, it provides a rationale for the basic concept and a creative reference point for future adaptation as the place evolves.

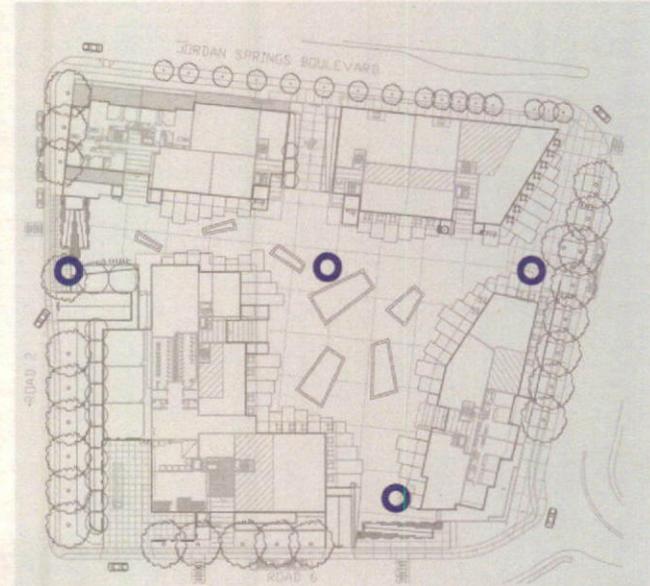


### WATER FLOW - 'THE SPRING'

Water flow patterns have been used as a design layer to help develop the landscape into the designed form. The water begins from the central 'Spring' and then gently flows through the site to the three main Piazza entry points, connecting into the wider community.

This concept can be seen on the pavement design where the patterns of banks and flows provide spatial delineation for outdoor dining areas, building entries and circulation routes, subtly moving from the central court towards the Lake.

The raised planters and vegetation patterns evoke rocks or drifting rafts as features inviting user interaction along with feature lighting that meet functional needs while providing route marking and a playful element for children.



### KEY NODES

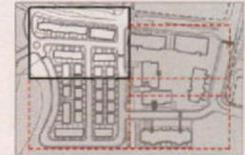
Focal points are referenced by abstract shade tree forms at the key entry points and within the Piazza. On entering the Piazza, there will be a visual connection between the four feature elements which will act as major meeting points for people as they enter the site. They define each entry with unique variations in the elements assisting with orientation. These focal points retain visual permeability, while creating landmark attractions.



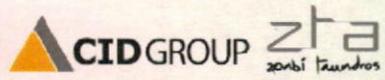


- TREE SPECIES LEGEND**
-  CUMBERLAND PLAIN WOODLAND TREES;  
Eucalyptus crebra,  
Eucalyptus fibrosa,  
Eucalyptus punctata,  
Eucalyptus sideroxylon and  
Eucalyptus maculata.
  -  NATIVE BELT TREE;  
Melaleuca linariifolia
  -  NATIVE STREET TREE;  
Tristaniopsis laurina 'Luscious'
  -  ORNAMENTAL STREET TREES;  
Fraxinus oxycarpa raywoodii - To  
match existing lakeside Parade  
Street Trees
  -  Pyrus ussuriensis
  -  NATIVE FOOTPATH TREE AND  
BOUNDARY TREE;  
Waterhousia floribunda - To  
match existing Jordan Springs  
Boulevard Street Trees





- LEGEND**
- PROPERTY BOUNDARY - Extent of Works
  - ARCHITECTURAL AWINGS - Refer to Architectural Drawings
  - NEW TREES - Refer to Landscape Key Masterplan and Plant Schedule for species and sizes.
  - MASS PLANTING - Refer to Plant Schedule
  - TURF - PUBLIC AREAS - (On both grade and structure)
  - TURF - PRIVATE AREAS - Low maintenance groundcover turf (Both on grade and structure)
  - TOWN CENTRE PAVING & PLANTING - To match existing Main Street
  - PIAZZA PAVEMENT - TYPE 1 - Large format pavers in Piazza public space
  - PIAZZA PAVEMENT - TYPE 2 - Small format pavers define lease space for outdoor dining
  - INSITU CONCRETE PEDESTRIAN PAVEMENT - To Council standard
  - PAVEMENT TO MIXED-USE ENTRANCES - Insitu concrete feature paving
  - PRIVATE COURTYARD PAVEMENT - Courtyard paving (on grade and structure)
  - INSITU CONCRETE VEHICULAR PAVEMENT - On grade and structure
  - PAVEMENT LED FEATURE LIGHTING - Recessed into Piazza pavement
  - INTERACTIVE NOISE SURFACE PLAY EQUIPMENT - Bells recessed into Piazza pavement
  - STAIRS / RAMPS - All stairs and ramps to include stainless steel handrails and tactile indicators to Australian Standards
  - RAISED TURF BEDS - Garden bed retaining walls with integrated seating on structure. Materials to be drawn from Architecture
  - FEATURE ELEMENTS - Sculptural shade structures. Perforated metal with glass inserts to complement Architecture
  - SHADE CANOPY - Shade canopy to Artist detail. Materials and colours to complement Architecture
  - FEATURE CONCRETE RENDERED BLADE WALL - Highlighting Piazza entries and buildings. Materials and colours to complement Architecture
  - CONCRETE WALL - Rendered concrete garden retaining walls at varying heights
  - ENTRY FEATURE WALLS - Gabions with development name
  - LANDSCAPE FENCES - RESIDENTIAL
  - OUTDOOR CAFE DINING - Indicatively showing commercial outdoor lease areas
  - SEATING
  - LITTER BINS
  - BICYCLE RACKS
  - CLOTHES LINE
  - PROPOSED LEVELS

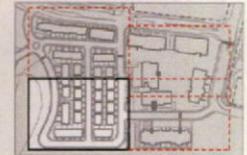


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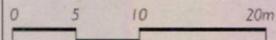
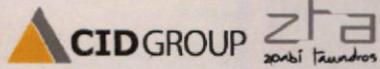


Mixed Use Development • Jordan Springs  
**DETAIL PLAN - SHEET 1 OF 4**

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- KEY PLAN** ①
- LEGEND**
- PROPERTY BOUNDARY  
- Extent of Works
  - ARCHITECTURAL AWINGS  
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- Gabions with development name.
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  - OUTDOOR CAFE DINING  
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  - SEATING
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  - BICYCLE RACKS
  - CLOTHES LINE
  - PROPOSED LEVELS  
+38.00

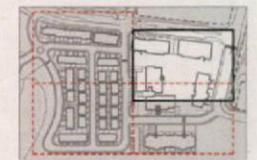


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DETAIL PLAN - SHEET 2 OF 4

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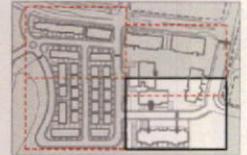
MAR 2014 issue 01



**LEGEND**

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- Courtyard paving (on grade and structure).
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- On grade and structure.
- PAVEMENT LED FEATURE LIGHTING  
- Recessed into Piazza pavement.
- INTERACTIVE NOISE SURFACE PLAY EQUIPMENT  
- Bells recessed into Piazza pavement.
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- SEATING
- LITTER BINS
- BICYCLE RACKS
- CLOTHES LINE
- PROPOSED LEVELS





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- Extent of Works
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- INSITU CONCRETE PEDESTRIAN PAVEMENT  
- To Council standard.
- PAVEMENT TO MIXED-USE ENTRANCES  
- In situ concrete feature paving.
- PRIVATE COURTYARD PAVEMENT  
- Courtyard paving (on grade and structure).
- INSITU CONCRETE VEHICULAR PAVEMENT  
- On grade and structure.
- PAVEMENT LED FEATURE LIGHTING  
- Recessed into Piazza pavement.
- INTERACTIVE NOISE SURFACE PLAY EQUIPMENT  
- Belts recessed into Piazza pavement.
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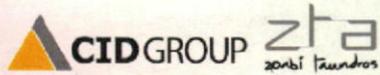




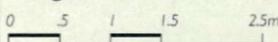
**SECTIONAL ELEVATION AA**  
Scale 1:50@A3



**SECTIONAL ELEVATION BB**  
Scale 1:50@A3



1:50 @A3



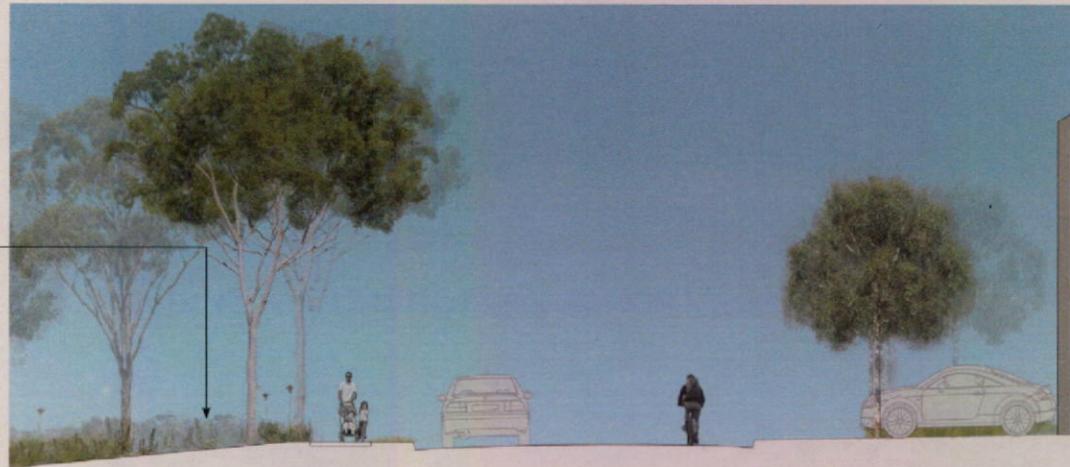
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**SECTIONAL ELEVATIONS - SHEET 1 OF 5**

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Planting to be consistent with Asset protection plan



Low Density Cumberland Plain  
Woodland planting to boundary

Public Footpath  
1.2m

Turf verge  
0.8m

Dual Carriageway  
(Road 4)

1.3m

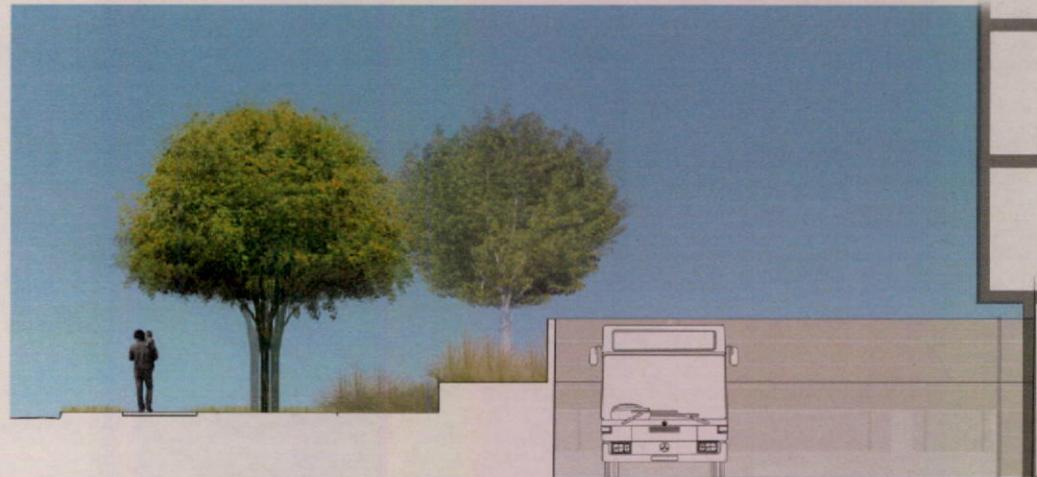
Public Footpath  
1.3m

Private driveway

Town House

**SECTIONAL ELEVATION CC**

Scale 1:50@A3



Dual Carriageway  
(Road 2)

1.3m Turf verge

1.2m Public footpath

Turf verge with Street Tree Vases

Mass planting  
3.0m

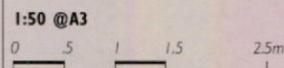
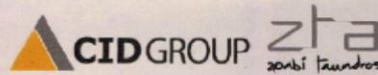
Planter bed retaining wall  
3.0m

Garbage pickup point

Block D

**SECTIONAL ELEVATION DD**

Scale 1:50@A3

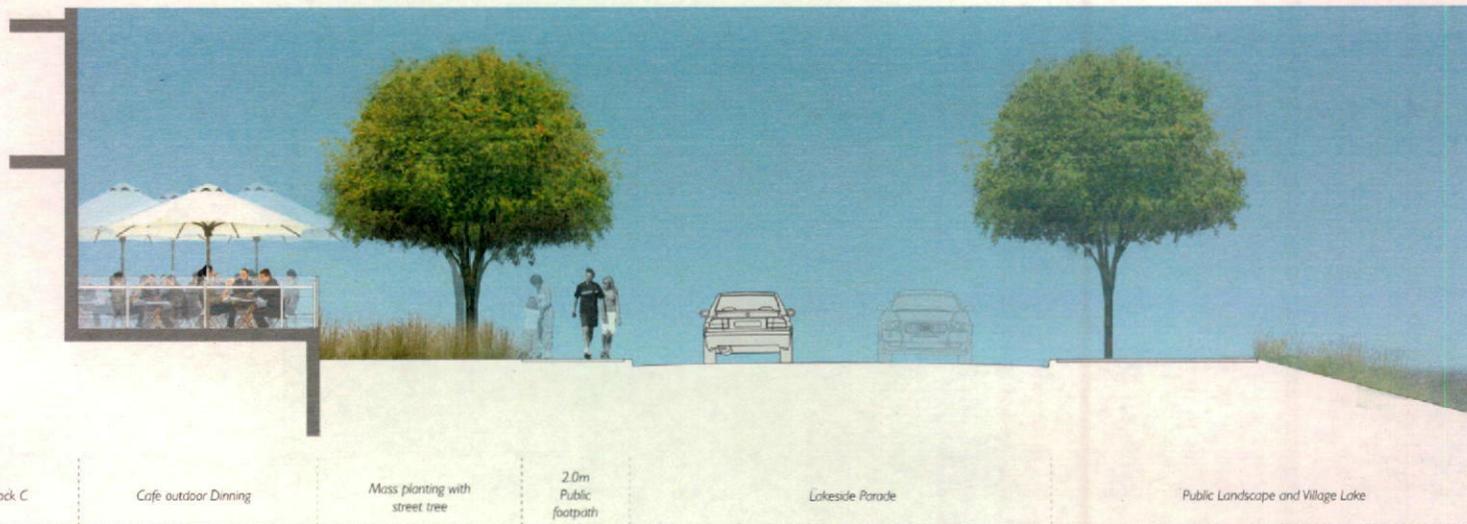


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**SECTIONAL ELEVATIONS - SHEET 2 OF 5**

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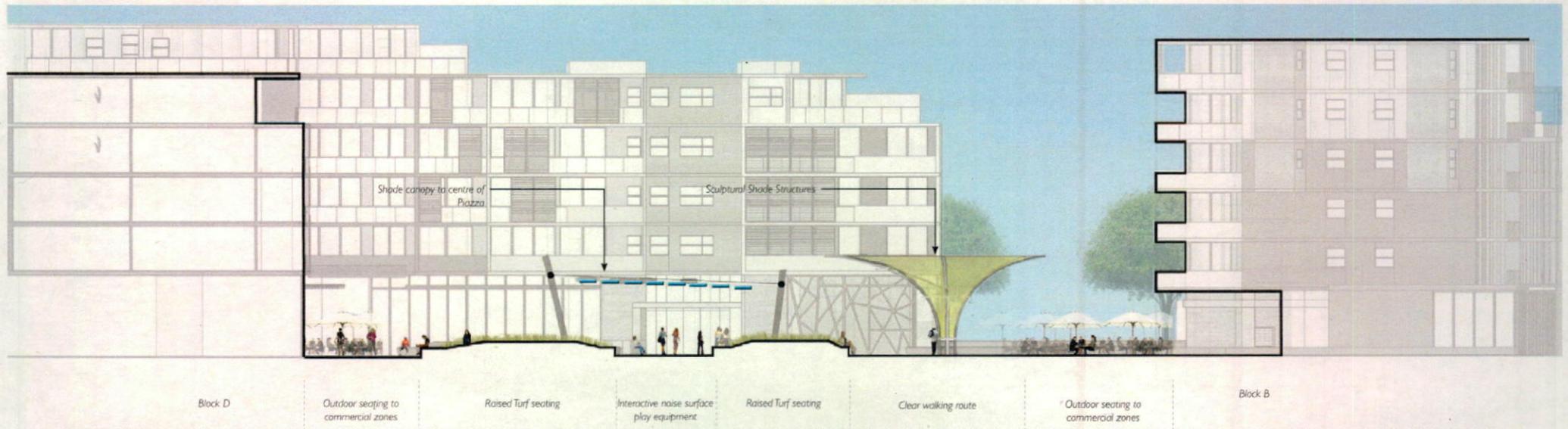


**SECTIONAL ELEVATION FF**  
 Scale 1:50@A3



**TYPICAL TOWNHOUSE ELEVATION**

Scale 1:50@A3



**SECTIONAL ELEVATION HH**  
Scale 1:250@A3



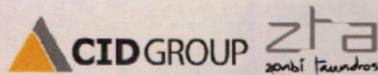
**SECTIONAL ELEVATION II**  
Scale 1:250@A3



VIEW 1 ENTRANCE - View into Piazza from Western Entry (Road 2).



LANDSCAPE ARCHITECTS • URBAN DESIGNERS • LANDSCAPE PLANNERS



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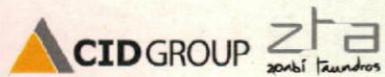
3D VIEWS - VIEW 1

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VIEW 2 PIAZZA - View into Piazza from Eastern Entry (Lakeside Parade).



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3D VIEWS - VIEW 2

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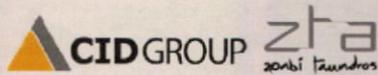


VIEW 3 ENTRANCE - View into Piazza from Western Entry (Road 2).



CLOUSTON associates

LANDSCAPE ARCHITECTS • URBAN DESIGNERS • LANDSCAPE PLANNERS



CID GROUP zta  
zombi táundros

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3D VIEWS - VIEW 3

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MAR 2014 issue 01



VIEW 4 ENTRANCE - View into Piazza from Southern Entry (Road 6).

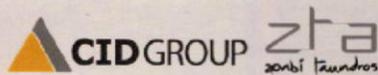
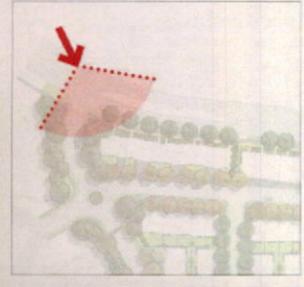


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3D VIEWS - VIEW 4

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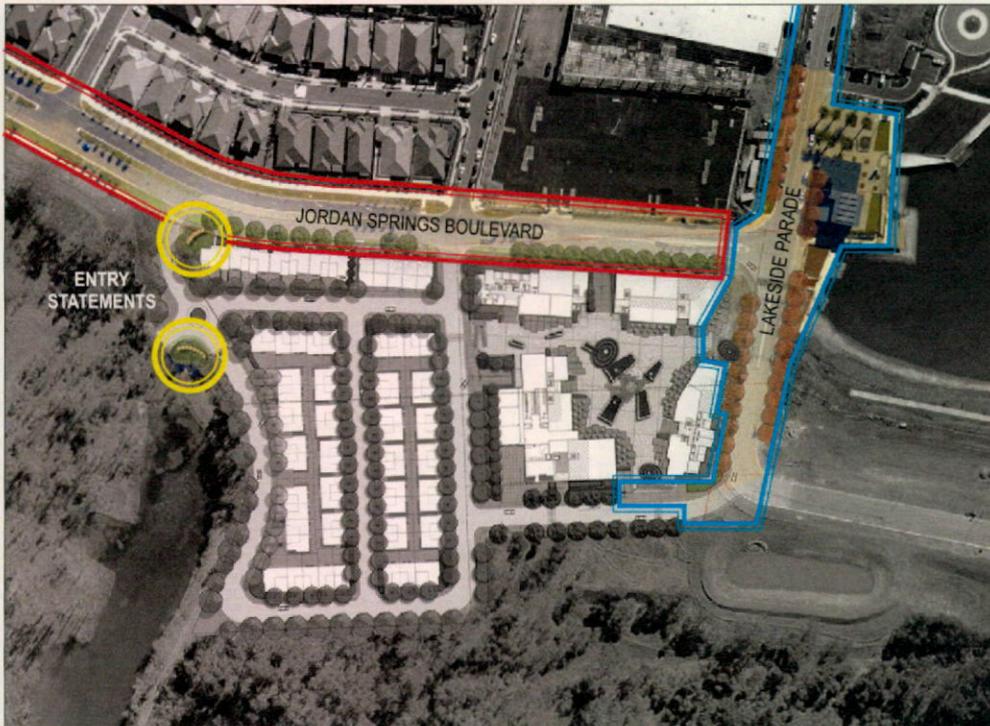


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3D VIEWS - VIEW 5

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① JORDAN SPRINGS BOULEVARD



The new public verge treatment to Jordan Spring Boulevard will replicate what presently has been installed.



Street trees species and spacings will be repeated for consistency

② DEVELOPMENT ENTRY STATEMENTS



Gabion wall entry statement to highlight the arrival at Jordan Springs Mixed Use Development.



Signage to celebrate the development name and give the residence a sense of ownership.

③ LAKESIDE PARADE LANDSCAPE INTEGRATION



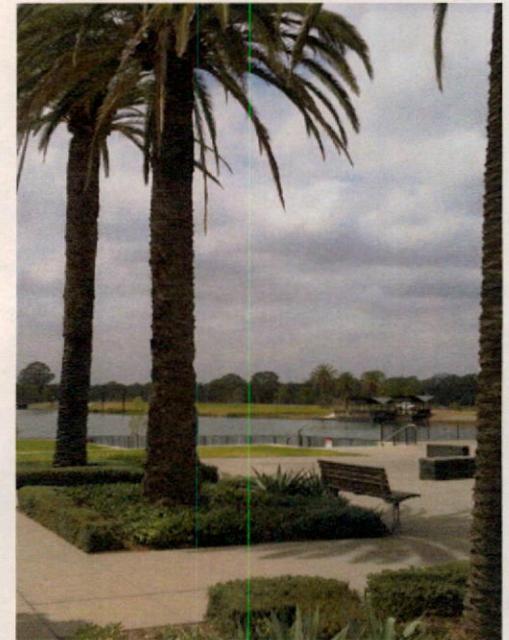
Lakeside Parade Town Centre. All planting and tree species have been repeated in the new streetscape development for a seamless integration



Lakeside Parade existing landscape treatment. Western Verge.



Lakeside Parade existing landscape treatment. Western Verge.



Lakeside Parade Town Centre.



Lakeside Parade furniture will be used in the new development for street uniformity



**PIAZZA FEATURE ELEMENTS**

**① SCULPTURAL SHADE STRUCTURES**

- Key nodes. Focal points at each entrance to draw people into the Piazza.
- Visual connection between all 4 Sculptural Shade Structures.
- The structures will become major meeting points for people as they enter the site. This will help define each of the entries and make them unique.
- The Sculptural Shade Structures retain visual access, while creating landmark attractions

**② SHADE CANOPY**

- To provide shade during the summer months.
- Vertical element to lead your eye up into the Architecture.
- The structure creates interesting shadow patterns on the ground surface - Design themes.
- Sculptural for visual interest.
- Residence in the mixed use apartments to look down onto the canopy.
- Combines lighting for night effects.

**① SCULPTURAL SHADE STRUCTURES**



Steel Sculptural Shade Structures become attractions which will help define the Piazza.



The Structures become meeting points, and will emphasize the entrances into the Piazza.



Perforated metal will allow interesting shadows to be cast on the surface below.

**② SHADE CANOPY**



The shade canopy will float gently above the Piazza.

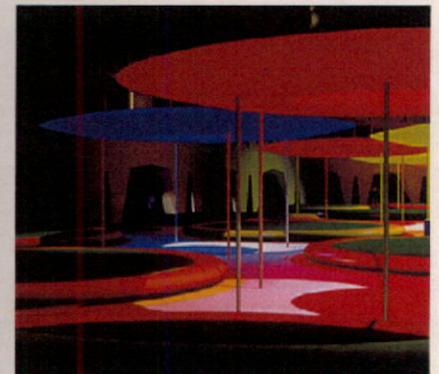


Structural legs to suspend the canopy above the ground can be integrated into the shade canopy to generate the landscape theme of the "springs".



Colours, and interesting shapes will draw the viewers eye up vertically to capture views.

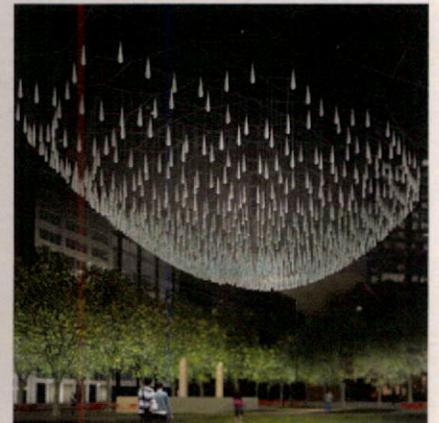
**NIGHT AMBIENCE**



Lighting can be integrated into the Shade Structures transforming the area at night.



Lighting can be positioned on the ground lighting the underside of the canopies



Lighting can be hung from the structures (catenary lighting).



## PIAZZA LANDSCAPE ELEMENTS

### ① RAISED PLANTERS

- Central raised turf areas.
- Incorporation of seating/integrated.
- Create fun, safe, play areas for children.
- Softens the area and provides informal seating (turf).
- Setout does not impede on peoples movements through the site.
- Intensity of design focussed at the centre and does not conflict with dining, or pedestrian movement around the buildings.

### ② SURFACE MATERIALS

- Dark insitu concrete to building commercial lease zones, transitions to a light insitu concrete to define public space. This helps to visually define the Piazzas primary functions.
- Jointing and sawcuts to construct paving patterns

### ③ PAVEMENT LIGHTING

The Piazza is not just an experience for people walking into the site, but also for the residence looking down into the space. Light is a very interesting element for function and Aesthetics.

- The design uses linear lighting set into the pavement to guide you into the Piazza in direct reference to the movement of water.
- Lighting is incorporated into the feature elements of the Piazza (refer DA 21)

### PAVEMENT PLAY

To the centre of the Piazza, you will find a variety of seating arrangements (both hard and soft), abundant shade, and most importantly, a safe environment for children to interact and play. This has been encouraged by the placement of "interactive sound play equipment" that is set into the pavement. Families can enjoy a coffee as their children play safely in the heart of the Piazza.

### ① RAISED PLANTERS



Raised turf beds create unique spaces that appear private, in a public setting



Raised turf beds can be used as informal seating



Seating integrated into the raised turf beds.

### ② SURFACE MATERIALS



Stairs and Ramp combined. Ramp at 1:20 slope so does not require handrails.

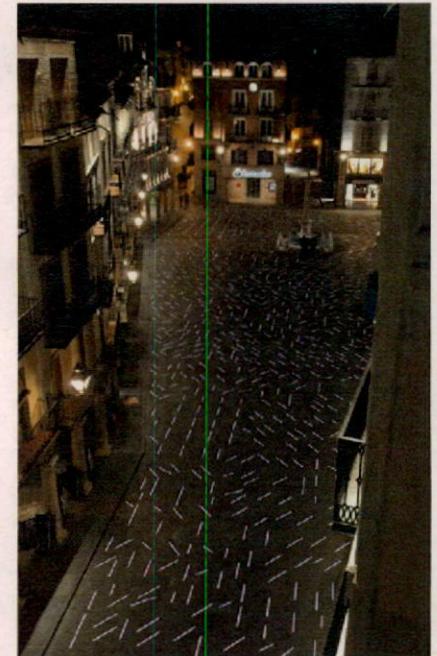


Different coloured insitu Concrete defines areas (Public and private lease).



Insitu concrete surface finishes - sawcuts

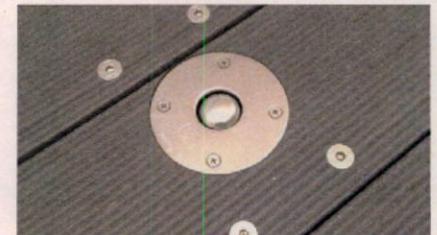
### ③ PAVEMENT LIGHT AND PLAY



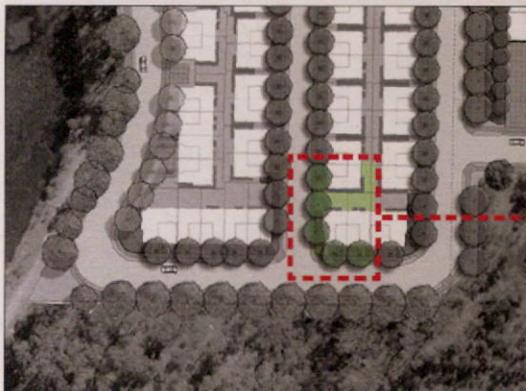
Linear lighting set into pavement creating interesting patterns when viewed from the mixed use balconies above.



Linear lighting set into pavement guiding you through the Piazza

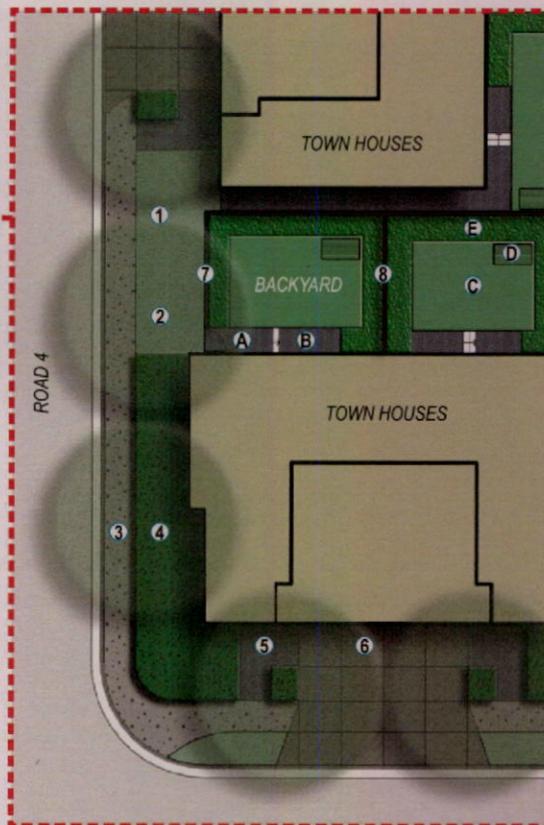


"Interactive sound play equipment" set into pavement



### TOWN HOUSES - TYPICAL LANDSCAPE TREATMENT

- ① Public turf verge to streets
- ② Street Trees planted in turf and planted verge
- ③ Concrete broom finished public footpath
- ④ Mass planting to public verge to buffer townhouse from public landscape
- ⑤ Feature Town house entry paving
- ⑥ Black insitu concrete driveway with saw cuts
- ⑦ Horizontal, wood panelled fences to all perimeter boundaries that are visible to the public.
- ⑧ Colourbond fencing to internal backyard fences. Planting to base to soften materials
- A Private Backyard feature paving
- B Raised podium to Architectural finished floor levels
- C Turf (groundcover species for low maintenance) to backyards
- D Clothes line
- E Backyard perimeter planting to screen colour bond fencing



### TYPICAL TOWN HOUSES



B Raised podium from Architectural finished floor level. Steps down into landscape as required.



⑤ Feature paving to townhouse entrances. Street trees planted in planter beds.



C Turf lawns with perimeter planting to fence lines.



⑥ Black insitu concrete driveway with saw cuts.



① Street Trees provide shade, help to make the community more beautiful and environmentally healthy, as well as increasing property values.



⑦ Horizontal, wood panelled fences to all perimeter boundaries that are visible to the public.



A Simple clean transition lines between backyard feature paving and turf. Allows the residence to personalise the area. Feature small ornamental trees to turf.



③ Concrete Public footpaths boarded by mass planting. Species selected with low maintenance requirements.



⑧ Colourbond fencing to internal backyard fences. Planting to base to soften materials.

CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT (m) (Approx)	MATURE SPREAD (m) (Approx)
<b>CUMBERLAND PLAIN WOODLAND TREES</b>					
Ang sub	<i>Angophora subvelutina</i>	Broad-leaved Apple	200L	20.0m	10.0m
Cor mac	<i>Corymbia maculata</i>	Spotted Gum	200L	25.0m	12.0m
Euc cre	<i>Eucalyptus crebra</i>	Narrow-leaved Ironbark	200L	35.0m	15.0m
Euc fib	<i>Eucalyptus fibrosa</i>	Red Ironbark	200L	35.0m	15.0m
Euc pun	<i>Eucalyptus punctata</i>	Grey Gum	200L	35.0m	15.0m
Euc sid	<i>Eucalyptus sideroxylon</i> 'Rosea'	Red Ironbark	200L	15.0m	12.0m
<b>STREET TREES</b>					
Ara cun	<i>Araucaria cunninghamii</i>	Hoop Pine	200L	30.0m	12.0m
Bra ace	<i>Brachychiton acerifolius</i>	Illawarra Flame Tree	200L	17.0m	7.0m
Cor cit	<i>Corymbia citriodora</i>	Lemon-scented Gum	200L	18.0m	12.0m
Cup ana	<i>Cupaniopsis anacardioides</i>	Tuckeroo	200L	15.0m	7.0m
Fra gri	<i>Fraxinus griffithii</i>	Evergreen Ash	200L	8.0m	4.0m
Fra oxy 'Ray'	<i>Fraxinus oxycarpa</i> 'Raywoodii'	Claret Ash	200L	12.0m	7.0m
Lag nat	<i>Lagerstroemia indica</i> 'Natchez'	Natchez	200L	7.0m	5.0m
Lop con	<i>Lophostemon confertus</i>	Brush Box	200L	25.0m	12.0m
Mel dec	<i>Melaleuca decora</i>	White Feather Honeymyrtle	200L	7.0m	4.0m
Mel lin	<i>Melaleuca linarifolia</i>	Snow-in-Summer	200L	10.0m	4.0m
Pyr uss	<i>Pyrus ussuriensis</i>	Manchurian Pear	200L	9.0m	7.0m
Tri lau	<i>Tristania laurina</i> 'Luscious'	Water Gum	200L	9.0m	7.0m
Wat flo	<i>Waterhousea floribunda</i>	Weeping Lilly Pilly	200L	15.0m	6.0m

CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT (m) (Approx)	MATURE SPREAD (m) (Approx)
<b>SHRUBS</b>					
Abe gra	<i>Abelia x grandiflora</i>	Glossy Abelia	140mm	1.5m	1.5m
Acm smi	<i>Acmena smithii</i> var. Minor	Dwarf Lilly Pilly	140mm	2.0m	1.5m
Bur spi	<i>Bursaria spinosa</i>	Blackthorn	140mm	5.0m	2.0m
Cal 'WA'	<i>Callistemon citrinus</i> 'White Anzac'	Callistemon White Anzac	140mm	1.0m	2.5m
Dod vis	<i>Dadonaea viscosa</i>	Hop Bush	140mm	2.0m	1.5m
Gre jun	<i>Grevillea juniperina</i>	Juniper Grevillea	140mm	2.0m	1.0m
Ind aus	<i>Indigofera australis</i>	Indigo	140mm	2.0m	1.5m
Ozo dio	<i>Ozothamnus dosimifolius</i>	Everlasting Daisy Bush	140mm	2.0m	1.5m
Vib oda	<i>Viburnum odoratissimum</i>	Sweet Viburnum	140mm	3.0m	1.5m
Wes fru	<i>Westringia fruticosa</i>	Coastal Rosemary	140mm	2.0m	1.5m
<b>GRASSES AND GROUNDCOVERS</b>					
Aus ten	<i>Austrodanthonia tenuior</i>	Wallaby Grass	140mm	1.0m	0.8m
Cap par	<i>Capillipedium parviflorum</i>	Scented Top-grass	140mm	1.0m	0.8m
Can cne	<i>Convolvulus cneorum</i>	Silverbush	140mm	0.5m	1.0m
Cym ref	<i>Cymbopogon refractus</i>	Barbed Wire Grass	140mm	1.0m	0.8m
Dia 'Lj'	<i>Dianella caerulea</i> 'Little Jess'	Little Jess	140mm	0.5m	0.5m
Dic mic	<i>Dichelachne micrantha</i>	Short-hair Plume -grass	140mm	1.2m	1.0m
Dor exc	<i>Daryanthes excelsa</i>	Gymea Lily	140mm	3.0m	1.0m
Jun usi	<i>Juncus usitatus</i>	Common Rush	140mm	0.8m	0.7m
Lir 'EG'	<i>Liriope muscari</i> 'Evergreen Giant'	Evergreen Giant	140mm	0.7m	0.7m
Lom hys 'TC'	<i>Lomandra hystrix</i> 'Tropic Cascade'	Weeping Lomandra	140mm	0.7m	0.7m
Lom lan 'K'	<i>Lomandra longifolia</i> 'Katrinus'	Mat Rush	140mm	0.8m	0.8m
Tra jas	<i>Trachelospermum jasminoides</i>	Star Jasmine	140mm	0.5m	2.0m
<b>TURF</b>					
	<i>Pennisetum clandestinum</i>	Kikuyu			

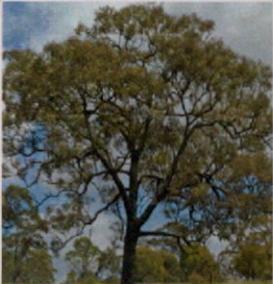
Cumberland Plain Woodland Trees:



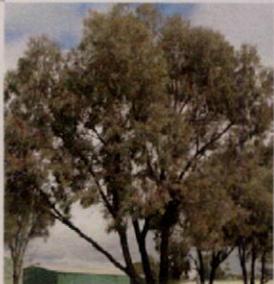
Angophora subvelutina



Eucalyptus maculata



Eucalyptus crebra



Eucalyptus sideroxylon



Eucalyptus punctata



Eucalyptus fibrosa 'Red Ironbark'

Street Trees:



Melaleuca linariifolia



Tristaniopsis laurina 'Luscious'



Waterhousia floribunda



Fraxinus oxycarpa 'Raywoodii'



Cupaniopsis anacardioides



Lophostemon confertus



Brachychiton acerifolius 'Illawarra Flame Tree'



Pyrus ussuriensis 'Manchurian Pear'

Shrubs & Groundcovers



Dianella caerulea 'Little Jess'



Callistemon citinus 'White Anzac'



Doryanthes excelsa



Convolvulus cneorum 'Silverbush'



Lomandra longifolia 'Katrinus'



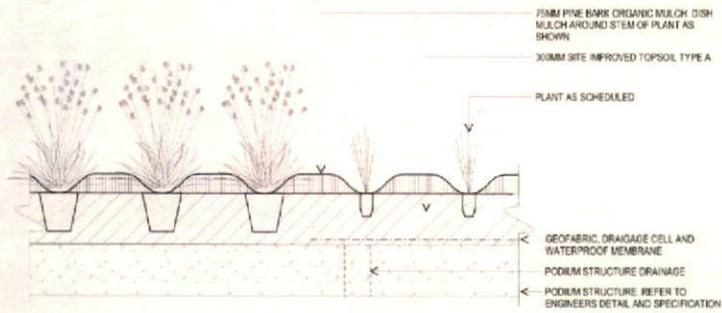
Grevillea juniperina



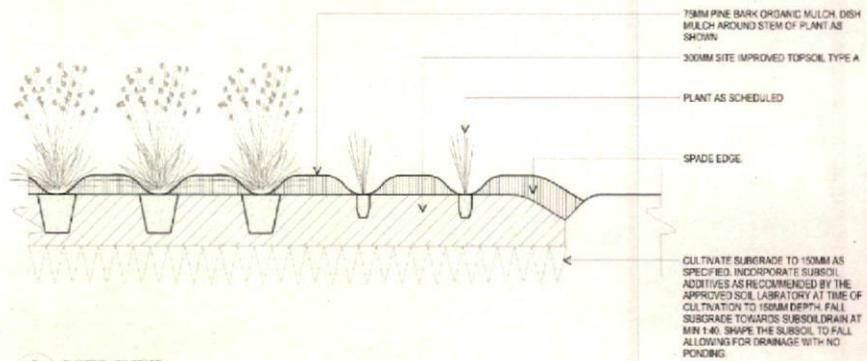
Viburnum odoratissimum



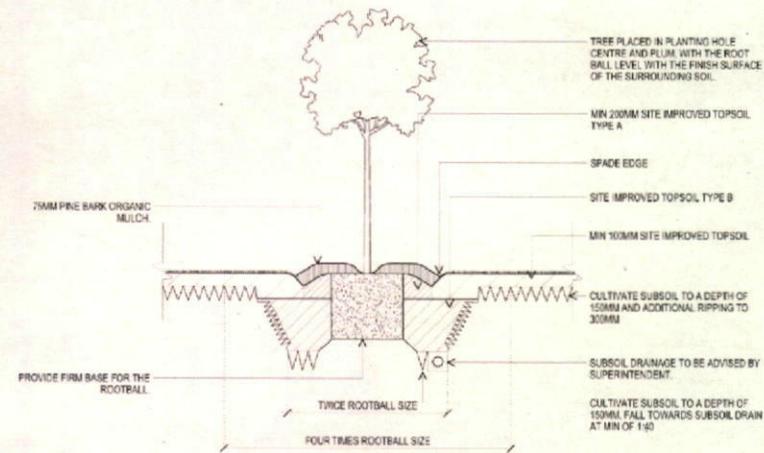
Liriope muscari 'Evergreen Giant'



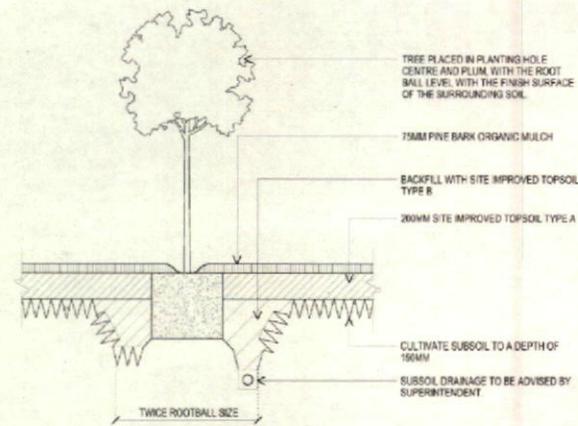
A PLANTING - ON STRUCTURE SECTION 1:10@A1



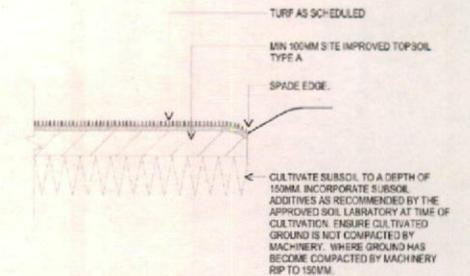
B PLANTING - ON GRADE SECTION 1:10@A1



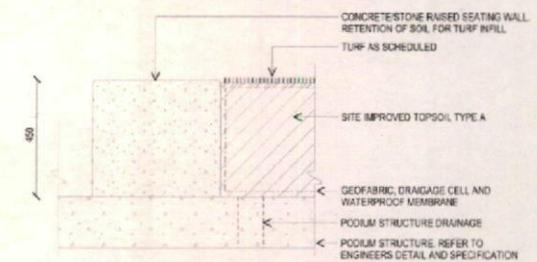
C TREE IN TURF - ON GRADE SECTION 1:20@A1



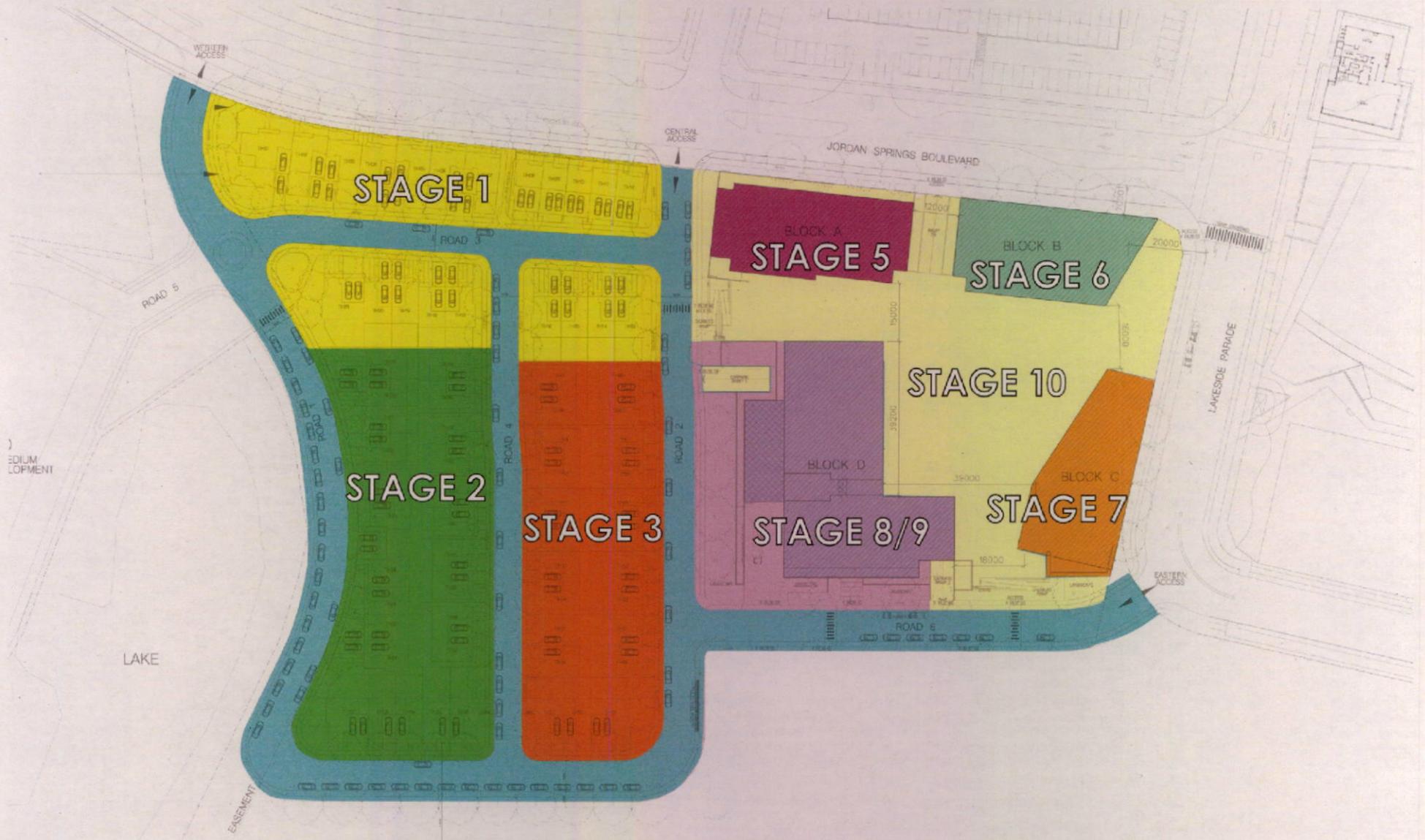
D TREE IN PLANTING - ON GRADE SECTION 1:20@A1



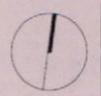
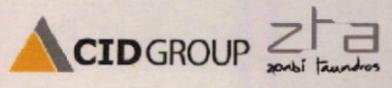
E TURF - ON GRADE SECTION 1:10@A1



F RAISED TURF BED - ON STRUCTURE SECTION 1:10@A1



Site Staging Supplied by Binch By Design (2013)



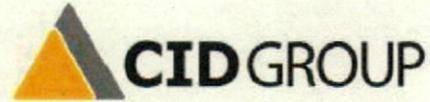
Mixed Use Development • Jordan Springs

LANDSCAPE STAGING

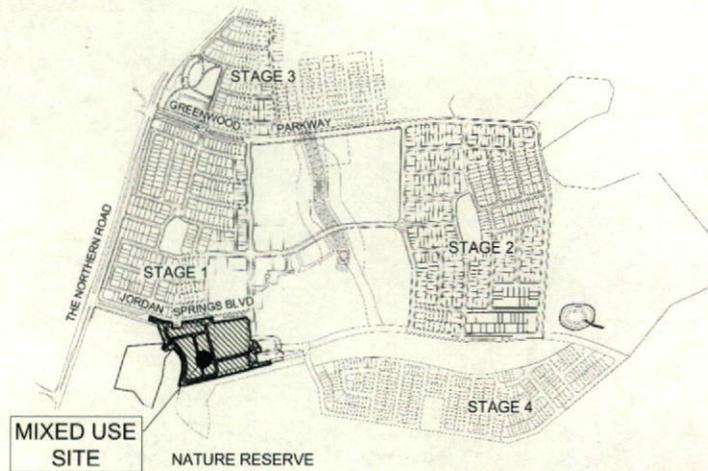
S13-0083 DA 28

MAR 2014 issue 01

PENRITH CITY COUNCIL



JORDAN SPRINGS - MIXED USE SITE  
DEVELOPMENT APPLICATION  
PROPOSED SUBDIVISION AND ROADWORKS



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9776/DA01	OVERALL SITE PLAN	C
9776/DA02	TYPICAL ROAD CROSS SECTIONS	A
9776/DA03	ROAD LAYOUT PLAN	C
9776/DA04	STORMWATER DRAINAGE PLAN	C
9776/DA05	CUT/FILL PLAN AND TREE REMOVAL	C
9776/DA06	ROAD LONGITUDINAL SECTIONS SHEET 1	A
9776/DA07	ROAD LONGITUDINAL SECTIONS SHEET 2	A
9776/DA08	SITE SECTIONS	B
9776/DA09	SOIL & WATER MANAGEMENT PLAN & NOTES	B
9776/DA10	TEMPORARY SEDIMENT BASIN CALCULATIONS AND PLAN	B
9776/DA11	TURNING PATHS	A
9776/DA12	GPT ACCESS PLAN	B

LOCALITY SKETCH

Prepared By:

**J. WYNDHAM PRINCE**

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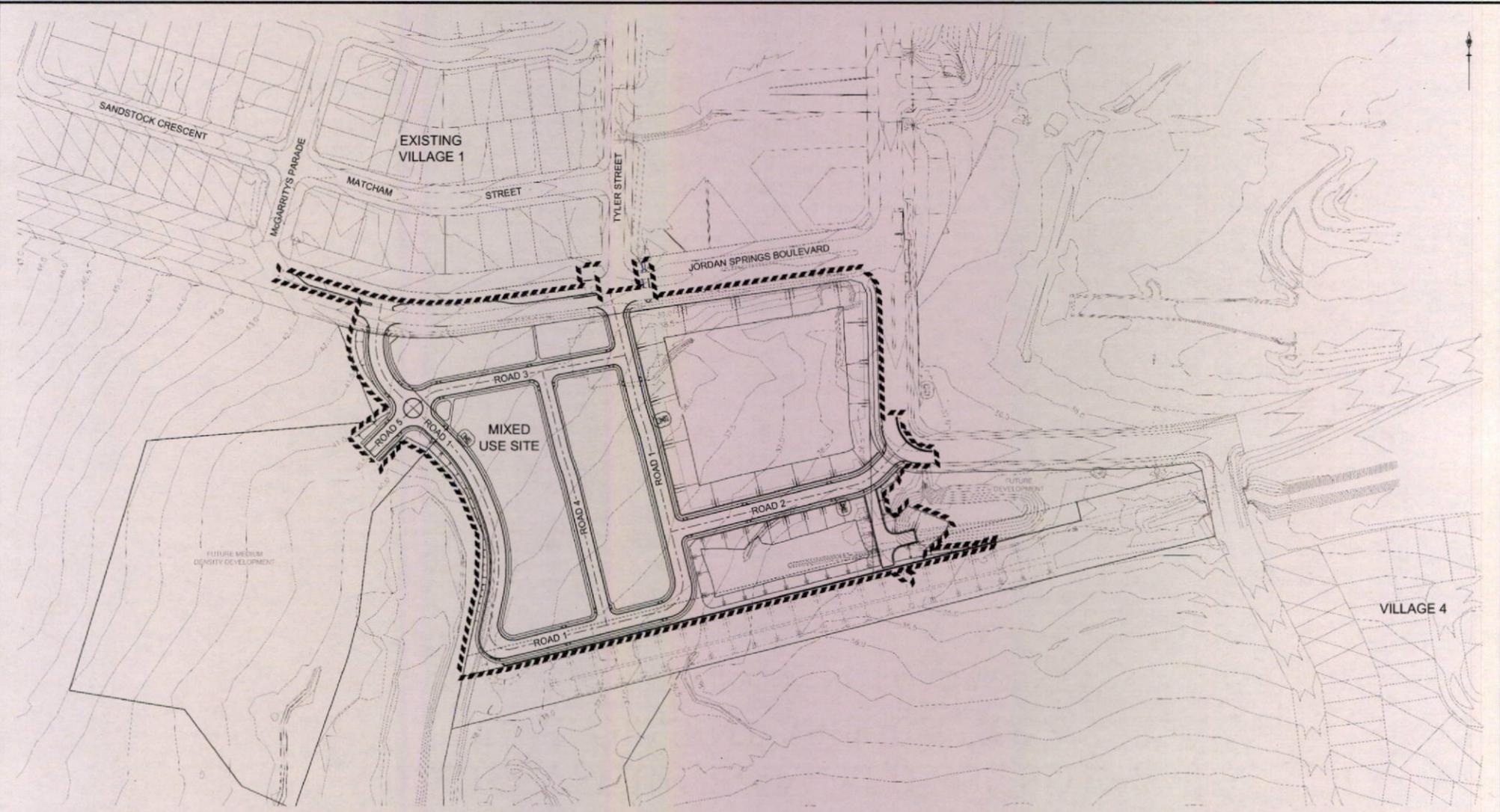
W [www.jwprince.com.au](http://www.jwprince.com.au)

E [jwp@jwprince.com.au](mailto:jwp@jwprince.com.au)

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PLAN No.  
9776/DA00 **B**  
FILE No. 9776/DA00

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LEGEND	
	LIMIT OF WORKS



AMENDMENT	DES	DRN	CRD	APR	DATE
C	AS	AS			14/03/14
B	AS	AS			28/07/14
A	AS	TW	DM	MB	14/02/14

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AZIMUTH: AHD  
 DATUM: MGA  
 ORIGIN:

CLIENT:

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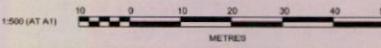
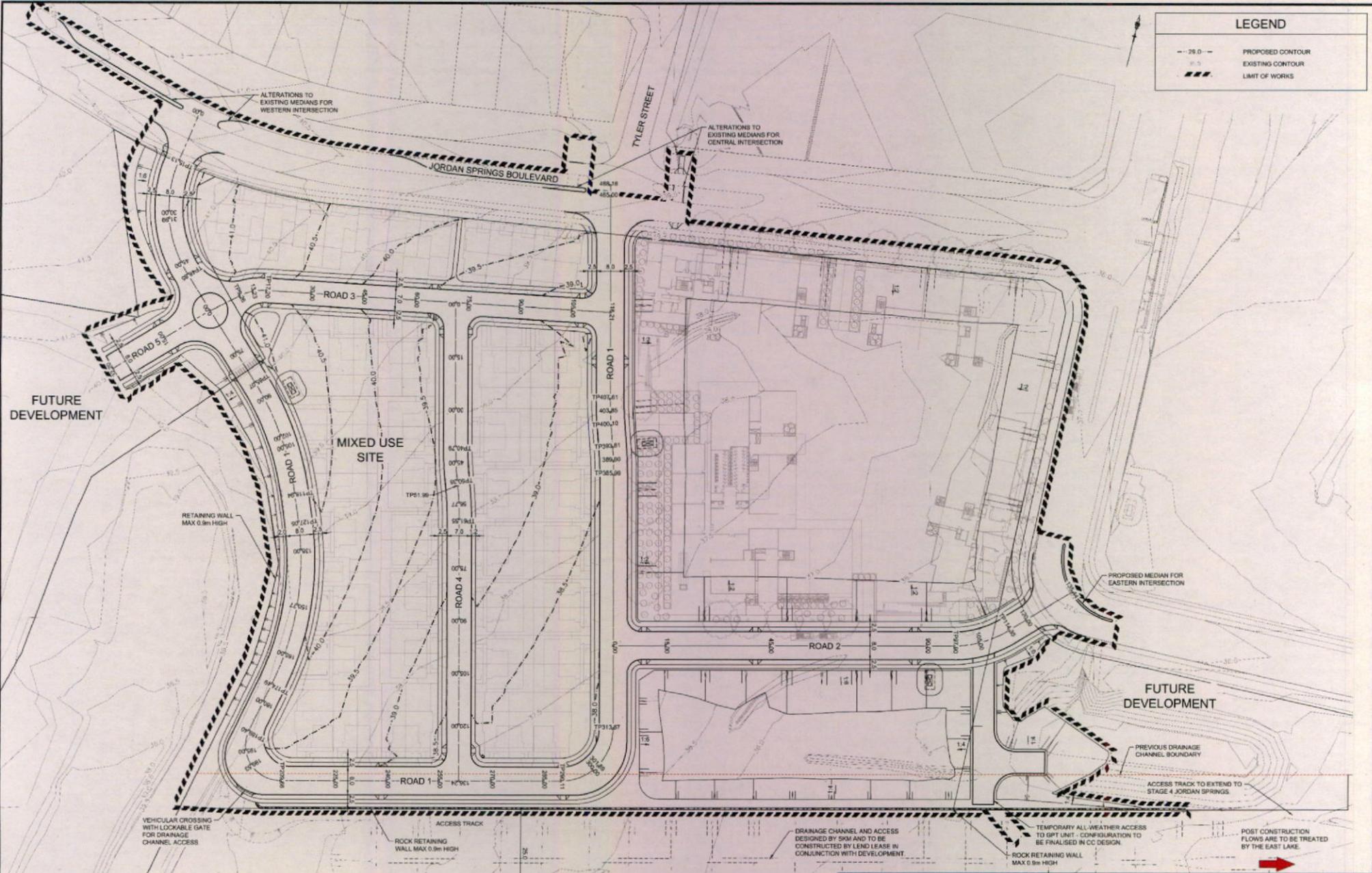
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JORDAN SPRINGS  
 MIXED USE SITE  
 OVERALL SITE PLAN

PLAN No: 9776/DA01 **C**  
 FILE No: 9776DA01  
 SHEET SIZE: A1 ORIGINAL



LEGEND	
--- 25.0' ---	PROPOSED CONTOUR
---	EXISTING CONTOUR
---	LIMIT OF WORKS



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AMENDMENT	DES	DRN	CRD	APR	DATE
C	AS	AS			04/03/14
B	AS	AS			28/02/14
A	AS	TO	DRN	MS	14/02/14

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JORDAN SPRINGS MIXED USE SITE  
 ROAD LAYOUT PLAN

PLAN No: 9776/DA03 C  
 FILE No: 9776DA03  
 SHEET SIZE: A1 ORIGINAL

NO.	DATE	BY	CHKD	APPD	DESCRIPTION
1	15/11/2013	AS	AS	AS	ISSUED FOR DEVELOPMENT APPLICATION
2	15/11/2013	AS	AS	AS	ISSUED FOR DEVELOPMENT APPLICATION
3	15/11/2013	AS	AS	AS	ISSUED FOR DEVELOPMENT APPLICATION
4	15/11/2013	AS	AS	AS	ISSUED FOR DEVELOPMENT APPLICATION
5	15/11/2013	AS	AS	AS	ISSUED FOR DEVELOPMENT APPLICATION

**J. WYNDHAM PRINCE**  
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R. PROJECT MANAGERS

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E jpr@jwprince.com.au

**CID GROUP**

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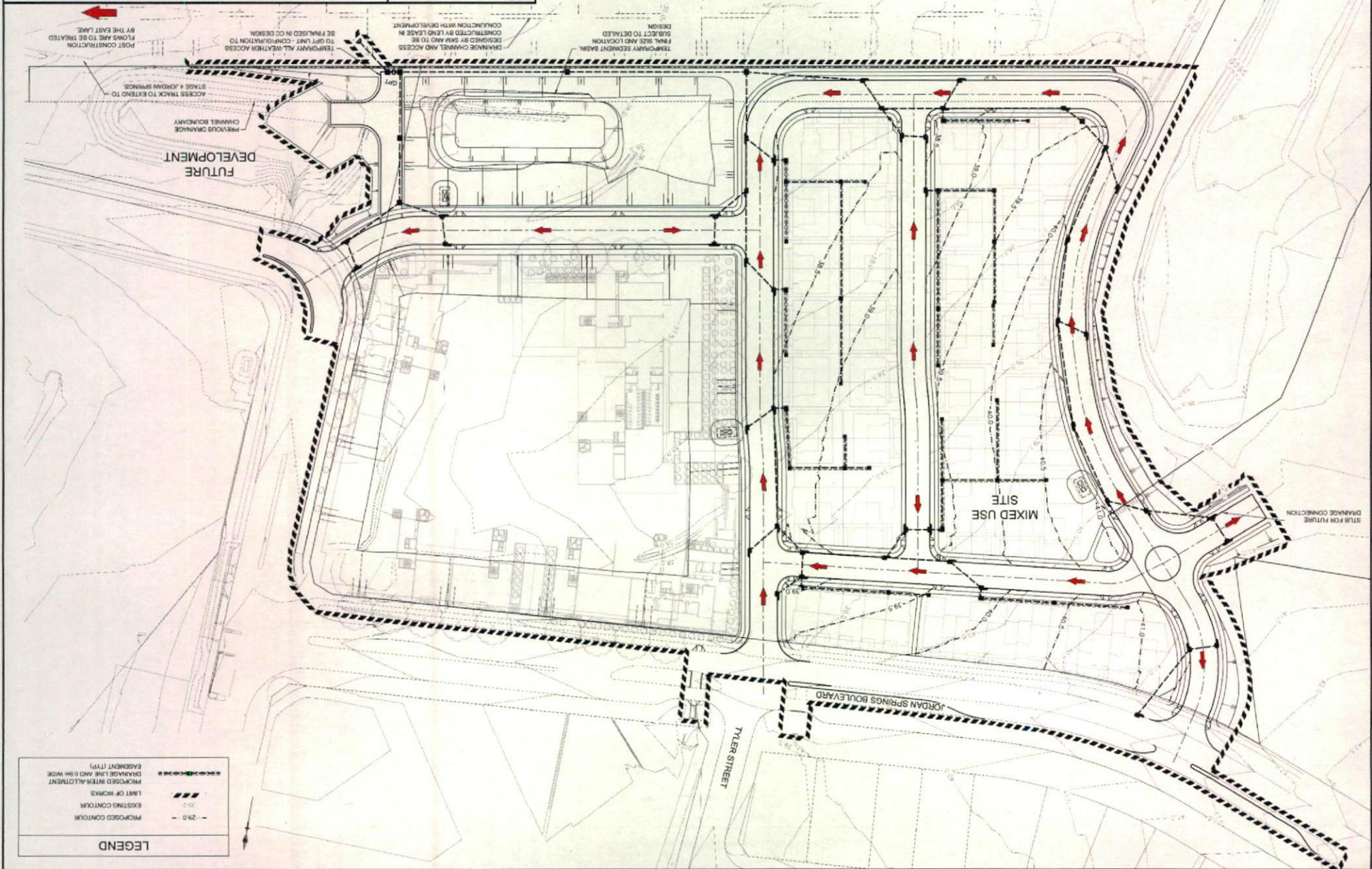


CLIENT: AZIMUTH AND DATE:

**JORDAN SPRINGS MIXED USE SITE**  
STORMWATER DRAINAGE PLAN

PLAN No: 9776/DA04  
FILE No: 9776/DA04  
SHEET SIZE: A1 ORIGINAL

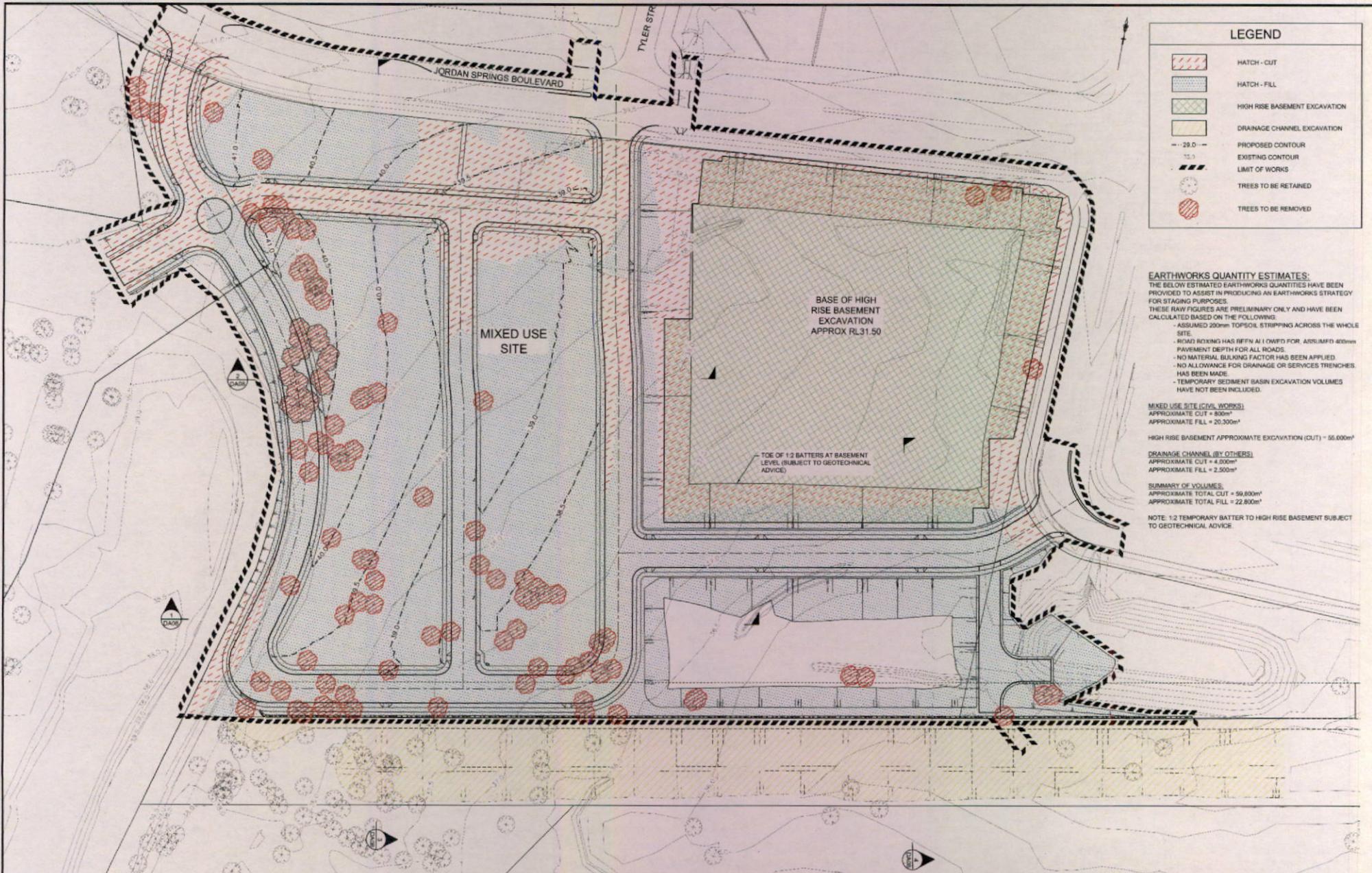
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**LEGEND**

--- 29.0 ---	EXISTING CONTOUR
///	LIMIT OF WORKS
-----	PROPOSED INFILTRATION CHANNEL LINE AND 0.9M WIDE EASEMENT (TYP)

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**LEGEND**

- HATCH - CUT
- HATCH - FILL
- HIGH RISE BASEMENT EXCAVATION
- DRAINAGE CHANNEL EXCAVATION
- PROPOSED CONTOUR
- EXISTING CONTOUR
- LIMIT OF WORKS
- TREES TO BE RETAINED
- TREES TO BE REMOVED

**EARTHWORKS QUANTITY ESTIMATES:**  
 THE BELOW ESTIMATED EARTHWORKS QUANTITIES HAVE BEEN PROVIDED TO ASSIST IN PRODUCING AN EARTHWORKS STRATEGY FOR STAGING PURPOSES.  
 THESE RAW FIGURES ARE PRELIMINARY ONLY AND HAVE BEEN CALCULATED BASED ON THE FOLLOWING:

- ASSUMED 200mm TOPSOIL STRIPPING ACROSS THE WHOLE SITE.
- ROAD BIKING HAS BEEN AT 1:1 GRADE FOR ASSUMED 400mm PAVEMENT DEPTH FOR ALL ROADS.
- NO MATERIAL BULKING FACTOR HAS BEEN APPLIED.
- NO ALLOWANCE FOR DRAINAGE OR SERVICES TRENCHES HAS BEEN MADE.
- TEMPORARY SEDIMENT BASIN EXCAVATION VOLUMES HAVE NOT BEEN INCLUDED.

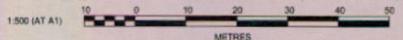
**MIXED USE SITE (CIVIL WORKS)**  
 APPROXIMATE CUT = 800m<sup>3</sup>  
 APPROXIMATE FILL = 20,300m<sup>3</sup>

**HIGH RISE BASEMENT APPROXIMATE EXCAVATION (CUT) = 55,000m<sup>3</sup>**

**DRAINAGE CHANNEL (BY OTHERS)**  
 APPROXIMATE CUT = 4,000m<sup>3</sup>  
 APPROXIMATE FILL = 2,500m<sup>3</sup>

**SUMMARY OF VOLUMES:**  
 APPROXIMATE TOTAL CUT = 59,800m<sup>3</sup>  
 APPROXIMATE TOTAL FILL = 22,800m<sup>3</sup>

**NOTE:** 1:2 TEMPORARY BATTER TO HIGH RISE BASEMENT SUBJECT TO GEOTECHNICAL ADVICE.



REV	DESCRIPTION	DES	DRN	CRD	APR	DATE
C	RE-ISSUED FOR DEVELOPMENT APPLICATION	AS	AS			04/03/14
B	RE-ISSUED FOR DEVELOPMENT APPLICATION	AS	AS			28/07/14
A	ISSUED FOR DEVELOPMENT APPLICATION	AS	TG	DR	MR	14/02/14
	AMENDMENT					

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 DATUM: MGA  
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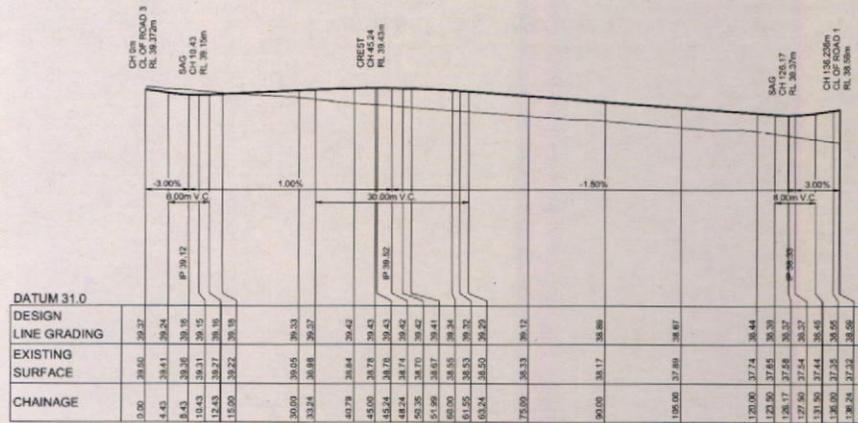
JORDAN SPRINGS  
 MIXED USE SITE  
 CUT/FILL PLAN  
 AND TREE REMOVAL

PLAN No: 9776/DA05 **C**  
 FILE No: 9776DA05  
 SHEET SIZE: A1 ORIGINAL

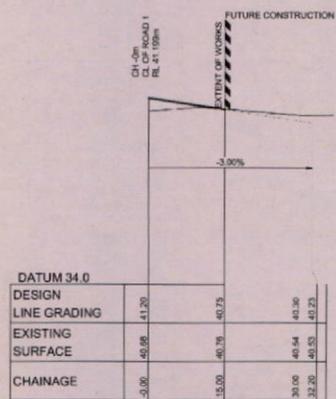
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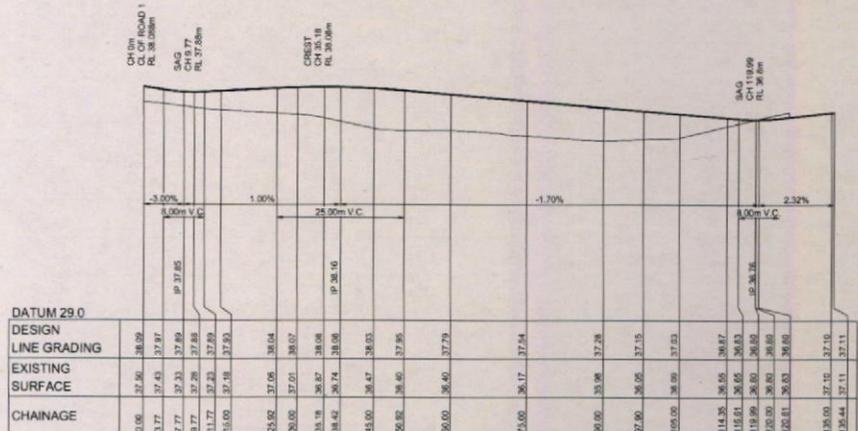
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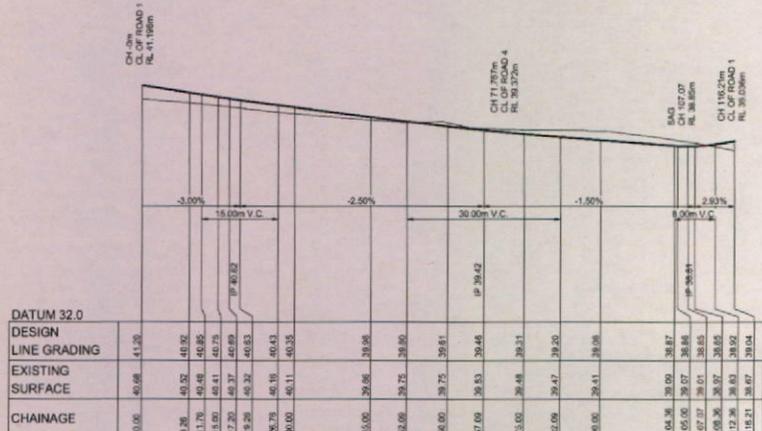
LONGITUDINAL SECTION ROAD 4  
 HORIZONTAL SCALE 1:500  
 VERTICAL SCALE 1:100



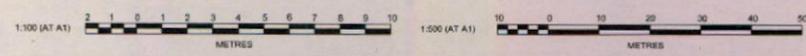
LONGITUDINAL SECTION ROAD 5  
 HORIZONTAL SCALE 1:500  
 VERTICAL SCALE 1:100



LONGITUDINAL SECTION ROAD 2  
 HORIZONTAL SCALE 1:500  
 VERTICAL SCALE 1:100



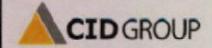
LONGITUDINAL SECTION ROAD 3  
 HORIZONTAL SCALE 1:500  
 VERTICAL SCALE 1:100



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 DATUM: MGA  
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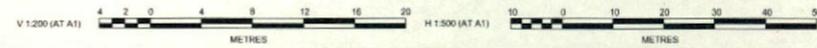
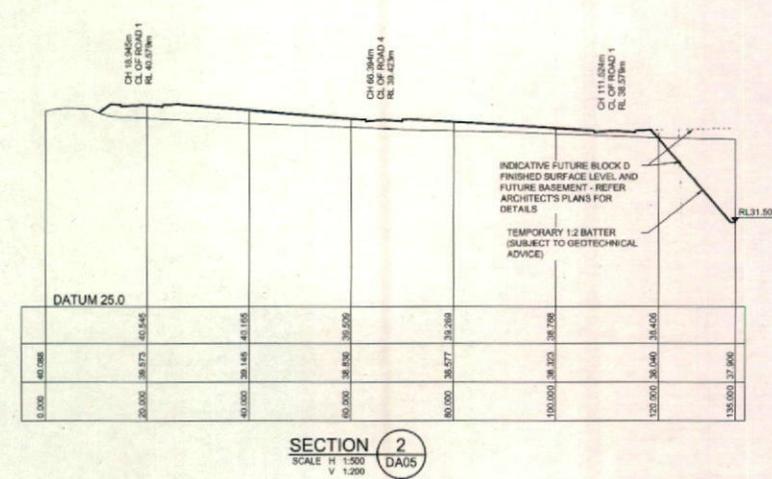
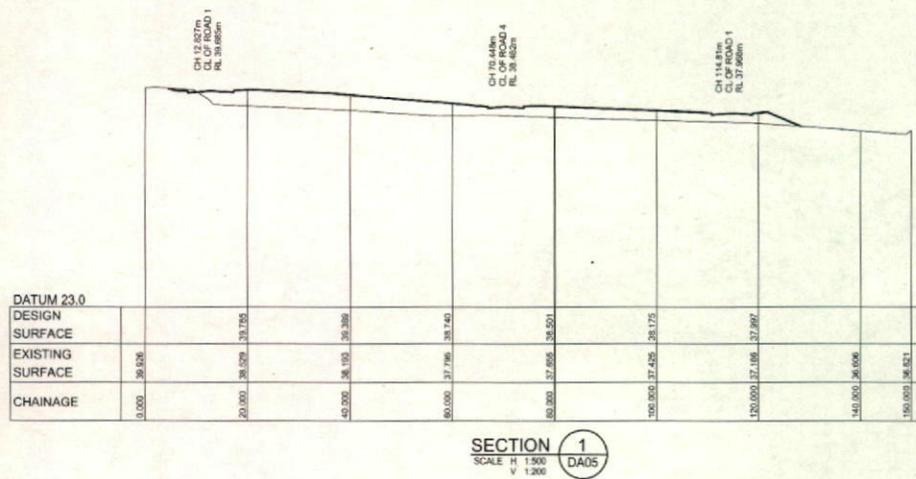
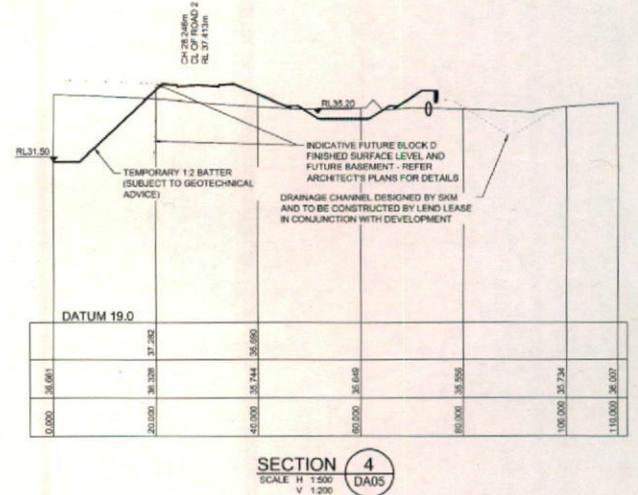
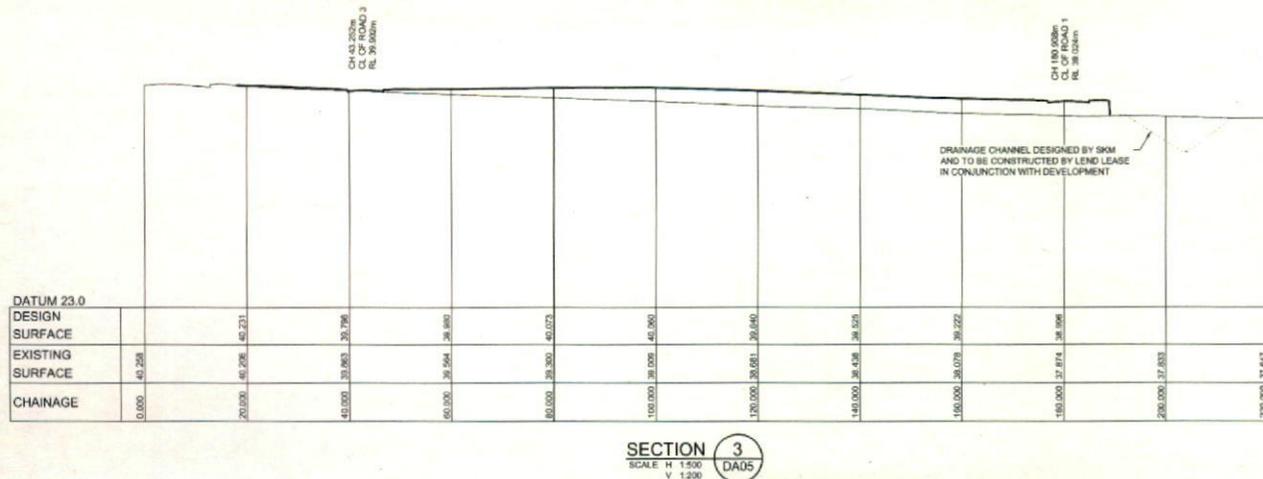
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JORDAN SPRINGS  
 MIXED USE SITE  
 ROAD LONGITUDINAL SECTIONS  
 SHEET 2

PLAN No:	9776/DA07	A
FILE No:	9776/DA07	
SHEET SIZE:	A1 ORIGINAL	

NO.	ISSUED FOR DEVELOPMENT APPLICATION	AS	TO	DRN	MS	DATE
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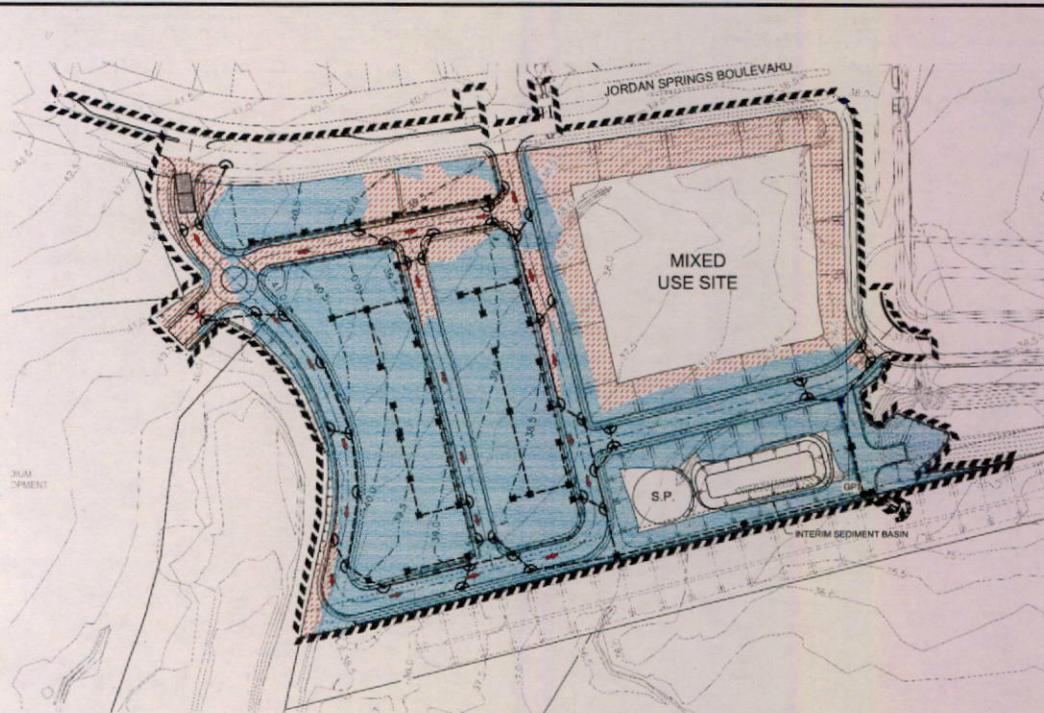
AMENDMENT	DES	DRN	CKD	APR	DATE
B	AS	AS			30/03/14
A	AS	TG	JH	MS	14/02/14

**J. WYNDHAM PRINCE** CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS

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AZIMUTH AND DATUM: MGA  
ORIGIN:

CLIENT: 	<b>ISSUED FOR DA APPROVAL</b> NOT FOR CONSTRUCTION	
	JORDAN SPRINGS MIXED USE SITE SITE SECTIONS	PLAN No: <b>9776/DA08</b>
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS BROWED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.	FILE No: 9776DA08	SHEET SIZE: A1 ORIGINAL



**GENERAL NOTES:**

ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE REQUIREMENTS OF THE "ENVIRONMENT PROTECTION AUTHORITY" AND "DEPT OF LAND AND WATER CONSERVATION". MEASURES OUTLINED IN THE SOIL & WATER MANAGEMENT PLAN MUST BE IMPLEMENTED PRIOR TO AND MAINTAINED DURING AND AFTER THE CONSTRUCTION WORKS.

TOPSOIL FROM ALL AREAS TO BE DISTURBED SHALL BE STOCKPILED AND LATER RESPIREAD TO AID REVEGETATION IN THOSE AREAS.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

ALL TAIL-OUT DRAINS SHALL BE GRASSED AND TRAPEZOIDAL IN SECTION. STRAW BALES SHALL BE PLACED AS A SEDIMENT CONTROL DEVICE WHERE REQUIRED.

VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING DEVELOPMENT CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING ROAD ALIGNMENTS. AREAS TO BE LEFT UNDISTURBED SHALL BE MARKED OFF.

DISTURBANCE OF VEGETATION SHALL BE LIMITED TO FILL AREAS, ROADWAYS AND DRAINS. NO LOT GRADING SHALL BE CARRIED OUT IN UNDISTURBED AREAS WITHOUT CONSULTATION WITH COUNCIL'S ENGINEER.

ALL DISTURBED AREAS SHALL BE REVEGETATED WITHIN 14 WORKING DAYS FROM THE CONCLUSION OF LAND SHAPING.

MINIMISE DUST BY WATERING WHEN REQUIRED.

**STOCKPILE NOTES:**

SPOIL, AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE.

IF STOCKPILES ARE TO BE IN PLACE FOR LONGER THAN 14 DAYS THEN THEY SHALL BE STABILIZED BY COVERING WITH A MULCH OR WITH TEMPORARY VEGETATION.

FOLLOWING CONSTRUCTION, TOPSOIL SHALL BE RESPIREAD TO A MINIMUM DEPTH OF 100mm ON THE BARE SOIL SURFACES AND REVEGETATE.

ALL STOCKPILES TO BE (MAX) 2m HIGH AND PROTECTED WITH SILT FENCE.

**SPECIAL NOTES:**

LOCATION AND EXTENT OF SOIL AND WATER MANAGEMENT DEVICES IS DIAGRAMMATIC ONLY AND THE ACTUAL REQUIREMENTS SHALL BE CONFIRMED ON SITE.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE GUIDELINES SET OUT IN "MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION" - 4TH EDITION AND THE ACCOMPANYING ROAD AND DRAINAGE PLANS.

CONFORMITY WITH THIS PLAN SHALL IN NO WAY REDUCE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT AGAINST WATER DAMAGE DURING THE COURSE OF THE CONTRACT.

MANAGEMENT DEVICES SHALL BE MAINTAINED ON A REGULAR BASIS WHERE CLEANING IS REQUIRED. THE SEDIMENT SHALL BE REMOVED TO A POINT NOMINATED BY THE ENGINEER.

PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS, AND AFTER THE ROAD CENTRELINES HAVE BEEN PEGGED AND/OR PERMANENTLY MARKED, THE SITE MUST BE INSPECTED BY COUNCIL'S REPRESENTATIVE AND THE APPLICANT'S REPRESENTATIVE TO IDENTIFY AND APPROPRIATELY MARK -

i) THE TREES TO BE RETAINED.

ii) ALL TREES TO BE LEFT UNDISTURBED AND TO BE CORDONED OFF.

NO TREES SHALL BE REMOVED WITHOUT COUNCIL'S CLEARANCE.

MANAGEMENT DEVICES TO REMAIN UNTIL THE END OF THE MAINTENANCE PERIOD.

**SEDIMENTATION CONTROL DEVICES:**

ALL STRAW BALES SHALL BE BOUND WITH WIRE. STRAW BALES SHALL BE PLACED END TO END IN A SINGLE ROW AND EMBEDDED INTO THE SOIL TO A DEPTH OF 100mm. EACH BALE SHALL BE SECURELY ANCHORED WITH TWO STEEL STAKES DRIVEN 450mm INTO THE GROUND AND LOCATED ON THE BALE CENTRE LINE.

SILT FENCES SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEL OR SIMILAR) BETWEEN POSTS AT 2m (3m MAX) CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

**SEDIMENTATION POND NOTES:**

REFER TO THE J. WYNDHAM PRINCE STAGED INTERIM STORMWATER MANAGEMENT STRATEGY (944307/2) FOR SEDIMENT POND SIZING CALCULATIONS.

SEDIMENT POND GEOMETRY SHOWN IS INDICATIVE ONLY AND IS SUBJECT TO FINAL DESIGN.



CLIENT:

AZIMUTH: AHD  
DATUM: MGA  
ORIGIN:

**ISSUED FOR DA APPROVAL  
NOT FOR CONSTRUCTION**

**JORDAN SPRINGS  
MIXED USE SITE**  
SOIL & WATER MANAGEMENT PLAN  
& NOTES

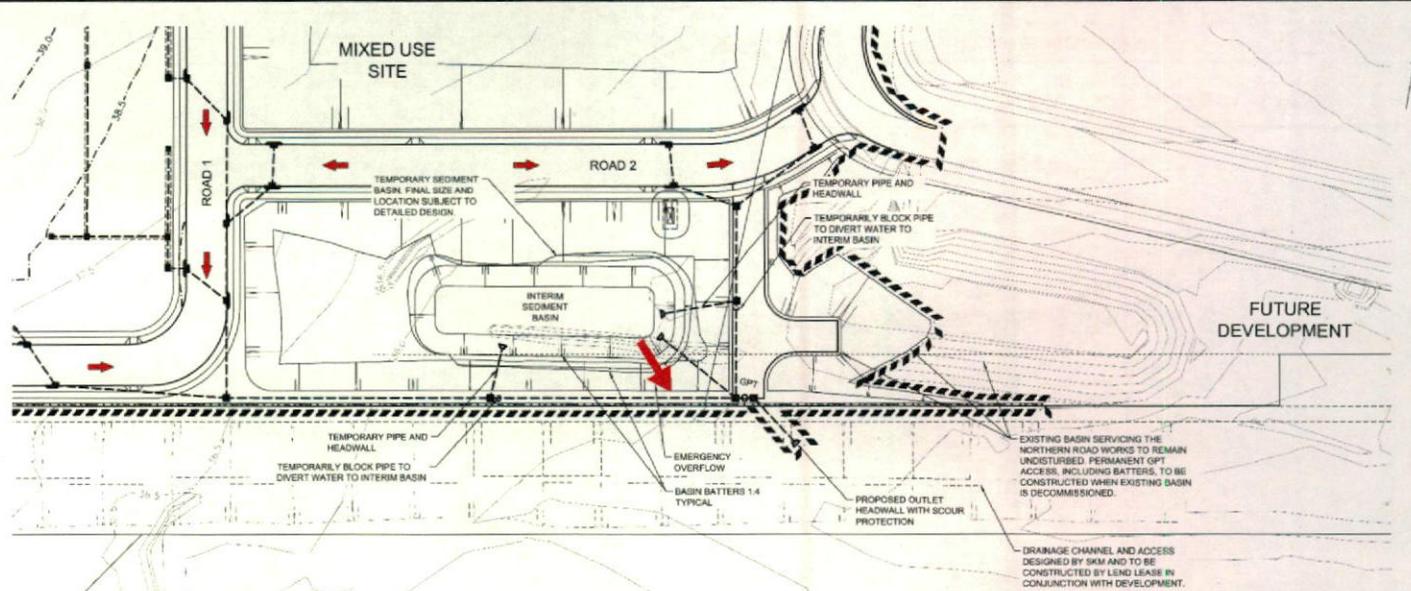
PLAN No:	9776/DA09	<b>B</b>
FILE No:	9776DA08	
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AS	AS			04/03/14
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AMENDMENT				



**1. Site Data Sheet**

Site Name: 9776 JORDAN SPRINGS MIXED USE SITE  
 Site Location: PENRITH  
 Precinct: PENRITH CITY COUNCIL  
 Description of Site: MIXED USE SITE

Site area	Sub-catchments	Remarks
Total catchment area (ha)	4.36	
Developed catchment area (ha)	4.36	

Soil analysis (either sediment type if known, or laboratory particle size data)

Parameter	Value	Remarks
Sediment type (C, F or G) (mm)	0	From Appendix C
% sand (fraction 0.075 to 2.00 mm)	92	Soil texture should be measured through mechanical dispersion only. Churning agents e.g. C-Alginate should not be used
% clay (fraction finer than 0.002 mm)	80	E.g. is a ratio of dispersion of 50%
Dispersion percentage	80.0	See Section 4.3.3(a). Auto-calculated
% of silt and clay dispersive	27.5	Auto-calculated from above
Soil Texture Group	0	

**Rainfall data**

Parameter	Value	Remarks
Design rainfall depth (mm)	75	See Sections 6.3.4.2(b) and (c)
Design rainfall depth (mm) at 10 min	21.8	See Section 6.3.4.3 (b)
Rainfall Intensity (mm/hr)	300	See Appendix B
10 min 2 year return storm (mm)	15.1	See IPD chart for 10 min

**RUSLE Factors**

Parameter	Value	Remarks
Rainfall erosivity (MJ-hr-ha-h <sup>2</sup> -t <sup>-1</sup> )	200	Auto-Calculated from above
Soil erodibility (t-ha-h <sup>2</sup> -MJ <sup>-1</sup> -h <sup>2</sup> )	0.00	
Slope length (m)	30	
Slope gradient (%)	7	RUSLE US factor calculated for a high adjacent rate.
Length gradient (L <sub>s</sub> factor)	0.90	
Croton control practice (P factor)	1.3	1.3 1.3 1.3 1.3 1.3
Ground cover (C factor)	1	1 1 1 1 1 1

**Calculations**

Parameter	Value	Remarks
Soil loss (t/ha)	0.00	
Soil Loss Class	1	See Section 4.4.2(a)
Soil loss (t/ha)	0.00	
Estimated basin storage volume, m <sup>3</sup>	0	See Sections 4.3.4(a) and 4.3.5 (a)

**2. Storm Flow Calculations**

Peak flow is given by the Rational Formula:

$$Q_p = 0.00278 \times C_{Dp} \times F_p \times I_p \times A$$

where:

- $Q_p$  is peak flow rate (m<sup>3</sup>/sec) of average recurrence interval (ARI) of "y" year
- $C_{Dp}$  is the runoff coefficient (dimensionless) for ARI of 10 years. Rural runoff coefficients are given in Volume 2, Figure 5 of Pलगम (1996), while urban runoff coefficients are given in Volume 1, Book VII, Figure 1.13 of Pलगम (1996) and construction  $r$
- $F_p$  is a frequency factor for "y" years. Rural values are given in Volume 1, Book IV, Table 1.1 of Pलगम (1996) while urban coefficients are given in Volume 1, Book VIII, Table 1.6 of Pलगम (1996)
- $A$  is the catchment area in hectares (ha)
- $I_p$  is the average rainfall intensity (mm/hr) for an ARI of "y" years and a design duration of "t" (minutes or hours)

Time of concentration ( $t_c$ ) =  $0.76 \times (A/100)^{0.38}$  hrs (Volume 1, Book IV of Pलगम, 1996)

Note: For urban catchments the time of concentration should be determined by more precise calculations or reduced by a factor of 50 per cent.

To automatically have the calculated time of concentration, place an "x" in this box

**Peak flow calculations, 1**

Site	A (ha)	C <sub>Dp</sub>	F <sub>p</sub>	I <sub>p</sub> (mm/hr)	Q <sub>p</sub> (m <sup>3</sup> /s)	Q <sub>p</sub> (ML/d)	Q <sub>p</sub> (ML/hr)	Q <sub>p</sub> (ML/min)	Q <sub>p</sub> (ML/s)
1	4.36	7	0.5	111.1	108.9	108.9	108.9	108.9	108.9

**Peak flow calculations, 2**

ARI (yr)	Frequency factor (F <sub>p</sub> )	Peak flow (Q <sub>p</sub> ) (m <sup>3</sup> /s)	Peak flow (Q <sub>p</sub> ) (ML/d)	Peak flow (Q <sub>p</sub> ) (ML/hr)	Peak flow (Q <sub>p</sub> ) (ML/min)	Peak flow (Q <sub>p</sub> ) (ML/s)
1 yr	0.8	108.9	108.9	108.9	108.9	108.9
2 yr	0.95	119.0	119.0	119.0	119.0	119.0
5 yr	1.1	130.0	130.0	130.0	130.0	130.0
10 yr	1.28	148.0	148.0	148.0	148.0	148.0
20 yr	1.5	170.0	170.0	170.0	170.0	170.0
50 yr	1.7	190.0	190.0	190.0	190.0	190.0

**4. Volume of Sediment Basins, Type D and Type F Soils**

Basin volume = setting zone volume + sediment storage zone volume

**Setting Zone Volume**

The setting zone volume for Type F and Type D soils is calculated to provide capacity to contain all runoff expected from up to the y percentile rainfall event. The volume of the basin's setting zone (V<sub>s</sub>) can be determined as a function of the basin's s:

$$V_s = 10 \times C_s \times A \times R_{s, 1-y, 100} (m^3)$$

where:

- 10 = a unit conversion factor
- $C_s$  = the volumetric runoff coefficient defined as that portion of rainfall that runs off as stormwater over the x-day period
- $R_{s, 1-y, 100}$  = the x-day total rainfall depth (mm) that is not exceeded in y percent of rainfall events. (See Sections 6.3.4(d), (e), (f), (g) and (h))
- A = total catchment area (ha)

**Sediment Storage Zone Volume**

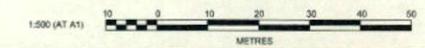
In the detailed calculation on Soil Loss Classes 1 to 4 lands, the sediment storage zone can be taken as 50 percent of the setting zone capacity. Alternatively designers can design the zone to show the 2-month soil loss as calculated by the RUSLE (Sesto)

Place an "X" in the box below to show the sediment storage zone design parameters used here:

50% of setting zone capacity.  
 2 months soil loss calculated by RUSLE

**Total Basin Volume**

Site	C <sub>Dp</sub>	R <sub>s, 1-y, 100</sub>	Total catchment area (ha)	Setting zone volume (m <sup>3</sup> )	Sediment storage volume (m <sup>3</sup> )	Total basin volume (m <sup>3</sup> )
1	0.5	21.8	4.36	425.34	0	425.34



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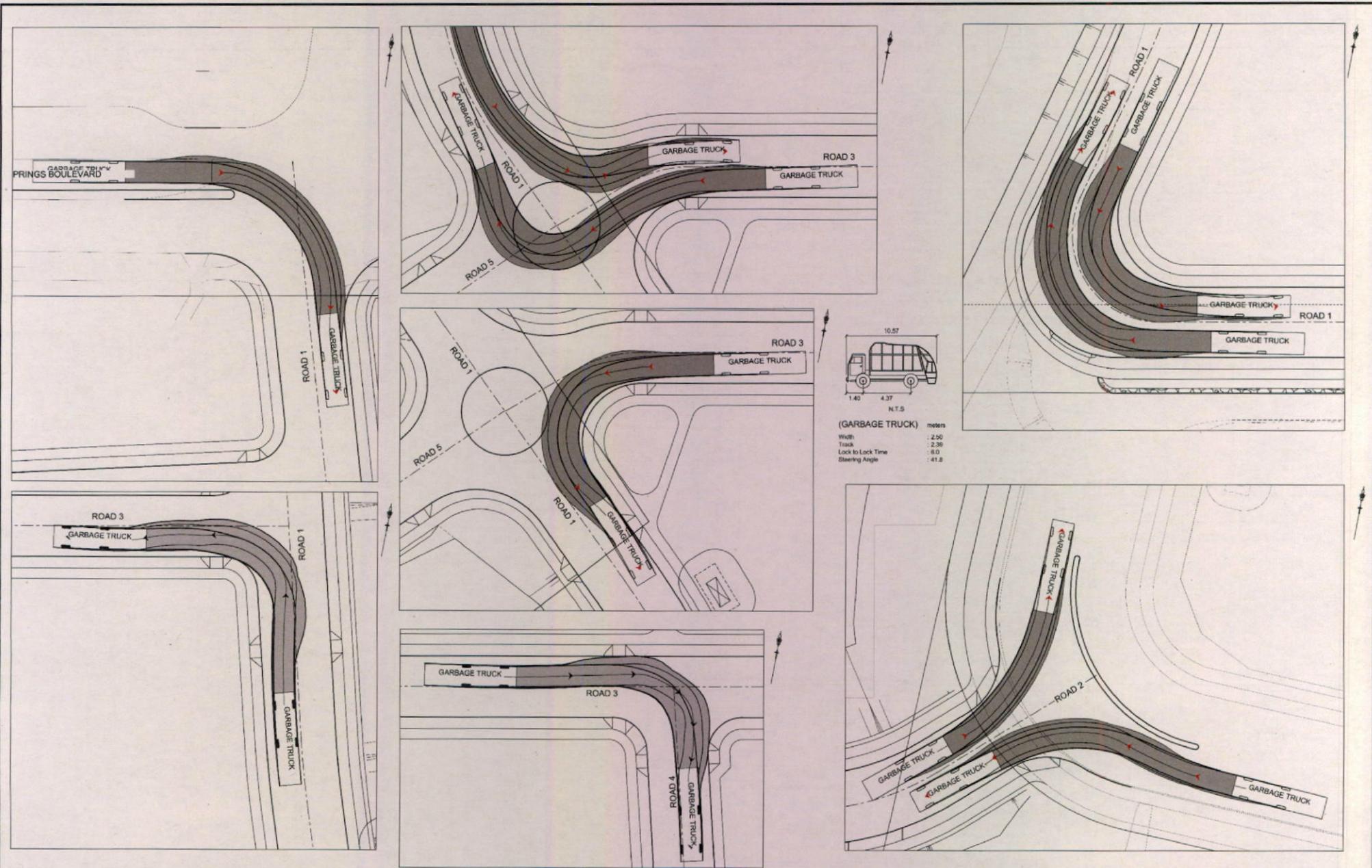
JORDAN SPRINGS MIXED USE SITE  
 TEMPORARY SEDIMENT BASIN CALCULATIONS AND PLAN

PLAN No: 9776/DA10  
 FILE No: 9776DA10  
 SHEET SIZE: A1 ORIGINAL

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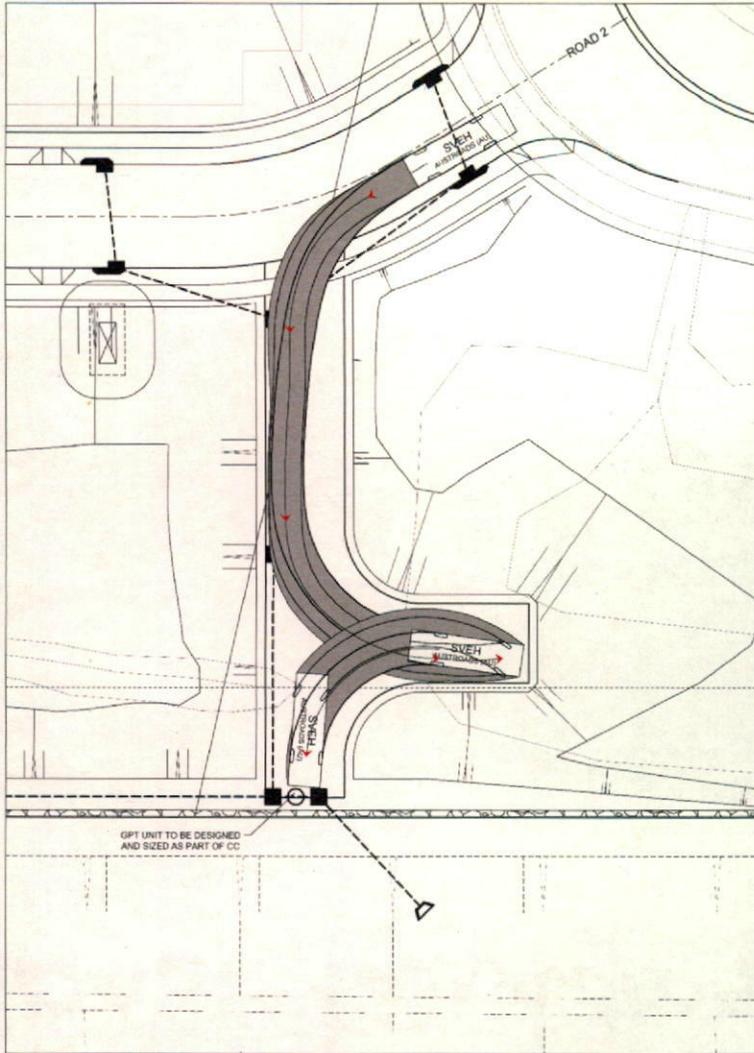
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AZIMUTH AND DATUM: MGA  
 ORIGIN:

CLIENT:	<b>ISSUED FOR DA APPROVAL</b> NOT FOR CONSTRUCTION	PLAN No: <b>9776/DA11</b>
	<b>JORDAN SPRINGS</b> <b>MIXED USE SITE</b> TURNING PATHS	FILE No: 9776DA11 SHEET SIZE: A1 ORIGINAL
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SVEH	metres
Width	2.50
Track	2.50
Lock to Lock Time	6.0
Steering Angle	28.2



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A	1	ISSUED FOR DEVELOPMENT APPLICATION	AS	TC	14/02/14
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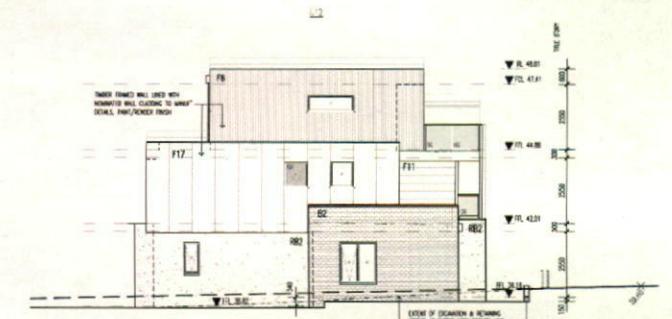
JORDAN SPRINGS  
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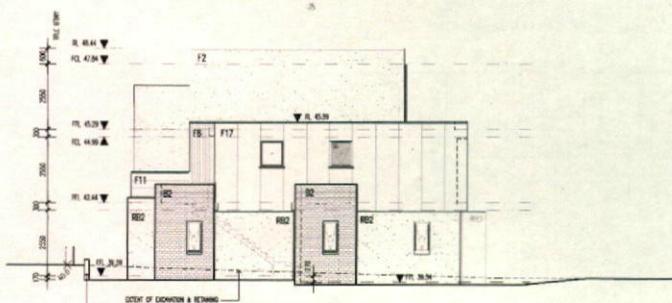


**MATERIALS SCHEDULE:**

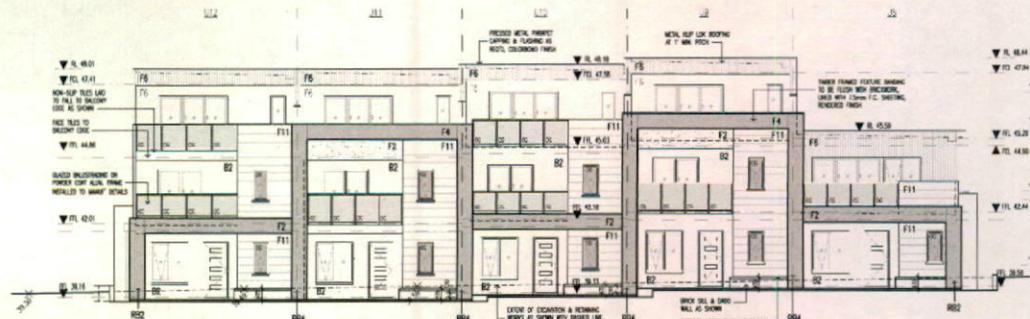
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- 79. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 80. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 81. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 82. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 83. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 84. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 85. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 86. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 87. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 88. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 89. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 90. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 91. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 92. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 93. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 94. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 95. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 96. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 97. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 98. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 99. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH
- 100. HANDED SCOTCH WITH CLADDING PAINT FINISH DULUX TEECE ROYAL HALF FINISH



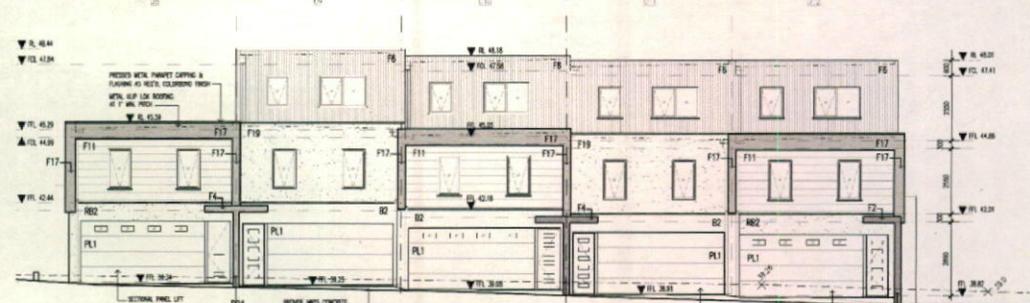
**EAST ELEVATION 1:100**  
Un.12 As Viewed from Internal Road



**INTERNAL WEST ELEVATION 1:100**  
Un.8 As Viewed from Internal Pathway



**SOUTH ELEVATION 1:100**  
Un.8-12 As Viewed from Jordan Springs Blvd



**SOUTH ELEVATION 1:100**  
Un.8-12 As Viewed from Internal Road

**Energy Rating** Certificate Number: 152000008

Single dwelling rating

Multi-unit development gross energy of energy rating: 45.3

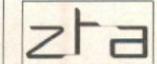
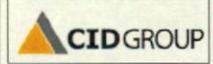
Estimated overnight contribution:  Fixed with  Rated without

Assessor Name: Paul MHA VISOVAKI/TS/SIS

Assessor Signature: [Signature] Date: 11/03/14

- 1) CONVEYANCE TO BEYOND & COMPANY ALL IMPROVEMENTS AND BASE WORK ON SITE MUST BE COMPLETED WORKS
- 2) BASE WORKING TO BE COMPLETED BY ALL PROVIDERS UNDER SCALE DIRECTION
- 3) ALL WORKS TO BE REFERRED TO THE DESIGNER FOR CLARIFICATION WHICH COMMENCEMENT OF WORKS
- 4) CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSULTANT SERVICES AND PERMITS

REVISION	INSTRUCTIONS	DATE



SUITE 28,  
247-7-7-8 LINDSAY STREET, PETERSHAM NSW 2015  
PH: (02) 9550 2282 FX: (02) 9550 2284  
www.zta.com.au www.zta.net.au



PROJECT: MIXED USE DEVELOPMENT  
JORDAN SPRINGS BLVD (SOUTHERN ENTRY)

DESIGNER: SHIMMUS NO. 30069  
ELEVATIONS: A3001  
Un.8-12

CHECKED: RT AC JR  
DATE: 30 Oct 2013  
SCALE: 1:100 (NAI)











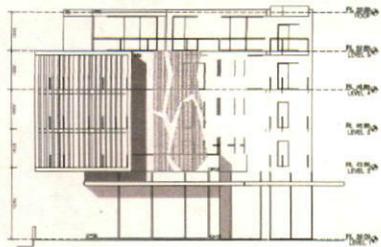




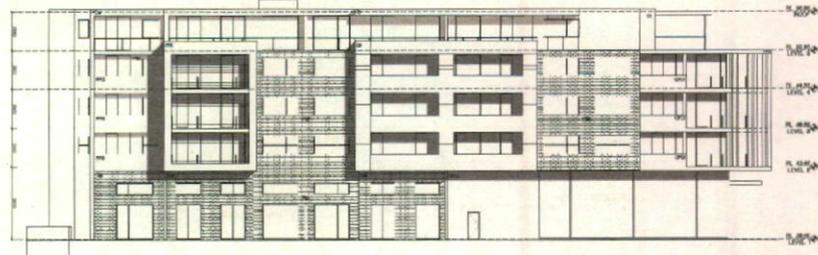
### FINISHES LEGEND

(ALL FINISHES ARE NOMINATED AND SUBJECT TO APPROVAL)

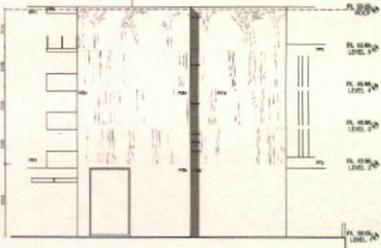
- BAL ALUMINIUM FRAMED BULLSTRAD WITH GLASS INFILL
- BAL2 CONCRETE LUTURN BULLSTRAD WITH PAINT FINISH
- C1 SCYON MATRIX CLADDING - 1000mm
- C2 SCYON AXON CLADDING - 1000mm
- C3 VERTICAL APPLICATION CRYSTAL GLAZING FINISH
- C3 PARALEX FACADE OR EQUIVALENT
- FD FACETRICK AUSTRAL - ULTRA SMOOTH JAZZ OR EQUIVALENT
- FDE FACETRICK AUSTRAL - ULTRA SMOOTH CHILL OR EQUIVALENT
- MS FEATURE FINANCY SCREEN
- MS2 METAL PERFORATED SCREEN
- ML METAL LOUVER POWDERCOATED FINISH
- OFC OFF FORMED CONCRETE TEXTURE FINISH
- PCM PRECAST MOULDED PANELS
- PF1 PAINT FINISH DULUX MOXA (common)
- PF2 PAINT FINISH DULUX STEFFNY (common)
- PF3 PAINT FINISH DULUX PIPE CLAY (common)
- PF4 PAINT FINISH DULUX BRIDGLES (common)
- PF5 PAINT FINISH DULUX WVD WHITE (common)
- PF6 PAINT FINISH DULUX PERMISSION (Block A)
- PF7 PAINT FINISH DULUX CLARE VALLEY (Block A)
- PF8 PAINT FINISH DULUX GOLD RUSH (Block B)
- PF9 PAINT FINISH DULUX HAPPY (Block B)
- PF10 PAINT FINISH DULUX CUNILIS (Block C)
- PF11 PAINT FINISH DULUX MERMULA (Block C)
- PF12 PAINT FINISH DULUX GREEN SLIP (Block D)
- PF13 PAINT FINISH DULUX SURF WASH (Block D)



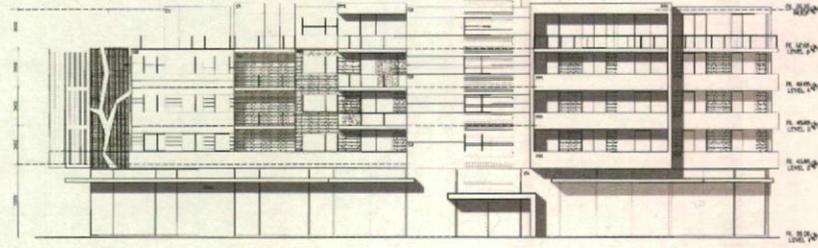
1 NORTH ELEVATION  
BLOCK C



2 EAST ELEVATION  
BLOCK C



3 SOUTH ELEVATION  
BLOCK C



4 WEST ELEVATION  
BLOCK C

**Energy Rating** Certificate Number: 15250005

single-dwelling rating      5.5 stars

multi-unit development (attach listing of ratings)      heating 39.7 MJ/m<sup>2</sup>

\*Indicates this specification is the arrangement for the entire development

cooling 45.3 MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number: Roy Mack VIC/BDV/13/1525

Assessor Signature: *Roy Mack* Date: 11/03/14

REVISION	AMENDMENTS	DATE	KEY	PROJECT	MIXED USE DEVELOPMENT
F	FOR DA REV 1	3 FEB 2014			<small>PROJECT</small> <b>MIXED USE DEVELOPMENT</b> <small>ACTON SPRING BLVD (SOUTH-HEM. ENTRY)</small> <small>DRAWING NO. 1000000</small> <b>BUILDING C A 3101</b> JA    RT, JA, PS <b>ELEVATIONS</b>
E	FOR DA	23 FEB 2014			

1. CONTRACTOR TO CHECK AND CONFIRM ALL DIMENSIONS AND BASE LEVELS ON SITE - PRIOR TO COMMENCING WORK.  
 2. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.  
 3. ALL DIMENSIONS TO BE REFERRED TO THE APPROPRIATE PLAN.  
 4. DIMENSIONS BEFORE COMMENCEMENT OF WORK.  
 5. DIMENSIONS TO BE REFERRED TO CONSTRUCTION WITH ALL APPLICABLE CONSULTANT DRAWINGS AND SPECIFICATIONS.

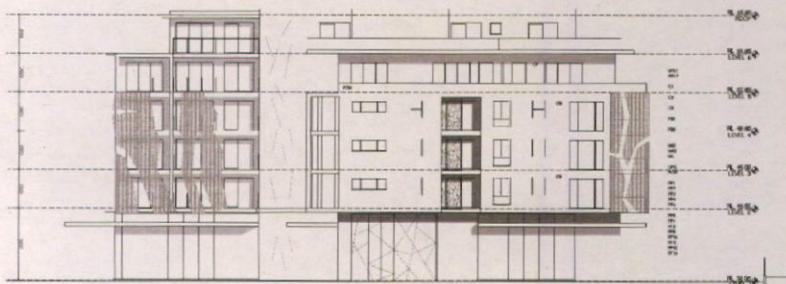
2100 55 Mill Street, Pyrmont NSW 2009  
 T: 02 9 550 5000 F: 02 9 550 5009  
 admin@zta.net.au zta.net.au  
 New Architect Entry License #6029

ISSUE DATE SCALE  
 FOR DA 15 JUL 2013 1:200 @ A1

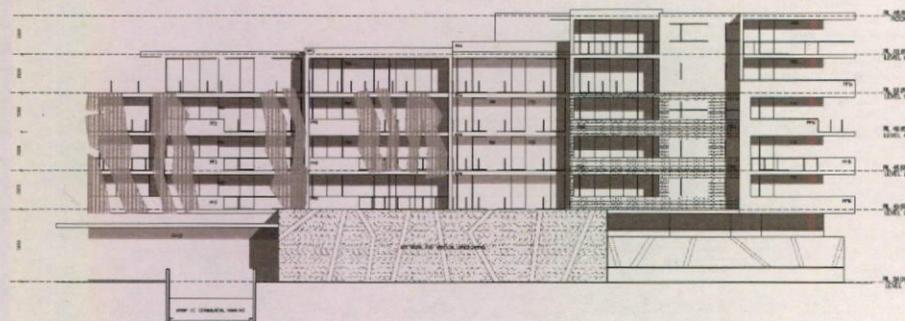
### FINISHES LEGEND

(ALL FINISHES ARE NOMINATED AND SUBJECT TO AVAILABILITY)

- BAL1 ALUMINIUM FRAMED BALUSTRADE WITH GLASS INFILL
- BAL2 CONCRETE UPTURN BALUSTRADE WITH PAINT FINISH
- C1 SCYON MATRIX CLADDING - 800mm
- VERTICAL APPLICATION LAPSTONE FINISH
- C2 SCYON AXIOM CLADDING - 800mm
- VERTICAL APPLICATION CRISTAL GLAZING FINISH
- C3 PARALUX FACADE OR EQUIVALENT
- FB1 FACEROCK AUSTRAL -
- ULTRA SMOOTH JAZZ OR EQUIVALENT
- FB2 FACEROCK AUSTRAL -
- ULTRA SMOOTH CHILL OR EQUIVALENT
- MS1 FEATURE PRIVACY SCREEN
- MS2 METAL PERFORATED SCREEN
- ML METAL LUDWIG POWDERCOATED FINISH
- OFC OFF FORMED CONCRETE TEXTURE FINISH
- PCM PRECAST MOULDED PANELS
- PF1 PAINT FINISH DULUX MODA (common)
- PF2 PAINT FINISH DULUX STEPMY (common)
- PF3 PAINT FINISH DULUX PIPE CLAY (common)
- PF4 PAINT FINISH DULUX JUVENILE (common)
- PF5 PAINT FINISH DULUX VIVO (interior)
- PF6 PAINT FINISH DULUX PERMISSION (Block A)
- PF7 PAINT FINISH DULUX CLARE VALLEY (Block A)
- PF8 PAINT FINISH DULUX GOLD RUSH (Block B)
- PF9 PAINT FINISH DULUX HAPPY (Block B)
- PF10 PAINT FINISH DULUX CLINIC (Block C)
- PF11 PAINT FINISH DULUX MERMULA (Block C)
- PF12 PAINT FINISH DULUX GREEN BUCKY (Block D)
- PF13 PAINT FINISH DULUX SURF WASH (Block D)



1 NORTH ELEVATION  
BLOCK D



2 WEST ELEVATION  
BLOCK D

**Energy Rating** Certificate Number **15250005**

single-dwelling rating 5.5 stars

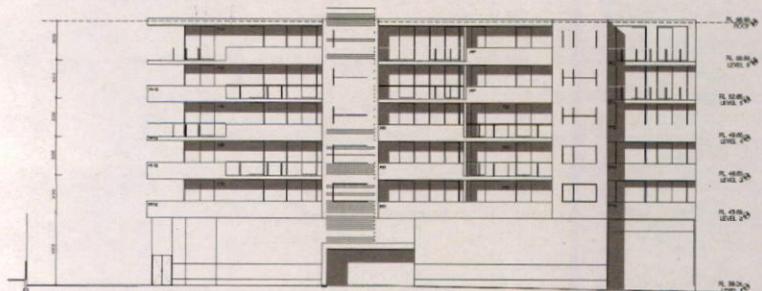
multi-unit development (attach listing of ratings) heating 39.7 stars

If selected, this specifies the average across the entire development cooling 45.3 stars

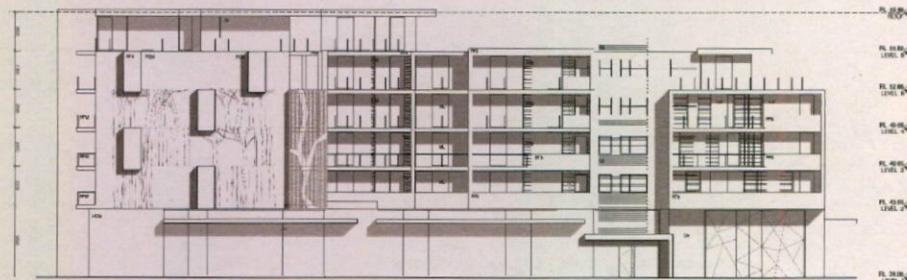
Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number **Roy Mack VICBDAV131525**

Assessor Signature *Roy Mack* Date **11/03/14**

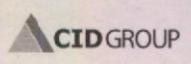


3 SOUTH ELEVATION  
BLOCK D



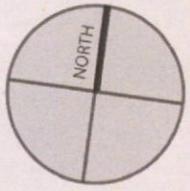
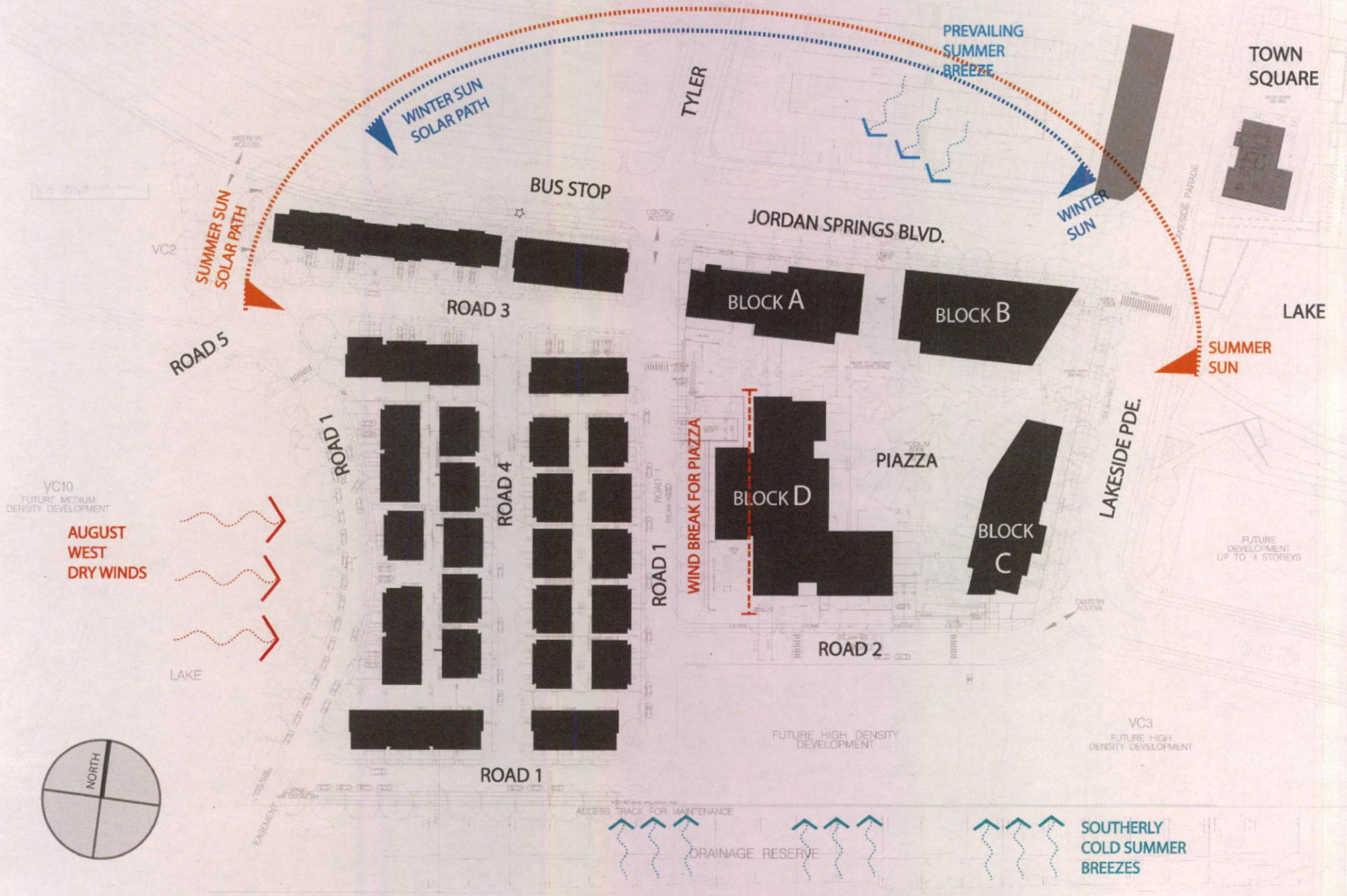
4 EAST ELEVATION  
BLOCK D

REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	3 FEB 2014
E	FOR DA	23 FEB 2014



PROJECT			
MIXED USE DEVELOPMENT			
JORDAN SPRINGS BLVD (SOUTHERN ENTRY)			
DRAWING	DRAWING No.	DRAWN	CHECKED
BUILDING D	A 3102	JR	RT, JR, PS
ELEVATIONS			
ISSUE	DATE	SCALE	
FOR DA	19 JUL 2013	1:200 @ A1	







KEY



2



3



4



5



6

HEIGHTS IN STOREY 0003

**zha**  
zombi taundos





KEY



REGIONAL PARK VIEWS



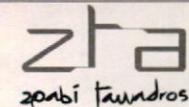
TOWN SQUARE/ LAKE VIEWS



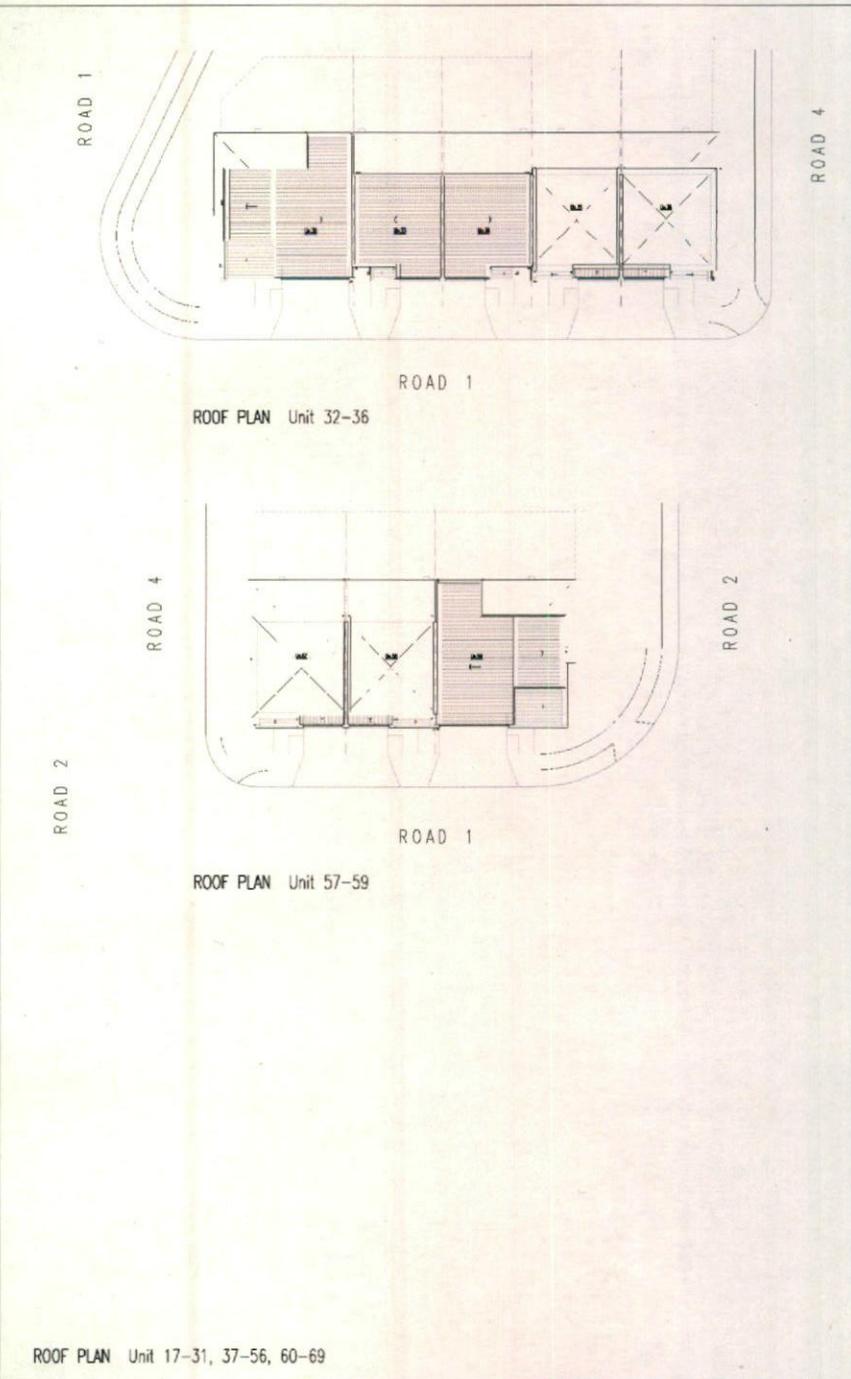
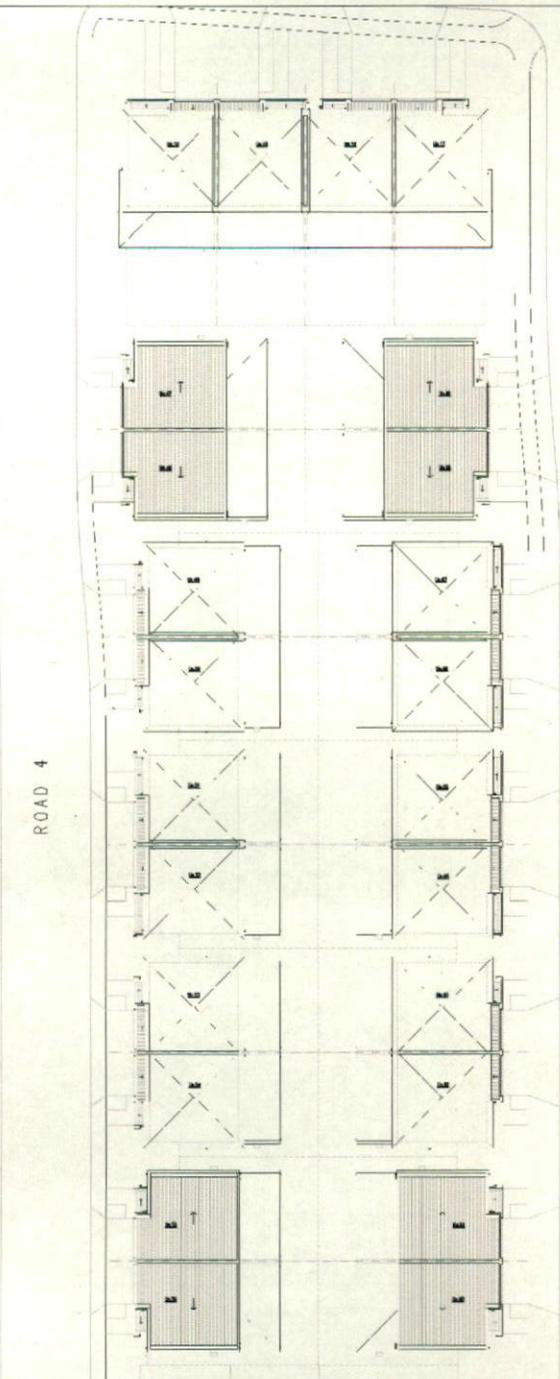
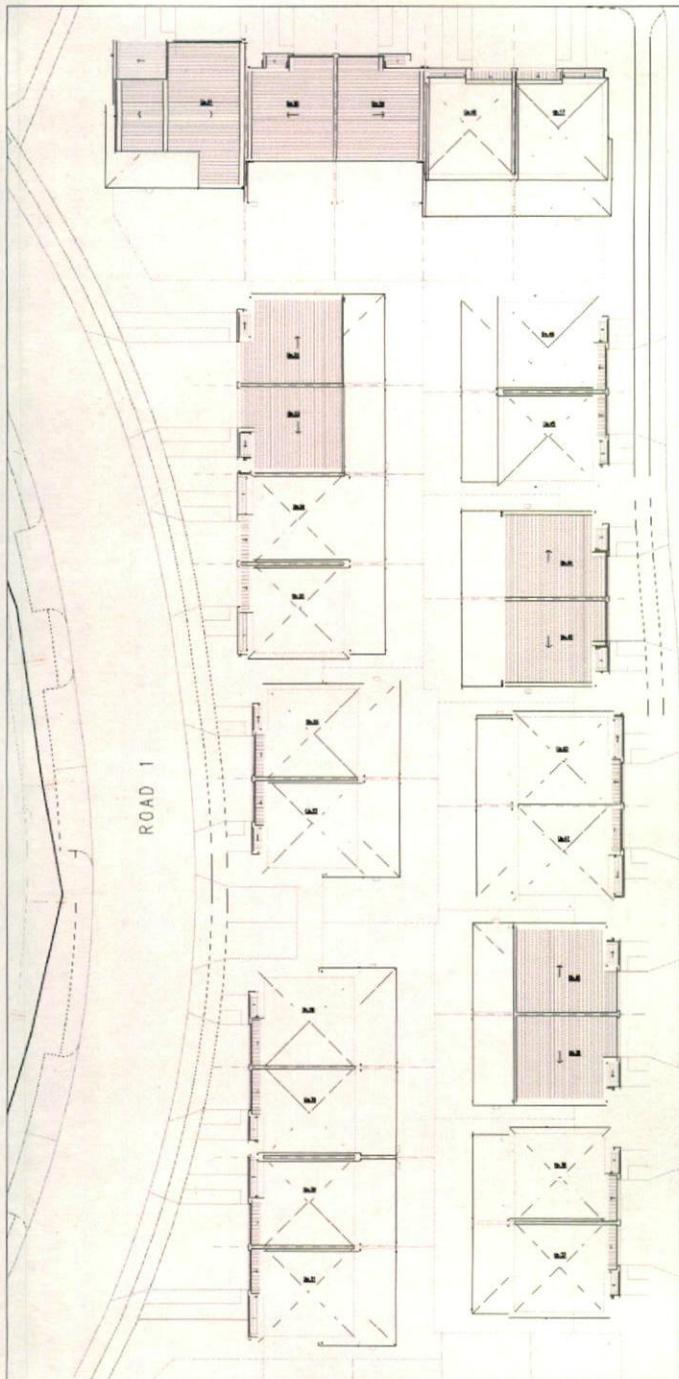
PIAZZA VISTA CORRIDORS

# VIEWS & VISTAS

0005

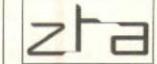
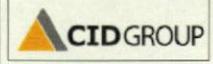






1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL STRUCTURAL ELEMENTS AND UTILITIES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ALL RECORDS AND DRAWINGS UPON COMPLETION OF THE PROJECT.

REVISION	AMENDMENTS	DATE



SUITE 308  
26 MILLER STREET, FARMINGTON, CT 06031  
P.O. BOX 8018, SUITE 308, FARMINGTON, CT 06031  
www.zfa.com

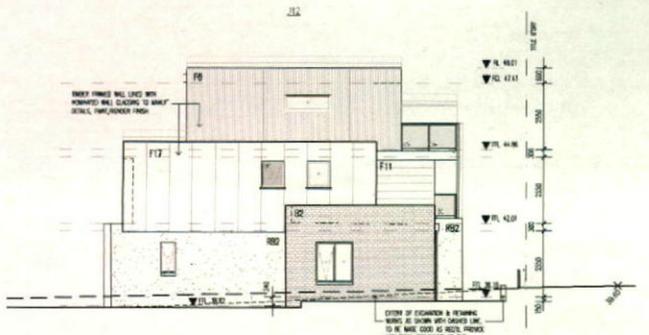


PROJECT: MIXED USE DEVELOPMENT JORDAN SPRINGS BLVD (SOUTHERN ENTRY)			
DRAWING: FLOOR PLANS Unit 13-69	DRAWING No: A2116	DATE: 11 MAR 2014	CHECKED: BT AC JR
ISSUE: 04	SCALE: 1/200MM		

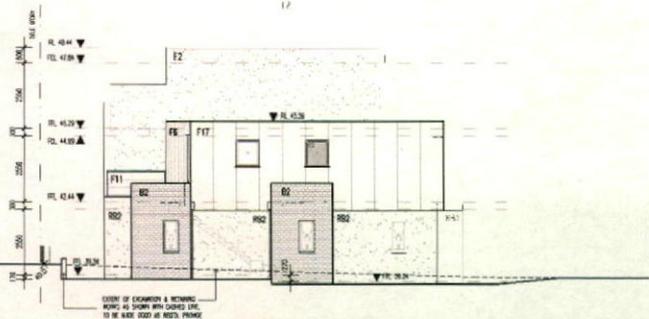


**MATERIALS SCHEDULE:**

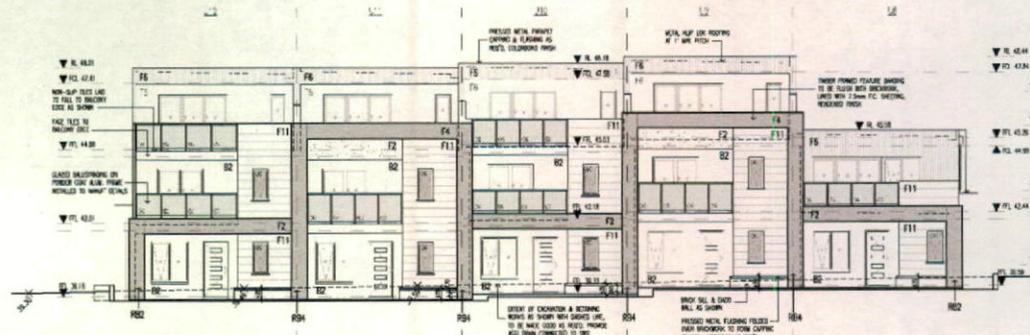
- 01: FINE BRICKWORK TYPED BY HISTORIC BRICKS
- 02: BRICK BRICKWORK TYPED BY HISTORIC BRICKS
- 03: BRICK BRICKWORK TYPED BY HISTORIC BRICKS
- 04: BRICK BRICKWORK TYPED BY HISTORIC BRICKS
- 05: BRICK BRICKWORK TYPED BY HISTORIC BRICKS
- 06: BRICK BRICKWORK TYPED BY HISTORIC BRICKS
- 07: 1/2" x 3/4" x 16" F.C. SHEET, HEMLOCK
- 08: 1/2" x 3/4" x 16" F.C. SHEET, HEMLOCK
- 09: 1/2" x 3/4" x 16" F.C. SHEET, HEMLOCK
- 10: 1/2" x 3/4" x 16" F.C. SHEET, HEMLOCK
- 11: 1/2" x 3/4" x 16" F.C. SHEET, HEMLOCK
- 12: 1/2" x 3/4" x 16" F.C. SHEET, HEMLOCK
- 13: 1/2" x 3/4" x 16" F.C. SHEET, HEMLOCK
- 14: 1/2" x 3/4" x 16" F.C. SHEET, HEMLOCK
- 15: HEMLOCK SIDING WITH CLASSIC PAINT FINISH
- 16: HEMLOCK SIDING WITH CLASSIC PAINT FINISH
- 17: HEMLOCK SIDING WITH CLASSIC PAINT FINISH
- 18: HEMLOCK SIDING WITH CLASSIC PAINT FINISH
- 19: HEMLOCK SIDING WITH CLASSIC PAINT FINISH
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- 99: HEMLOCK SIDING WITH CLASSIC PAINT FINISH
- 100: HEMLOCK SIDING WITH CLASSIC PAINT FINISH



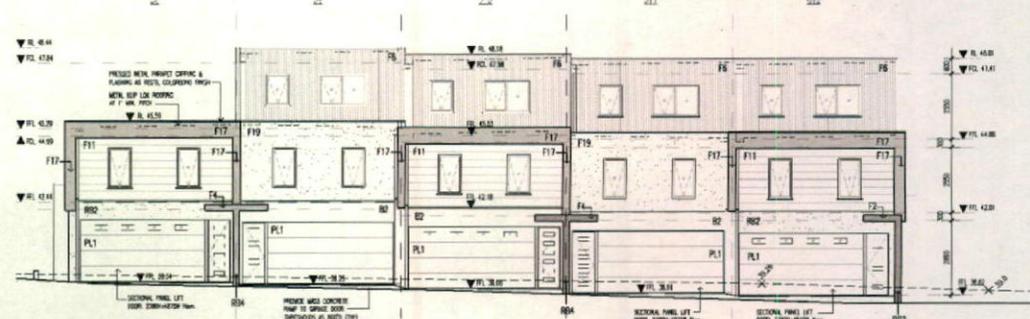
**EAST ELEVATION 1:100**  
Unit 12 As Viewed from Internal Road



**INTERNAL WEST ELEVATION 1:100**  
Unit 8 As Viewed from Internal Pathway



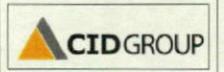
**SOUTH ELEVATION 1:100**  
Unit 12 As Viewed from Jordan Springs Bed



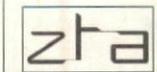
**SOUTH ELEVATION 1:100**  
Unit 12 As Viewed from Internal Road

1. CHECK FOR CONFLICTS & CORRECTIONS  
2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE  
3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE  
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE  
5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE  
6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE  
7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE  
8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE  
9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE  
10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE

REVISION	MEMORANDUM	DATE



SUITE 20,  
21 BULLOCK STREET, JOHNSBURG, NY, 12111  
PH: (518) 833-1244 F: (518) 833-1245  
WWW.BLUEPRINTNY.COM

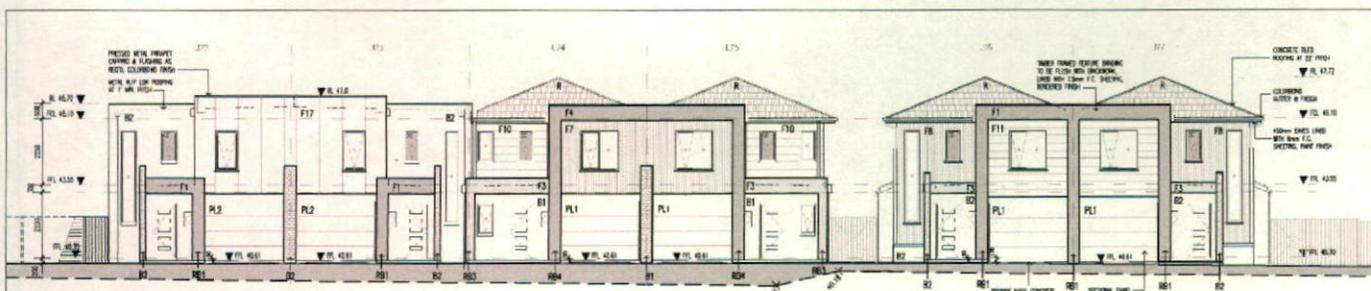


SUITE 308,  
21 BULLOCK STREET, JOHNSBURG, NY, 12111  
PH: (518) 833-1244 F: (518) 833-1245  
WWW.ZFA.COM



PROJECT MIXED USE DEVELOPMENT JORDAN SPRINGS BLVD (SOUTHERN ENTRY)			
DRAWING NO.	DATE	SCALE	CHECKED
UNB-12	11 MAR 2014	1:100/0.81	RT AC JR
ISSUE	DATE	SCALE	CHECKED
DA	11 MAR 2014	1:100/0.81	RT AC JR





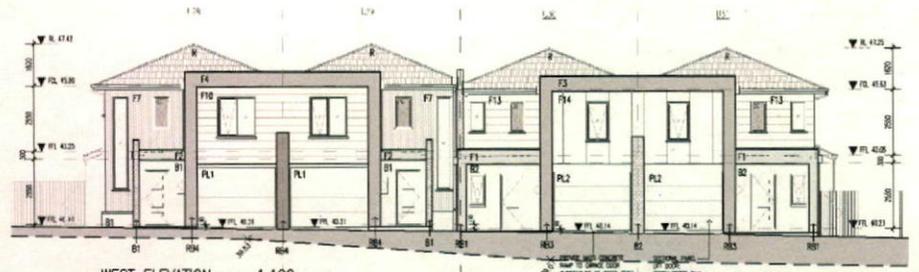
WEST ELEVATION 1:100  
Un.22-27 As Viewed from Internal Road



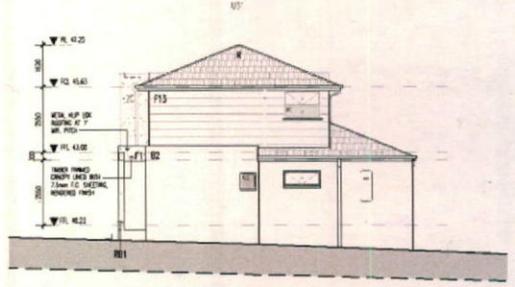
INTERNAL SOUTH ELEVATION 1:100  
Un.27 As Viewed from Side Setback

MATERIALS SCHEDULE:

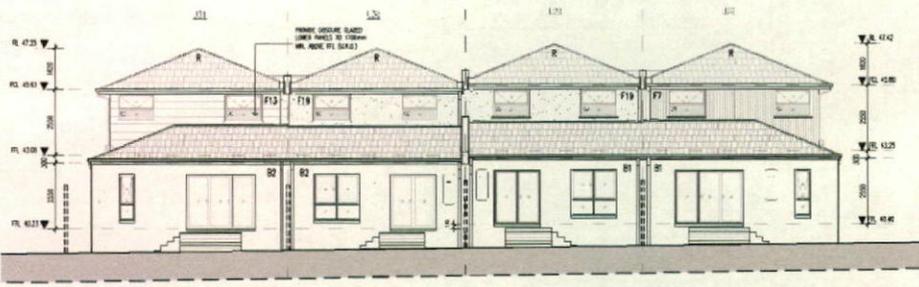
- B1: FACE BRICKWORK (SANDY) BY ACTUAL BRICKS
- B2: FACE BRICKWORK (SANDY) BY ACTUAL BRICKS
- B3: RENDOLIT BRICKWORK (SANDY) "ROOF" FINISH
- B4: RENDOLIT BRICKWORK (SANDY) "ROOF" FINISH
- B5: RENDOLIT BRICKWORK (SANDY) "ROOF" FINISH
- B6: RENDOLIT BRICKWORK (SANDY) "ROOF" FINISH
- B7: RENDOLIT BRICKWORK (SANDY) "ROOF" FINISH
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- B98: RENDOLIT BRICKWORK (SANDY) "ROOF" FINISH
- B99: RENDOLIT BRICKWORK (SANDY) "ROOF" FINISH
- B100: RENDOLIT BRICKWORK (SANDY) "ROOF" FINISH



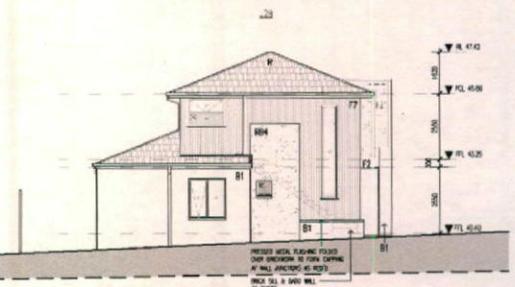
WEST ELEVATION 1:100  
Un.26-31 As Viewed from Internal Road



INTERNAL SOUTH ELEVATION 1:100  
Un.31 As Viewed from Side Setback



INTERNAL EAST ELEVATION 1:100  
Un.28-31 As Viewed from Internal Road



INTERNAL NORTH ELEVATION 1:100  
Un.28 As Viewed from Side Setback

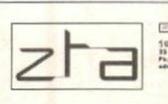
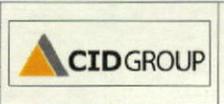


INTERNAL EAST ELEVATION 1:100  
Un.22-27 As Viewed from Internal Road

INTERNAL NORTH ELEVATION 1:100  
Un.22 As Viewed from Side Setback

1. CONSULT THE CLIENT & CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THE BUILDING TO BE CONSTRUCTED ON THE SITE.  
2. ALL DIMENSIONS TO BE GIVEN TO THE CENTER OF THE WALL UNLESS OTHERWISE SPECIFIED.  
3. DIMENSIONS TO BE GIVEN TO THE CENTER OF THE WALL UNLESS OTHERWISE SPECIFIED.  
4. DIMENSIONS TO BE GIVEN TO THE CENTER OF THE WALL UNLESS OTHERWISE SPECIFIED.

REVISION	AMENDMENTS	DATE



SHEET 20  
LOT 1, 1-10 MILL STREET, FOOTSCRAY VIC 3011  
PH: 03 9337 1234 FAX: 03 9337 1235  
www.zta.com.au

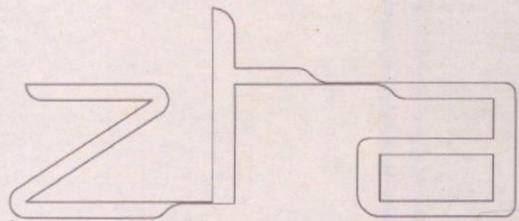
PROJECT MIXED USE DEVELOPMENT LOREAN SPRINGS (BAY SOUTHVIEW ENTRY)	DRAWING NO. A3003	DRAWN JT	CHECKED BT AC JR
ISSUE DA	DATE 11 MAR 2014	SCALE 1:100MM	











zohbi tawadros

FOR DA APPROVAL



# VC2

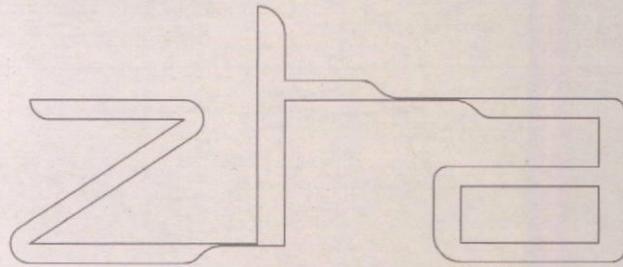
## JORDAN SPRINGS

### PROPOSED MIXED-USE DEVELOPEMENT

### ARCHITECTURAL SHEET INDEX

A0000	Cover sheet /index /Drawing list	A2230	Building D - Level 1
A0001	Context Plan	A2231	Building D - Level 2
A0002	Analysis Plan	A2232	Building D - Level 3
A0003	Building Height Plan	A2233	Building D - Level 4
A0004	Urban Links Plan	A2234	Building D - Level 5
A0005	Views and Vistas Plan	A2235	Building D - Level 6
A0006	Public Domain Intergration	A2250	Building A - Roof
A1000	Site Plan	A2251	Building B - Roof
A1001	Site Plan - Detail 1 of 2	A2252	Building C - Roof
A1002	Site Plan - Detail 2 of 2	A2253	Building D - Roof
A1010	Building Separation - L2	A3000	U 1-7 Elevation
A1011	Building Separation - L3	A3001	U 8-12 Elevation
A1012	Building Separation - L4	A3002	U 13-21 Elevation
A1013	Building Separation - L5	A3003	U 22-31 Elevation
A1014	Building Separation - L6	A3004	U 32-36 & 57-59 Elevation
A2000	Piazza Basement 2 Plan (CP2 Upper)	A3005	U 37-46 Elevation
A2001	Piazza Basement 1 Plan (CP1 Upper)	A3006	U 47-56 Elevation
A2100 - A2110	Townhouse Plans	A3007	U 60-69 Elevation
A2200	Building A - Level 1	A3100	Building A + B
A2201	Building A - Level 2	A3101	Building C
A2202	Building A - Level 3	A3102	Building D
A2203	Building A - Level 4	A4000	Section A-A and Section B-B
A2204	Building A - Level 5	A5000	Winter - 9am
A2205	Building A - Level 6	A5001	Winter - 12pm
A2210	Building B - Level 1	A5002	Winter - 3pm
A2211	Building B - Level 2	A5003	Winter - 9am - high rise
A2212	Building B - Level 3	A5004	Winter - 12pm - high rise
A2213	Building B - Level 4	A5005	Winter - 3pm - high rise
A2214	Building B - Level 5	A5006	Section Winter Shadows - high rise
A2215	Building B - Level 6		
A2220	Building C - Level 1		
A2221	Building C - Level 2		
A2222	Building C - Level 3		
A2223	Building C - Level 4		
A2224	Building C - Level 5		

<small>                 I. CONTRACTOR TO VERIFY AND CONFIRM ALL DIMENSIONS AND BENCH MARKS ON SITE PRIOR TO COMMENCING WORKS. DIMENSIONS SHOWN ON THIS DRAWING TAKE PRECEDENCE OVER SCALE. DIMENSIONS TO BE REFERRED TO THE DIMENSION FOR CLARIFICATION BEFORE COMMENCEMENT OF WORKS. CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE CONSULTANT DRAWINGS AND SPECIFICATIONS.             </small>	REVISION	AMENDMENTS	DATE	CLIENT / DEVELOPER	ARCHITECT	PROJECT
	F	FOR DA REV 1	3 FEB 2014			JORDAN SPRINGS MIXED USE DEVELOPMENT JORDAN SPRINGS BLVD (SOUTHERN ENTRY) DRAWING No. DRAWN CHECKED COVER A 0000 PS RT. JLT/PJ SHEET ISSUE DATE SCALE FOR DA 16 JUL 2013 N/A
E	FOR DA	23 FEB 2014				



zouabi tauandros

# VC2 JORDAN SPRINGS

## PROPOSED MIXED-USE DEVELOPEMENT



### SHEET INDEX

A0000	Cover sheet/index /Drawing list	A2230	Building D - Level 1
A0001	Context Plan	A2231	Building D - Level 2
A0002	Analysis Plan	A2232	Building D - Level 3
A0003	Building Height Plan	A2233	Building D - Level 4
A0004	Urban Links Plan	A2234	Building D - Level 5
A0005	Views and Vistas Plan	A2235	Building D - Level 6
A0006	Public Domain Intergration	A2250	Building A - Roof
A1000	Site Plan	A2251	Building B - Roof
A1001	Site Plan - Detail 1 of 2	A2252	Building C - Roof
A1002	Site Plan - Detail 2 of 2	A2253	Building D - Roof
A1010	Building Separation - L2	A3000	U 1-7 Elevation
A1011	Building Separation - L3	A3001	U 8-12 Elevation
A1012	Building Separation - L4	A3002	U 13-21 Elevation
A1013	Building Separation - L5	A3003	U 22-31 Elevation
A1014	Building Separation - L6	A3004	U 32-36 & 57-59 Elevation
A2000	Piazza Basement 2 Plan (CP2 Upper)	A3005	U 37-46 Elevation
A2001	Piazza Basement 1 Plan (CP1 Upper)	A3006	U 47-56 Elevation
A2007	Piazza Basement 1 Plan (CP1 Upper)	A3007	U 60-69 Elevation
A2100 - A2110	Townhouse Plans	A3100	Building A + B
A2200	Building A - Level 1	A3101	Building C
A2201	Building A - Level 2	A3102	Building D
A2202	Building A - Level 3	A4000	Section A-A and Section B-B
A2203	Building A - Level 4	A5000	Winter - 9am
A2204	Building A - Level 5	A5001	Winter - 12pm
A2205	Building A - Level 6	A5002	Winter - 3pm
A2210	Building B - Level 1	A5003	Winter - 9am - high rise
A2211	Building B - Level 2	A5004	Winter - 12pm - high rise
A2212	Building B - Level 3	A5005	Winter - 3pm - high rise
A2213	Building B - Level 4	A5006	Section Winter Shadows - high rise
A2214	Building B - Level 5		
A2215	Building B - Level 6		
A2220	Building C - Level 1		
A2221	Building C - Level 2		
A2222	Building C - Level 3		
A2223	Building C - Level 4		
A2224	Building C - Level 5		

**Energy Rating** Certificate Number 15250005

5.5 stars

heating 39.7 MJ/m<sup>2</sup>

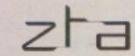
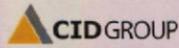
cooling 45.3 MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Roy Mack VIC/BDW/131525

Assessor Signature *Roy Mack* Date 11/03/14

REVISION	AMENDMENTS	DATE	KEY	PROJECT
F	FOR DA REV 1	3 FEB 2014		<b>MIXED USE DEVELOPMENT</b> JORDAN SPRINGS BLVD SOUTHERN ENTRY DRAWING No. DRAWN CHECKED COVER SHEET A 0000 PS HT, JL, PG ISSUE DATE 16 JUL 2013 SCALE NTD
E	FOR DA	23 FEB 2014		



zouabi tauandros  
 Suite 3.02, 95 Miller Street, Pyrmont NSW 2009  
 T: +61 2 9551 4222 F: +61 2 9551 8229  
 info@zta.net.au zta.net.au  
 Non-Asbestos Party Trenching #8200

A1301	2	100.0	39.3	88.0	25.3	91.0	D1201	1	62.0	11.1	88.0	25.0	91.0
A1302	2	80.0	11.1	88.0	25.8	91.0	D1202	3	81.0	11.1	88.0	25.8	91.0
A1303	2	92.0	11.1	88.0	25.8	91.0	D1203	2	82.0	39.3	88.0	25.3	91.0
A1304	2	63.0	11.1	88.0	25.8	91.0	D1204	1	62.0	39.3	88.0	25.3	91.0
A1305	2	80.0	11.1	88.0	25.8	91.0	D1205	2	83.0	11.1	88.0	25.8	91.0
A1306	2	92.0	11.1	88.0	25.8	91.0	D1206	1	62.0	39.3	88.0	25.3	91.0
A1307	2	80.0	11.1	88.0	25.8	91.0	D1207	1	62.0	39.3	88.0	25.3	91.0
A1308	2	80.0	11.1	88.0	25.8	91.0	D1208	2	83.0	11.1	88.0	25.8	91.0
A1309	2	82.0	39.3	88.0	25.3	91.0	D1209	2	83.0	11.1	88.0	25.8	91.0
A1310	2	82.0	39.3	88.0	25.3	91.0	D1210	2	83.0	11.1	88.0	25.8	91.0
A1311	2	82.0	39.3	88.0	25.3	91.0	D1211	2	83.0	11.1	88.0	25.8	91.0
A1312	2	82.0	39.3	88.0	25.3	91.0	D1212	2	83.0	11.1	88.0	25.8	91.0
A1313	2	82.0	39.3	88.0	25.3	91.0	D1213	2	83.0	11.1	88.0	25.8	91.0
A1314	2	82.0	39.3	88.0	25.3	91.0	D1214	2	83.0	11.1	88.0	25.8	91.0
A1315	2	82.0	39.3	88.0	25.3	91.0	D1215	2	83.0	11.1	88.0	25.8	91.0
A1316	2	82.0	39.3	88.0	25.3	91.0	D1216	2	83.0	11.1	88.0	25.8	91.0
A1317	2	82.0	39.3	88.0	25.3	91.0	D1217	2	83.0	11.1	88.0	25.8	91.0
A1318	2	82.0	39.3	88.0	25.3	91.0	D1218	2	83.0	11.1	88.0	25.8	91.0
A1319	2	82.0	39.3	88.0	25.3	91.0	D1219	2	83.0	11.1	88.0	25.8	91.0
A1320	2	82.0	39.3	88.0	25.3	91.0	D1220	2	83.0	11.1	88.0	25.8	91.0
A1321	2	82.0	39.3	88.0	25.3	91.0	D1221	2	83.0	11.1	88.0	25.8	91.0
A1322	2	82.0	39.3	88.0	25.3	91.0	D1222	2	83.0	11.1	88.0	25.8	91.0
A1323	2	82.0	39.3	88.0	25.3	91.0	D1223	2	83.0	11.1	88.0	25.8	91.0
A1324	2	82.0	39.3	88.0	25.3	91.0	D1224	2	83.0	11.1	88.0	25.8	91.0
A1325	2	82.0	39.3	88.0	25.3	91.0	D1225	2	83.0	11.1	88.0	25.8	91.0
A1326	2	82.0	39.3	88.0	25.3	91.0	D1226	2	83.0	11.1	88.0	25.8	91.0
A1327	2	82.0	39.3	88.0	25.3	91.0	D1227	2	83.0	11.1	88.0	25.8	91.0
A1328	2	82.0	39.3	88.0	25.3	91.0	D1228	2	83.0	11.1	88.0	25.8	91.0
A1329	2	82.0	39.3	88.0	25.3	91.0	D1229	2	83.0	11.1	88.0	25.8	91.0
A1330	2	82.0	39.3	88.0	25.3	91.0	D1230	2	83.0	11.1	88.0	25.8	91.0

A1405	1	83.0	39.3	88.0	25.3	91.0
A1501	2	122.0	11.1	88.0	25.8	91.0
A1502	1	132.0	39.3	88.0	25.3	91.0
A1503	2	87.0	39.3	88.0	25.3	91.0
A2201	2	83.0	39.3	88.0	25.3	91.0
A3302	1	62.0	39.3	88.0	25.3	91.0
A3303	2	82.0	39.3	88.0	25.3	91.0
A3401	2	83.0	11.1	88.0	25.8	91.0
A4402	1	84.0	29.2	88.0	25.2	91.0
A4403	2	82.0	11.1	88.0	25.8	91.0
A5501	2	83.8	11.1	88.0	25.8	91.0
A5502	1	82.0	11.1	88.0	25.8	91.0
A5503	2	82.0	39.3	88.0	25.3	91.0
A6601	2	83.0	11.1	88.0	25.8	91.0
A6602	1	82.0	39.3	88.0	25.3	91.0

B2201	1	62.0	39.3	88.0	25.3	91.0
B2202	2	80.0	11.1	88.0	25.8	91.0
B2203	2	92.0	39.3	88.0	25.3	91.0
B2204	2	93.0	39.3	88.0	25.3	91.0
B2205	2	82.0	39.3	88.0	25.3	91.0
B2301	1	60.0	39.3	88.0	25.3	91.0
B2302	2	80.0	11.1	88.0	25.8	91.0
B2303	2	92.0	11.1	88.0	25.8	91.0
B2304	1	93.0	39.3	88.0	25.3	91.0
B2305	2	82.0	39.3	88.0	25.3	91.0
B2306	2	82.0	39.3	88.0	25.3	91.0
B2401	1	63.0	11.1	88.0	25.8	91.0
B2402	2	80.0	11.1	88.0	25.8	91.0
B2403	2	92.0	11.1	88.0	25.8	91.0
B2404	2	93.0	39.3	88.0	25.3	91.0
B2405	2	82.0	39.3	88.0	25.3	91.0

C401	2	110.0	11.1	88.0	25.8	91.0
C402	1	83.0	41.7	88.0	51.4	91.0
C403	2	82.0	41.7	88.0	51.4	91.0
C404	1	82.0	41.7	88.0	51.4	91.0
C405	1	80.0	41.7	88.0	51.4	91.0
C406	2	90.0	11.1	88.0	25.8	91.0
C407	1	86.0	11.1	88.0	25.8	91.0
C408	3	121.0	11.1	88.0	25.8	91.0
C502	2	82.0	41.7	88.0	51.4	91.0
C503	2	82.0	41.7	88.0	51.4	91.0
C504	2	82.0	41.7	88.0	51.4	91.0
C505	3	80.0	41.7	88.0	51.4	91.0
C506	2	88.0	41.7	88.0	51.4	91.0

D1405	2	87.0	41.7	88.0	51.4	91.0
D1501	3	100.0	41.7	88.0	51.4	91.0
D1502	3	128.0	27.3	88.0	30.9	91.0
D1503	2	117.0	41.7	88.0	51.4	91.0
D1504	1	87.0	41.7	88.0	51.4	91.0
D1505	2	87.0	41.7	88.0	51.4	91.0
D1506	2	86.0	27.3	88.0	30.9	91.0
D2201	2	82.0	41.7	88.0	51.4	91.0
D2202	2	117.0	27.3	88.0	30.9	91.0
D2203	2	86.0	11.1	88.0	25.8	91.0
D2204	1	86.0	27.3	88.0	30.9	91.0
D2205	2	88.0	74	88.0	70	91.0
D2206	2	81.0	11.1	88.0	25.8	91.0
D2207	2	90.0	11.1	88.0	25.8	91.0
D2301	2	92.0	41.7	88.0	51.4	91.0
D2302	2	117.0	27.3	88.0	30.9	91.0
D2303	2	81.0	11.1	88.0	25.8	91.0
D3304	1	67.0	27.3	88.0	30.9	91.0
D3305	2	81.0	11.1	88.0	25.8	91.0
D3306	2	81.0	11.1	88.0	25.8	91.0
D3307	3	80.0	11.1	88.0	25.8	91.0
D3401	2	92.0	41.7	88.0	51.4	91.0
D3402	3	117.0	27.3	88.0	30.9	91.0
D3403	2	84.0	11.1	88.0	25.8	91.0
D3404	1	85.0	27.3	88.0	30.9	91.0
D3405	3	81.0	27.3	88.0	30.9	91.0
D3406	2	81.0	27.3	88.0	30.9	91.0
D3407	2	90.0	27.3	88.0	30.9	91.0

A2603	2	92.0	39.3	88.0	25.3	91.0
B2601	1	63.0	11.1	88.0	25.8	91.0
B2602	3	80.0	11.1	88.0	25.8	91.0
B2603	2	92.0	11.1	88.0	25.8	91.0
B2604	2	82.0	39.3	88.0	25.3	91.0
B2605	3	82.0	39.3	88.0	25.3	91.0
B2606	1	63.0	39.3	88.0	25.3	91.0
B2607	2	82.0	11.1	88.0	25.8	91.0
B2608	3	110.0	29.2	88.0	25.2	91.0

B2609	1	63.0	11.1	88.0	25.8	91.0
B2610	3	80.0	11.1	88.0	25.8	91.0
B2611	2	92.0	11.1	88.0	25.8	91.0
B2612	2	82.0	39.3	88.0	25.3	91.0
B2613	3	82.0	39.3	88.0	25.3	91.0
B2614	1	63.0	39.3	88.0	25.3	91.0
B2615	2	82.0	11.1	88.0	25.8	91.0
B2616	3	110.0	29.2	88.0	25.2	91.0

D3501	2	92.0	41.7	88.0	51.4	91.0
D3502	2	117.0	27.3	88.0	30.9	91.0
D3503	1	81.0	11.1	88.0	25.8	91.0
D3504	1	86.0	11.1	88.0	25.8	91.0
D3505	2	81.0	11.1	88.0	25.8	91.0
D3506	2	71.0	11.1	88.0	25.8	91.0
D3507	2	90.0	11.1	88.0	25.8	91.0
D3601	1	80.0	41.7	88.0	51.4	91.0
D3602	2	117.0	27.3	88.0	30.9	91.0
D3603	2	81.0	11.1	88.0	25.8	91.0
D3604	1	81.0	27.3	88.0	30.9	91.0
D3605	2	81.0	11.1	88.0	25.8	91.0
D3606	3	80.0	11.1	88.0	25.8	91.0

D3607	2	81.0	11.1	88.0	25.8	91.0
D3608	2	81.0	11.1	88.0	25.8	91.0
D3609	2	81.0	11.1	88.0	25.8	91.0
D3610	2	81.0	11.1	88.0	25.8	91.0
D3611	2	81.0	11.1	88.0	25.8	91.0
D3612	2	81.0	11.1	88.0	25.8	91.0
D3613	2	81.0	11.1	88.0	25.8	91.0
D3614	2	81.0	11.1	88.0	25.8	91.0
D3615	2	81.0	11.1	88.0	25.8	91.0
D3616	2	81.0	11.1	88.0	25.8	91.0
D3617	2	81.0	11.1	88.0	25.8	91.0
D3618	2	81.0	11.1	88.0	25.8	91.0
D3619	2	81.0	11.1	88.0	25.8	91.0
D3620	2	81.0	11.1	88.0	25.8	91.0

**Energy Rating** Certificate Number: 15290098

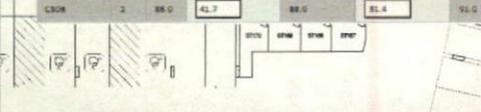
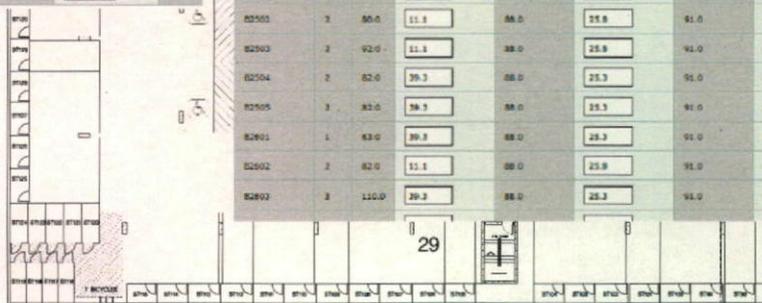
Single dwelling rating: 3.5 stars

Multi-unit dwelling (per unit) rating: 3.7 stars

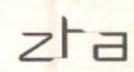
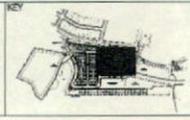
Annual energy consumption (per unit): 43.3 kWh

Annual greenhouse gas emissions (per unit): 4.3 tCO2e

Assessor: [Signature]



REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	3 FEB 2014
E	FOR DA	20 FEB 2014



Scale: 1:500 (Site), 1:100 (Floor)

DATE: 16 JUN 2013

PROJECT: MIXED USE DEVELOPMENT

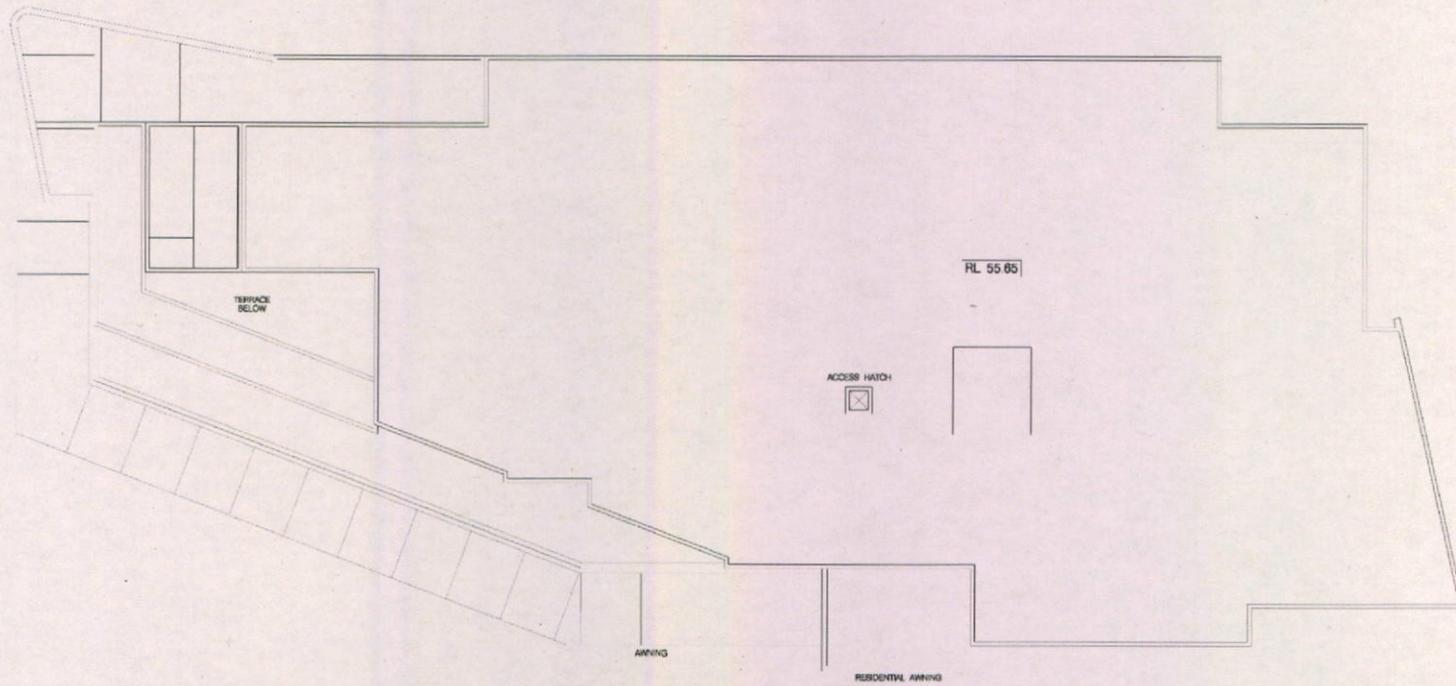
CLIENT: SPINUS BUILDING GROUP PTY LTD

DRAWING NO: 020001

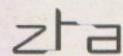
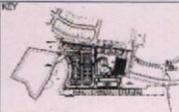
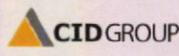
PIAZZA BASEMENT 2 CP2 (LOWER)

DATE: 16 JUN 2013

SCALE: 1:200 (



REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	3 FEB 2014
E	FOR DA	20 FEB 2014

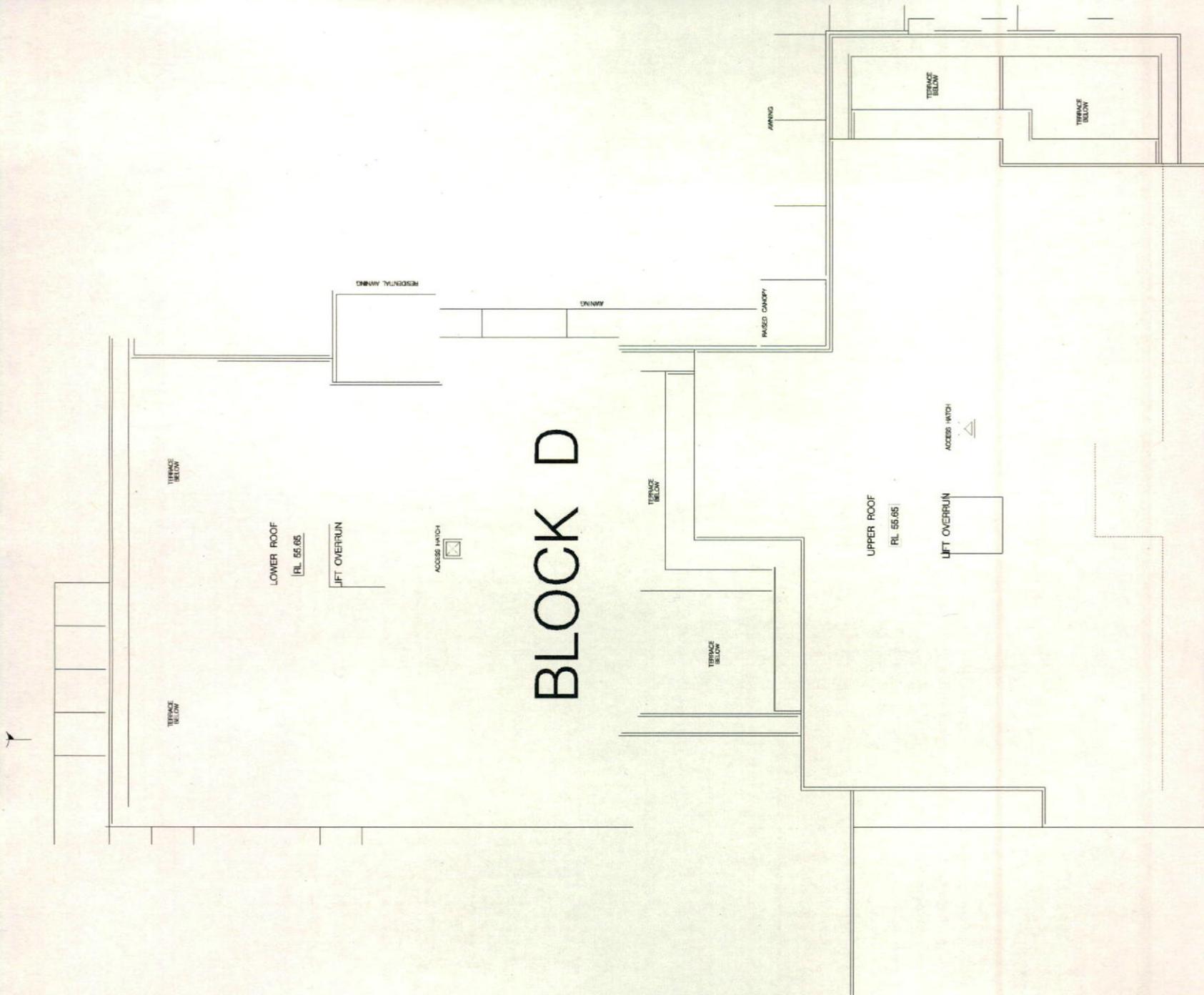


20088 TOWNSEND  
 Suite 0.01, 55 Miller Street, Pyrmont NSW 2009  
 T+61 2 9559 8228 F+61 2 9559 8228  
 admin@zta.com.au zta.com.au  
 Non-Architect Firm's Taxation #9236



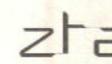
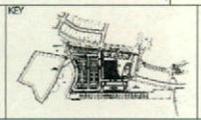
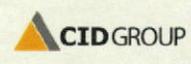
PROJECT  
 MIXED USE DEVELOPMENT  
 JORDAN SPRINGS BLVD (SOUTHERN ENTRY)  
 DRAWING NO. DRAWN CHECKED  
 BUILDING C A 2252 JR RT, JR, PS  
 ROF PLAN  
 ISSUE DATE SCALE  
 FOR DA 16 JUL 2013 1:50 @ A1

IN CONFORMANCE TO RULES AND CONDITIONS ALL DIMENSIONS AND SPACES SHALL BE TO CONFORM TO THE DIMENSIONS AND SPACES TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.  
 DIMENSIONS SHALL BE TO CONFORM TO THE DIMENSIONS AND SPACES TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.  
 DIMENSIONS SHALL BE TO CONFORM TO THE DIMENSIONS AND SPACES TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.



CONTRACTOR TO VERIFY AND CORRECT ALL DIMENSIONS AND BOUNDARIES OF SITE - PRIOR TO COMMENCING WORK. QUALITY OVERVIEW TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS TO BE GIVEN BY THE CONTRACTOR FOR CLARIFICATION BEFORE COMMENCEMENT OF WORK. CONTRACTOR TO BE RESPONSIBLE FOR ALL APPLICABLE CONSULTANT DRAWINGS AND SPECIFICATIONS.

REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	8 FEB 2014
E	FOR DA	20 FEB 2014



zta  
 Suite 3.08, 55 Miller Street, Parramatta NSW 2006  
 T: 61 2 9638 5000 F: 61 2 9638 5008  
 admin@zta.net.au zta.net.au  
 Nara Architect Remy Tawadros ARCH

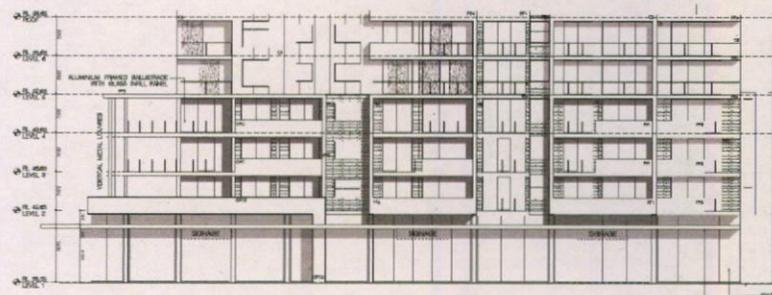


PROJECT  
 MIXED USE DEVELOPMENT  
 JORDAN SPRINGS BLVD (SOUTHERN ENTRY)  
 DRAWING NO: DRAWN CHECKED  
 BUILDING D A 2253 JH HT, JH PS  
 ROOF  
 PLAN  
 DATE  
 15 JUL 2013  
 SCALE  
 1:100 @ A1

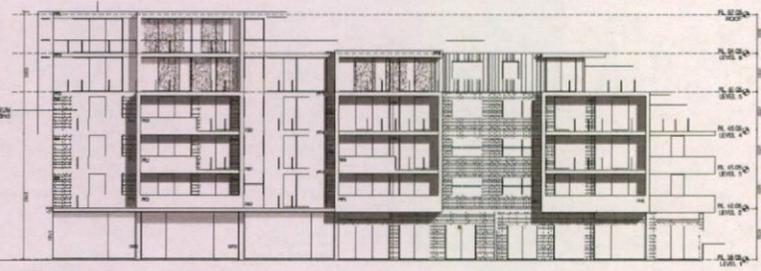
# FINISHES LEGEND

(ALL FINISHES ARE NOMINATED AND SUBJECT TO AVAILABILITY)

- BAL: ALUMINUM FRAMED BULLSTACE WITH GLASS INFILL
- BAL2: CONCRETE UPTURN BULLSTACE WITH PAINT FINISH
- C1: SCYON MATRIX GLAZING - 6000mm
- C2: SCYON AXON CLADDING - 6000mm
- C3: VERTICAL APPLICATION CRISTAL GLAZING FINISH
- C4: PARKLEX FACADE OR EQUIVALENT
- FBI: FACEROCK AUSTRAL - ULTRA SMOOTH JAZZ OR EQUIVALENT
- FIR: FACEROCK AUSTRAL - ULTRA SMOOTH CHILL OR EQUIVALENT
- M51: FEATURE PRIVACY SCREEN
- M52: METAL PERFORATED SCREEN
- M6: METAL LOUVER POWDERCOATED FINISH
- OFC: OFF FORMED CONCRETE TEXTURE FINISH
- PCM: PRECAST MOLDED PANELS
- PF1: PAINT FINISH DULUX MODA (common)
- PF2: PAINT FINISH DULUX STERLING (common)
- PF3: PAINT FINISH DULUX PIPE CLAY (common)
- PF4: PAINT FINISH DULUX JUVENILE (common)
- PF5: PAINT FINISH DULUX WOOD WHITE (common)
- PF6: PAINT FINISH DULUX PERMISSION (Block A)
- PF7: PAINT FINISH DULUX CLARE VALLEY (Block A)
- PF8: PAINT FINISH DULUX GOLD RUSH (Block B)
- PF9: PAINT FINISH DULUX HAPPY (Block B)
- PF10: PAINT FINISH DULUX CLIMES (Block C)
- PF11: PAINT FINISH DULUX MERMULA (Block C)
- PF12: PAINT FINISH DULUX GREEN SLAY (Block C)
- PF13: PAINT FINISH DULUX SURF WASH (Block D)



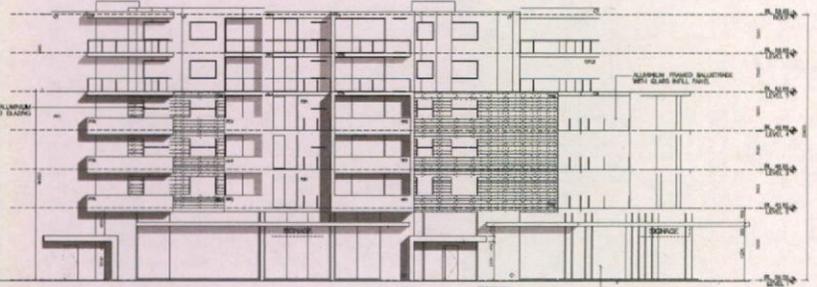
1 NORTH ELEVATION BLOCK B



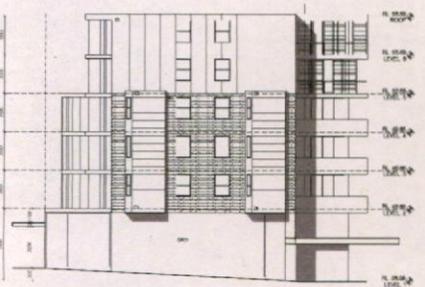
2 NORTH ELEVATION BLOCK A



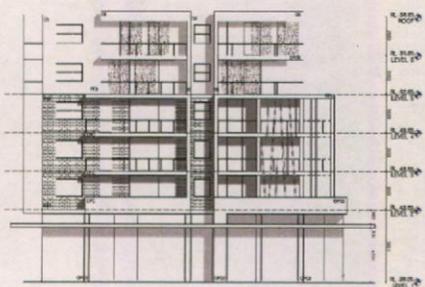
3 SOUTH ELEVATION BLOCK A



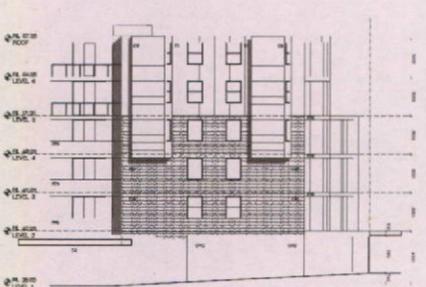
4 SOUTH ELEVATION BLOCK B



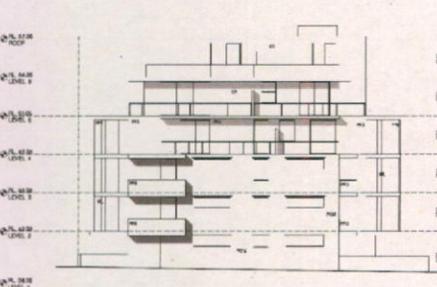
5 WEST ELEVATION BLOCK B



6 EAST ELEVATION BLOCK B

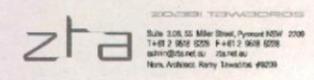
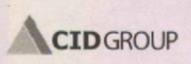


6 EAST ELEVATION BLOCK A



5 WEST ELEVATION BLOCK A

REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	3 FEB 2014
E	FOR DA	23 FEB 2014



PROJECT		
MIXED USE DEVELOPMENT		
JORDAN SPRINGS BLVD (SUBSTATION ENTRY)		
DRAWING	DRAWING No	DRAWN CHECKED
ELEVATIONS	BUILDING A&B A 3100	JR RT, JR PS
DATE	DATE	SCALE
FOR DA	15 JUL 2013	1:200 @ A1

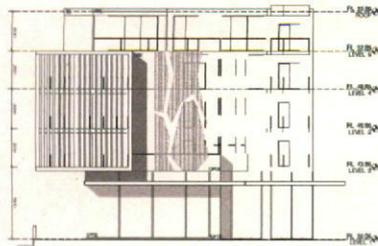
CONTRACTOR TO VERIFY AND CORRECT ALL DIMENSIONS AND MARK WORK TO SITE. REFER TO COMMERCIAL WORKS DRAWINGS DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS TO BE SHOWN TO THE CONTRACTOR FOR VERIFICATION TO BE READ TO CONTRACTOR WITH ALL APPLICABLE CONSULTANT DRAWINGS AND SPECIFICATIONS.

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www.zta.com.au zta@zta.com.au  
New Zealand: Remy Investments #6239

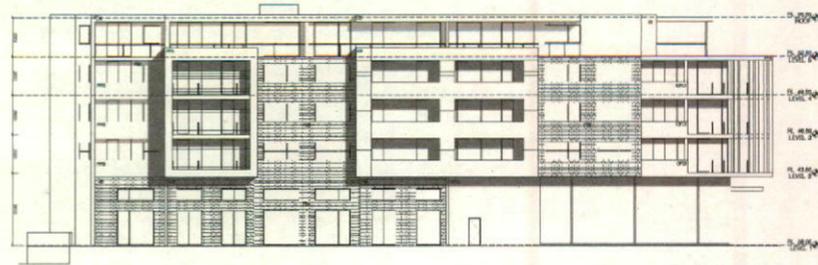
# FINISHES LEGEND

(ALL FINISHES ARE FORMATED AND SUBJECT TO AVAILABILITY)

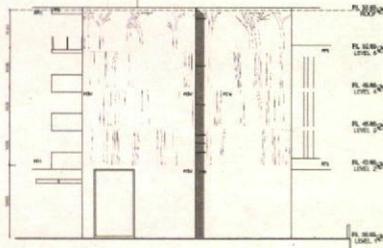
- BAL1 ALUMINIUM FRAMED BULLSTRADE WITH GLASS INFILL
- BAL2 CONCRETE UPTURN BULLSTRADE WITH PAINT FINISH
- C1 SCYON MATRIX CLADDING - 1000mm VERTICAL APPLICATION LAPSTONE FINISH
- C2 SCYON AXON CLADDING - 1000mm VERTICAL APPLICATION CRISTAL GLAZING FINISH
- C3 PARKLEX FACADE OR EQUIVALENT
- FB1 FACERBRICK AUSTRAL - ULTRA SMOOTH JAZZ OR EQUIVALENT
- FB2 FACERBRICK AUSTRAL - ULTRA SMOOTH CHILL OR EQUIVALENT
- MS1 FEATURE PRIVACY SCREEN
- MS2 METAL PERFORATED SCREEN
- M. METAL LOUVER POWDERCOATED FINISH
- OPC OFF FORMED CONCRETE TEXTURE FINISH
- PCM PRECAST MOULDED PANELS
- PF1 PAINT FINISH- DULUX MOVA (common)
- PF2 PAINT FINISH- DULUX STEPPERY (common)
- PF3 PAINT FINISH- DULUX PIPE CLAY (common)
- PF4 PAINT FINISH- DULUX SHIBBLE (common)
- PF5 PAINT FINISH- DULUX VIVID WHITE (common)
- PF6 PAINT FINISH- DULUX PERMISSION (Block A)
- PF7 PAINT FINISH- DULUX CLARE VALLEY (Block A)
- PF8 PAINT FINISH- DULUX GOLD RUSH (Block B)
- PF9 PAINT FINISH- DULUX HAPPY (Block B)
- PF10 PAINT FINISH- DULUX CLUNES (Block C)
- PF11 PAINT FINISH- DULUX MERRELLA (Block C)
- PF12 PAINT FINISH- DULUX GREEN SLAY (Block D)
- PF13 PAINT FINISH- DULUX SURF WASH (Block D)



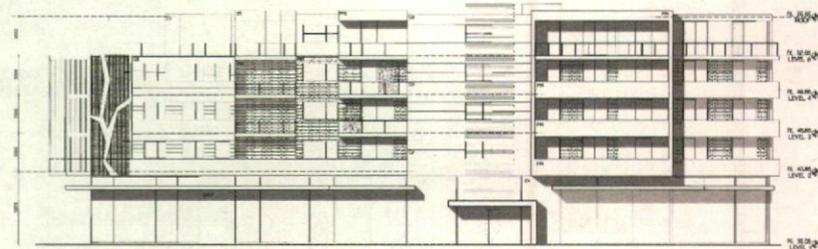
1 NORTH ELEVATION  
BLOCK C



2 EAST ELEVATION  
BLOCK C



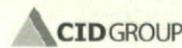
3 SOUTH ELEVATION  
BLOCK C



4 WEST ELEVATION  
BLOCK C

REVISION	AMENDMENTS	DATE	REV	PROJECT	DATE	SCALE
F	FOR DA REV 1	3 FEB 2014		<b>MIXED USE DEVELOPMENT</b> JORDAN SPRINGS BLVD (SOUTHERN ENTRY) DRAWING NO: DRAWN CHECKED BUILDING C A 3101 JR HT, JL, PS ELEVATIONS	15 JUL 2013	1:200 @ A1
E	FOR DA	23 FEB 2014			859E FOR DA	

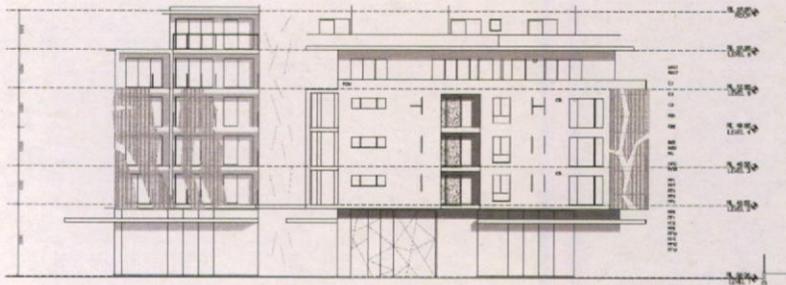
ALL CONTRACTORS TO VERIFY AND CONFIRM ALL DIMENSIONS AND BARE WITH ON SITE - PRIOR TO COMMENCING WORK. ANY DISCREPANCIES TO HAVE PRECEDENCE OVER BUILT DIMENSIONS. ALL DIMENSIONS TO BE GIVEN TO THE WORKER FOR VERIFICATION BEFORE COMMENCEMENT OF WORK. REFERENCED TO THE PLAN TO CORRELATE WITH ALL APPLICABLE CONSULTANT DRAWINGS AND SPECIFICATIONS.



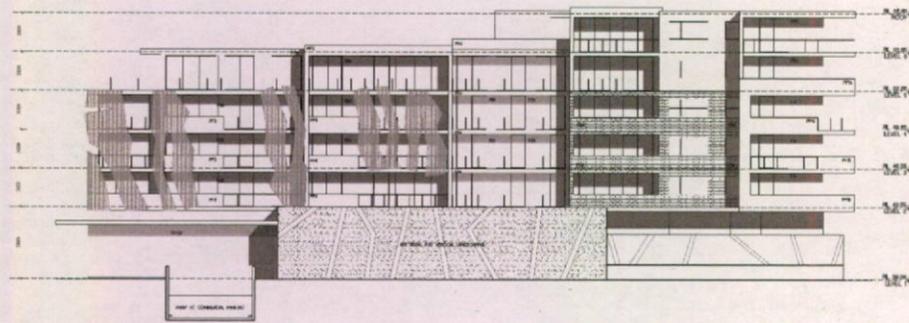
### FINISHES LEGEND

(ALL FINISHES ARE NOMINATED AND SUBJECT TO AVAILABILITY)

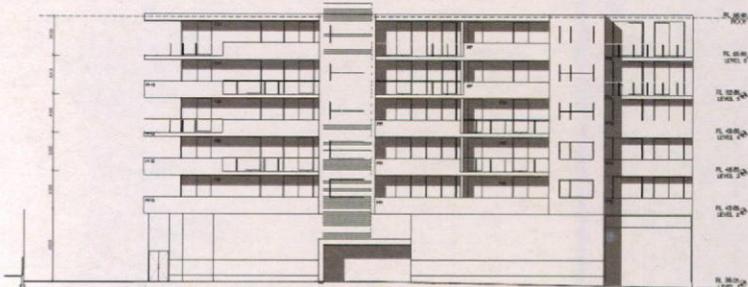
- BAU ALUMINIUM FRAMED BULLSTRIDE WITH GLASS INFILL
- BA2 CONCRETE UPTURN BULLSTRIDE WITH PAINT FINISH
- C1 SCYON MATRIX CLADDING - 150mm VERTICAL APPLICATION LAPSTONE FINISH
- C2 SCYON AXION CLADDING - 80mm VERTICAL APPLICATION CRISTAL GLAZING FINISH
- C3 PANELUX FACADE OR EQUIVALENT
- FB1 FACEBACK AUSTRAL - ULTRA SMOOTH - JAZZ OR EQUIVALENT
- FB2 FACEBACK AUSTRAL - ULTRA SMOOTH - CHILL OR EQUIVALENT
- MS1 FEATURE PRIVACY SCREEN
- MS2 METAL PERFORATED SCREEN
- ML METAL LAMINE POWDERCOATED FINISH
- DFC OFF FORMED CONCRETE TEXTURE FINISH
- FCM PRECAST MOLDED PANELS
- PF1 PAINT FINISH DULUX MOXA (common)
- PF2 PAINT FINISH DULUX STEPPED (common)
- PF3 PAINT FINISH DULUX PIPE CLAY (common)
- PF4 PAINT FINISH DULUX JUVENILE (common)
- PF5 PAINT FINISH DULUX WED WIND (common)
- PF6 PAINT FINISH DULUX PERMISSON (Block A)
- PF7 PAINT FINISH DULUX CLARE VALLEY (Block A)
- PF8 PAINT FINISH DULUX GOLD RUSH (Block B)
- PF9 PAINT FINISH DULUX HAPPY (Block B)
- PF10 PAINT FINISH DULUX CLUNES (Block C)
- PF11 PAINT FINISH DULUX MERABELLA (Block C)
- PF12 PAINT FINISH DULUX GREEN BUOY (Block D)
- PF13 PAINT FINISH DULUX SURF WASH (Block D)



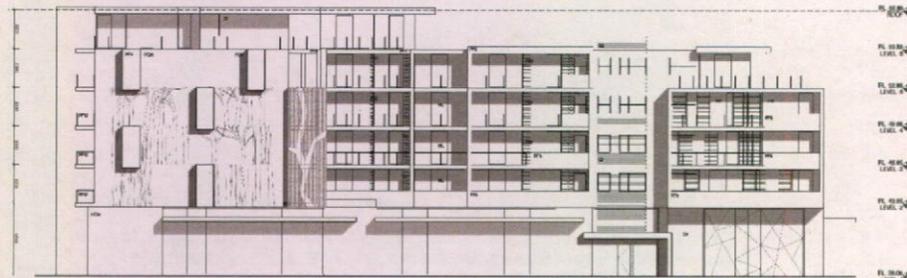
1 NORTH ELEVATION  
BLOCK D



2 WEST ELEVATION  
BLOCK D



3 SOUTH ELEVATION  
BLOCK D

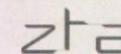
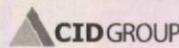


4 EAST ELEVATION  
BLOCK D

1. CONTRACTOR TO VERIFY AND CORRECT ALL DIMENSIONS AND MARK WORK ON SITE PRIOR TO COMMENCING WORK. CONTRACTOR TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.

2. ALL DIMENSIONS ARE REFERRED TO CENTER FOR CURVATURE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH ALL APPLICABLE CONSULTANT ENGINEERS AND SPECIFICATIONS.

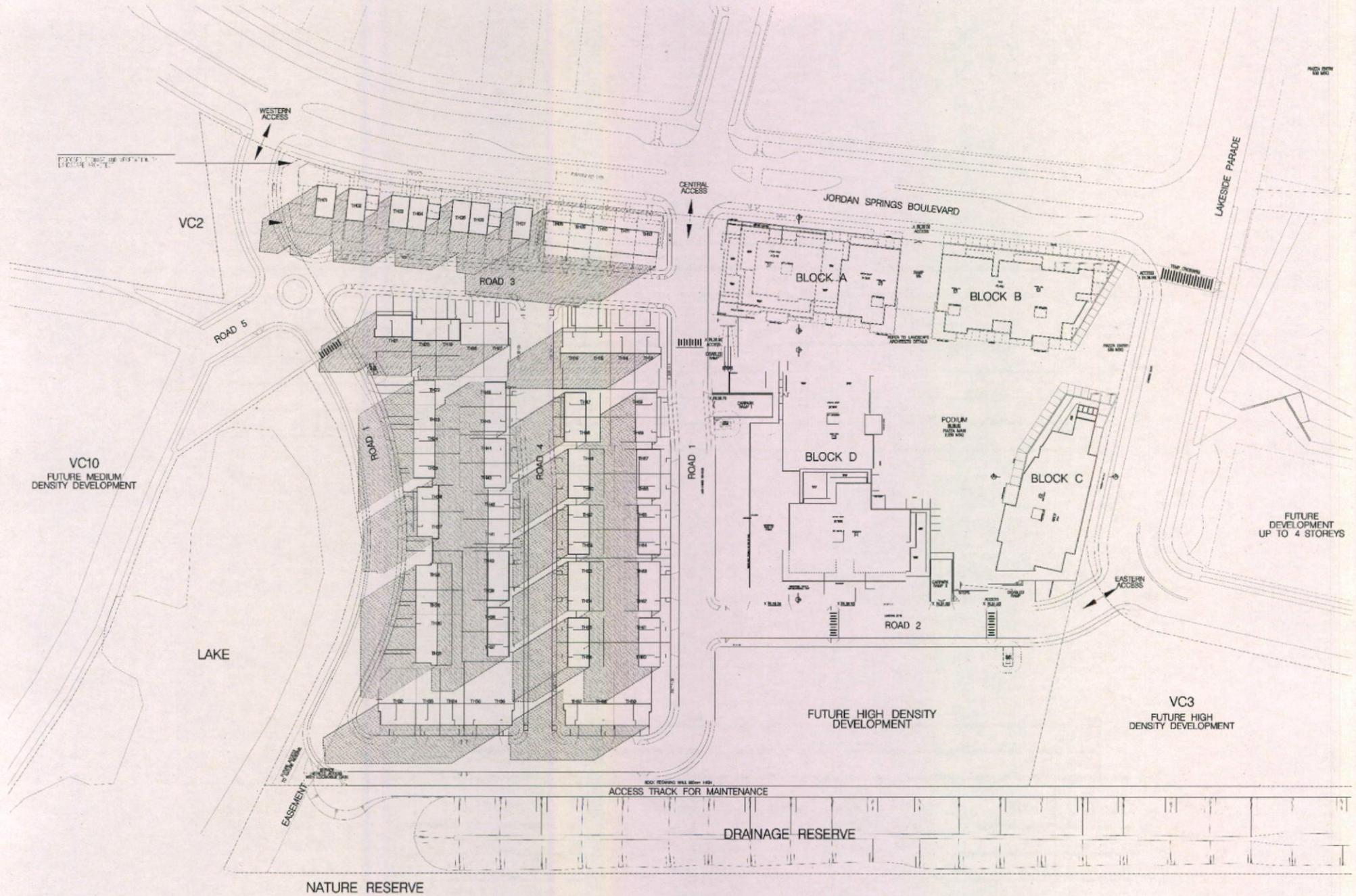
REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	3 FEB 2014
E	FOR DA	23 FEB 2014



SCOTTISH TECHNOLOGIES  
Suite 3.08, 55 Miller Street, Pyramont NSW 2099  
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architectural@zta.com.au  
New Address: Nerby Towerfoot #6200

PROJECT  
MIXED USE DEVELOPMENT  
JORDAN SPRINGS BLVD (SOUTHERN ENTRY)  
DRAWING NO. DRAWN CHECKED  
BUILDING D A 3102 JH RT, JH, PG  
ELEVATIONS  
ISSUE DATE SCALE  
FOR DA 15 JUL 2013 1:500 @ A1

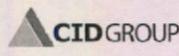




22nd JUNE 9.00 AM

<p>3. CONTRACTOR TO VERIFY AND CONFIRM ALL DIMENSIONS AND AREA AREAS ON SITE PRIOR TO COMMENCING WORK. DIMENSION DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.</p> <p>4. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTER FOR CONCRETE TO BE USED IN CONSTRUCTION. NEW &amp; EXISTING CONSULTANT DRAWINGS AND SPECIFICATIONS.</p>	
REVISION	AMENDMENTS
F	FOR DA REV 1
E	FOR DA

DATE	3 FEB 2014
DATE	23 FEB 2014

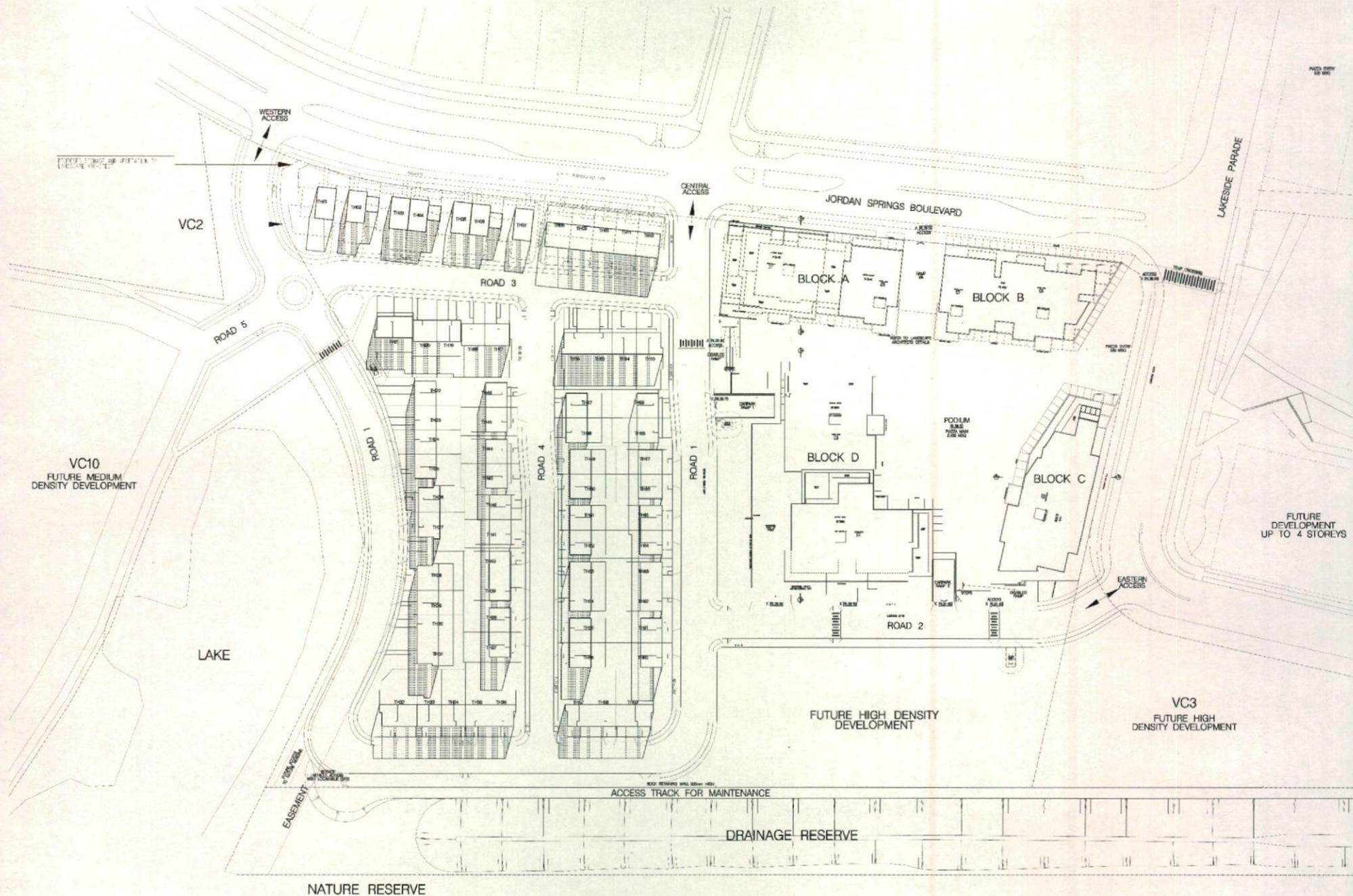


KEY	
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zta

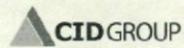
PROJECT	MIXED USE DEVELOPMENT
LOCATION	JORDAN SPRINGS BLVD SOUTHERN ENTRY
DRAWING No	WINTER SHADOWS A 5000
DATE	16 JUL 2013
SCALE	1:200 @ A1



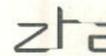
22nd JUNE 12.00 PM

CONTRACTOR TO VERIFY AND CONFIRM ALL DIMENSIONS AND MAKE WORK ON SITE - PRIOR TO COMMENCING WORK. CONTRACTOR TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS TO BE REFERRED TO THE DESIGNER FOR CLARIFICATION BEFORE COMMENCEMENT OF WORK. CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE GOVERNING ORDINANCES AND REGULATIONS.

REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	3 FEB 2014
E	FOR DA	20 FEB 2014



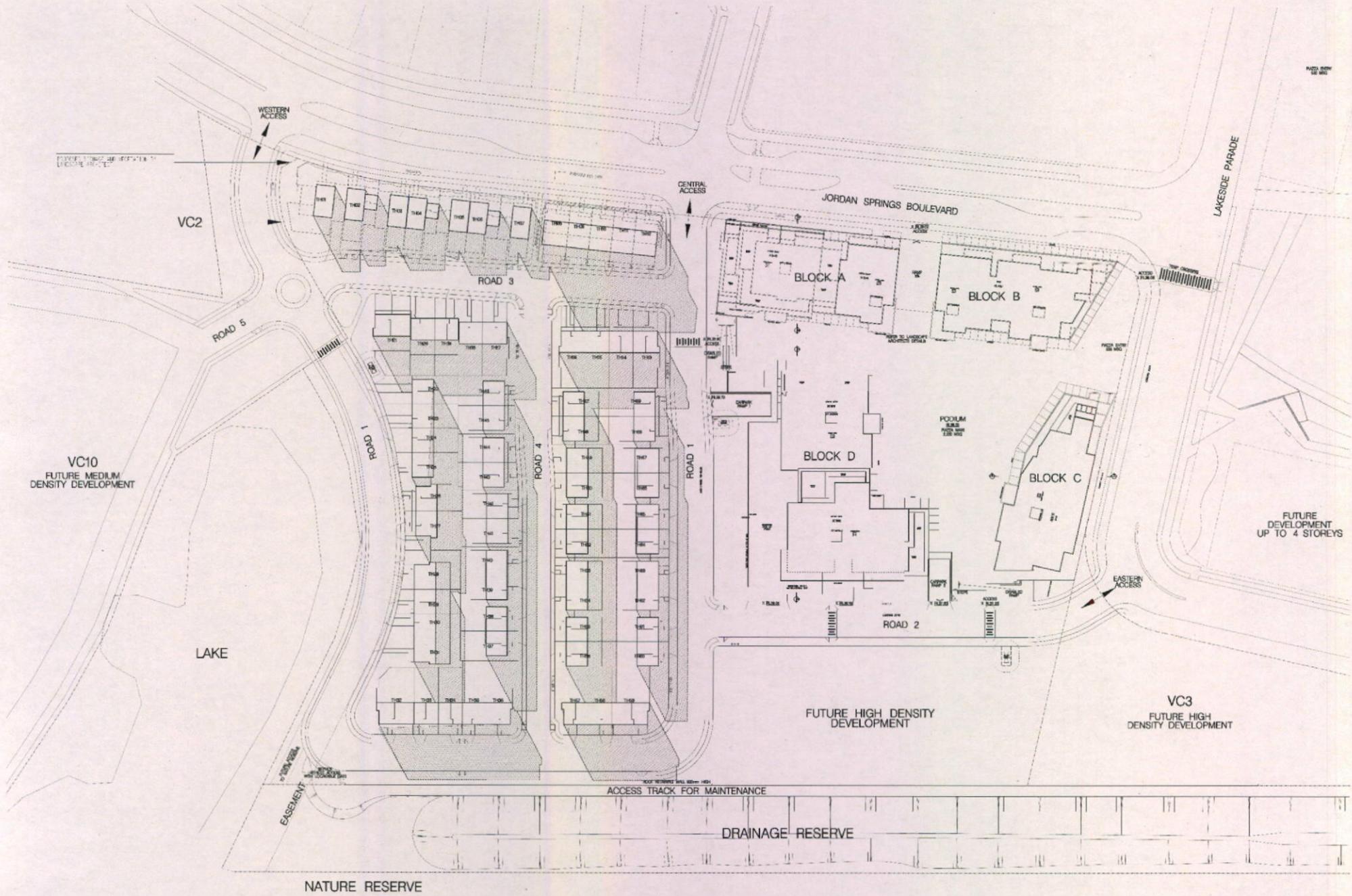
KEY



SCOTT TERRACONICS  
 Suite 3.06, 55 Miller Street, Pyrmont NSW 2009  
 T: 61 61 9558 5228 F: 61 61 9558 5229  
 info@scottterraconics.com.au  
 NSW Architect Ramy Tawehneh #1208



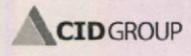
PROJECT  
 MIXED USE DEVELOPMENT  
 JORDAN SPRINGS BLVD (SOUTHERN ENTRY)  
 DRAWING: 5001 PS  
 WINTER SHADOWS  
 12:00pm  
 ISSUE FOR DA  
 DATE: 16 JUL 2013  
 SCALE: 1:500 @ A1



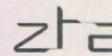
22nd JUNE 3.00 PM

CONTRACTOR TO VERIFY AND CONFIRM ALL DIMENSIONS AND AREAS ON SITE - PRIOR TO COMMENCING WORK. CONTRACTOR TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS BEING CONSIDERED AS DIMENSIONS FOR CONSTRUCTION TO BE USED IN CONJUNCTION WITH ALL APPROVED CONSULTANT DRAWINGS AND SPECIFICATIONS.

REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	0 FEB 2014
E	FOR DA	20 FEB 2014



KEY

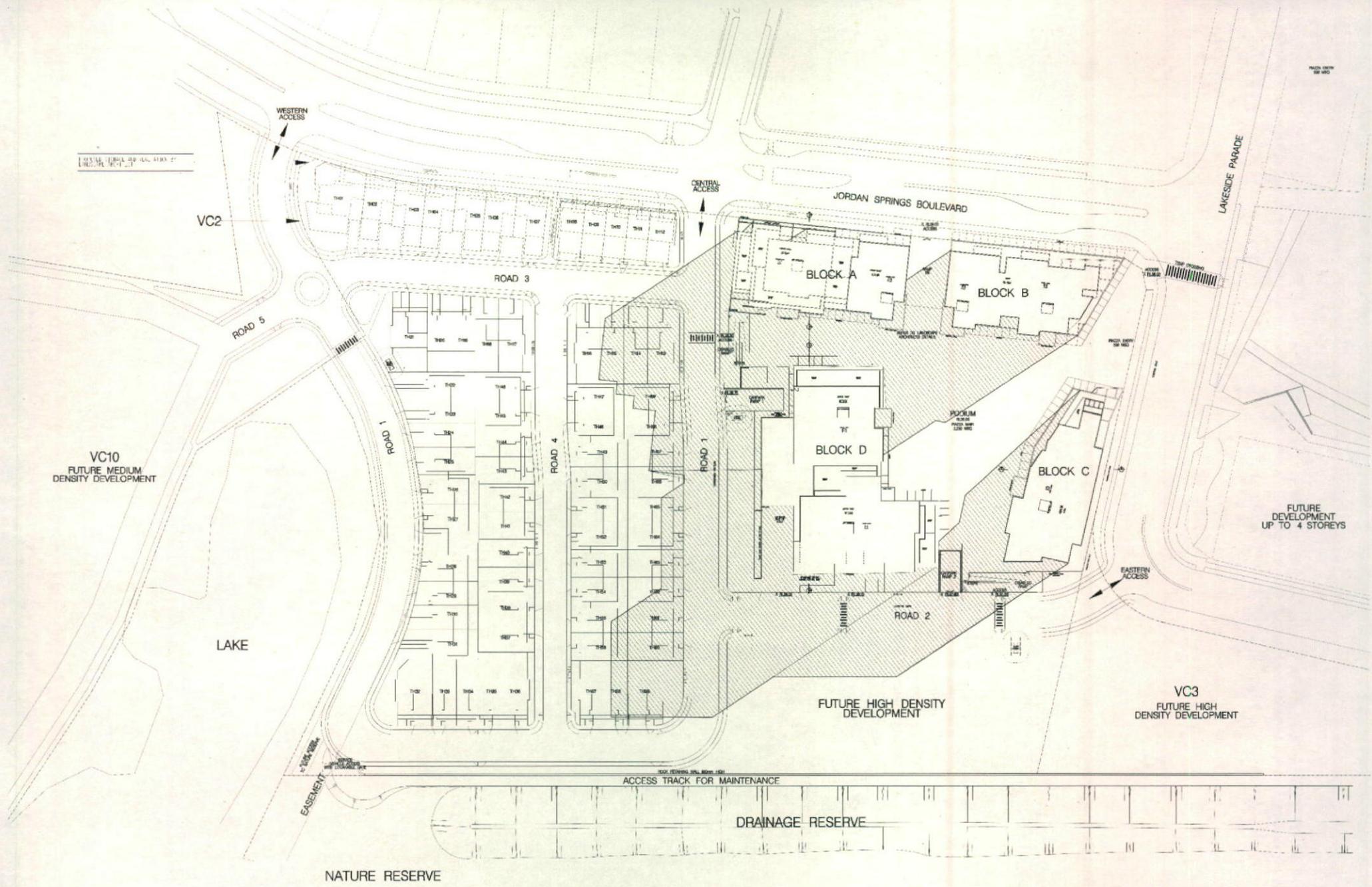


SCOTT THOMPSON  
 Suite 3.05, 55 Miller Street, Pyrmont NSW 2009  
 T +61 2 9550 0208 F +61 2 9550 0209  
 info@zta.com.au zta.com.au  
 New Address: Fanny Telegraphs #2028



PROJECT  
**MIXED USE DEVELOPMENT**  
 JORDAN SPRINGS BLVD (SOUTHERN ENTRY)  
 DRAWING  
 WINTER SHADOWS  
 3.00pm  
 ISSUE  
 FOR DA

DRAWING No. DRAWN CHECKED  
 A 5002 PS RT, JR, PS  
 DATE SCALE  
 18 JUL 2013 1:600 @ A1



1:5000 (SCALE) SEE ALSO: 2/10/14  
 1:5000 (SCALE) SEE ALSO: 2/10/14

VC10  
 FUTURE MEDIUM  
 DENSITY DEVELOPMENT

FUTURE  
 DEVELOPMENT  
 UP TO 4 STOREYS

VC3  
 FUTURE HIGH  
 DENSITY DEVELOPMENT

FUTURE HIGH DENSITY  
 DEVELOPMENT

NATURE RESERVE

DRAINAGE RESERVE

ACCESS TRACK FOR MAINTENANCE

22nd JUNE 9.00 AM

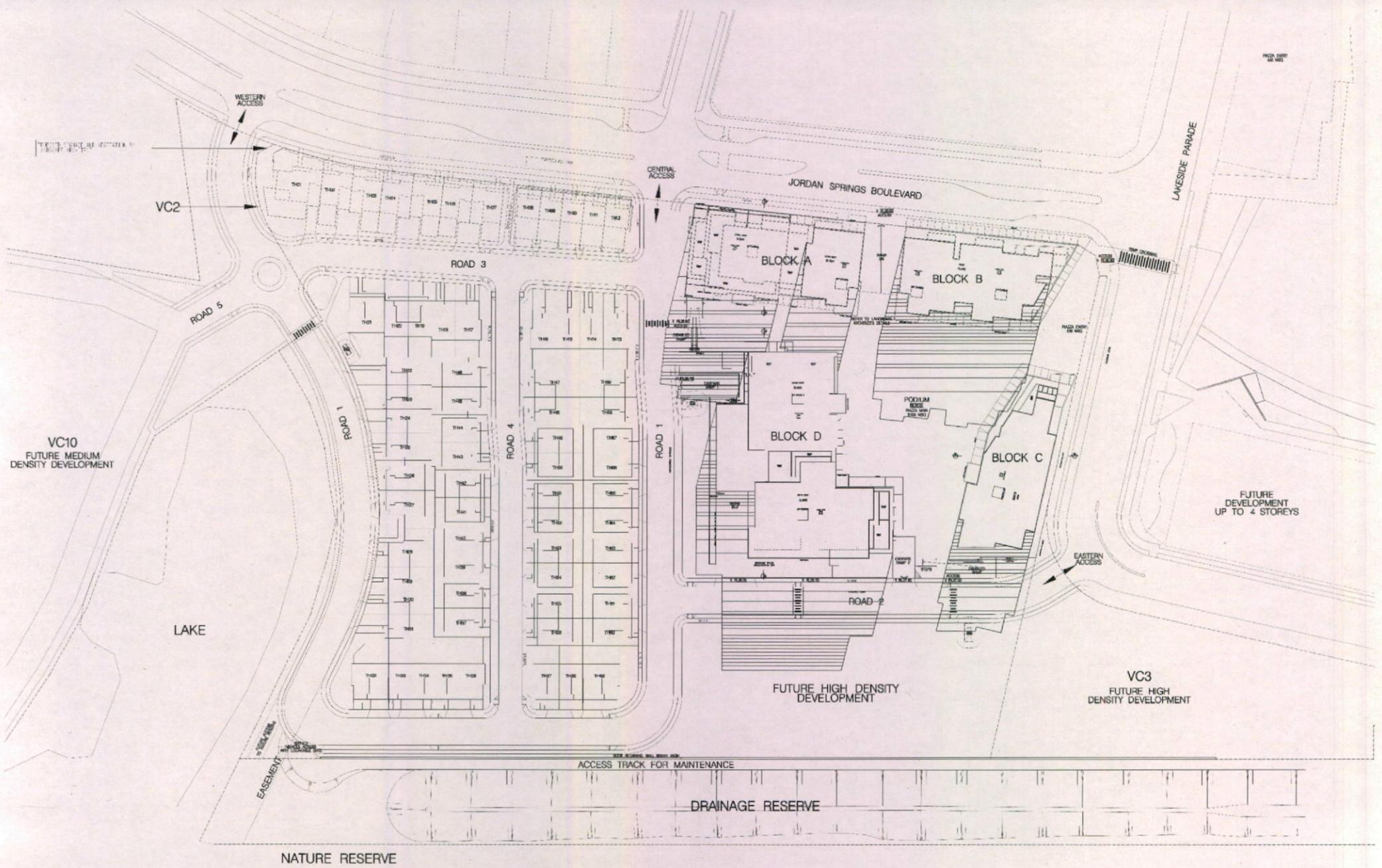
REVISION	AMENDMENTS	DATE	KEY
F	FOR DA REV 1	0 FEB 2014	
E	FOR DA	20 FEB 2014	

**CID GROUP**

**zta**

200808 TERNWOODS  
 Suite 016, 55 Miller Street, Parramatta NSW 2150  
 T: 61 2 9638 5228 F: 61 2 9638 5228  
 admin@zta.net.au zta.net.au  
 Non Architect Remy Tawana #2208

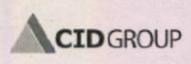
PROJECT  
**MIXED USE DEVELOPMENT**  
 JORDAN SPRINGS BLVD SOUTHERN ENTRY  
 DRAWING: DRAWING NO: DWG001 CHECKED:  
 WINTER SHADOWS A 5003 PS RT: JH PS  
 9.00am  
 DATE: 16 JUL 2013 SCALE: 1:500 @ A1  
 FOR DA



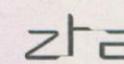
22nd JUNE 12.00 PM

IN CONNECTION TO VERIFY AND CORRECT ALL DIMENSIONS AND MAKE WORKING SIZE - PRIOR TO COMMENCING WORK. DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS TO BE GIVEN TO THE OWNER FOR CONFIRMATION BEFORE COMMENCEMENT OF WORK. THE OWNER IS RESPONSIBLE TO BE AWARE OF ALL APPLICABLE CONSULTANT DRAWINGS AND SPECIFICATIONS.

REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	3 FEB 2014
E	FOR DA	20 FEB 2014



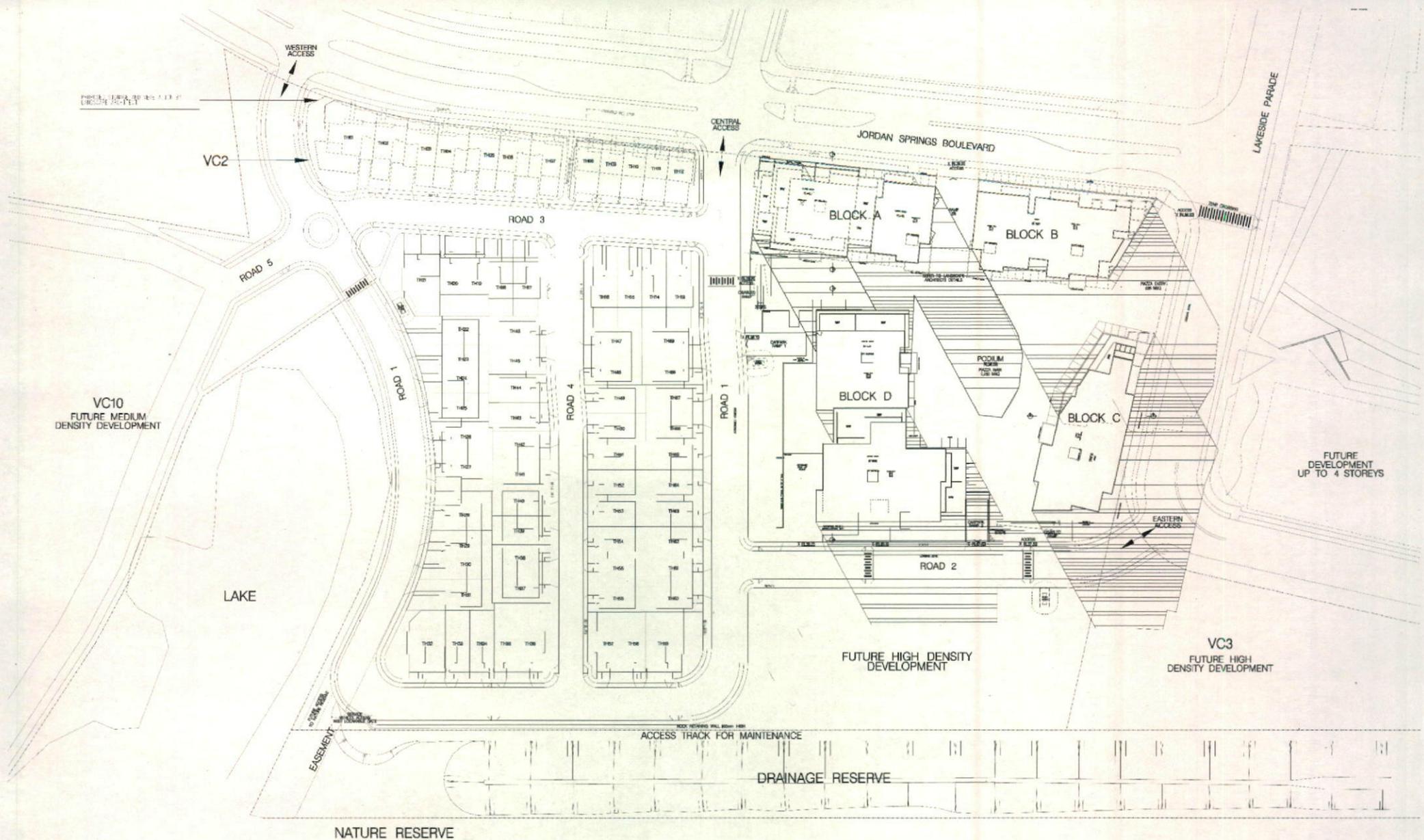
KEY



SCENEScape  
 Suite 2108, 55 Miller Street, Pyrmont NSW 2009  
 T: 61 2 9558 6208 F: 61 2 9558 6209  
 info@scenescape.com.au scenescape.com.au  
 Noni Ardabast, Harry Tassellou #2008



PROJECT  
**MIXED USE DEVELOPMENT**  
 JORDAN SPRINGS BLVD (SOUTHERN ENTRY)  
 DRAWING No. DRAWN CHECKED  
 WRITTEN A 5004 PS RT, JH, PB  
 SHADOWS  
 12.00pm  
 ISSUE DATE SCALE  
 FOR DA 16 JUL 2013 1:500 @ A1

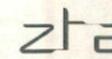


22nd JUNE 3.00 PM

REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	3 FEB 2014
E	FOR DA	20 FEB 2014



KEY



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 Suite 3.06, 55 Miller Street, Pyrmont NSW 2009  
 T: 61 2 9551 5228 F: 61 2 9551 5228  
 admin@zta.net.au zta.net.au  
 Non-Architect Remy Tenebris #1278

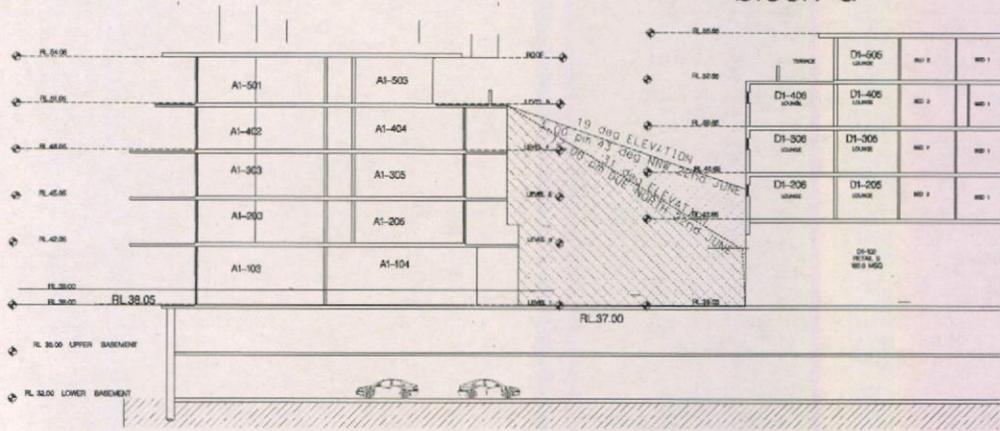


PROJECT  
 MIXED USE DEVELOPMENT  
 JORDAN SPRINGS BLVD SOUTHERN ENTRY  
 DRAWING NO: DRAWN CHECKED  
 WINTER SHADOWS A 5005 PS RT, JR, PS  
 3.00pm  
 DATE SCALE  
 FOR DA 18 JUL 2013 1:000 @ A1

CONTRACTOR TO VERIFY AND CONFIRM ALL DIMENSIONS AND MAKE SURE THEY ARE CORRECT PRIOR TO CONSTRUCTION WORKER. EXISTING DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS. ALL DIMENSIONS TO BE CONFIRMED BY CONTRACTOR FOR CONFORMANCE TO BE FIELD TO COLLECTOR WITH ALL APPLICABLE CONSULTANT DRAWINGS AND SPECIFICATIONS.

block a

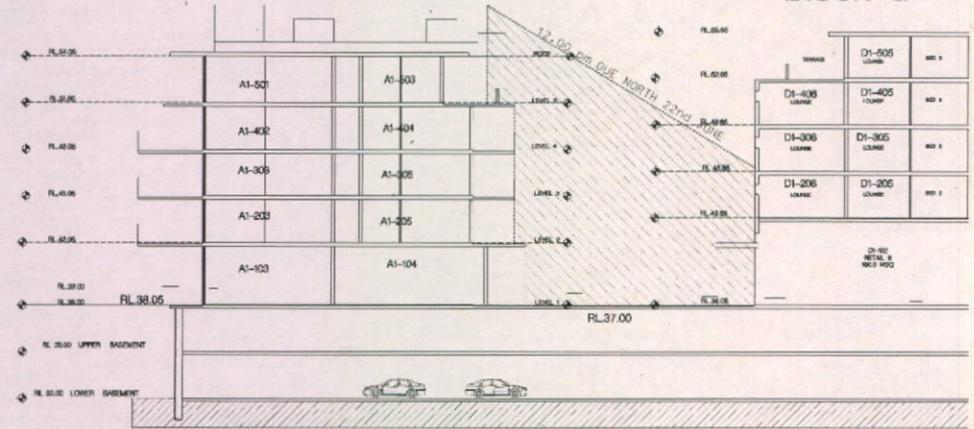
block d



FOUR STOREY ELEVATIONAL SHADOWS

block a

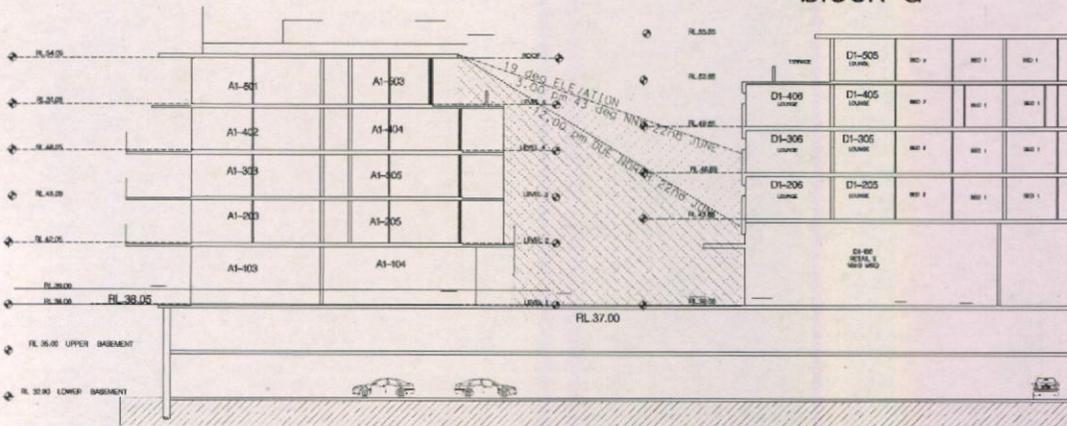
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SIX STOREY ELEVATIONAL SHADOWS  
SECTION A - A

block a

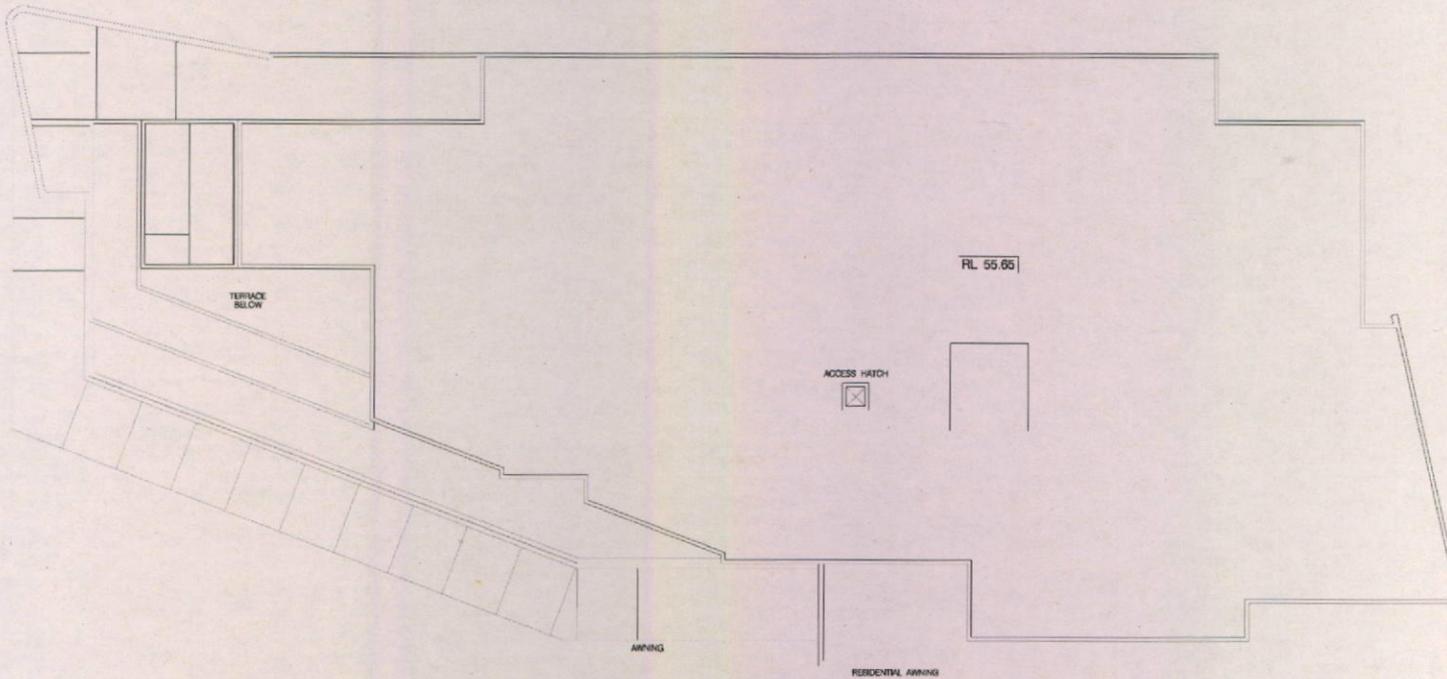
block d



FIVE STOREY ELEVATIONAL SHADOWS  
SECTION A - A

<p>1. CONTRACTOR TO VERIFY AND CORRECT ALL DIMENSIONS AND MAKE ROOM ON SITE. REFER TO DIMENSIONS UNDER COMPASS DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.</p> <p>2. DIMENSIONS TO BE REFERRED TO UNDER FOR EXPLANATION BEING FORWARDED TO THE USER FOR CLARIFICATION TO BE MADE IN CONSULTATION WITH APPLICABLE CONSULTANT DRAWINGS AND SPECIFICATIONS.</p>	REVISION	AMENDMENTS	DATE		<p>SCHEER TOWNSCAPES Suite 3.08.55 Miller Street, Pyrmont NSW 2009 T +61 2 9558 6298 F +61 2 9558 6298 admin@zta.com.au zta.com.au Nash Architect, Ricky Tawadros #2076</p>	<p>PROJECT MIXED USE DEVELOPMENT JORDAN SPRINGS BLVD (SOUTHERN ENTRY)</p> <p>DRAWING A 5006 PG 05 WINTER SHADOWS</p> <p>ISSUE FOR DA</p>	<p>DRAWN CHECKED PG 05</p> <p>DATE 16 JUL 2015</p> <p>SCALE 1:500 @ A1</p>
	F	FOR DA REV 1	3 FEB 2014				
	E	OBSCURED ON SITE	28 FEB 2015				

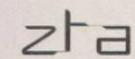
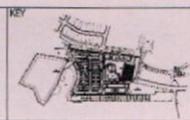
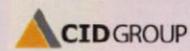




<b>Energy Rating</b>		Certificate Number: 15250809
<input type="checkbox"/> Single-family home	Rating: 5.5	Area: 407 m <sup>2</sup>
<input type="checkbox"/> Multi-unit development (excluding hotels and motels)	Rating: 45.3	Area: 45.3 m <sup>2</sup>
Minimum energy contribution: <input type="checkbox"/> 100% with <input type="checkbox"/> 50% with self		
Address: Jordan Springs Blvd, Jordan Springs NSW 2252		
Approved by: T. J. [Signature]	Date: 11/03/14	

IT IS CONTRACTOR TO VERIFY AND CONFIRM ALL DIMENSIONS AND AREA VALUES ON THIS PLAN TO CORRESPOND WITH DIMENSIONS AND AREA VALUES ON THE FINAL CONSTRUCTION DOCUMENTS. CONTRACTOR TO BE RESPONSIBLE TO THE OWNER FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR TO BE RESPONSIBLE TO THE OWNER FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR TO BE RESPONSIBLE TO THE OWNER FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

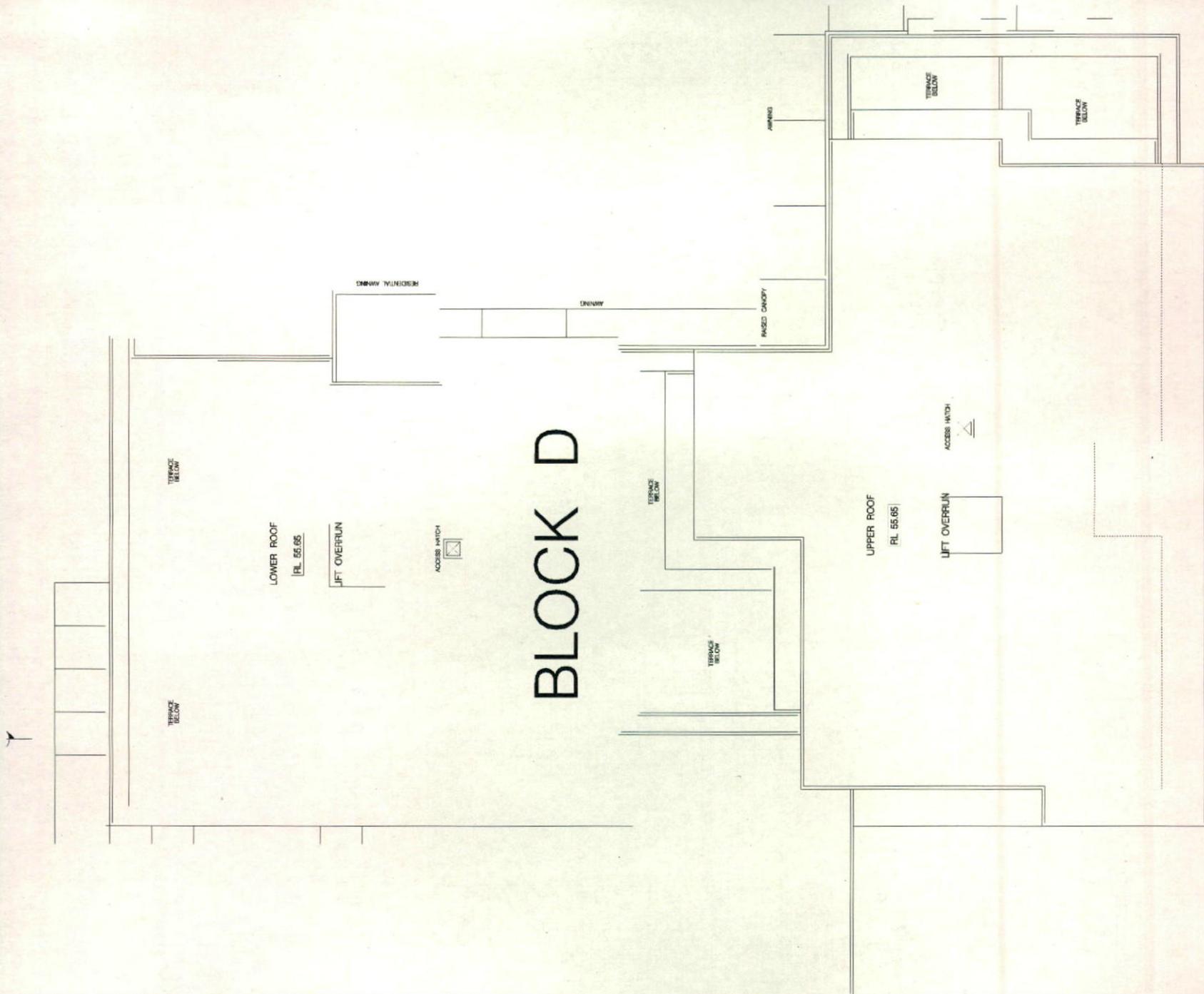
REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	3 FEB 2014
E	FOR DA	25 FEB 2014



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 Suite 3.01.55 Miller Street, Pyrmont NSW 2009  
 T +61 2 9551 5208 F +61 2 9551 5209  
 www.zta.com.au  
 Non-Architect Ramy Tawfik #1630



PROJECT: MIXED USE DEVELOPMENT  
 JORDAN SPRINGS BLVD SOUTH WEST ENTRY  
 DRAWING: BUILDING C A 2252  
 ISSUE: FOR DA  
 DATE: 16 JUL 2013  
 SCALE: 1:100 @ A1



**Energy Rating** Certificate Number: 15258309

Single dwelling rating      5.5 stars

Multi-unit development (each rating of unit)      Rating: 38.7 stars

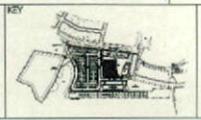
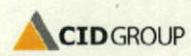
Minimum energy efficiency standard      Rating: 45.3 stars

Approved energy efficiency       Green Star       GreenMark

Area of Project: 10,100 sqm

Assessor Signature: [Signature] Date: 16/02/14

REVISION	AMENDMENTS	DATE
F	FOR DA REV 1	3 FEB 2014
E	FOR DA	23 FEB 2014



**ZOSER TRIMBROS**  
 Suite 3.01.05 Mill Street, Pyrmont NSW 2009  
 T: +61 2 9551 5008 F: +61 2 9551 5009  
 zosier@zta.net.au zta.net.au  
 Non Architect Firmly Tasmania #1009



PROJECT: **MIXED USE DEVELOPMENT**  
 (FORMER SPINNAKE BLVD, SOUTHERN ENTRY)  
 DRAWING: DRAWING NO. DRAWN: CHECKED:  
**BUILDING D A 2253** JH FT. JH PJ  
**ROOF PLAN**  
 ISSUE: **FOR DA** DATE: 16 JAN 2013 SCALE: 1:100 @ A1

