



NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

WIND CLASSIFICATION	N-2
WITHIN 1 KM. OF BREAKING SALT WATER	
WITHIN 100 M. OF SALT WATER	

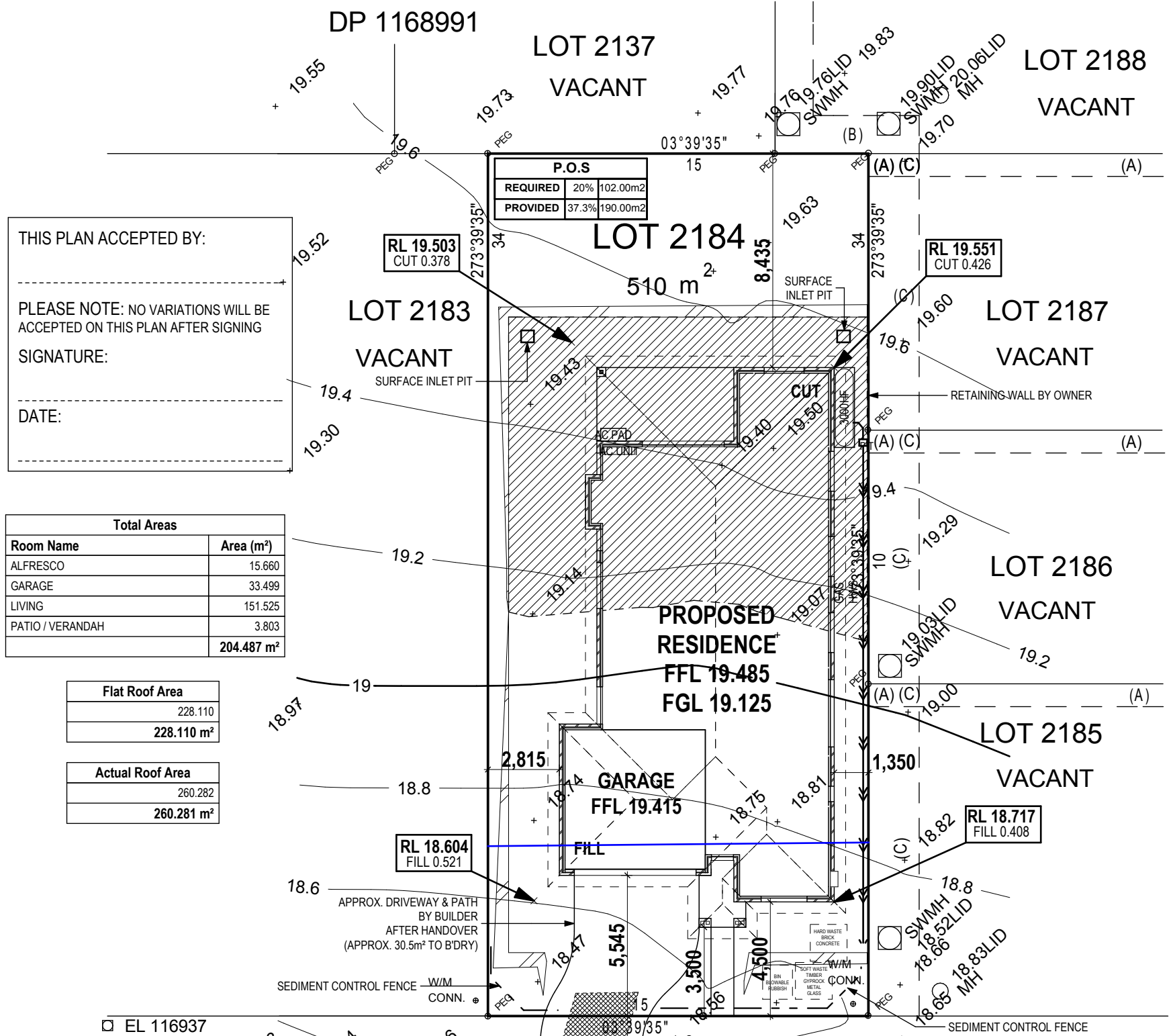
NOTE: CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'DPR' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

DPR DPR - CHARGED DOWNPIPE DIRECTED TO TANK

EXCAVATION NOTES

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

NOTE: STORMWATER LAYOUT IS DIAGRAMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: _____

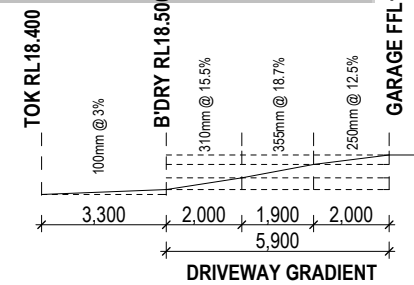
DATE: _____

Total Areas	
Room Name	Area (m ²)
ALFRESCO	15.660
GARAGE	33.499
LIVING	151.525
PATIO / VERANDAH	3.803
TOTAL	204.487 m²

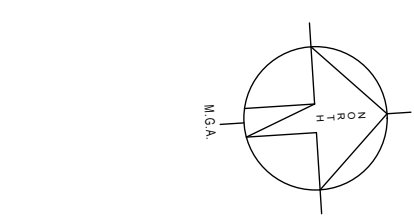
Flat Roof Area	
Area	228.110
Total	228.110 m²

Actual Roof Area	
Area	260.282
Total	260.281 m²

BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS
Ref NO: D13/4-12645 Date: 14/02/14



ADINA STREET

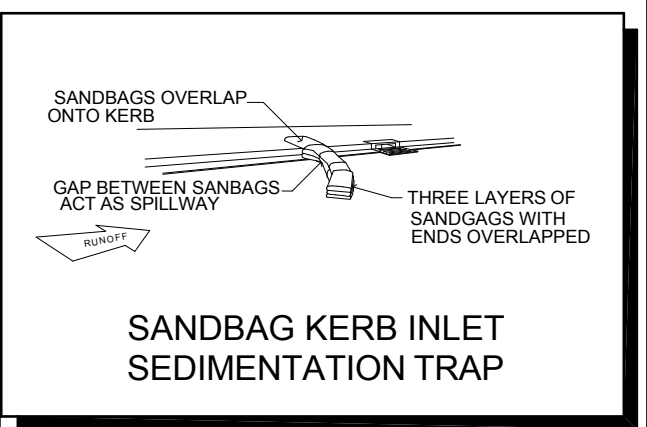
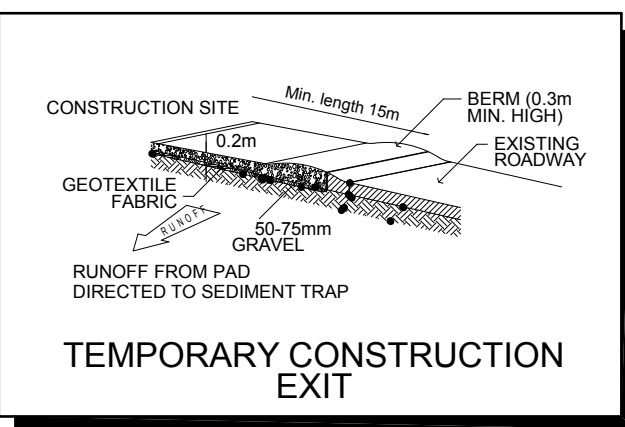
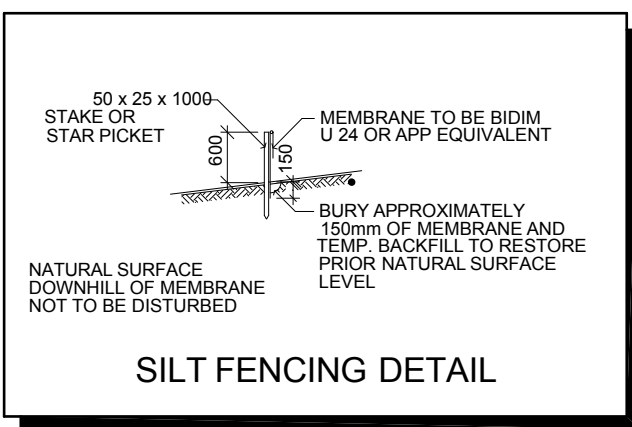


JORDAN SPRING NOTES

THIS PLAN SHALL INCLUDE THE FOLLOWING:-

- PLAIN CONCRETE TO PENRITH CITY COUNCIL SPECIFICATION IS TO BE 4.0-5M WIDE
- LAYBACK TO BE RELOCATED AND RECTIFIED AT BUILDER/OWNERS EXPENSE (IF REQUIRED)
- ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.
- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND ARE TO BE OF MASONRY CONSTRUCTION

- (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
- (B) EASEMENT TO DRAIN WATER 1.5 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE



SPECIFICATION:	1 PRELIMINARY PLANS (CT1)	DRAWN	VP 2013.06.06
	2 CONTRACT PLANS		MPA 2014.01.23
DRAWING:	ADINA STREET	CLIENT:	H ZHOU
	JORDAN SPRINGS		ADINA STREET
SUBURB:	JORDAN SPRINGS	POSTCODE:	2747
SECTION No:	1168992	COUNCIL:	PENRITH
HOUSE DESIGN:	BRISTOL	LOT No:	2184
	NEVADA		DP No:
SHEET TITLE:	SITE PLAN	SCALE:	1:200, 1:100, 1:1
SHEET No:	3 / 11	DESIGN CODE:	
DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE			601159



Application Lodgement Summary



Reference Number 8680351

Date Requested: Fri February 14 2014

DOLFIN Number D13/4-12645

Agent Greg Houston Plumbing, 1/9 Hargraves Pl Wetherill Park
Applicant McDonald Jones Homes, Suite 1, 62 Norwest Boulevard Baulkham Hills 2153
Property/Asset 17 Adina St, Jordan Springs 2747 (J Zhou J Liu) PNum: 5486165
 150 mm PVC Sewer Main - (10582378) (WasteWater)
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application	\$17.01	\$0.00	\$17.01

REFERRAL FOR BUILDING PLAN APPROVALS

Quick Check Agent

The Quick Check Agent has lodged your application with Sydney Water and determined that your proposed building/structure may potentially impact on Sydney Water's infrastructure.

The Quick Check Agent has advised you to contact a Water Servicing Coordinator for approval of your proposed building/structure. The Water Servicing Coordinator acts as your contact in dealing with Sydney Water.

Water Servicing Coordinator

Some of the activities required prior to approving your plan may include;

- Reviewing your proposed building/structure plans and discussing options.
- Advise if a Service Protection Report (also known as a Pegout) is required.
- Advise if structural engineering detail is required.
- Arrange supervision of concrete encasement and piling.
- Specify asset protection requirements and/or alternative options.

Water Servicing Coordinators are located across Sydney, Illawarra and the Blue Mountains. Sydney Water recommends that you contact several Water Servicing Coordinators to ensure you choose the one that is most appropriate for you.

To assist in your selection, Sydney Water recommends you ask each Water Servicing Coordinator the following type of questions:

1. How long will it take to obtain the Building Plan Approval?
2. How much do you charge for a Building Plan Approval?
3. If I require a Service Protection Report (pegout), how much will it cost?
4. Are there any other charges that I may have to pay?

For more information and a list of Water Servicing Coordinators, visit the Building, Developing and Plumbing section of Sydney Water's website at www.sydneywater.com.au. Alternatively you may obtain a list from the Sydney Water call centre on Tel: 13 20 92.

Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	Unknown
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	Unknown
Minimum Gully Height area	Unknown
Sewer Available	Yes
Connection Type	Low Infiltration Sewer

You must contact Sydney Water to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property.

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards.



Application Lodgement Summary



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Property/Asset 17 Adina St, Jordan Springs 2747 (J Zhou J Liu) PNum: 5486165
 150 mm PVC Sewer Main - (10582378) (WasteWater)
Product Plumbing and Drainage Audit Inspection Application

Charge	Product Cost	GST	Total
Plumbing and Drainage Audit Inspection Application	\$190.00	\$0.00	\$190.00

Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	Unknown
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	Unknown
Minimum Gully Height area	Unknown
Sewer Available	Yes
Connection Type	Low Infiltration Sewer

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Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.

You must contact NSW Fair Trading on 1300 889 099 at least 2 working days prior to the inspection time to arrange for inspection of the works.

Properties in recycled water areas are required to pay for additional inspections, as inspections are required to be carried out on both the potable and recycled water services. These fees will generally be charged upon payment of the Plumbing and Drainage Audit Inspection application, or as directed by NSW Fair Trading.

Recycled water areas require full inspections for all water and sewer drainage installations and a final inspection before occupation. If you have any further inquiries or need to organise the inspection please call NSW Fair Trading on 1300 889 099.

Re-use of greywater (eg washing machine) or blackwater (eg treated sewage) requires the installation/s to be fully inspected by NSW Fair Trading, and a testable backflow prevention device fitted to the water service at the meter installation. The application must be supported by

written approval from the local council and also include details of the changes to the house drainage/sanitary plumbing.

Conditions

- All fees are NON REFUNDABLE and NON TRANSFERABLE
- Any Plumbing or Drainage work MUST BE carried out by or under the immediate Supervision of Authorised Licensees who MUST lodge a separate Application to commence the work.
- This Application will lapse if the relevant work shown hereon has not commenced within 12 months of the date shown on the receipt.
- Where the Sewer is not available Sydney Water cannot accept any responsibility for the locations, lines and levels of the Supervised work for connection to the Sewer when it becomes available
- Owner's please note: You should obtain a 'Certificate of Compliance' from your Plumber or Drainer. This is your warranty for work done.

EXTRACT FROM THE WATER BOARD (CORPORATION) ACT 1994 - Clause 21 (5) Water (Finance) Regulation

1. An owner or occupier of land shall not refuse to give, wilfully omit to disclose, or wilfully misstate to an Officer of Sydney Water:-
 - a. any information required for, or likely to affect, a valuation or determination to be made for the purpose of this clause;
 - b. in the case of an occupier, the name of the owner of the land or the person who receives, or is Authorised to receive, the rent for the land. MAXIMUM PENALTY:\$5,000 IN THE CASE OF A CORPORATION, OR IN OTHER CASES, \$2,000.



Application Lodgement Summary



Reference Number 8680352 **Date Requested:** Fri February 14 2014

Agent Greg Houston Plumbing, 1/9 Hargraves Pl Wetherill Park

Applicant McDonald Jones Homes, Suite 1, 62 Norwest Boulevard Baulkham Hills 2153

Property/Asset 17 Adina St, Jordan Springs 2747 (J Zhou J Liu) PNum: 5486165
150 mm PVC Sewer Main - (10582378) (WasteWater)

Product Plumbing and Drainage Audit Inspection Application

Charge	Product Cost	GST	Total
Plumbing and Drainage Audit Reinspection Application	\$0.00	\$0.00	\$0.00
Reinspection Charge	\$100.00	\$0.00	\$100.00

Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	Unknown
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	Unknown
Minimum Gully Height area	Unknown
Sewer Available	Yes
Connection Type	Low Infiltration Sewer

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Transaction Summary



Date Requested Fri February 14 2014

A.B.N 49 776 225 038

Agent Greg Houston Plumbing, 1/9 Hargraves Pl Wetherill Park

Applicant McDonald Jones Homes, Suite 1, 62 Norwest Boulevard Baulkham Hills 2153

This document will be a tax invoice when you make payment.

Transaction Details	Charge	GST	Total
<i>17 Adina St, Jordan Springs 2747</i>			
8680351 Building Plan Approval Application	\$17.01	\$0.00	\$17.01
8680352 Plumbing and Drainage Audit Inspection Application	\$190.00	\$0.00	\$190.00
8680352 Plumbing and Drainage Audit Reinspection Application	\$0.00	\$0.00	\$0.00
8680352 Reinspection Charge	\$100.00	\$0.00	\$100.00
Transaction Total	\$307.01	\$0.00	\$307.01

**SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS**

Dolphin No: D13/4-12645

Quick Check Ref No: 8680351

e-Developer Case No: N/A

Property Location

Street No:

Lot No: 2184

Street Name: ADINA STREET

Suburb: JORDAN SPRINGS

Building/Structure Description: NEW RESIDENCE

Building Plan No: 601159

Engineers Plan No: E78988

Proposed building/structure is APPROVED to construct ADJACENT TO a Sydney Water asset, subject to the following requirements:
(NB. Delete non applicable requirements)

1. The foundations/piers are to be founded below 1:1 zone of influence, CLAY strata.
2. No part of the building/structure or its foundations to be less than a minimum 0.90 metre, horizontal distance from the centreline of the asset.
- ~~3. No part of the swimming pool or its foundations to be less than a minimum 1.0 metre, horizontal distance from the centreline of the asset to the outer edge of the pool coping.~~
4. No part of the building/structure or swimming pool coping to be less than 1m horizontal distance from outside edge of any Sydney Water structure.
5. No piercing of building/structure to be less than 2m horizontal distance from centreline of maintenance hole to edge of piers.
6. Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water.
7. All foundations/piers are to be founded to below the zone of influence or to solid rock.
- ~~8. Indemnity letter to be signed by owner/s of property and returned to Water Servicing Coordinator prior to issue of building plan approval.~~
- ~~9. Concrete encase approximately metres of asset. Concrete encasement to be carried out by an Accredited Constructor of Minor Works (Sewer) / Constructor and a Minor Works Agreement signed prior to commencement of works.~~
- ~~10. Concrete encasement must extend a minimum of 600mm past the external walls of the building/structure.~~
- ~~11. Minimum of mm vertical clearance between top of concrete encasement to underside of concrete slab.~~
- ~~12. Minimum of mm of compressible membrane between top of concrete encasement to underside of concrete slab.~~
- ~~13. Property connection point (junction) to be inserted under Minor Works Agreement.~~
- ~~14. All works are to be completed in accordance with Case No.~~

Warning - Document current at time of printing or downloading.

SPECIAL REQUIREMENTS

(a) "A requirement of this approval is that this project requires a Pier Inspection to be carried out by Greg Houston Plumbing P/L. We are required by Sydney Water to attend site at the time of these particular stages of construction to ensure that the onsite works comply with the approval as granted herein.

Please ensure 48hrs (2 working days) notice is given to ensure our field team can attend your site at the time you require. (PLEASE NOTE: Failure to supply sufficient notice may result in project delays OR additional cost to facilitate a inspection time). Please contact 0415 671 467 to book your inspection."

(b)

(c)

NOTE:


Above requirements must be inspected/supervised by an Accredited Supplier or Sydney Water to enable the issue of a satisfactory compliance letter.

Permits are required to fill all new swimming pools with a capacity greater than 10,000 litres. To arrange for a permit please contact Sydney Water on 13 20 92 during business hours. Fines will apply for filling swimming pools without a permit.

APPROVED BY

WSC Company Name: Greg Houston Plumbing Pty Limited

Name of Key Personnel: Brett Garvey

Signature of Key Personnel:.....

Date: 14/02/2014

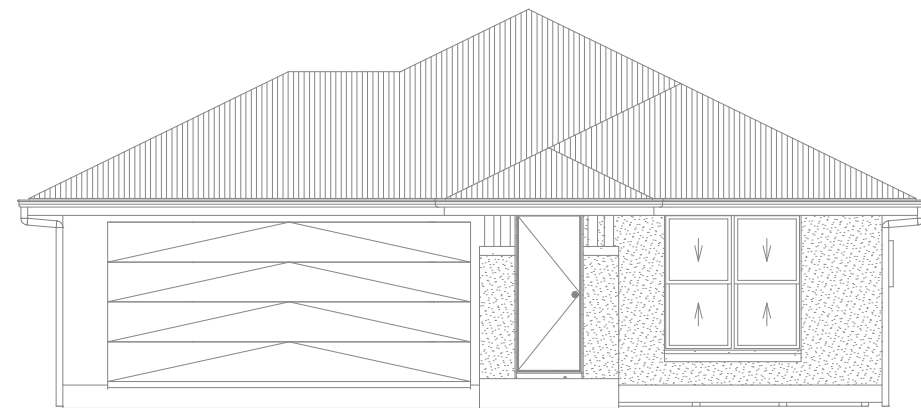
Warning - Document current at time of printing or downloading.



STRUCTURAL ENGINEERING DETAILS

LOT 2184
ADINA STREET
JORDAN SPRINGS

SHEET No.	ISSUE No.	SHEET TITLE
S1	A	STRUCTURAL NOTES
S2	B	GROUND FLOOR SLAB PLAN
S3	A	SLAB FOOTING DETAILS
S4	A	SLAB FOOTING DETAILS
S5	A	SLAB FOOTING DETAILS
S6	A	SLAB FOOTING DETAILS
S7	A	RAINWATER TANK SLAB DETAILS
S8	A	AIR CONDITIONING SLAB DETAILS
S9	A	BAS SITE PLAN
S10	A	TYPICAL BAS DETAILS



CLIENT REF.	DRAWING No.
601159	E78988

GENERAL

G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT AND BE RESOLVED BEFORE WORK PROCEEDS.

G2. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT S.A.I GLOBAL CODES, THE BCA/NCC, AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES AS THEY RELATED SPECIFICALLY TO STRUCTURE, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.

G3. ALL WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE REQUIREMENTS OF WORK COVER AND THE OH&S ACT.

G4. ALL DIMENSIONS SHOWN AND/OR RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE BUILDER BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.

G5. DURING CONSTRUCTION THE BUILDER SHALL MAINTAIN SAFE AND STABLE THE STRUCTURE AND NEIGHBOURING STRUCTURES. NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.

G6. UNLESS NOTED OTHERWISE, ALL LEVELS ARE EXPRESSED IN METERS AND ALL DIMENSIONS ARE IN MILLIMETERS.

G7. THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER. SUCH SUBSTITUTION SHALL NOT BE AN AUTHORIZATION FOR A VARIATION TO THE CONTRACT. ANY VARIATIONS INVOLVED MUST BE TAKEN UP WITH THE ARCHITECT BEFORE THE WORK COMMENCES.

G8. ABBREVIATIONS USED:

ALT	ALTERNATIVE
BTM	BOTTOM
CTS	CENTRES
C/S	BRICK / BLOCK COURSE
DIA	DIAMETER
FGL	FINISHED GROUND LINE
GALV	HOT DIP GALVANISED
MAX	MAXIMUM
MIN	MINIMUM
NSOP	NOT SHOWN ON PLAN
U.N.O	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE

INSPECTIONS

I1. THE PURPOSE OF THE STRUCTURAL INSPECTIONS IS TO VERIFY THAT THE BUILDER HAS COMPLIED WITH THE STRUCTURAL REQUIREMENTS OF THE CONTRACT DOCUMENTATION, NOT TO BE THE FIRST CHECK OF A SUBCONTRACTOR'S INTERPRETATION OF THESE REQUIREMENTS. SHOULD THE WORK CLEARLY BE UNSATISFACTORY AT THE TIME THE INSPECTION IS ARRANGED, THE VISIT AND SUBSEQUENT 'ABORTIVE' INSPECTION VISITS (INCLUDING ASSOCIATED TRAVEL AND OFFICE TIME) WILL BE CHARGED TO THE BUILDER.

SITE PREPARATION & EXCAVATOR NOTES

D1. STRIP TOPSOIL AND VEGETATION 100MM MINIMUM DEPTH AND STOCKPILE.

D2. THE SITE IS TO BE BENCHED BY CUT AND FILL TO DESIRED LEVELS. ALL EXCAVATION AND BACKFILL SHALL BE CARRIED OUT NEATLY TO THE LINES, LEVELS AND GRADES SPECIFIED BY THE ARCHITECT.

D3. FILL IS TO BE PLACED IN 150MM MAXIMUM LAYERS AND THOROUGHLY COMPACTED USING EXCAVATOR. UNLESS THIS FILL IS COMPACTED IN ACCORDANCE WITH CLAUSE 6.4.2 OF AS2870, IT IS NOT ADEQUATE TO PROVIDE LONG TERM STRUCTURAL SUPPORT TO THE SLAB/FOOTING SYSTEM AND THEREFORE, PIERS MUST BE INSTALLED. ALTERNATIVELY, THE FILL CAN BE PLACED, TESTED AND CERTIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER AS "CONTROLLED FILL" AS DEFINED IN AS3798. THIS IS THEN DEEMED TO BE ADEQUATE TO SUPPORT THE SLAB/FOOTING SYSTEM.

D4. THE FILL IS TO EXTEND PAST THE EDGE OF THE HOUSE BY AT LEAST ONE METRE AND SHALL BE BATTERED OFF AT NOT STEEPER THAN TWO HORIZONTALLY TO ONE VERTICALLY OR RETAINED BY A SUITABLE STRUCTURE PROVIDED BY THE OWNER OR BUILDER AS SOON AS POSSIBLE.

D5. THE FINISHED LEVELS SHALL ALLOW FOR THE MAIN SLAB LEVEL TO BE AT LEAST 300MM ABOVE THE ADJACENT GROUND. SURFACE DRAINAGE SHALL BE PROVIDED AS REQUIRED TO AVOID THE POSSIBILITY OF WATER PONDING NEAR THE SLAB. A FALL OF 50MM OVER A DISTANCE OF ONE METRE AWAY FROM THE SLAB IS CONSIDERED ADEQUATE. SUBSOIL DRAINS (AGRICULTURAL DRAINS) ARE CONSIDERED DESIRABLE BUT SHOULD NOT BE LOCATED DIRECTLY ADJACENT TO THE FOOTINGS.

D6. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THE SITE IS PROPERLY MAINTAINED. APPENDIX B OF AS2870 PROVIDES INFORMATION AND GUIDANCE ON THE MAINTENANCE OF FOUNDATION SITE CONDITIONS. SUBJECT TO ADOPTION OF THESE RECOMMENDATIONS THE BUILDING MAY EXPERIENCE MINOR DAMAGE BUT OF A SEVERITY NOT EXCEEDING THE LEVELS DEFINED IN APPENDIX C OF AS2870.

D7. TRENCH EXCAVATIONS FOR SERVICES OR AGRICULTURAL DRAINS PARALLEL TO THE EDGE OF THE SLAB SHALL BE IN WITH NOTE 'P5' OF THE BORED PIER NOTES.

D8. FOR ALL FILLED AREAS IN BUILDING PLATFORM, INTERNAL BEAMS ARE TO BE PIERED AT MAX. 2400 CTS. AT RIB INTERSECTIONS.

FOOTING AND SLAB NOTES

F1. BORED PIERS / FOOTINGS / BEAMS ...ETC ARE TO BE FOUNDED ONTO **NATURAL BEARING MATERIAL** HAVING A MINIMUM SAFE BEARING CAPACITY OF **250 KPA** U.N.O. BEFORE ANY CONCRETE IS PLACED, THE SAFE BEARING CAPACITY SHALL BE VERIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER.

F2. THE FOOTING SYSTEM SPECIFIED ON THESE DRAWINGS WILL MEET THE PERFORMANCE REQUIREMENTS SET OUT IN CLAUSE 1.3 OF AS2870 (RESIDENTIAL SLABS AND FOOTINGS CODE). THE FOOTING SYSTEM INTENDED TO ACHIEVE ACCEPTABLE PROBABILITIES OF SERVICEABILITY AND SAFETY OF THE BUILDING DURING ITS DESIGN LIFE.

F3. THE FOOTING DETAILS SHOWN ARE FOR THE SITE CLASSIFICATION STIPULATED ABOVE. WHILST EVERY CARE HAS BEEN TAKEN TO VERIFY THAT THE INFORMATION SHOWN IS CORRECT, DONOVAN ASSOCIATES TAKE NO RESPONSIBILITY FOR VARIATIONS WHICH MAY OCCUR DUE TO VARIATIONS IN SITE CONDITIONS.

F4. A DAMP PROOFING MEMBRANE MUST BE PLACED BENEATH THE SLAB SO THAT THE BOTTOM OF THE SLAB IS ENTIRELY UNDERLAID. THE DAMP PROOFING MEMBRANE SHALL BE TURNED UP TO FINISHED GROUND LEVEL. THE DAMP PROOFING MEMBRANE MUST BE 0.2MM NOMINAL THICKNESS POLYTHENE FILM AND OF HIGH IMPACT RESISTANCE. LAPS SHALL BE 200MM MINIMUM AT JOINTS AND ALL PLUMBING PENETRATIONS SHALL BE TAPED. THE DAMP PROOFING MEMBRANE SHALL BE IN ACCORDANCE WITH THE BCA/NCC.

F5. SLAB REQUIREMENTS AT PIPE PENETRATIONS IN THE EDGE AND SPINE BEAMS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE DETAILS ON THESE DRAWINGS.

F6. SUBTERRANEAN TERMITE PROTECTION IS TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF AS3660.1

BORED PIER NOTES

P1. IF PIER LOCATIONS ARE NOT SHOWN ON THE PLAN, THEN ALL EDGE BEAMS, INTERNAL BEAMS AND OTHER LOAD BEARING AREAS THAT DO NOT BEAR ON FIRM NATURAL GROUND AS NOTED IN "FOOTING AND SLAB NOTES" NOTE F1 ARE TO BE PIERED IN ACCORDANCE WITH THE FOLLOWING PIERING SCHEDULE:

Bearing Strata	Min. Design Bearing Capacity	Pier Diameter (mm)	Maximum Pier Spacing c/c (mm)	
			Bored Pier	Bucket Pier (800x300)
Sand	100 kPa	600	1800	1800
Controlled Clay Fill	150 kPa	400	1600	1800
Stiff Natural Clay	250 kPa	400	2100	N/S
Shale/Rock	600 kPa	300 *	3000	N/S

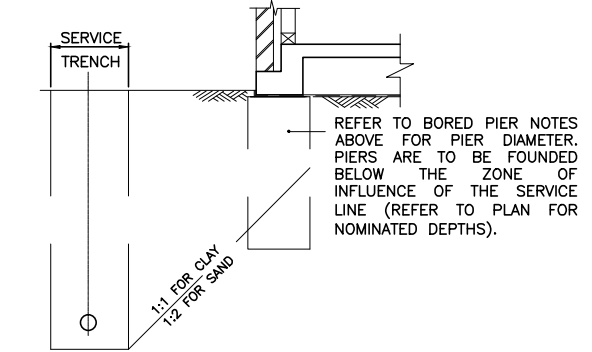
* Denotes: 400 dia pier if pier depth > 2.5 m
N/S Denotes: Not Suitable

P2. IT SHOULD BE NOTED THAT IF ANY OF THE FOOTING BEAMS OR PIERS ENCOUNTER ROCK OR SHALE, THEN ALL FOOTING BEAMS AND LOAD BEARING SPINE BEAMS SHALL BE PIERED TO ROCK OR SHALE.

P3. PIERING TO STRATA OTHER THAN ROCK OR SHALE MAY BE DELETED FROM THE CUT AREA OF THE BUILDING PLATFORM IF AUTHORIZED BY THE ENGINEER.

P4. ALL PIERS ARE TO BE CLEAN AND DE-WATERED PRIOR TO PLACEMENT OF CONCRETE.

P5. WHERE A SERVICE TRENCH OR AGRICULTURAL DRAIN IS PARALLEL TO THE EDGE OF A SLAB, WHETHER THE SLAB BE IN EXCAVATED OR FILLED AREA, THEN PIERING TO SUPPORT THE SLAB BESIDE THE SERVICE TRENCH IS ONLY REQUIRED IF THE SERVICE LINE IS BELOW A LINE OF INFLUENCE DRAWN AS INDICATED BELOW IN Z.O.I DIAGRAM:



FOR CONSTRUCTION NEXT TO OR OVER EXISTING/PROPOSED SERVICES EASEMENT - FINAL EXTENT AND ZONE OF INFLUENCE TO BE DETERMINED BY ENGINEER PRIOR TO CONSTRUCTION OF FLOOR SLAB. DETAILS TO BE SUPPLIED FOLLOWING RECEIPT OF SEWER PEG OUT DETAILS.

Z.O.I. DIAGRAM

P6. THESE NOTES ARE INTENDED AS A GUIDE. THERE IS ALWAYS A POSSIBILITY OF SITE CONDITIONS REQUIRING VARIATIONS TO THESE PROCEDURES. IN SUCH CASES, THE ENGINEER MUST BE CONSULTED.

PLASTIC SHRINKAGE CRACKING CONTROL AND SLAB MAINTENANCE

M1. CONCRETE PLACING, VIBRATING AND CURING MUST BE CARRIED OUT IN ACCORDANCE WITH AS3600.

M2. WATER IS NOT TO BE ADDED TO THE CONCRETE ON SITE AS TO INCREASE THE SLUMP ABOVE THAT SPECIFIED.

M3. IT IS RECOMMENDED THAT AN APPROVED CURING COMPOUND BE APPLIED TO THE SLAB IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

M4. CAUTION SHOULD BE EXERCISED WHEN APPLYING BRITTLE FINISHES, SUCH AS CERAMIC TILES TO THE FLOOR SLAB. AN ISOLATING MORTAR BED OR AN APPROVED FLEXIBLE ADHESIVE SYSTEM IS RECOMMENDED.

M5. THE OWNER'S ATTENTION SHALL BE DRAWN TO APPENDIX 'A' - "PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE" OF AS2870 AND CSIRO PUBLICATION "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE".

CONCRETE NOTES

C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.

C2. UNLESS NOTED OTHERWISE:
 • MAXIMUM AGGREGATE SIZE SHALL BE 20MM
 • SLUMP DURING PLACING SHALL BE 100MM
 • NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING

C3. CEMENT TYPE TO BE GP/GB AND 250KG MIN. CEMENT CONTENT PER m³.

C4. ALL CONCRETE CONSTRUCTION TO BE COMPACTED WITH A MECHANICAL VIBRATOR.

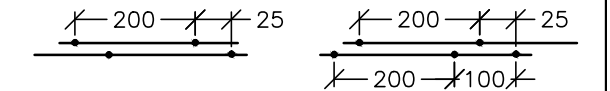
REINFORCEMENT FIXING NOTES

R1. ALL REINFORCING BAR AND FABRIC SHALL BE DESIGNATED AS SHOWN IN THE FOLLOWING TABLE AND SHALL COMPLY WITH THE APPROPRIATE CODES AS NOTED BELOW:

Symbol	Type
R	Structural grade round bars to AS4671 (250MPa)
S	Structural grade deformed bars to AS4671 (250MPa)
N	Tempcore deformed bars to AS4671 (500MPa)
RL/SL	Fabric to AS4671 (500MPa)
TM	Trench Mesh to AS4671 (500MPa)

NOTE: The number following the symbol is the bar diameter in millimeters.

R2. IF SLAB FABRIC IS USED IT IS TO BE LAPPED ONE FULL SQUARE PLUS 25MM AT SPLICES AS SHOWN IN THE DIAGRAM BELOW AND PLACED ON CHAIRS AT ONE METRE CENTRES BOTH WAYS TO GIVE 20MM CLEAR TOP COVER IN SHELTERED LOCATIONS AND 40MM CLEAR TOP COVER TO VERANDAHs.



R3. FOOTING BEAMS AND RIB REINFORCEMENT TO HAVE 40MM CLEAR COVER ALL-ROUND.

R4. BAR REINFORCEMENT IS TO BE TIED BENEATH THE FABRIC IF USED OR OTHERWISE PLACED ON CHAIRS AND LAPPED AS FOLLOWS:

Bar Size	N12	N16	N20
Splice Length	500	700	900

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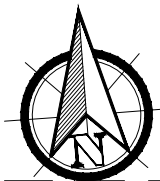
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CLIENT	DRAWN	DATE	DESCRIPTION	ISSUE	FOR
	JL	03/02/14	ISSUED FOR CONSTRUCTION	A	H ZHOU
					SITE ADDRESS: LOT 2184 ADINA STREET JORDAN SPRINGS
	MASTER CODE		BRISTOL - NEVADA		

APPROVED BY:

 J. DONOVAN, M.I.E. Aust.
 C.P.Eng., N.P.E.R.

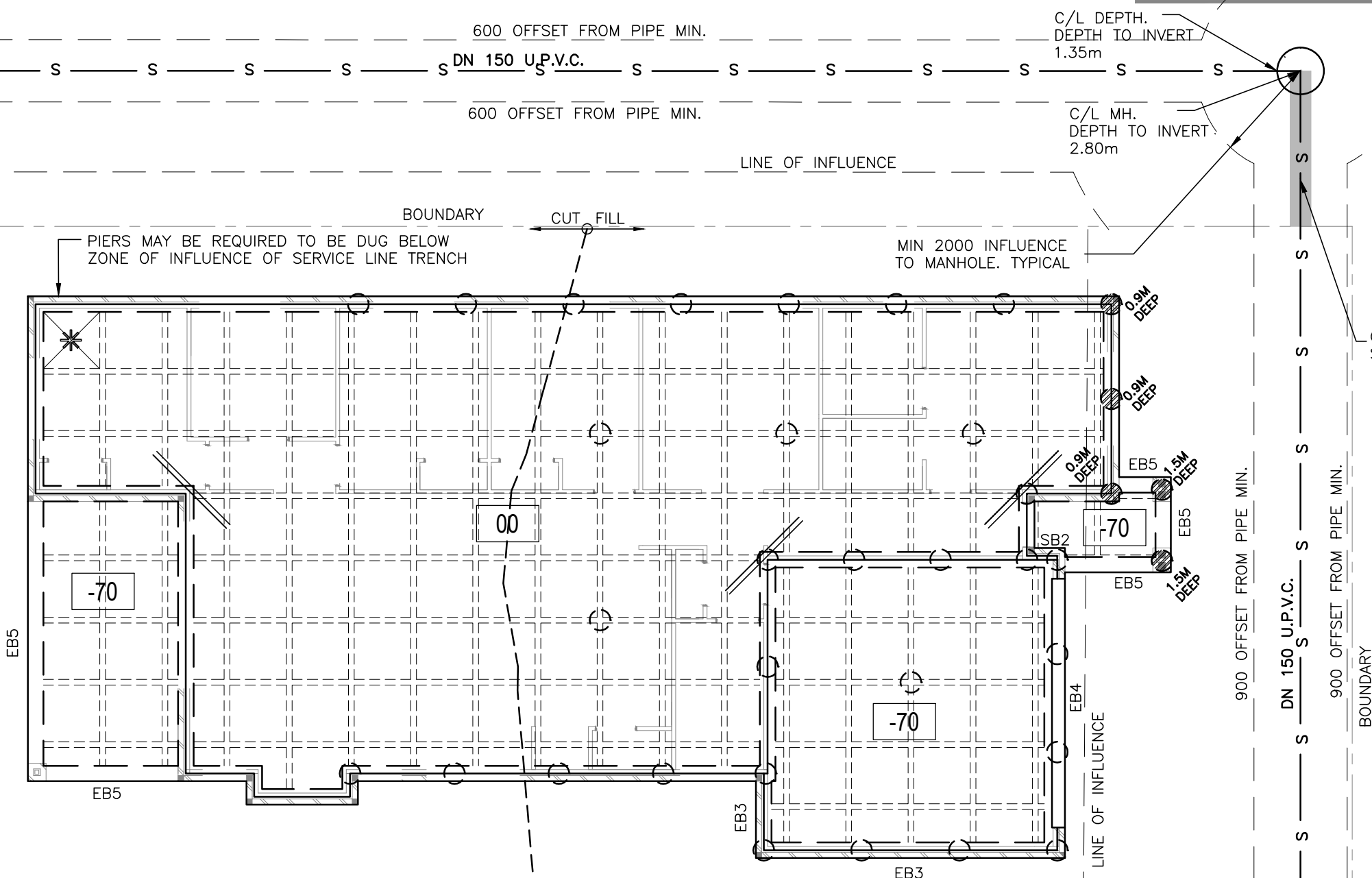
DESIGNED BY:	ISSUE
JD	A
CHECKED BY:	JD
SCALE	-
SHEET No.	S1
CLIENT REF.	DRAWING No.
601159	E78988



PIERING NOTE:
ALL PIERS TO BE FOUNDED
MIN. 750 INTO EXISTING
FOUNDATION.

NOTE:
RWT & AC SLAB IS NOT SHOWN ON
SLAB PLAN. REFER TO ARCHITECTURAL
DRAWINGS FOR LOCATION AND SIZE.
REFER TO STRUCTURAL DETAILS ON
SHEET 7 & 8.

SLAB SPECIFICATIONS:	
SLAB THICKNESS (mm) :	85
RESIDENCE POD DEPTH (mm) :	225
GARAGE POD DEPTH (mm) :	150
PATIO POD DEPTH (mm) :	150
ALFRESCO POD DEPTH (mm) :	150
RESIDENCE MESH : (TOP COVER: 20mm)	SL72
GARAGE/PORCH & ALFRESCO MESH : (TOP COVER: 30mm)	SL82
TYP. EDGE BEAM REBATE (mm) :	160
GARAGE EDGE BEAM REBATE (mm) :	86
RESIDENCE SLAB CONCRETE STRENGTH (F'c):	20 MPa
GARAGE/PORCH & ALFRESCO SLAB CONCRETE: STRENGTH (F'c)	25 MPa
SLAB CONCRETE SLUMP (mm):	100 mm
PIERS CONCRETE STRENGTH (F'c):	20 MPa
SITE CLASSIFICATION:	P



GROUND FLOOR SLAB PLAN

ALL EDGE BEAMS TO BE 'EB1'
AND ALL STEP BEAMS TO BE 'IB1'
UNLESS NOTED OTHERWISE

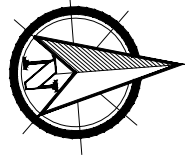
INTERPOLATED DEPTH TO
INVERT 2.80m APPROX.

LEGEND	
MARK	NOTE
	1090x1090mm STANDARD POD
	START POD LOCATION
	2N12 or 2/1.5 RW 10.65 TRIMMERS UNDERSIDE OF MESH
	110mm WIDE INTERNAL RIB
	400mm DIAMETER MASS CONCRETE PIER - REFER TO 'BORED PIER NOTES' ON SHEET 1
	400mm DIA PIER FOUNDED BELOW SEWER Z.O.I. DEPTH OF PIERS ON PLAN ARE FROM NATURAL GROUND LEVEL, ADD FILL DEPTH TO PIER DEPTHS NOTED ON PLAN. REFER TO TYPICAL SEWER SECTION.

- NOTES:**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL NOTES SHEET AND THE SUBSEQUENT DETAIL SHEETS.
 - VERTICAL BRICKWORK ARTICULATION JOINTS MUST BE PROVIDED IN ACCORDANCE WITH AS4773 AND AS3700.
 - UNLESS NOTED OTHERWISE, SERVICES IN EASEMENT(S) ADJACENT TO THIS PROPERTY HAVE NOT BEEN ASSESSED. EVALUATION OF THE EFFECTS OF ANY SERVICES WILL BE MADE FOLLOWING RECEIPT OF FURTHER INFORMATION. THIS INFORMATION WILL BE DOCUMENTED AS AN AMENDMENT TO THESE DRAWINGS IF REQUIRED.
 - IT IS THE RESPONSIBILITY OF THE BUILDER / SUB-CONTRACTOR TO ENSURE CORRECT PIER SETOUT.

SITE CLASSIFICATION NOTE
THE SITE HAS BEEN CLASSIFIED "M" PURSUANT TO GEOTECHNICAL REPORT PREPARED BY **SMEC TESTING SERVICES PTY LTD** REPORT NUMBER **13/0932** DATED **13 JUNE 2013**. THESE DOCUMENTS HAVE BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF AS2870: "RESIDENTIAL SLABS AND FOOTINGS - CONSTRUCTION" CODE ON THE BASIS OF A CLASSIFICATION "P". REFER TO SHEET 1 FOR ADDITIONAL NOTES.

 INCORPORATED ENGSURVEY PTY LTD ABN: 84 134 616 078 PH/ 02 9806 3000 F/ 02 9891 2806 E/ admineng@donovanassociates.com.au 15 PARKES STREET PARRAMATTA NSW 2150	 YOUR HOME YOUR DREAM PH: (02) 8848 6000 FAX: (02) 9634 5511	DRAWN	DATE	DESCRIPTION	ISSUE	FOR	APPROVED BY: J. DONOVAN. M.I.E. Aust. C.P.Eng., N.P.E.R.	DESIGNED BY:	JD	ISSUE
		JL	03/02/14	ISSUED FOR CONSTRUCTION	A	H ZHOU		CHECKED BY:	JD	B
		FL	12/02/14	SEWER DETAILS ADDED	A	SITE ADDRESS:		SCALE	1:100	
		MASTER CODE		BRISTOL - NEVADA		LOT 2184 ADINA STREET JORDAN SPRINGS		CLIENT REF.	DRAWING No.	SHEET No.
						601159	E78988	S2		



** BUILDING BOUNDARY SETBACKS ARE BASED ON ARCHITECTURAL DRAWING.

C/L TMS. DEPTH TO INVERT 1.35m

LOT 2180

LOT 2181

LOT 2182

LOT 2183

LOT 2184

C/L MS. DEPTH TO INVERT 2.83m

MIN. 900 OFFSET FROM PIPE

C/L DEPTH. DEPTH TO INVERT 1.35m

C/L INLET. DEPTH TO INVERT 2.82m

A D I N A

BAS SITE PLAN

S T R E E T

SCALE 1:200

SYDNEY WATER BOARD 150 ϕ - 225 ϕ INVERT INFLUENCE OFFSET

DEPTH (m)	OFFSET FROM CL
< = 2.5	600mm
> = 2.5	900mm

INTERPOLATED DEPTH TO INVERT 2.80m APPROX.

LINE OF INFLUENCE AT GROUND TO SEWER. 1:1 FROM OFFSET. TYPICAL

C/L MH. DEPTH TO INVERT 2.80m

SEWER NOTE:

SEWER POSITION IS BASED ON SYDNEY WATER DRAWING CASE No. 123837WW, DATED 02.08.12, SUPPLIED BY McDONALD JONES HOMES.

DONOVAN ASSOCIATES

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CLIENT



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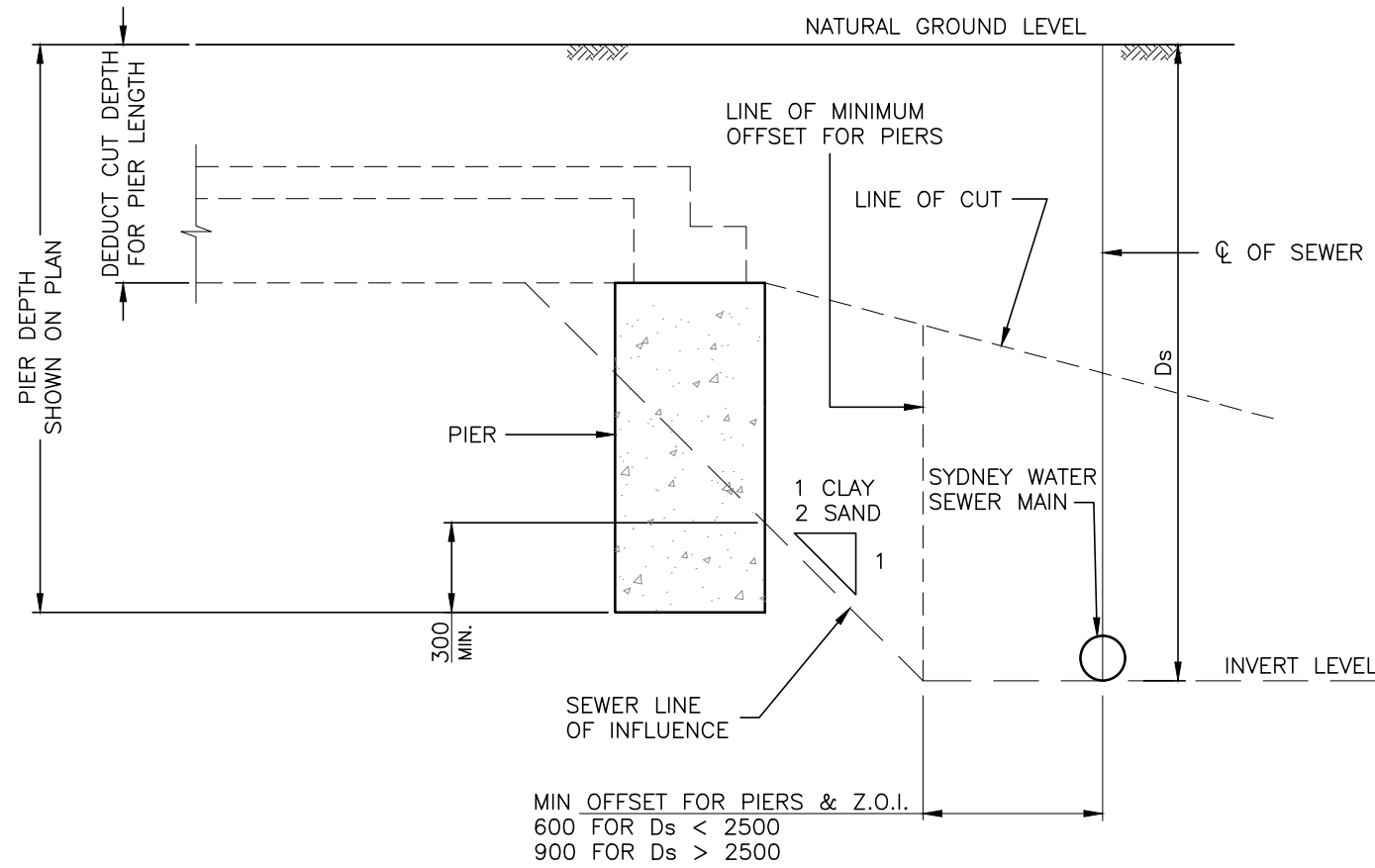
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DRAWN	DATE	DESCRIPTION	ISSUE	FOR
FL	12/02/14	ISSUED FOR CONSTRUCTION	A	H ZHOU
				SITE ADDRESS:
				LOT 2184
				ADINA STREET
				JORDAN SPRINGS
MASTER CODE	BRISTOL - NEVADA			

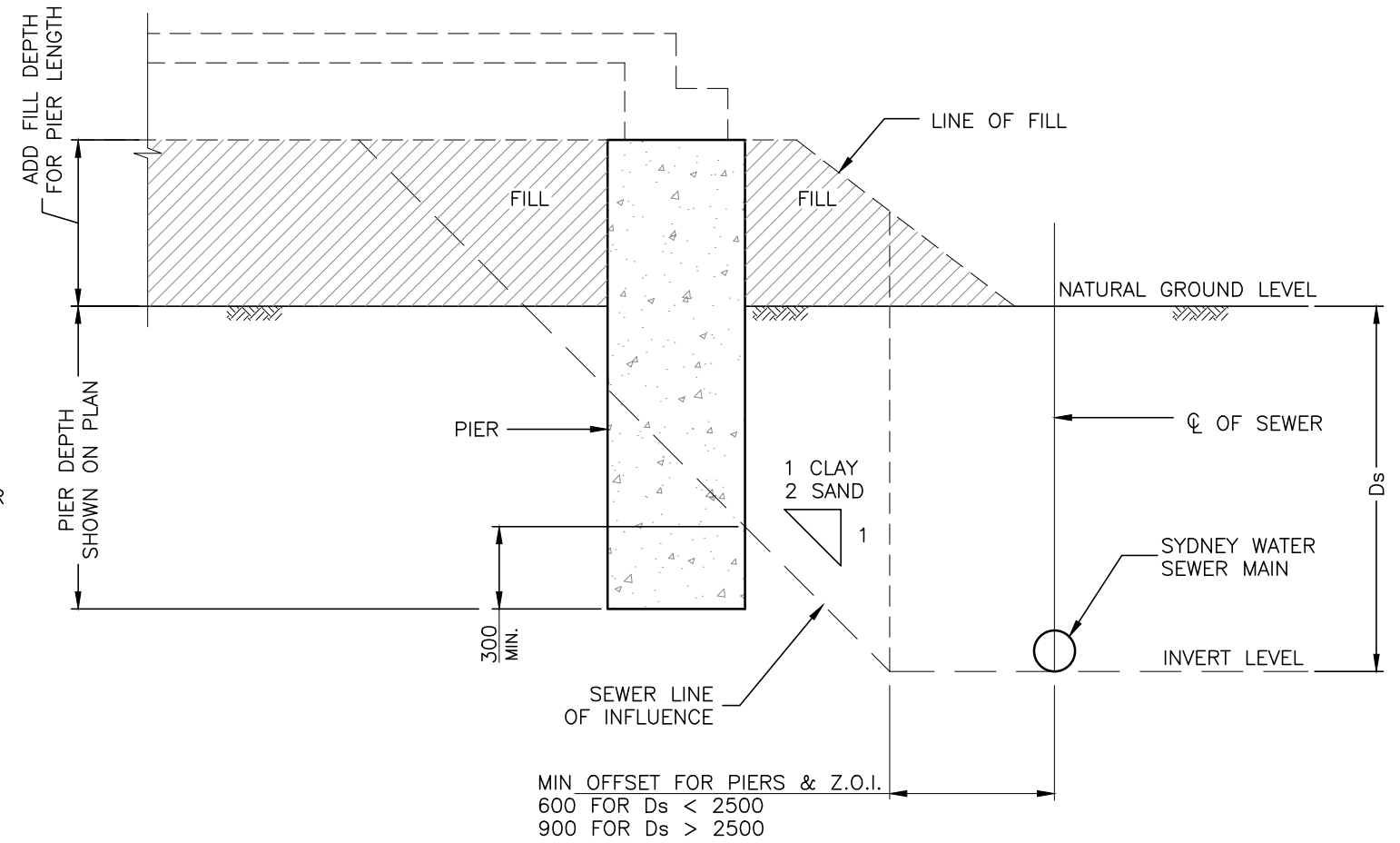
APPROVED BY:
<i>[Signature]</i>
J. DONOVAN, M.I.E. Aust. C.P.Eng., N.P.E.R.

DESIGNED BY:	ISSUE
JD	A
CHECKED BY:	JD
SCALE	1:200
CLIENT REF.	DRAWING No.
601159	E78988

ISSUE	
A	
SHEET No.	S9



**SEWER ADJACENT TO SLAB
TYPICAL SECTION IN CUT**
Ds- DENOTES DEPTH OF SEWER SHOWN ON PLAN



**SEWER ADJACENT TO SLAB
TYPICAL SECTION IN FILL**
Ds- DENOTES DEPTH OF SEWER SHOWN ON PLAN

SEWER PIER REINFORCEMENT NOTE:
THE FOLLOWING REINFORCEMENT IN PIERS IS REQUIRED FOR THE FULL HEIGHT OF THE PIER:

- 2.5m < PIER DEPTH ≤ 4.5m: 4N12 BARS WITH R6-300 SPIRAL OR CLOSED TIES.
- 4.5m < PIER DEPTH ≤ 6.0m: 4N16 BARS WITH R10-300 SPIRAL.

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FL	12/02/14	ISSUED FOR CONSTRUCTION	A	H ZHOU
MASTER CODE		BRISTOL - NEVADA		

APPROVED BY:
[Signature]
J. DONOVAN, M.I.E. Aust.
C.P.Eng., N.P.E.R.

SITE ADDRESS:
LOT 2184
ADINA STREET
JORDAN SPRINGS

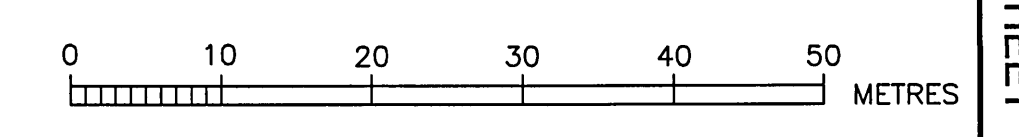
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CHECKED BY:	JD	A
SCALE	1:20	SHEET No.
CLIENT REF.	DRAWING No.	S10
601159	E78988	

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FOR CONSTRUCTION
 IN ACCORDANCE WITH
 PLAN 123837WW ISSUE 0
 DATE 07 / 08 / 12



SEE SHEET 3

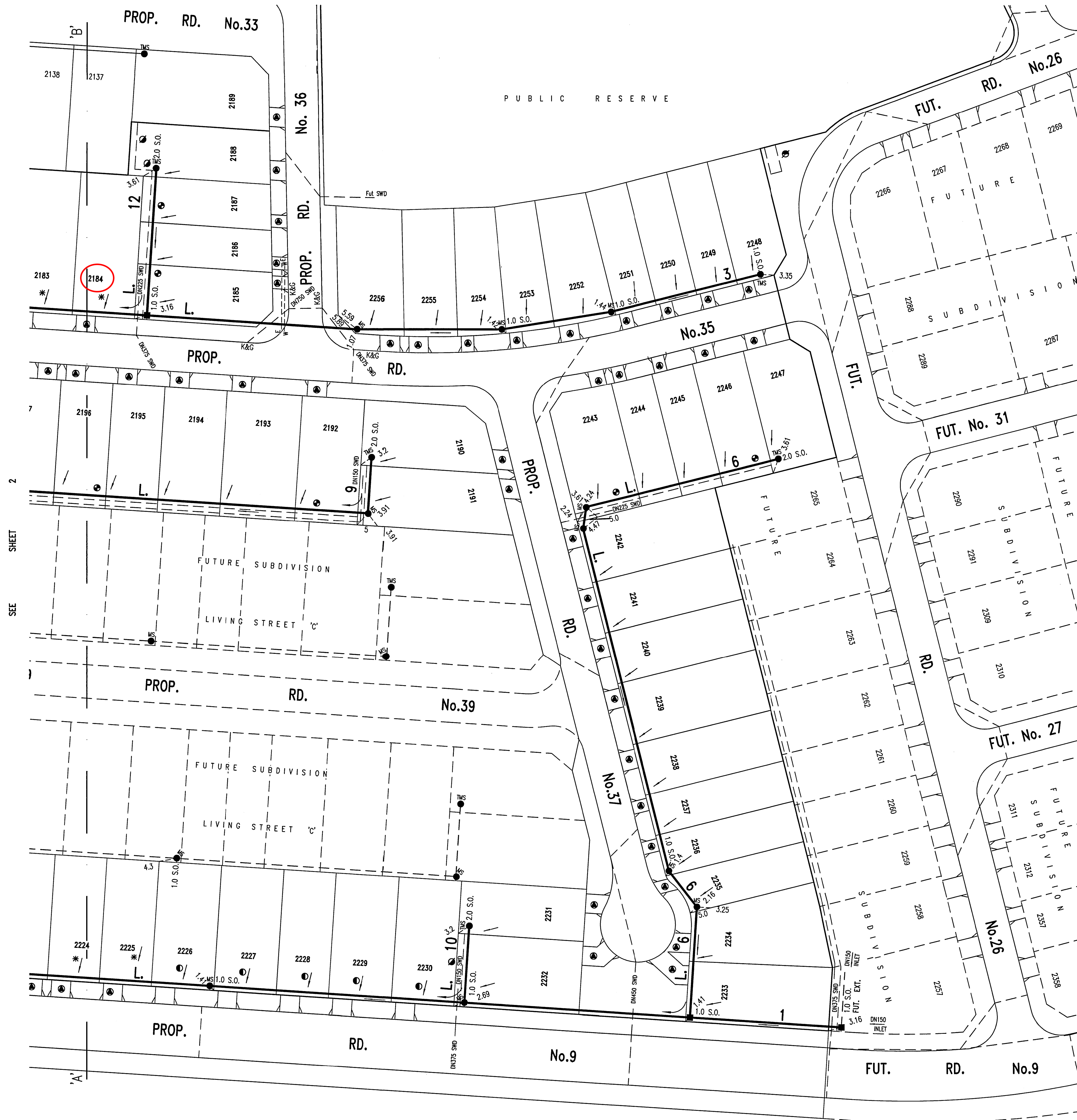
- DENOTES PROPOSED DRIVEWAYS
- DRAINAGE EASEMENT 1.5m WIDE
- EASEMENT FOR SUBSTATION 2.75m WIDE
- PROPOSED EASEMENT FOR SUBSTATION 2.75m WIDE
- PROPOSED DRAINAGE EASEMENT 1.5m WIDE
- PROPOSED DRAINAGE EASEMENT 2.0m WIDE
- PROPOSED DRAINAGE EASEMENT 2.5m WIDE



NUMBER	AMENDMENT	INITIAL	DATE
A	PRELIM. LAYOUT	G.M.	25.06.12
B	REVIEW COPY	G.M.	03.07.12
C	SYDNEY WATER ISSUE	G.M.	18.07.12
D	TITLE BLOCK AMENDED	C.P.	24.07.12

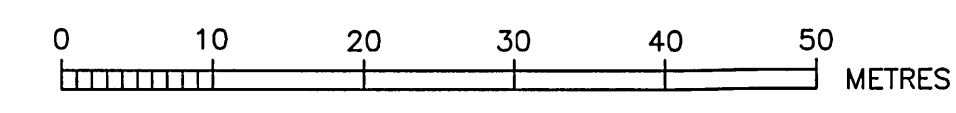
WORK AS CONSTRUCTED CERTIFICATION		Sydney WATER SYDNEY WATER CORPORATION	
DEVELOPER	W.S.C.	CONSTRUCTOR	COMPLETED
Case No. 123837WW		SHT 2 OF 7 SHTS.	
SYDNEY WATER CORPORATION			
FOR DETAILS OF SERVICES SEE SHEET 1			

Galchek Pty Ltd
FOR CONSTRUCTION
IN ACCORDANCE WITH
PLAN 123837WW ISSUE D
DATE 02 08 12



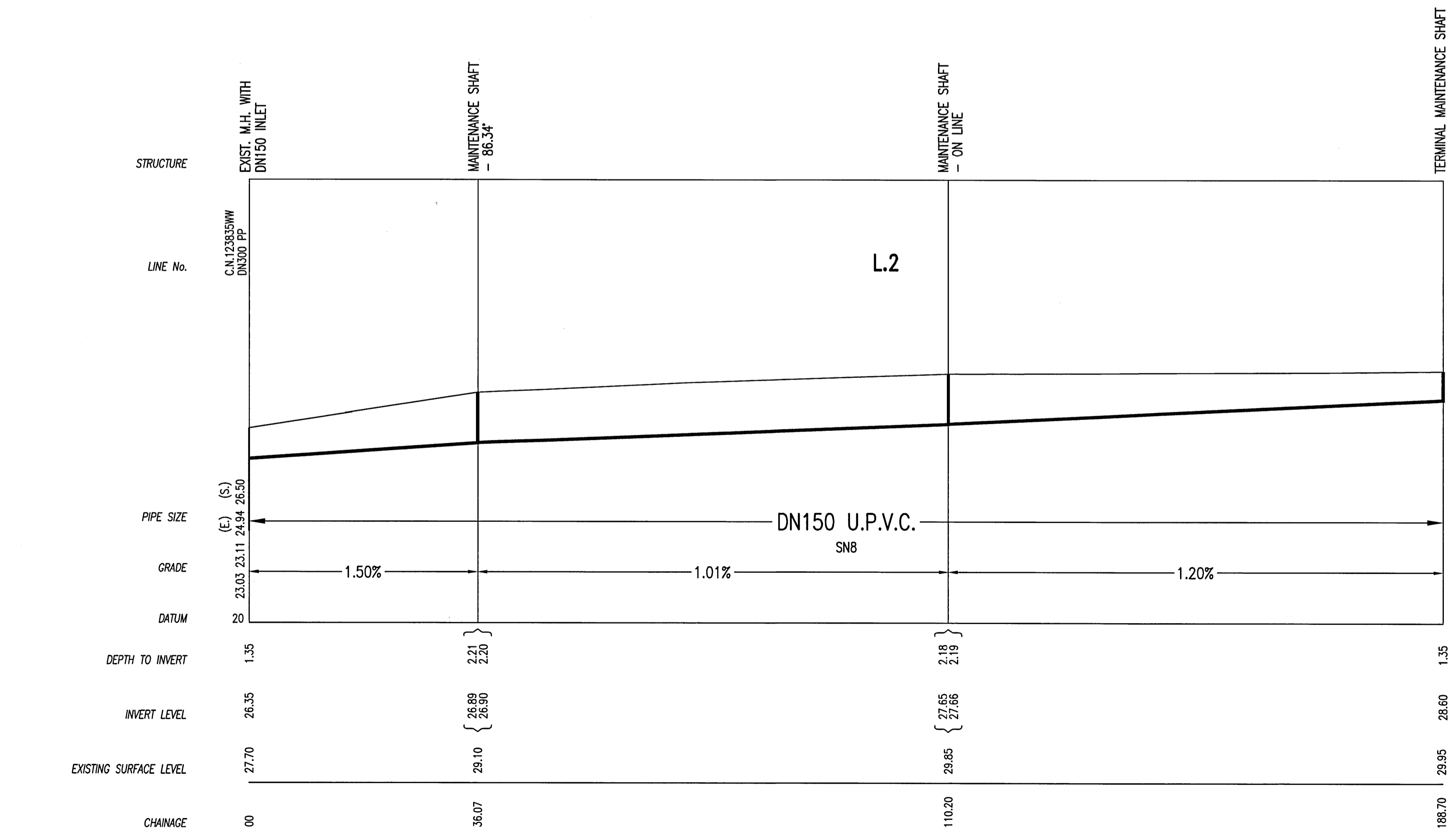
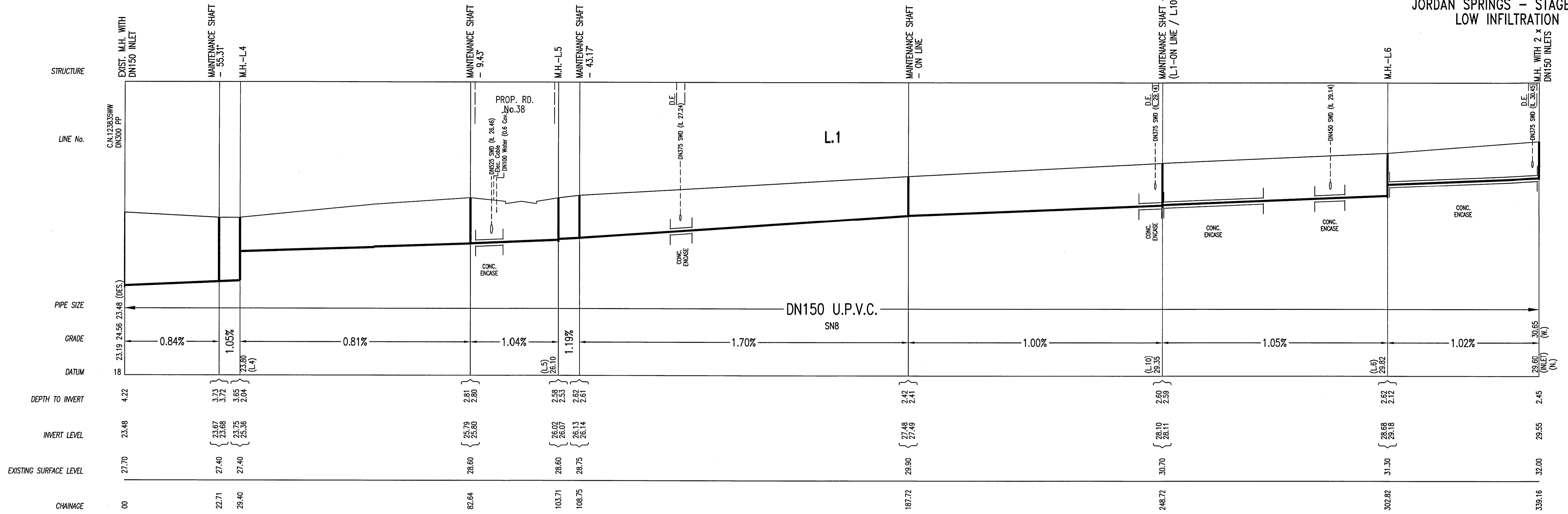
SEE SHEET 2

- DENOTES PROPOSED DRIVEWAYS
- EASEMENT FOR SUBSTATION 2.75m WIDE
- ⊗ PROPOSED EASEMENT FOR SUBSTATION 2.75m WIDE
- ⊙ PROPOSED DRAINAGE EASEMENT 1.5m WIDE
- ⊕ PROPOSED DRAINAGE EASEMENT 2.0m WIDE
- ⦿ PROPOSED DRAINAGE EASEMENT 2.5m WIDE



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WORK AS CONSTRUCTED CERTIFICATION		SYDNEY WATER CORPORATION	
DEVELOPER	W.S.C.	Sydney WATER Case No. 123837WW SHT 3 OF 7 SHTS. SYDNEY WATER CORPORATION FOR DETAILS OF SERVICES SEE SHEET 1	
CONSTRUCTOR	COMPLETED		
DESIGNER	I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS		
W.A.C. PREPARED			

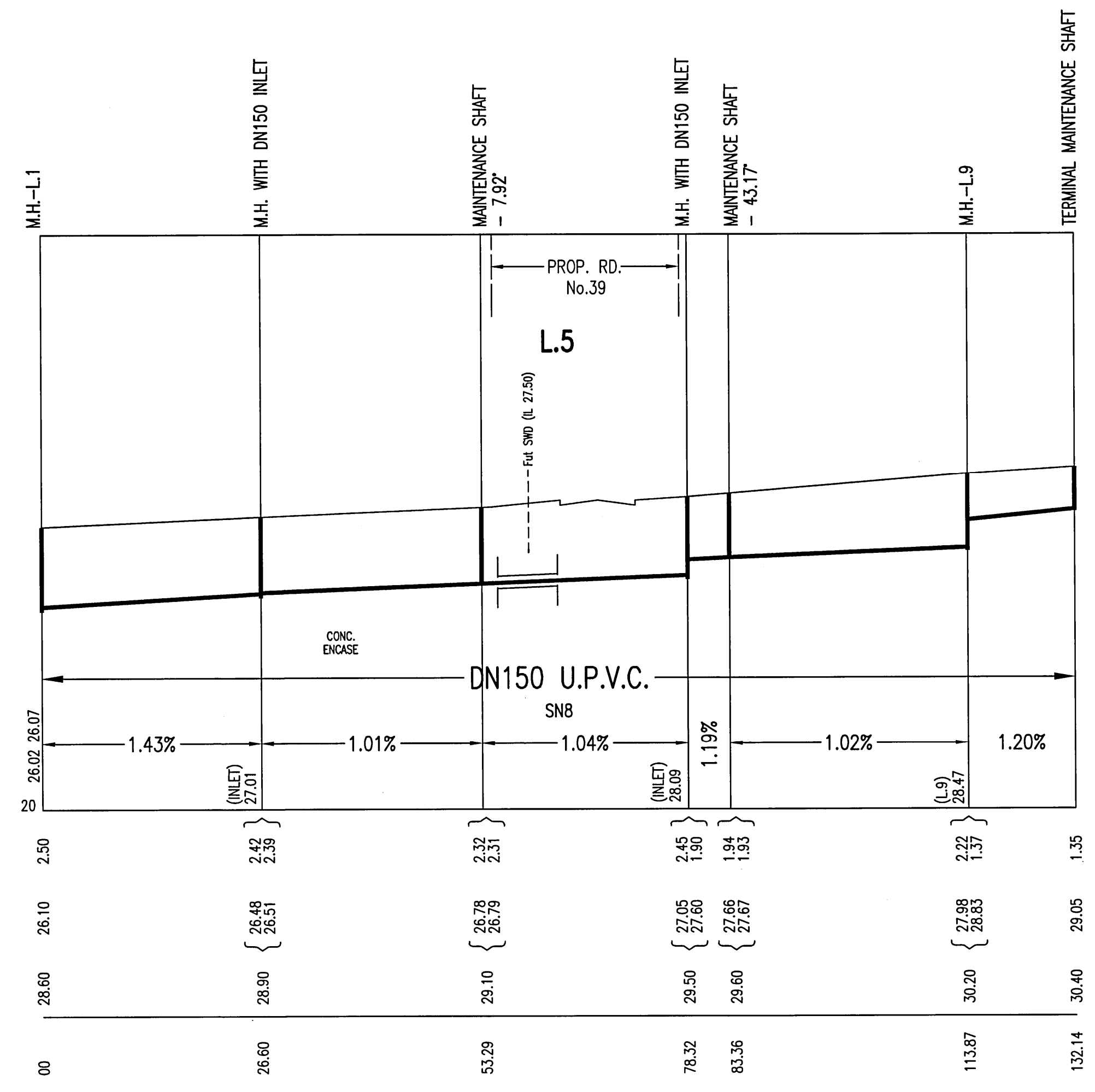
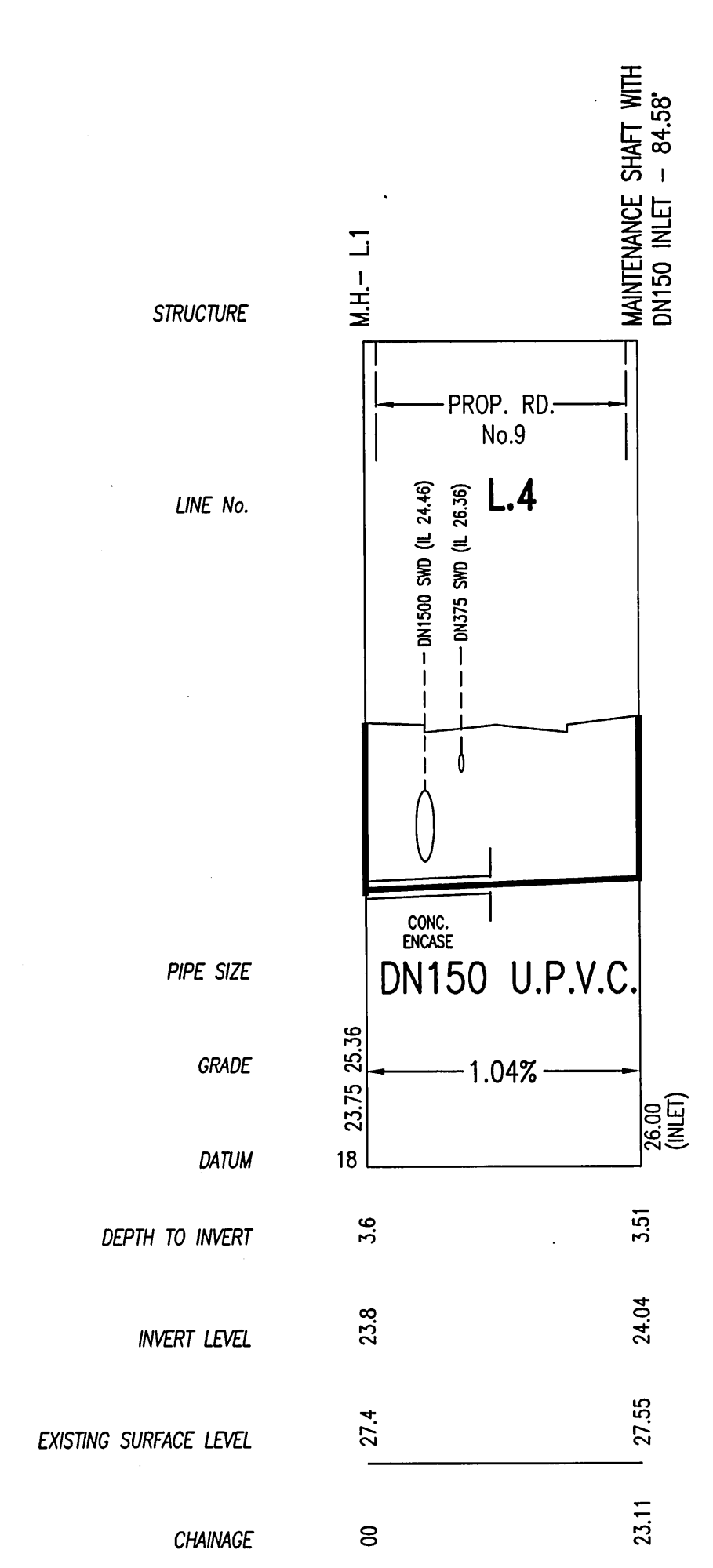
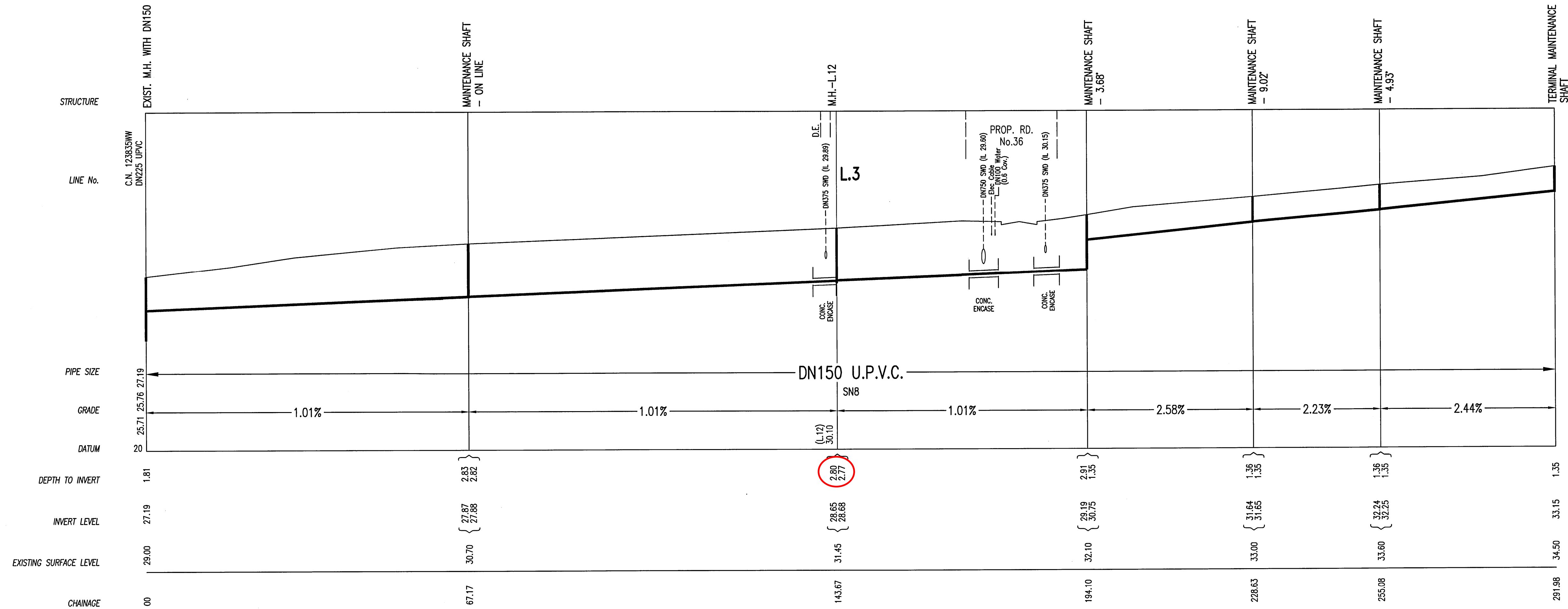


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FOR CONSTRUCTION
 IN ACCORDANCE WITH
 PLAN 123835WW ISSUE D
 DATE 02 06 12

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B	REVIEW COPY	G.M.	03.07.12
C	SYDNEY WATER ISSUE	G.M.	18.07.12
D	TITLE BLOCK AMENDED	C.P.	24.07.12

WORK AS CONSTRUCTED CERTIFICATION		Sydney WATER SYDNEY WATER CORPORATION	
DEVELOPER	W.S.C.	Case No. 123837WW	SHT 4 OF 7 SHTS.
CONSTRUCTOR	COMPLETED		
DESIGNER	SYDNEY WATER CORPORATION		
I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS FOR DETAILS OF SERVICES SEE SHEET 1			

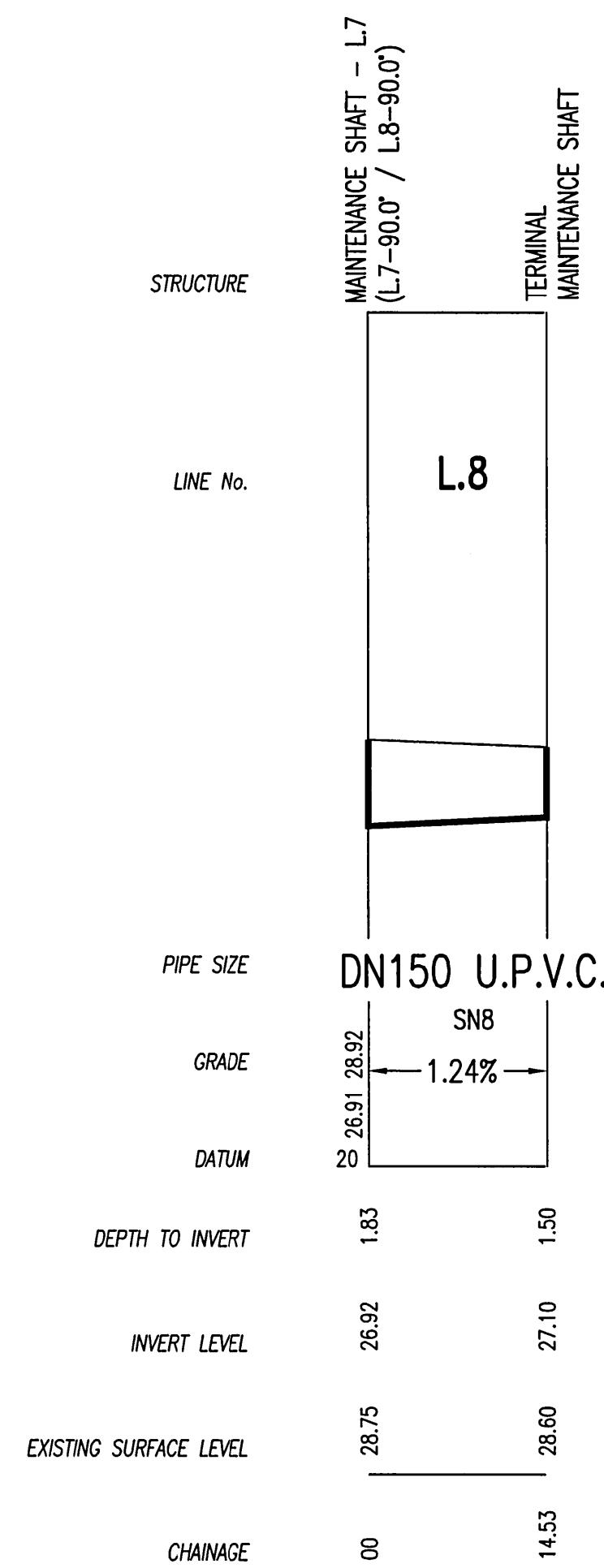
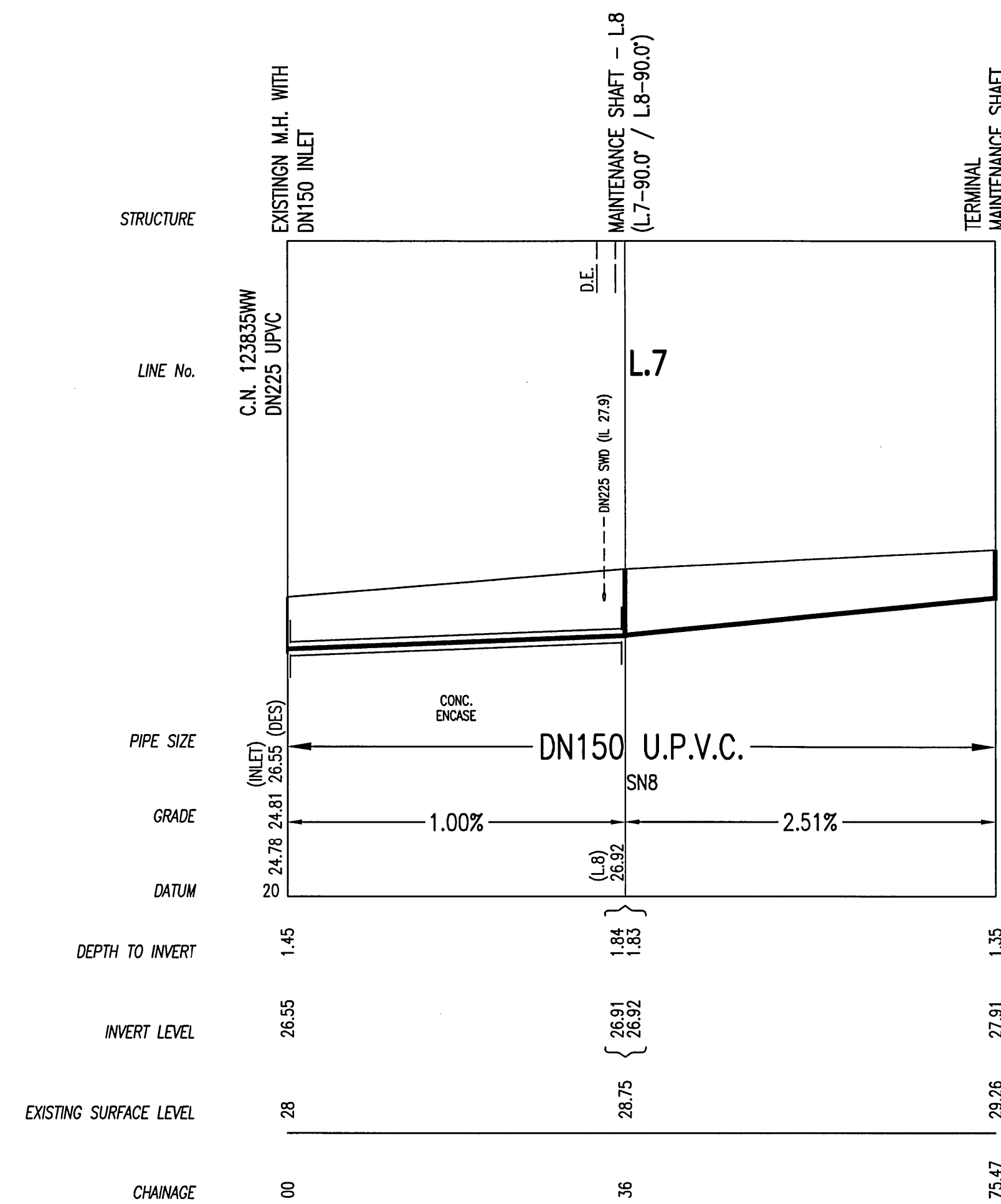
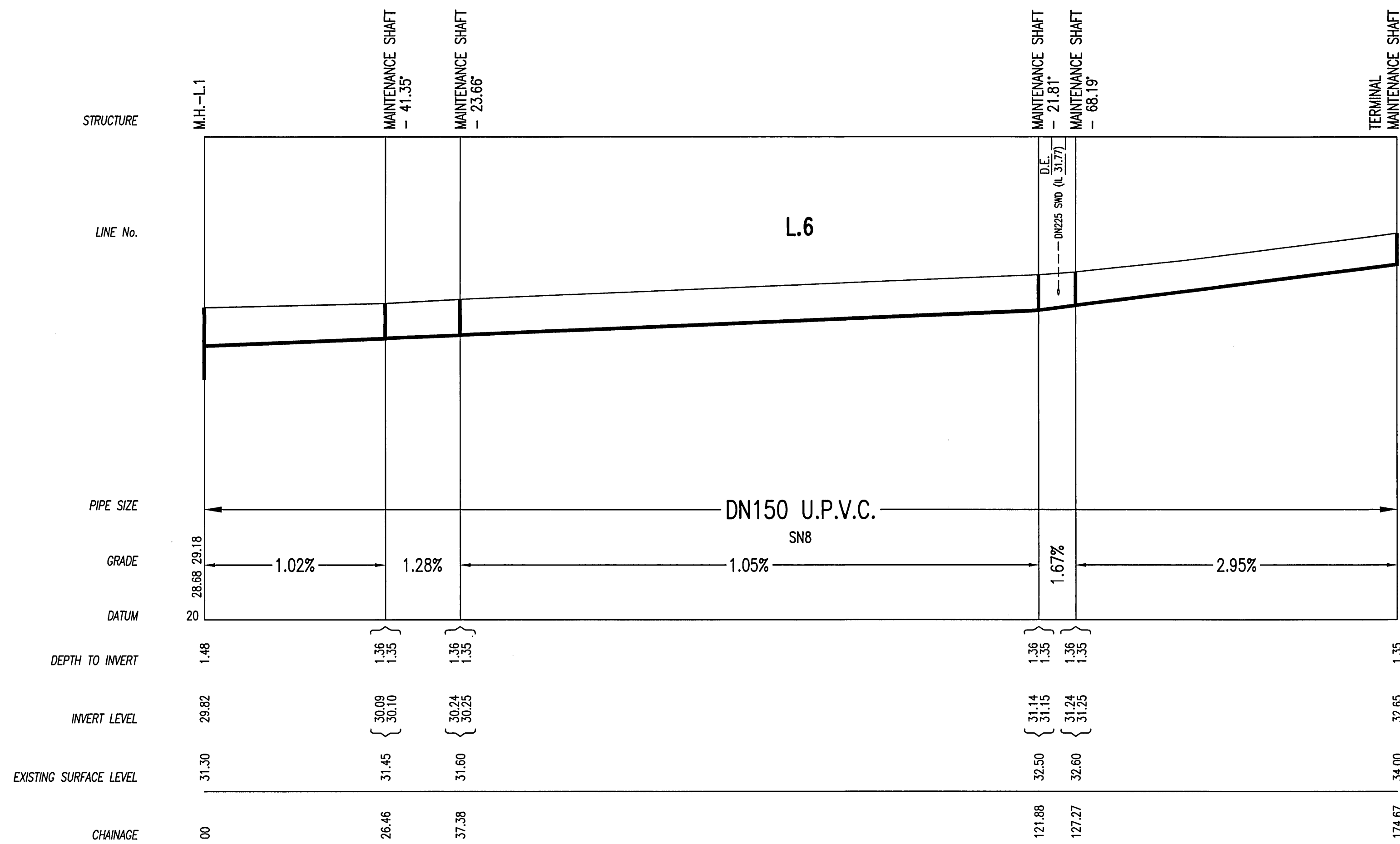
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 IN ACCORDANCE WITH
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 DATE 02/08/12



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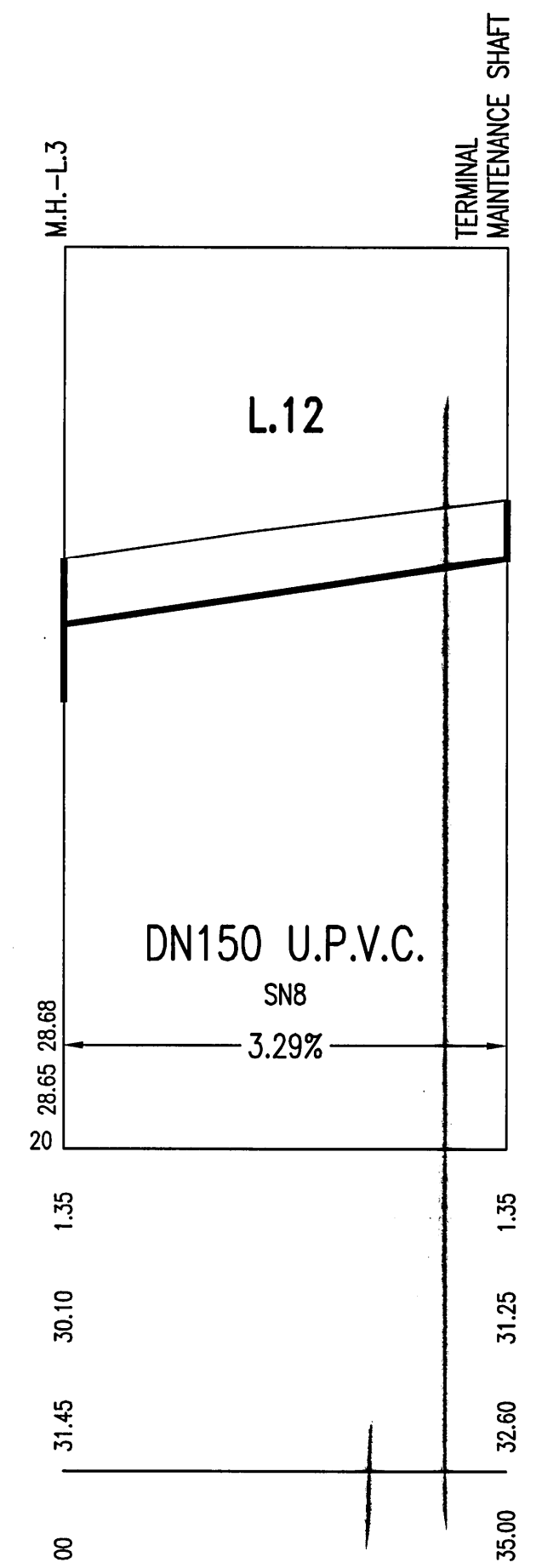
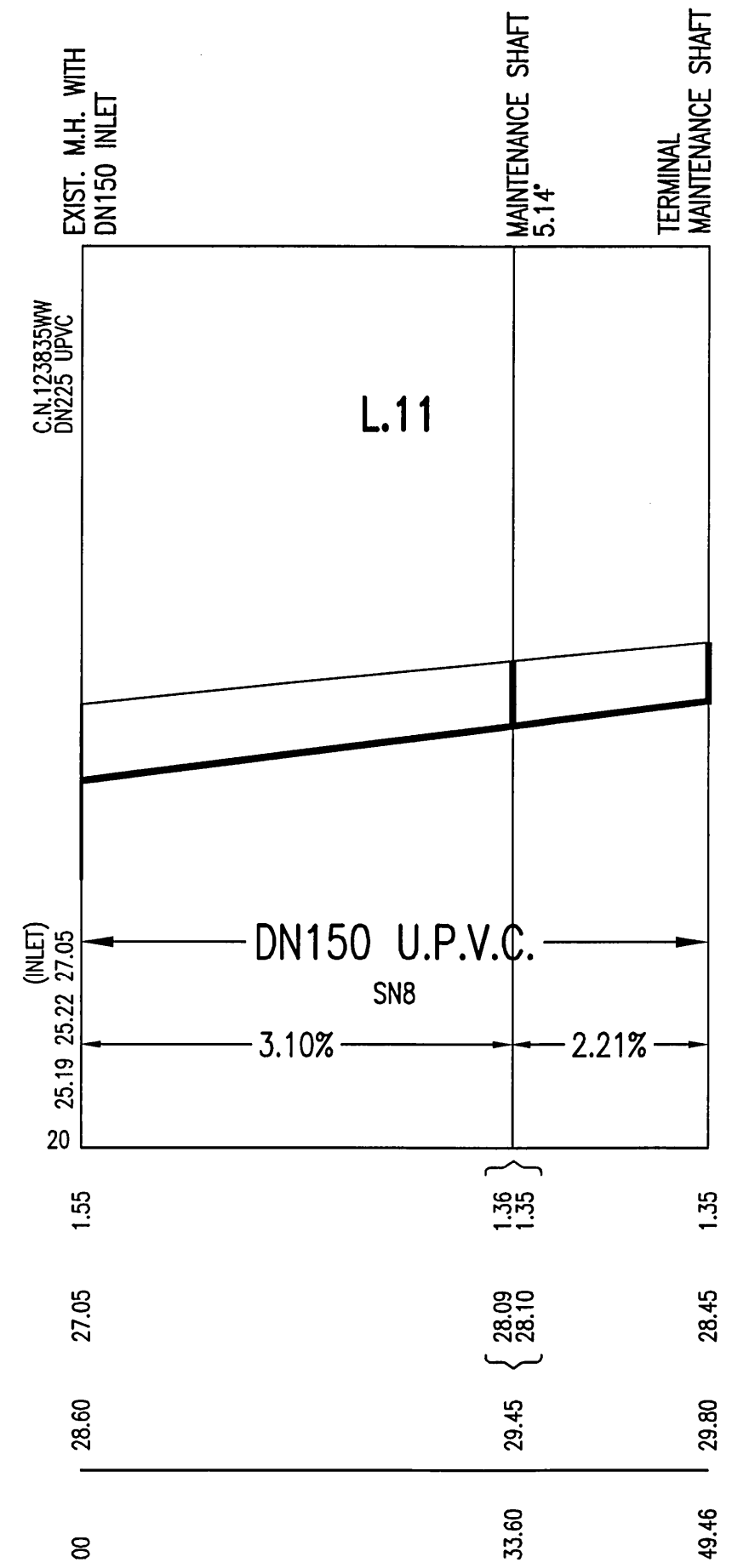
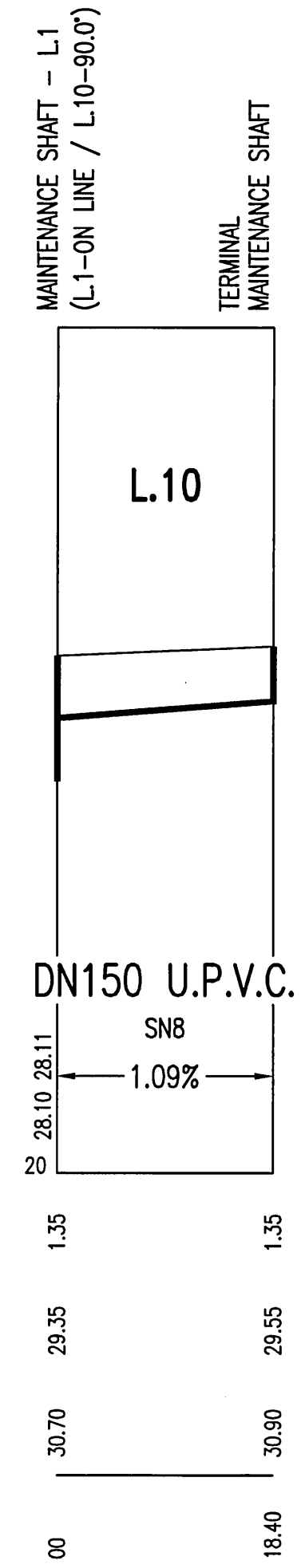
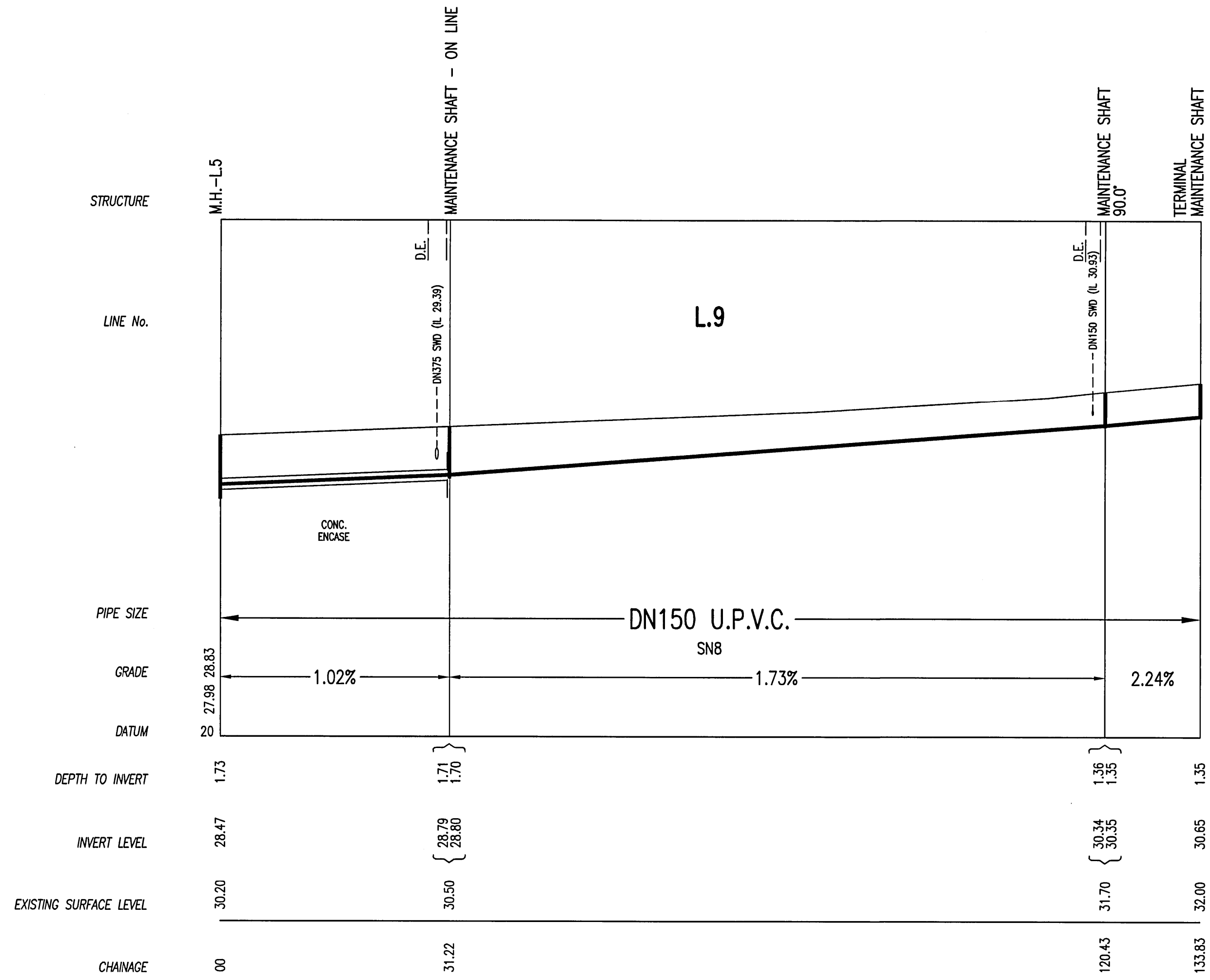
WORK AS CONSTRUCTED CERTIFICATION		Sydney WATER SYDNEY WATER CORPORATION	
DEVELOPER	W.S.C.	Case No. 123837WW	SHT 5 OF 7 SHTS.
CONSTRUCTOR	COMPLETED		
DESIGNER		SYDNEY WATER CORPORATION	
I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS		FOR DETAILS OF SERVICES SEE SHEET 1	

Qalchek Pty Ltd
FOR CONSTRUCTION
IN ACCORDANCE WITH
PLAN 123837WW ISSUE D
DATE 02.08.12



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WORK AS CONSTRUCTED CERTIFICATION		SYDNEY WATER CORPORATION	
DEVELOPER	W.S.C.	Sydney WATER	
CONSTRUCTOR	COMPLETED	Case No. 123837WW	SHT 6 OF 7 SHTS.
DESIGNER	SYDNEY WATER CORPORATION		
I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS		FOR DETAILS OF SERVICES SEE SHEET 1	



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FOR CONSTRUCTION
 IN ACCORDANCE WITH
 PLAN 123837WW ISSUE D
 DATE 02 08 12

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WORK AS CONSTRUCTED CERTIFICATION		Sydney WATER SYDNEY WATER CORPORATION	
DEVELOPER	W.S.C.	CONSTRUCTOR	COMPLETED
DESIGNER		I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS	
Case No. 123837WW		SHT 7 OF 7 SHTS.	
FOR DETAILS OF SERVICES SEE SHEET 1			