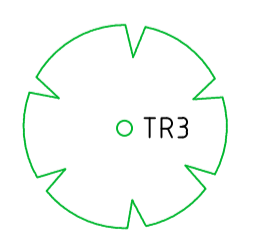


**SCHEDULE OF ABBREVIATIONS**

- AWN - AWNING
- BIT - BITUMEN
- BOL - BOLLARD
- CO - CONCRETE
- COL - COLUMN
- CBW - CONCRETE BLOCK WALL
- CRW - CONCRETE RETAINING WALL
- ELP - ELECTRICAL LIGHT POLE
- EPT - ELECTRICAL PIT
- FH - FIRE HYDRANT
- FL - FLOOR LEVEL
- FLT - FLOOR THRESHOLD
- GB - GARDEN BORDER
- GL - GLASS
- GP - GRATE PIT
- GRD - GUARD RAIL
- IK - INVERT KERB
- INV - INVERT
- LK - LIP KERB
- LM - LINE MARKING (APPROX SPACING)
- LT - LIGHT POLE
- MFC - METAL FENCE
- NS - NATURAL SURFACE
- PAR - PARAPET (APPROX HEIGHT)
- ROL - ROLLER SHUTTER
- RWB - RETAINING WALL BOTTOM
- RWT - RETAINING WALL TOP
- STR - STAIR
- SUB - SUB STATION
- SS - STREET SIGN
- TA - TOP AWNING (APPROX HEIGHT)
- TG - TOP GUTTER (APPROX HEIGHT)
- TK - TOP KERB
- TS - TOP STEP
- UA - UNDERSIDE AWNING (APPROX HEIGHT)
- UC - UNCLASSIFIED PIT
- WMF - WIRE MESH FENCE
- WS - WINDOW SILL
- WT - WINDOW TOP



- TR : TREE APPROX. 0.10 TRUNK 2 SPREAD & HEIGHT
- TR2 : TREE APPROX. 0.20 TRUNK 4 SPREAD & HEIGHT
- TR3 : TREE APPROX. 0.30 TRUNK 6 SPREAD & HEIGHT
- TR4 : TREE APPROX. 0.40 TRUNK 8 SPREAD & HEIGHT
- TR5 : TREE APPROX. 0.50 TRUNK 10 SPREAD & HEIGHT
- TR6 : TREE APPROX. 0.60 TRUNK 12 SPREAD & HEIGHT
- TR7 : TREE APPROX. 0.70 TRUNK 14 SPREAD & HEIGHT
- TR8 : TREE APPROX. 0.80 TRUNK 16 SPREAD & HEIGHT

**GENERAL / SPECIFIC NOTES**

THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN. THE INFORMATION SHOWN ON THIS PLAN OR IN THE ASSOCIATED CAD FILE IS SUPPLIED ON THE CONDITION THAT THESE GENERAL NOTES ARE ALWAYS SHOWN/KEPT ON ANY COPY OR EXTRACT OF THE HARD COPY/DATA FILE.

THE LOCATION OF PROPERTY BOUNDARIES HAVE BEEN IDENTIFIED FROM SURVEY MEASUREMENTS & REGISTERED PLANS OBTAINED FROM NSW LAND REGISTRY SERVICES & REPRESENT TITLE DIMENSIONS.

ANY CONSTRUCTION OR WORKS RELYING ON CRITICAL SETBACKS FROM BOUNDARIES WILL REQUIRE ADDITIONAL BOUNDARY SURVEY & PLACEMENT OF BOUNDARY/SETOUT MARKS PRIOR TO COMMENCEMENT OF ANY WORKS. REALSERVE WILL NOT BE HELD LIABLE FOR ANY ISSUES RESULTING FROM NON COMPLIANCE WITH THIS ADVICE.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) THE ORIGIN OF WHICH IS PM41946 RL 28.827 AHD (SOURCE: SCIMS 27-11-2020).

REFER TO THE SUBJECT CERTIFICATE(S) OF TITLE FOR FULL DETAILS OF ANY EASEMENTS, RESTRICTIONS OR COVENANTS.

THE LOCATION OF EASEMENTS HAVE BEEN COMPILED FROM PLANS & RECORDS OBTAINED FROM LAND & PROPERTY INFORMATION N.S.W LRS AND ARE SUBJECT TO CADASTRAL SURVEY.

THE BOUNDARIES SHOULD BE FULLY SURVEYED, MARKED &/OR SURVEY SETOUT MARKS PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK, PARTICULARLY IF BOUNDARY SETBACKS ARE CRITICAL.

THE RECORDS OF THE SERVICE AUTHORITIES HAVE NOT BEEN INVESTIGATED. ONLY THOSE SERVICES VISIBLE / APPARENT AT THE TIME OF SURVEY HAVE BEEN SHOWN.

THE LOCATION & LEVELS OF BUILDING RIDGES AND ROOF FEATURES HAVE BEEN DETERMINED BY INDIRECT METHODS (WHERE VISIBLE) & ACCURATE TO APPROXIMATELY +/- 0.02m.

- (L): EASEMENT FOR PADMOUNT SUBSTATION VARIABLE WIDTH (VIDE DP1192443)
- (J): RIGHT OF ACCESS VARIABLE WIDTH (VIDE DP1192443)
- (K): EASEMENT FOR UNDERGROUND CABLES 1 WIDE (VIDE DP 1192443)
- (M): EASEMENT FOR DRAINAGE OF WATER VARIABLE WIDTH (VIDE DP 1192443)
- (T): EASEMENT FOR ELECTRICITY PURPOSES 1.0 WIDE
- (R1): RESTRICTION ON THE USE OF LAND (NO.4) - (VIDE DP1192443)
- (R2): RESTRICTION ON THE USE OF LAND (NO.5) - (VIDE DP1192443)
- (R3): RESTRICTION ON THE USE OF LAND (NO.9) - (VIDE DP1192443)

**LANDSCAPE/SOFT AREA CALCULATION OVER SITE**

SITE AREA = 3.186 ha (By DP 1192443)  
 LANDSCAPE/SOFT AREA = 4461m<sup>2</sup> (14%)

*David*  
 David McCulloch  
 Registered Surveyor  
 Surveyor ID: 125

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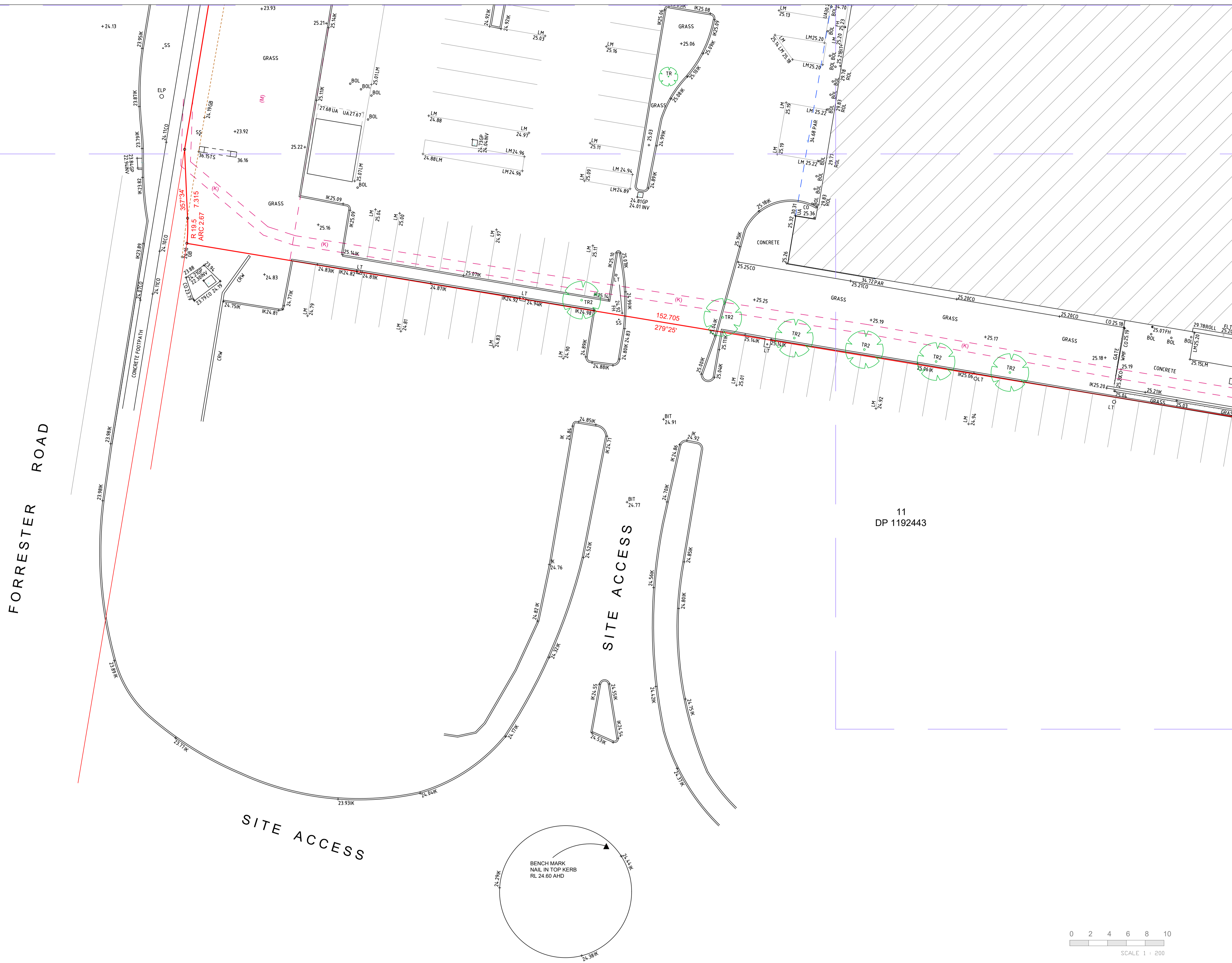
DATE	REV	COMMENTS

PLAN PREPARED FOR:  
**HOME CONSORTIUM**

DATUM : A.H.D	SCALE : NTS @ A1	DATE : 27-11-2020
ORIGIN OF LEVELS : PM 41946	LOCALITY : ST.MARYS	SURVEY : JP
CONTOUR INTERVAL : N/A	L.G.A. : PENRITH	DRAWN : JP
SHEET No. 1 OF 7	REF: <b>76916JP</b>	CHECKED : DM

DESCRIPTION:  
**SITE PLAN SHOWING SELECT FEATURES & LEVELS**  
 OVER LOT 12 IN DP 1192443  
 BEING No. 243 FORRESTER'S ROAD, ST.MARYS, NSW

# 2



11  
DP 1192443

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DATE	REV	COMMENTS

PLAN PREPARED FOR:  
**HOME CONSORTIUM**

DATUM : A.H.D  
ORIGIN OF LEVELS : PM 41946  
CONTOUR INTERVAL : N/A  
SHEET No. 2 OF 7

SCALE : 1:200 @ A1  
LOCALITY : ST.MARYS  
L.G.A. : PENRITH  
REF : **76916JP**

DATE : 27-11-2020  
SURVEY : JP  
DRAWN : JP  
CHECKED : DM

DESCRIPTION:  
**SITE PLAN SHOWING SELECT FEATURES & LEVELS**  
OVER LOT 12 IN DP 1192443  
BEING No. 243 FORRESTER'S ROAD, ST.MARYS, NSW



11  
DP 1192443

3



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DATE	REV	COMMENTS

PLAN PREPARED FOR:  
**HOME CONSORTIUM**

DATUM : A.H.D  
ORIGIN OF LEVELS : PM 41946  
CONTOUR INTERVAL : N/A  
SHEET No. 3 OF 7

SCALE : 1:200 @ A1  
LOCALITY : ST.MARYS  
L.G.A. : PENRITH  
REF: **76916JP**

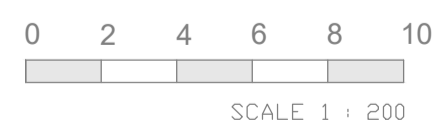
DATE : 27-11-2020  
SURVEY : JP  
DRAWN : JP  
CHECKED : DM

DESCRIPTION:  
**SITE PLAN SHOWING SELECT FEATURES & LEVELS**  
OVER LOT 12 IN DP 1192443  
BEING No. 243 FORRESTERS ROAD, ST.MARYS, NSW

# 4

FORESTER ROAD

12  
DP 1192443  
3.186 ha  
BY TITLE  
CONCRETE PANEL  
WAREHOUSE WITH  
METAL ROOF



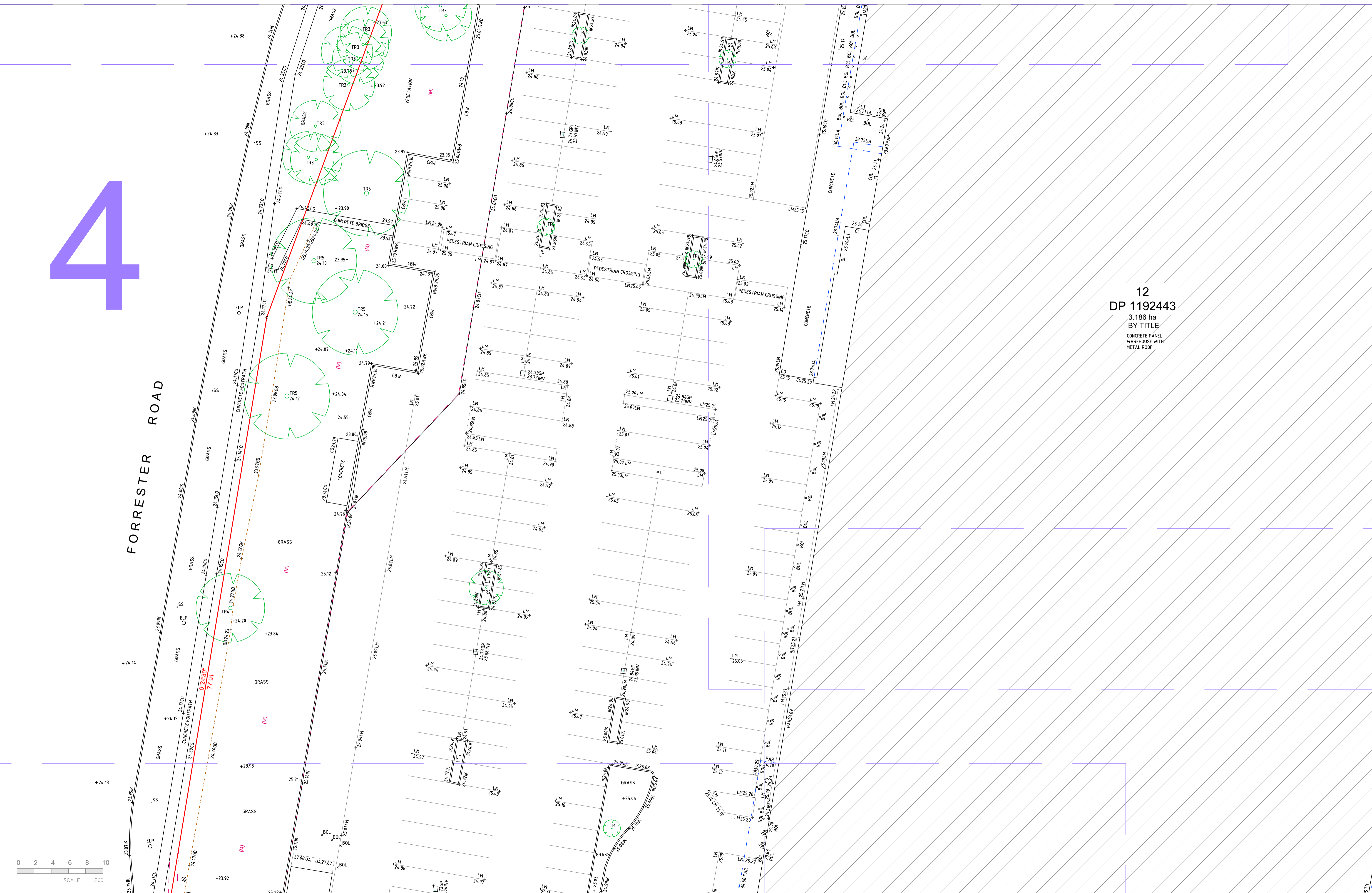
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DATE	REV	COMMENTS

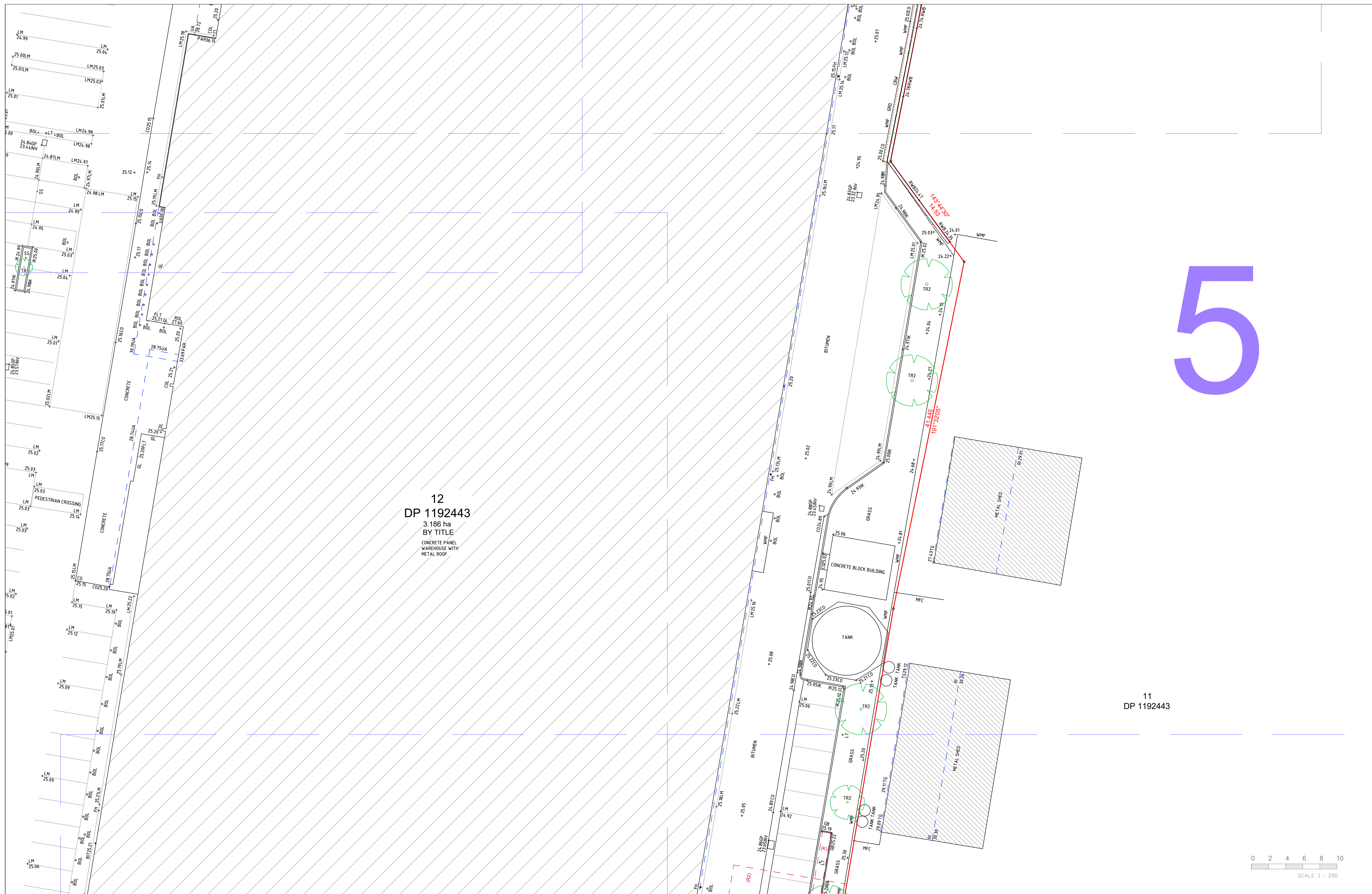
PLAN PREPARED FOR:  
**HOME CONSORTIUM**

DATUM : A.H.D	SCALE : 1:200 @ A1	DATE : 27-11-2020
ORIGIN OF LEVELS : PM 41946	LOCALITY : ST.MARYS	SURVEY : JP
CONTOUR INTERVAL : N/A	L.G.A. : PENRITH	DRAWN : JP
SHEET No. 4 OF 7	REF: 76916JP	CHECKED : DM

DESCRIPTION:  
**SITE PLAN SHOWING SELECT FEATURES & LEVELS**  
 OVER LOT 12 IN DP 1192443  
 BEING No. 243 FORRESTER ROAD, ST.MARYS, NSW



3/05 TG



12  
 DP 1192443  
 3.186 ha  
 BY TITLE  
 CONCRETE PANEL  
 WAREHOUSE WITH  
 METAL ROOF

5

11  
 DP 1192443



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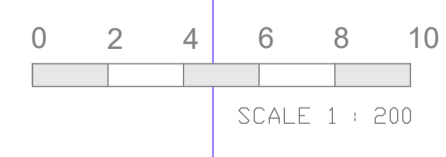
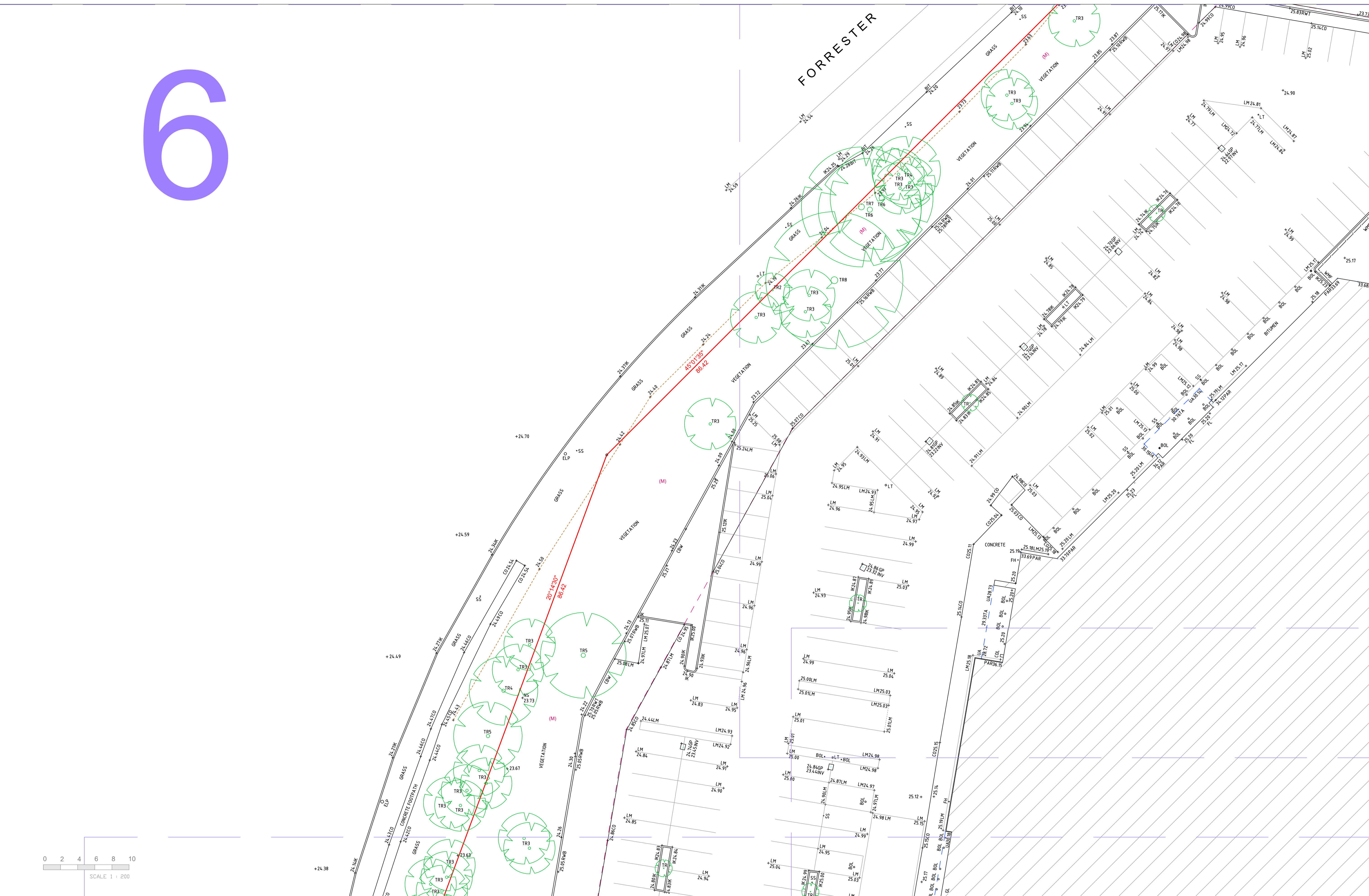
DATE	REV	COMMENTS

PLAN PREPARED FOR:  
**HOME CONSORTIUM**

DATUM : A.H.D	SCALE : 1:200 @ A1	DATE : 27-11-2020
ORIGIN OF LEVELS : PM 41946	LOCALITY : ST.MARYS	SURVEY : JP
CONTOUR INTERVAL : N/A	L.G.A. : PENRITH	DRAWN : JP
SHEET No. 5 OF 7	REF : <b>76916JP</b>	CHECKED : DM

DESCRIPTION:  
**SITE PLAN SHOWING SELECT FEATURES & LEVELS**  
 OVER LOT 12 IN DP 1192443  
 BEING No. 243 FORRESTERS ROAD, ST.MARYS, NSW

# 6



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DATE	REV	COMMENTS

PLAN PREPARED FOR:  
**HOME CONSORTIUM**

DATUM : A.H.D  
 ORIGIN OF LEVELS : PM 41946  
 CONTOUR INTERVAL : N/A  
 SHEET No. 6 OF 7

SCALE : 1:200 @ A1  
 LOCALITY : ST.MARYS  
 L.G.A. : PENRITH  
 REF : **76916JP**

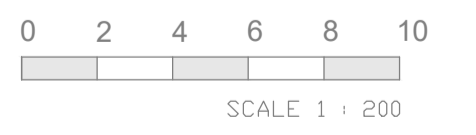
DATE : 27-11-2020  
 SURVEY : JP  
 DRAWN : JP  
 CHECKED : DM

DESCRIPTION:  
**SITE PLAN SHOWING SELECT FEATURES & LEVELS**  
 OVER LOT 12 IN DP 1192443  
 BEING No. 243 FORRESTERS ROAD, ST.MARYS, NSW

2  
DP 598653



7



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DATE	REV	COMMENTS

PLAN PREPARED FOR:  
**HOME CONSORTIUM**

DATUM : A.H.D	SCALE : 1:200 @ A1	DATE : 27-11-2020
ORIGIN OF LEVELS : PM 41946	LOCALITY : ST.MARYS	SURVEY : JP
CONTOUR INTERVAL : N/A	L.G.A. : PENRITH	DRAWN : JP
SHEET No. 7 OF 7	REF: <b>76916JP</b>	CHECKED : DM

DESCRIPTION:  
**SITE PLAN SHOWING SELECT FEATURES & LEVELS**  
OVER LOT 12 IN DP 1192443  
BEING No. 243 FORRESTER'S ROAD, ST.MARYS, NSW