

DEVELOPMENT APPLICATION

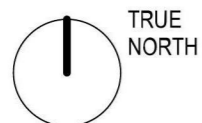
PROPOSED APARTMENTS : 1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD

LOCATION PLAN



DRAWING SCHEDULE

CONTEXT AND ANALYSIS	DA000	COVER SHEET
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	DA002	SITE SURVEY PLAN
	DA003	SITE ANALYSIS PLAN
	DA004	CONTEXT PLAN
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	DA101	BASEMENT LEVEL TWO PLAN
	DA102	BASEMENT LEVEL ONE PLAN
	DA103	GROUND FLOOR PLAN
	DA104	FIRST FLOOR PLAN
	DA105	SECOND FLOOR TO FIFTH FLOOR PLAN
	DA106	SIXTH FLOOR PLAN
	DA107	GROUND FLOOR PLAN - ADAPTABLE MODE
	DA108	FIRST FLOOR PLAN - ADAPTABLE MODE
	DA109	SECOND FLOOR TO FIFTH FLOOR PLAN - ADAPTABLE MODE
	DA110	SIXTH FLOOR PLAN - ADAPTABLE MODE
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	DA201	SECTION BB
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	DA403	COMMUNAL OPEN SPACE DIAGRAM
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	DA405	LANDSCAPE DIAGRAM
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TRUE
NORTH

No.	Date	REVISIONS	By
A	0/0/16	DEVELOPMENT APPLICATION ISSUE	AA

PROJECT DEVELOPER

pamada

ARCHITECT:
Eeles Trelease pty ltd architects

PLANNING **33F** Planners

LANDSCAPE ARCHITECT **dila**

Drawn By: AA
Reviewed By: RY/BE
Dig Date:
CAD File Name:

HARGRAVE APARTMENTS
1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD

CLIENT : **pamada**

COVER SHEET

SCALE 1:200 @ A1 1:400 @ A3

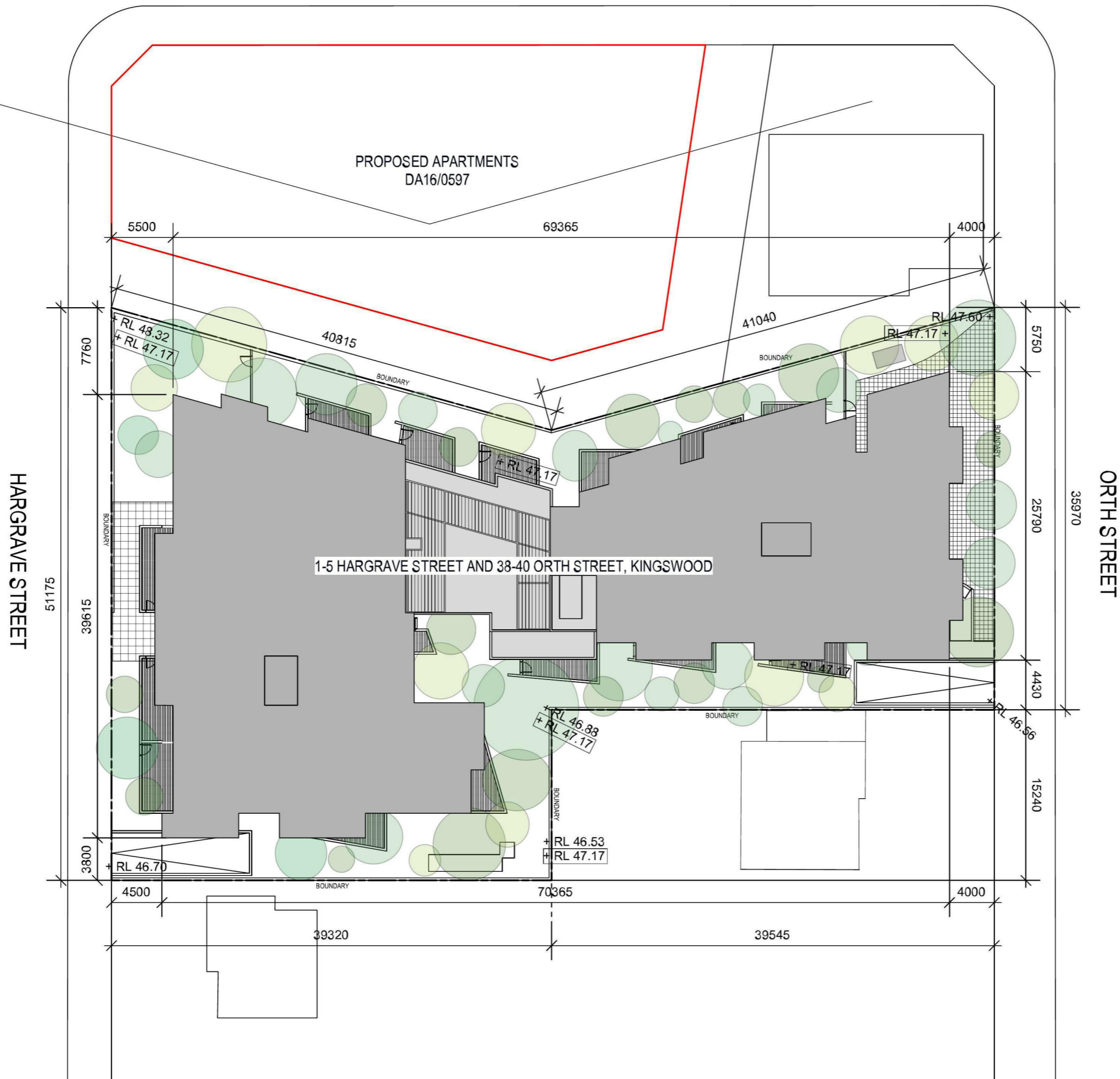
Project No.

1609

Drawing No. Revision #

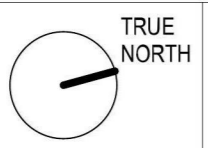
DA-000 A

SOMERSET STREET



+ RL XXXX = Existing RL
 + RL XXXX = Proposed RL

TREES SHOWN ARE NOMINAL.
 FOR EXISTING, REMOVED TREES
 AND LANDSCAPE DESIGN, REFER TO
 LANDSCAPE DESIGNER'S DRAWING.



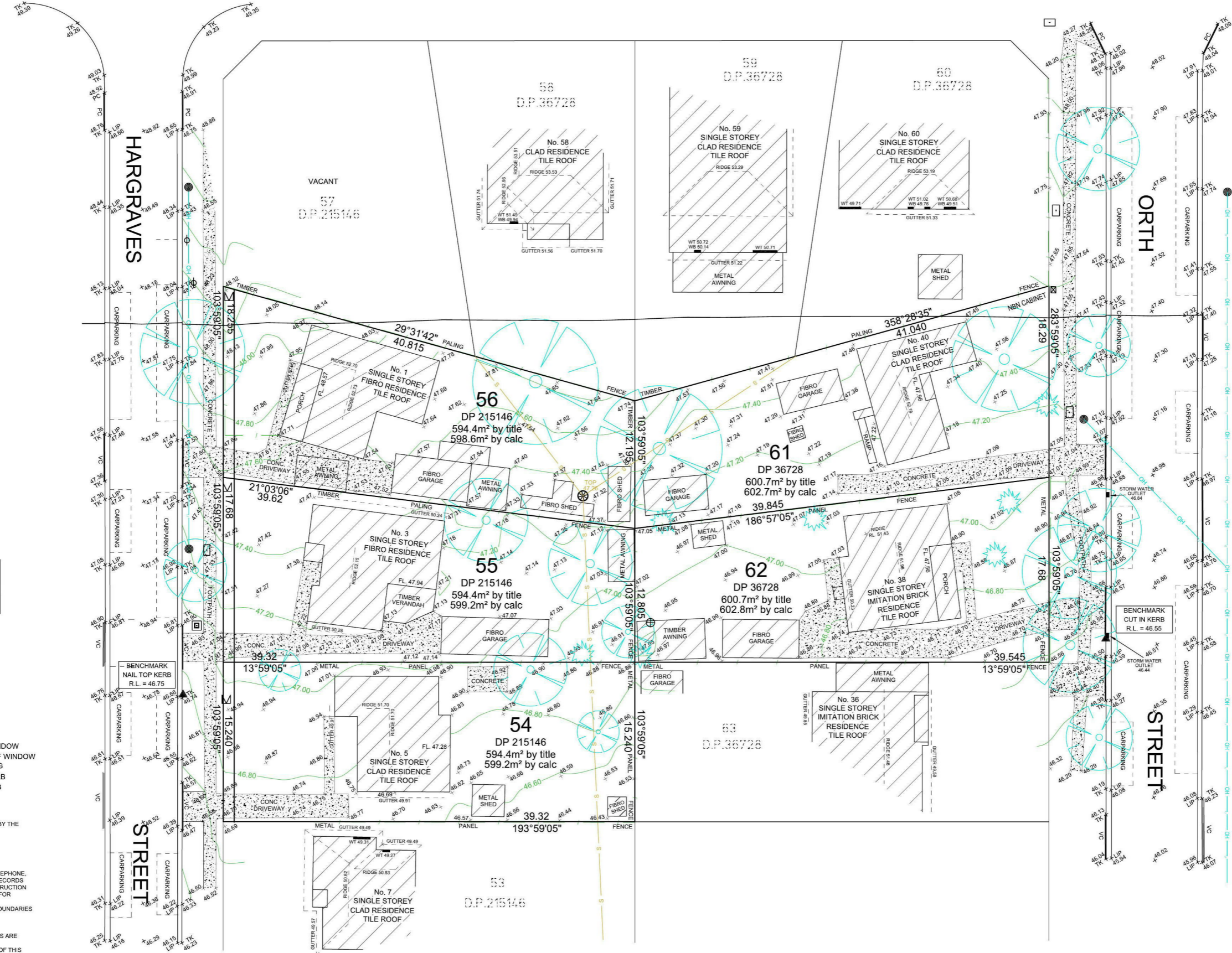
No.	Date	REVISIONS	By
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PROJECT DEVELOPER
pamada

ARCHITECT:
Eeles Trelease pty ltd architects
 PLANNING **33F** Planners
 LANDSCAPE ARCHITECT **dila**

Drawn By: AA
 Reviewed By: RY/BE
 Dwg Date:
 CAD File Name:

Project No. 1609
HARGRAVE APARTMENTS
 1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD
 CLIENT: **pamada**
SITE PLAN
 SCALE 1:200 @ A1 1:400 @ A3
 Drawing No. DA-001 A
 Revision #



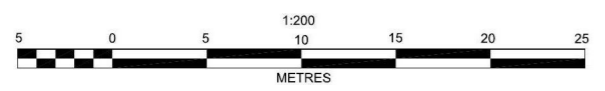
- DENOTES SHRUB
- HYDRANT
- SEWER MANHOLE
- COMMS. PIT
- SIGN POST
- WATER METER
- POWER POLE
- SEWER INSPECTION POINT



- APPROX SEWER
- OVERHEAD POWER

- WT DENOTES LEVEL AT TOP OF WINDOW
- WB DENOTES LEVEL AT BOTTOM OF WINDOW
- VC DENOTES VEHICULAR CROSSING
- TK DENOTES LEVEL AT TOP OF KERB
- LIP DENOTES LEVEL AT LIP OF KERB

- NOTES:
1. THIS DETAIL SURVEY IS NOT A 'SURVEY' AS DEFINED BY THE SURVEYING & SPATIAL INFORMATION ACT, 2002
 2. DATUM OF LEVELS - AUSTRALIAN HEIGHT DATUM
 3. ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY THE OFFICE OF LAND & PROPERTY INFORMATION (NSW) AND ARE SUBJECT TO FINAL SURVEY.
 4. NO SEARCH MADE OF LOCATION AND NATURE OF TELEPHONE, ELECTRICITY, SEWER, WATER, GAS AND DRAINAGE RECORDS AT THE RELEVANT AUTHORITY. PRIOR TO ANY CONSTRUCTION THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF SERVICES.
 5. THE POSITION OF IMPROVEMENTS IN RELATION TO BOUNDARIES IS DIAGNOSTIC ONLY.
 6. VISIBLE, ACCESSIBLE SERVICES LOCATED ONLY
 7. SIGNIFICANT TREES LOCATED ONLY
 8. NEIGHBOURING HOUSES, RIDGE AND ROOF POSITIONS ARE APPROXIMATE ONLY
 9. THIS TITLE BLOCK AND NOTES IS AN INTEGRAL PART OF THIS DRAWING WHICH IS NOT TO BE REMOVED.
 10. CONTOURS ARE INDICATIVE ONLY. SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.



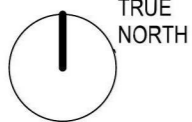
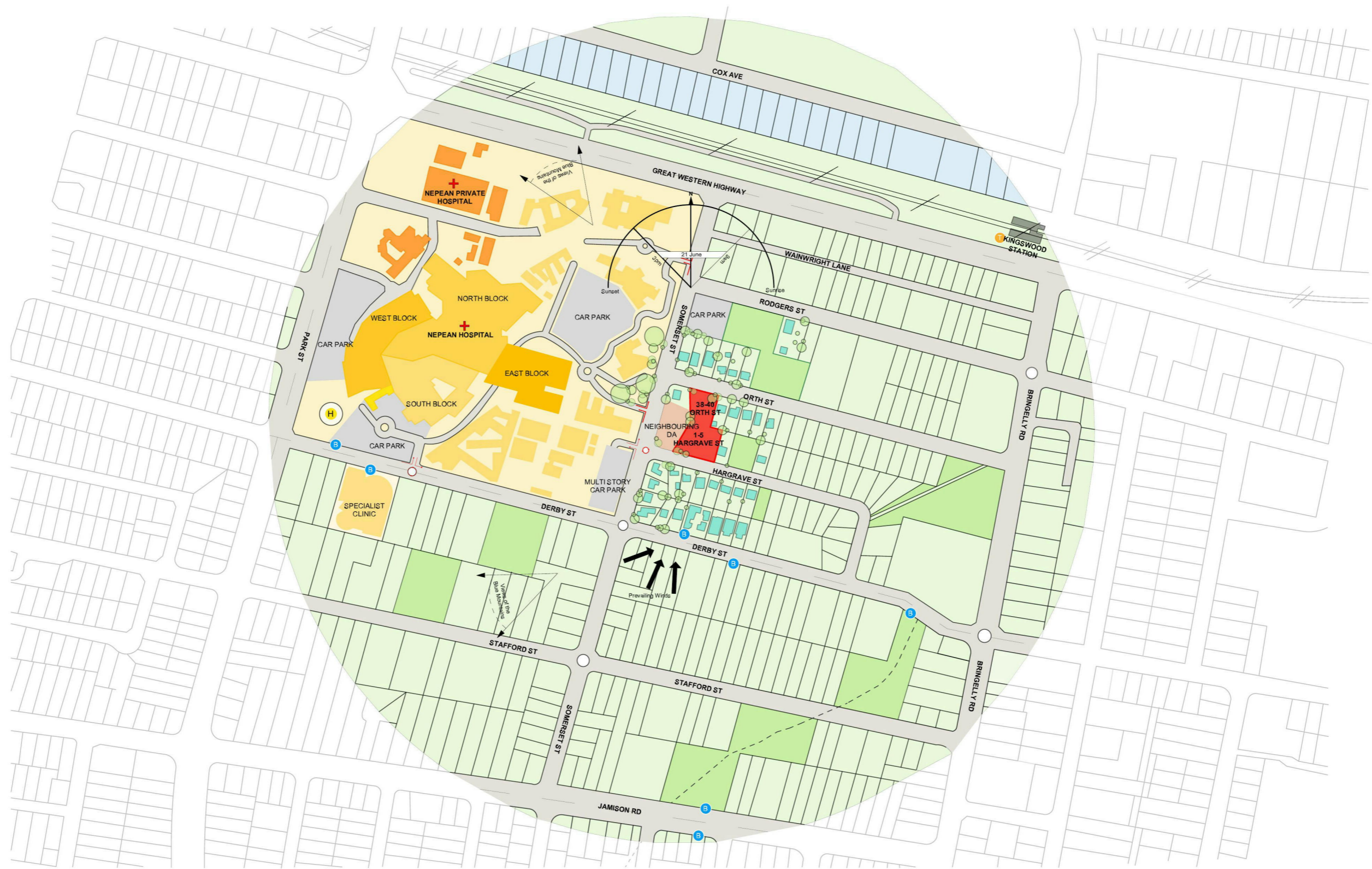
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RHCO RICHARD HOGAN & CO.
 SURVEYING & DEVELOPMENT CONSULTANTS
 ABN 59 082 453 165
 P.O. BOX 4365, Penrith Plaza, NSW 2750.
 Phone: (02) 4732 6599
 Web: www.rhco.com.au Email: admin@hoganco.com.au

SURVEYOR: SR
 DRAWN: DM
 REDUCTION RATIO: 1:200 @ A1
 CONTOUR INTERVAL: 0.2m
 SHEET 1 OF 1

ORIGIN OF LEVELS:
 PM 30119
 R.L. = 43.443 (SCIMS)
 DATUM: AUSTRALIAN HEIGHT DATUM
 DATE: 5.05.2016
 VERSION No.: A

PLAN OF DETAIL AND LEVELS OVER LOTS 61 & 62 IN DP 36728 AND LOTS 54, 55 & 56 IN DP 215146 BEING No. 38 & 40 ORTH ST AND No. 1, 3 & 5 HARGRAVES ST, KINGSWOOD	
CLIENT:	PAMADA - MARK DIXON
L.G.A.:	PENRITH
JOB REF:	16225



TRUE NORTH

No.	Date	DEVELOPMENT APPLICATION ISSUE	By
A	9/9/16	DEVELOPMENT APPLICATION ISSUE	AA

PROJECT DEVELOPER

pamada

ARCHITECT:
Eeles Trelease pty ltd architects

PLANNING **33F** Planners

LANDSCAPE ARCHITECT **dila**

Drawn By: AA
Reviewed By: RY/BE
Dwg Date:
CAD File Name:

HARGRAVE APARTMENTS
1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD

CLIENT: **pamada**
SITE ANALYSIS PLAN

SCALE 1:5000 @ A3

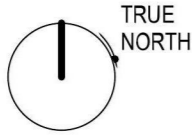
Project No.

1609

Drawing No. Revision #

DA-003 A

- B4 MIXED USE
- R3 MEDIUM DENSITY
- RE1 PUBLIC RECREATION
- SP2 INFRASTRUCTURE



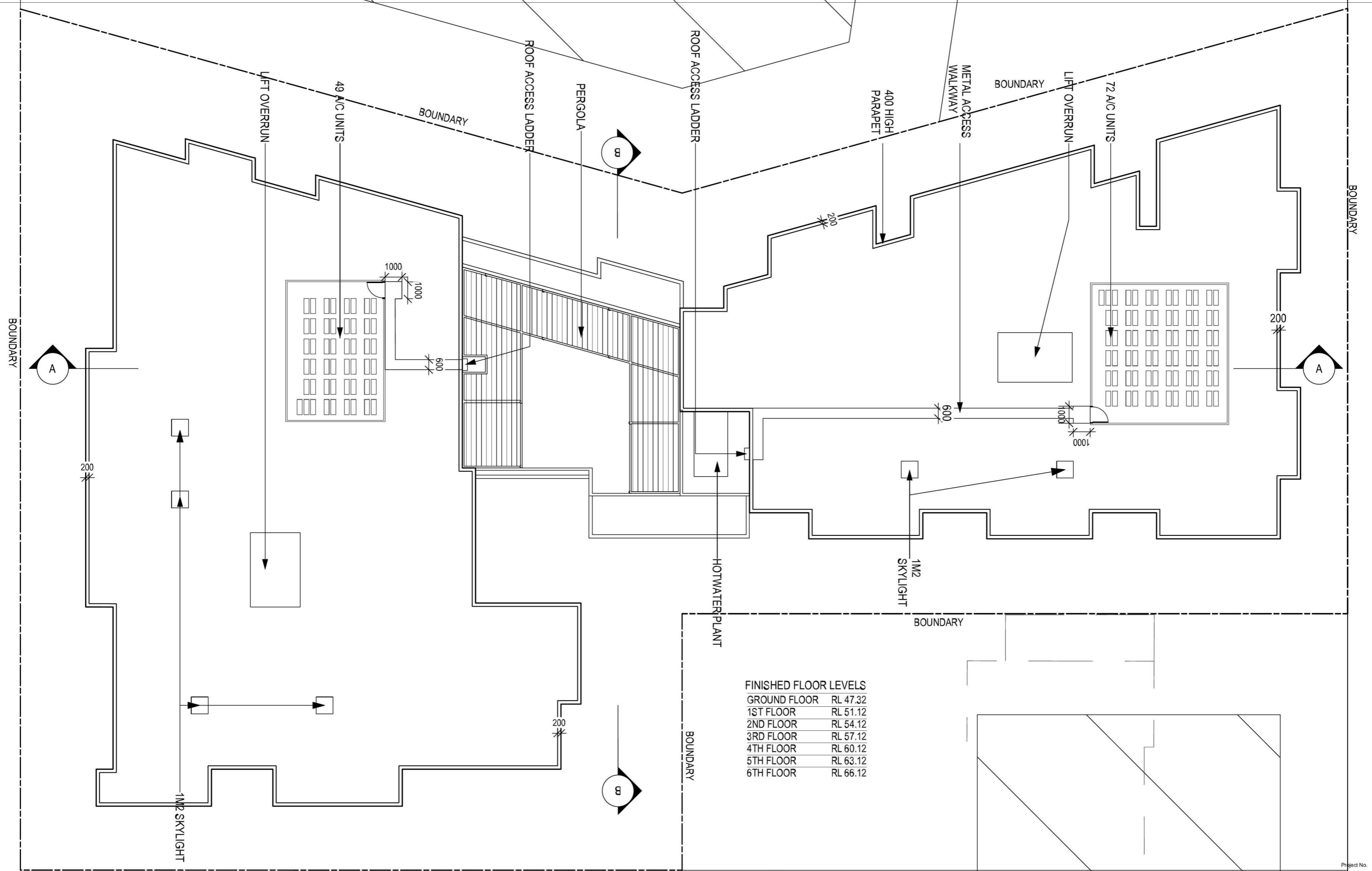
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PROJECT DEVELOPER
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ARCHITECT:
Eeles Trelease pty ltd architects
 PLANNING **33F** Planners
 LANDSCAPE ARCHITECT **dila**

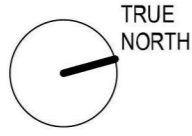
Drawn By: AA
 Reviewed By: RY/BE
 Dwg Date:
 CAD File Name:

Project No. **1609**
HARGRAVE APARTMENTS
 1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD
 CLIENT: **pamada**
CONTEXT PLAN
 SCALE 1:1500 @ A1 1:3000 @ A3
 Drawing No. **DA-004 A** Revision #



FINISHED FLOOR LEVELS

GROUND FLOOR	RL 47.32
1ST FLOOR	RL 51.12
2ND FLOOR	RL 54.12
3RD FLOOR	RL 57.12
4TH FLOOR	RL 60.12
5TH FLOOR	RL 63.12
6TH FLOOR	RL 66.12



LEGEND

■	- 1 BED APARTMENT
■	- 2 BED APARTMENT

LV - LIVING
D - DINING
B1 - BEDROOM
B2 - BEDROOM
BT - BATHROOM
L - LAUNDRY
K - KITCHEN
S - STUDY/STORAGE
ST - STORAGE

No.	Date	REVISIONS	By
A	09/16	DEVELOPMENT APPLICATION ISSUE	AA

PROJECT DEVELOPER

ARCHITECT:
Eeles Trelease pty ltd architects

PLANNING

LANDSCAPE ARCHITECT

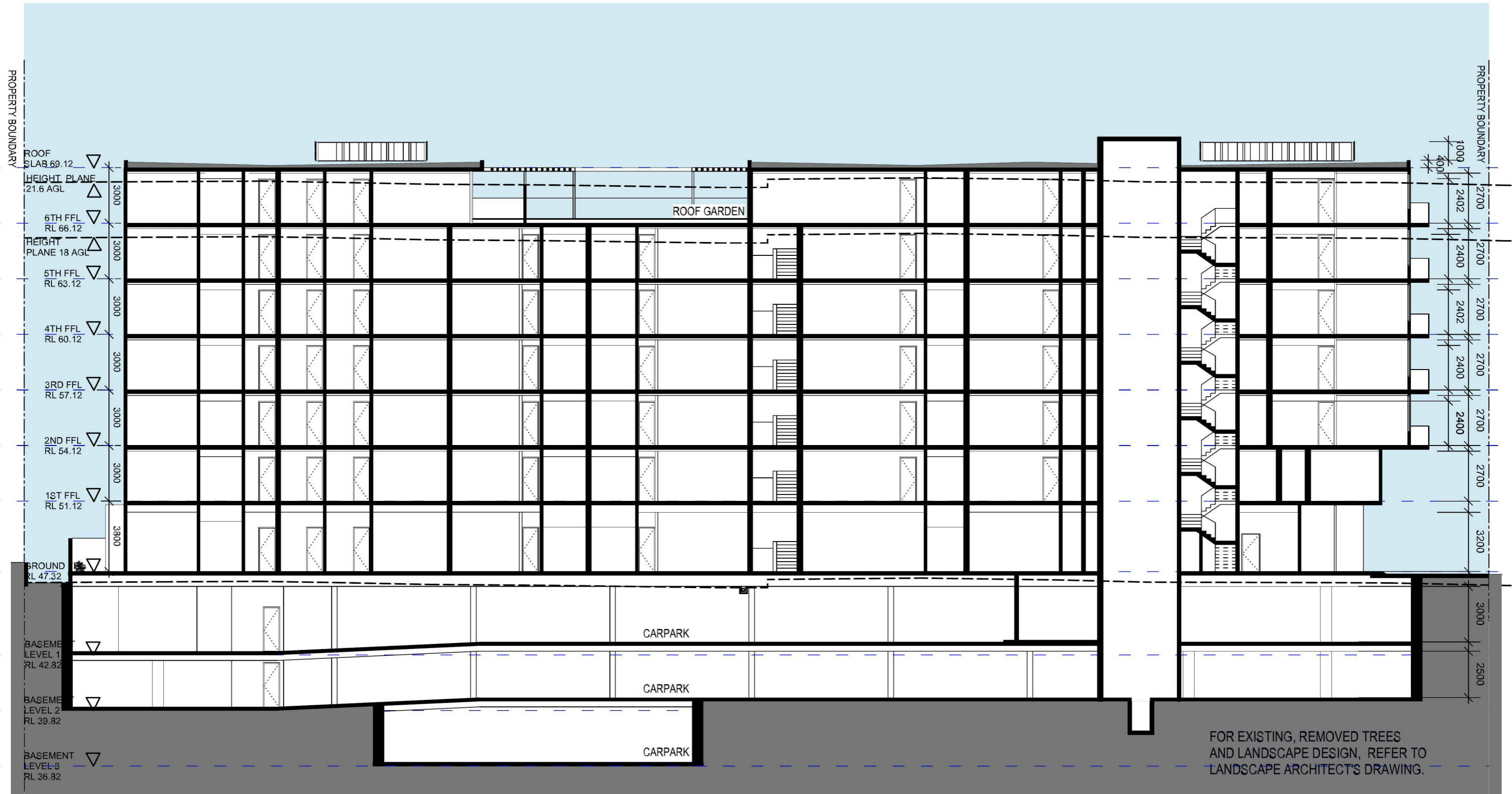
Drawn By	AA
Reviewed By	RY/BE
Dwg Date:	
CAD File Name	

HARGRAVE APARTMENTS
1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD 1609

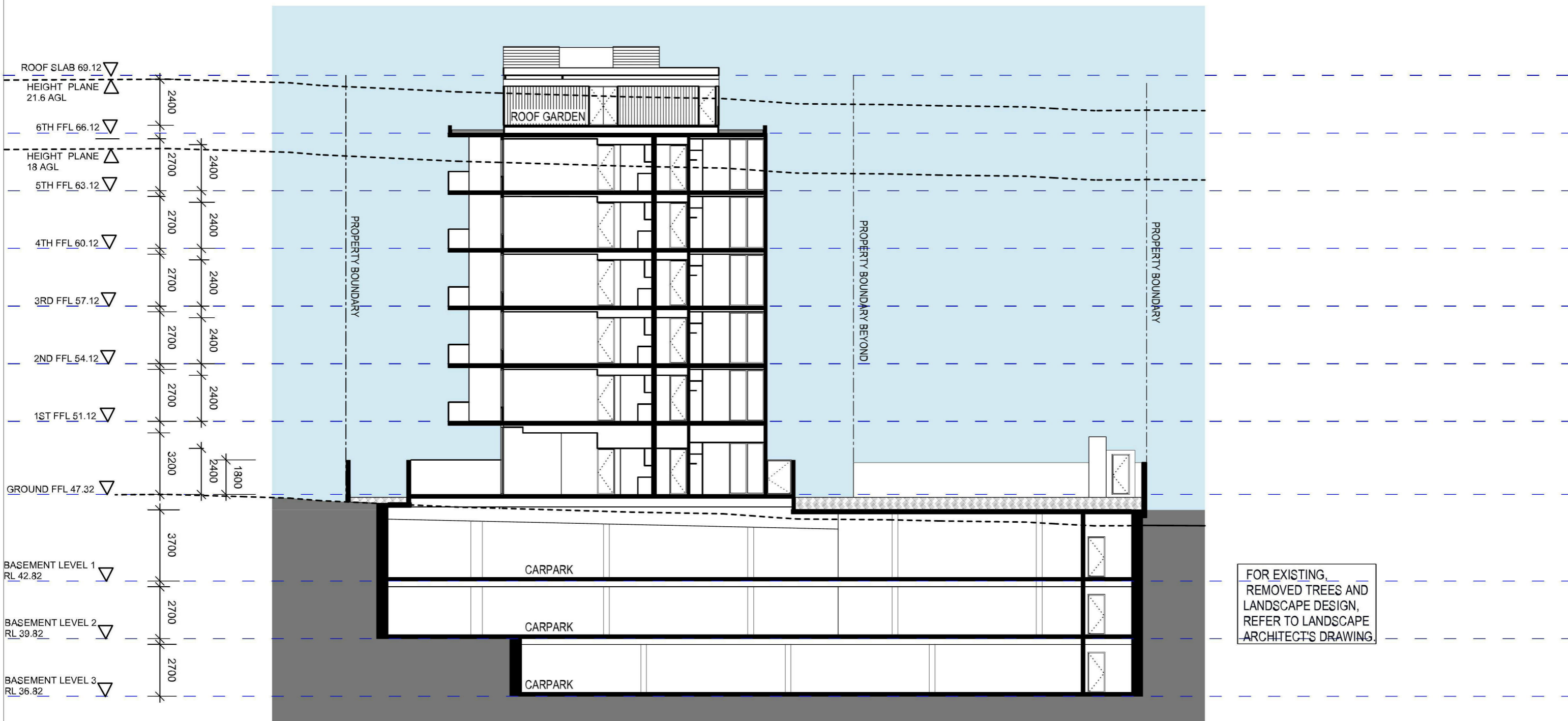
CLIENT : **pamada** Drawing No. Revision #

ROOF PLAN DA-111 A

SCALE 1:100 @ A1 1:200 @ A3



No. Date REVISIONS By A 16/09/16 DEVELOPMENT APPLICATION ISSUE CR	PROJECT DEVELOPER	ARCHITECT:	Drawn By	AA	Project No.	1609	
		Eeles Trelease pty ltd architects	Reviewed By	RY/BE	HARGRAVE APARTMENTS 1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD		
		PLANNING		Dwg Date:		CLIENT :	pamada
		LANDSCAPE ARCHITECT		CAD File Name		SECTION AA	DA-200 A
					SCALE 1:100 @ A1 1:200 @ A3		



FOR EXISTING, REMOVED TREES AND LANDSCAPE DESIGN, REFER TO LANDSCAPE ARCHITECT'S DRAWING.

Proj Date: 16/09/16 No. Date REVISIONS By	PROJECT DEVELOPER pamada	ARCHITECT: Eeles Trelease pty ltd architects PLANNING 33F Planners LANDSCAPE ARCHITECT dila	Drawn By: AA Reviewed By: RY/BE Dwg Date: CAD File Name:	HARGRAVE APARTMENTS 1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD CLIENT: pamada SECTION BB SCALE 1:100 @ A1 1:200 @ A3	Project No. 1609 Drawing No. DA-201 A Revision #
	DEVELOPMENT APPLICATION ISSUE CR	16/09/16	A	1609	1609
	16/09/16	A	1609	1609	1609
	16/09/16	A	1609	1609	1609



Proj Date: 16/09/16 No. Date REVISIONS By	PROJECT DEVELOPER 	ARCHITECT: Eeles Trelease pty ltd architects PLANNING  LANDSCAPE ARCHITECT 	Drawn By: AA Reviewed By: RY/BE Dwg Date: CAD File Name:	HARGRAVE APARTMENTS 1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD CLIENT: pamada WEST ELEVATION SCALE 1:100 @ A1 1:200 @ A3	Project No. 1609 Drawing No. DA-300 A Revision #
	A 16/09/16 DEVELOPMENT APPLICATION ISSUE CR				



- A - PRE-FINISHED VERTICAL METAL CLADDING
- B - PRE-FINISHED HORIZONTAL METAL CLADDING
- C - SLIDING VERTICAL METAL LOUVRES
- D - VERTICAL LOUVRE FOR SOLAR HEAT AND PRIVACY
- E - GLAZED BALUSTRADE
- F - PAINTED RENDERED MASONRY SPANDREL
- G - POWDERCOATED ALUMINIUM FRAMED GLAZING
- H - COURTYARD WALLS/HORIZONTAL TIMBER SLATS WITH PLANTING BEHIND
- I - CERAMIC EXTERNAL TILES
- J - PAINTED RENDER MASONRY WALLS

PROJECT DEVELOPER 	ARCHITECT: Eeles Trelease pty ltd architects	Drawn By: AA Reviewed By: RY/BE Dwg Date: CAD File Name:	PROJECT NO. 1609
	PLANNING: 	CLIENT: pamada	DRAWING NO. DA-301 A
LANDSCAPE ARCHITECT: 	SOUTH ELEVATION SCALE 1:100 @ A1 1:200 @ A3		REVISION #



PROJECT DEVELOPER 	ARCHITECT: Eeles Trelease pty ltd architects	Drawn By: AA Reviewed By: RY/BE Dwg Date: CAD File Name:	HARGRAVE APARTMENTS 1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD CLIENT: pamada	Project No. 1609
	PLANNING:			LANDSCAPE ARCHITECT:
No. A Date 16/09/16 REVISIONS DEVELOPMENT APPLICATION ISSUE By CR	SCALE 1:100 @ A1 1:200 @ A3			



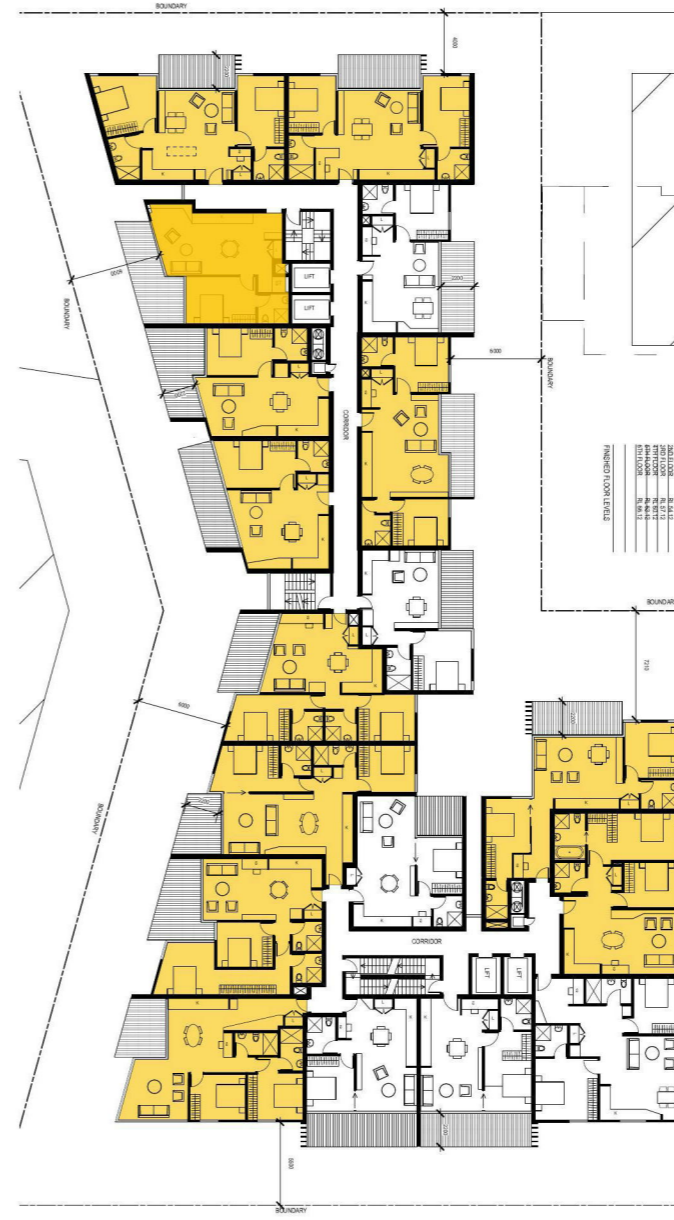
NOTE FLOOR LEVELS REPRESENT FINISHED FLOOR LEVELS IN METRES TO AUSTRALIAN HEIGHT DATUM RL	PROJECT DEVELOPER 	ARCHITECT: Eeles Trelease pty ltd architects	Drawn By: AA Reviewed By: RY/BE Dig Date: CAD File Name:	HARGRAVE APARTMENTS 1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD CLIENT: pamada	Project No. 1609								
		PLANNING:  LANDSCAPE ARCHITECT: 			Drawing No. Revision # DA-303 A								
REVISIONS <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>REVISIONS</th> <th>By</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>16/09/16</td> <td>DEVELOPMENT APPLICATION ISSUE</td> <td>CR</td> </tr> </tbody> </table>		No.	Date	REVISIONS	By	A	16/09/16	DEVELOPMENT APPLICATION ISSUE	CR	EAST ELEVATION SCALE 1:100 @ A1 1:200 @ A3			
No.	Date	REVISIONS	By										
A	16/09/16	DEVELOPMENT APPLICATION ISSUE	CR										



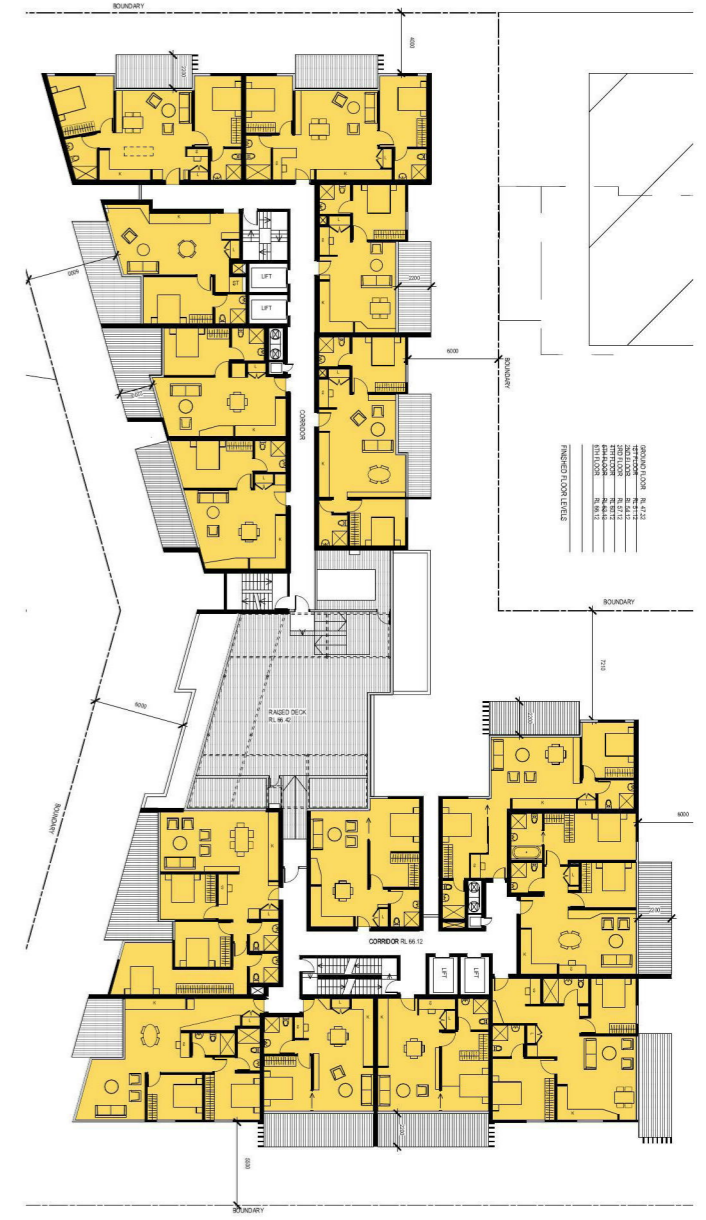
GROUND FLOOR
= 10 APARTMENTS



FIRST FLOOR
= 12 APARTMENTS



SECOND TO FIFTH FLOOR
= 12 APARTMENTS EACH FLOOR
= 48 APARTMENTS



SIXTH FLOOR
= 15 APARTMENTS EACH FLOOR

85 APARTMENTS RECEIVE 2 HOURS SOLAR ACCESS
BETWEEN 8AM & 3PM ON 21 JUNE

85 APARTMENTS/121 APARTMENTS TOTAL = 70%



No.	Date	REVISIONS	By
A	09/16	DEVELOPMENT APPLICATION ISSUE	AA

PROJECT DEVELOPER
pamada

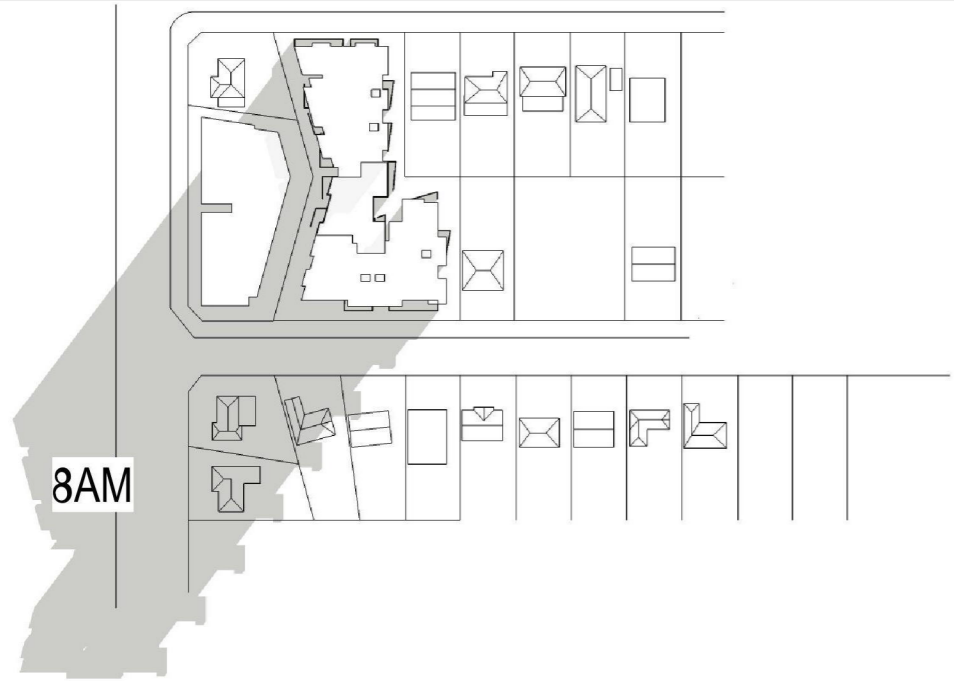
ARCHITECT:
Eeles Trelease pty ltd architects
PLANNING **33F Planners**
LANDSCAPE ARCHITECT **dila**

Drawn By: AA
Reviewed By: RY/BE
Dwg Date:
CAD File Name:

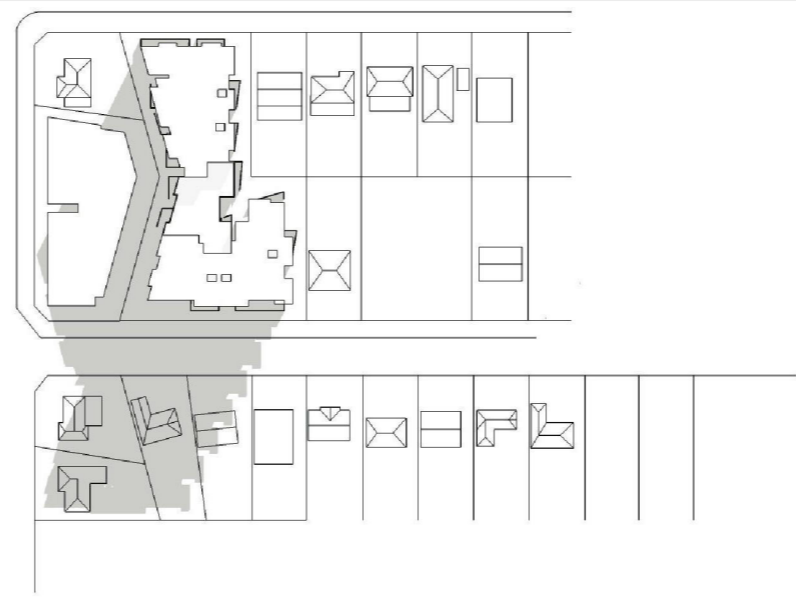
HARGRAVE APARTMENTS
1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD
CLIENT: **pamada**
SOLAR ACCESS ANALYSIS
SCALE 1:500 @ A3

Project No. 1609

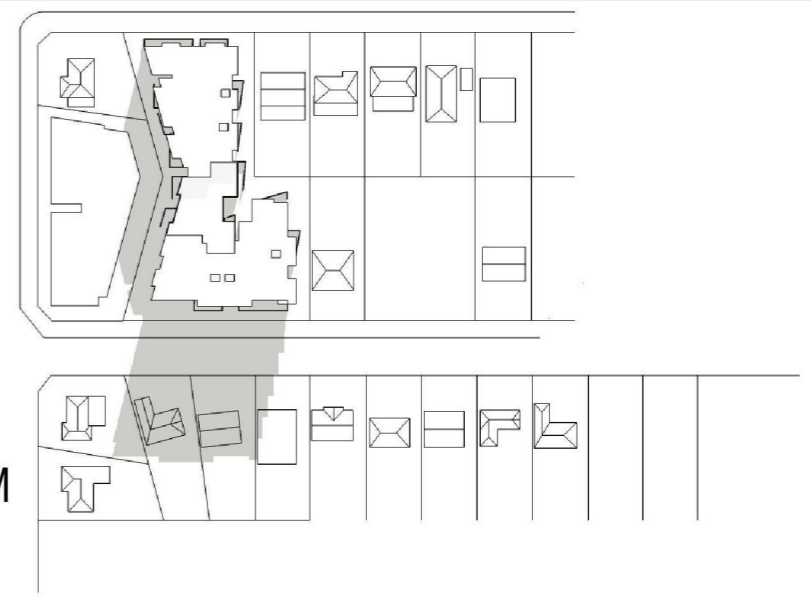
Drawing No. DA-400 A
Revision #



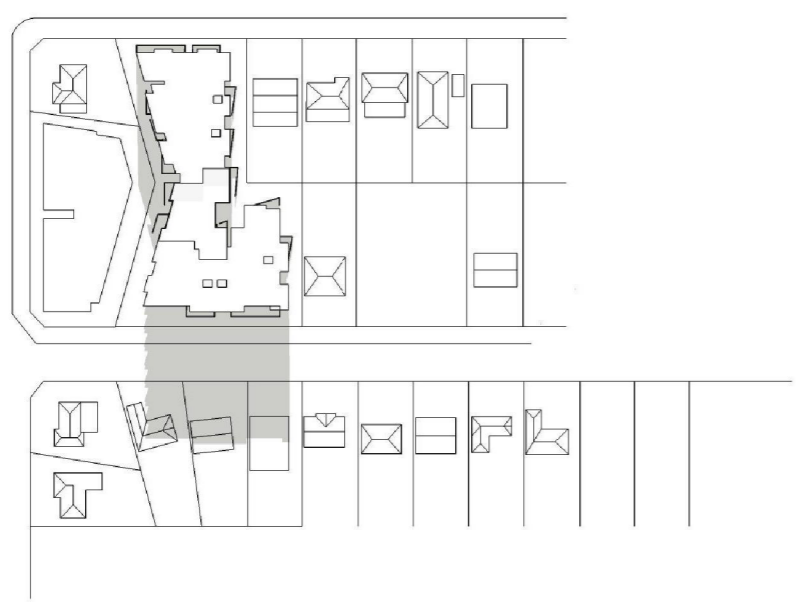
8AM



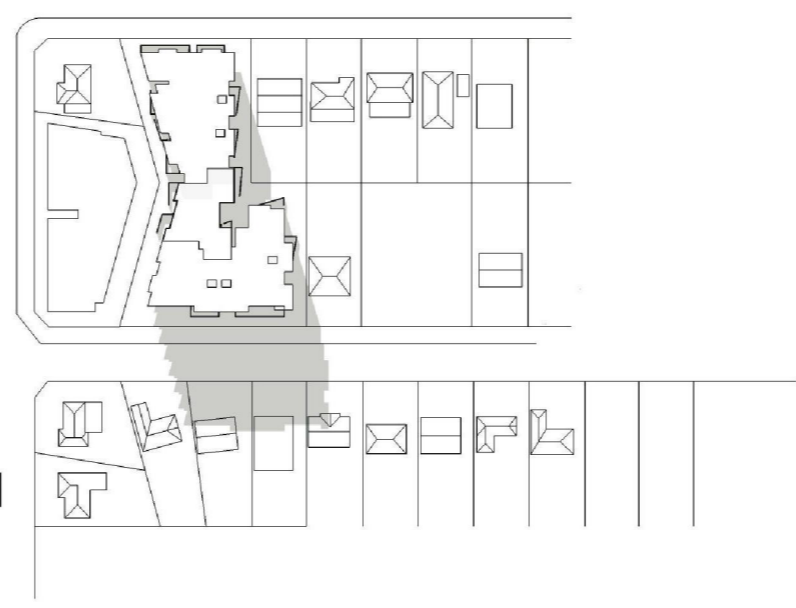
9AM



10AM



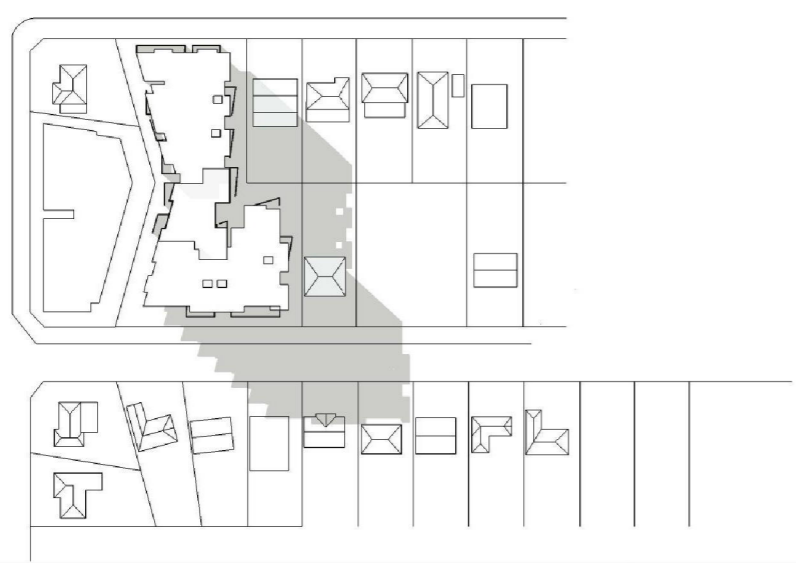
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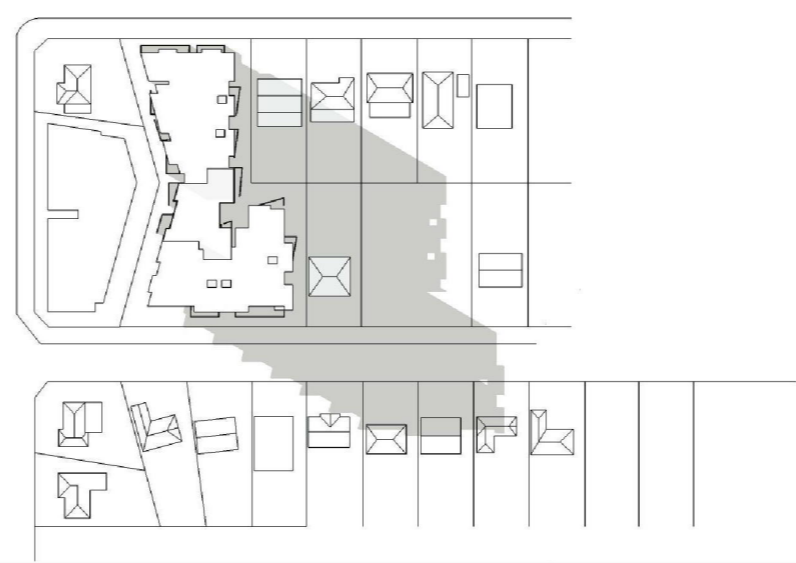
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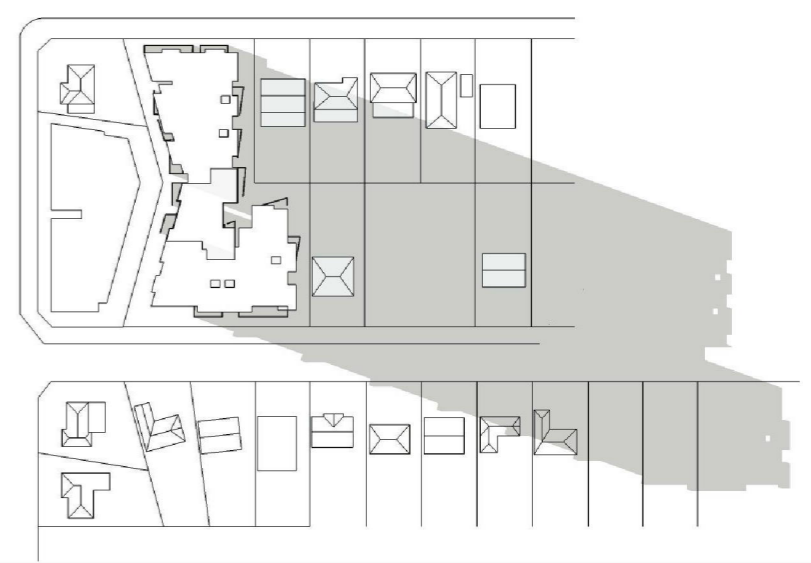
1PM



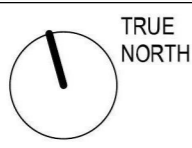
2PM



3PM



4PM



TRUE NORTH

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ARCHITECT:
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 LANDSCAPE ARCHITECT **dila**

Drawn By: AA
 Reviewed By: RY/BE
 Dwg Date:
 CAD File Name:

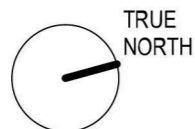
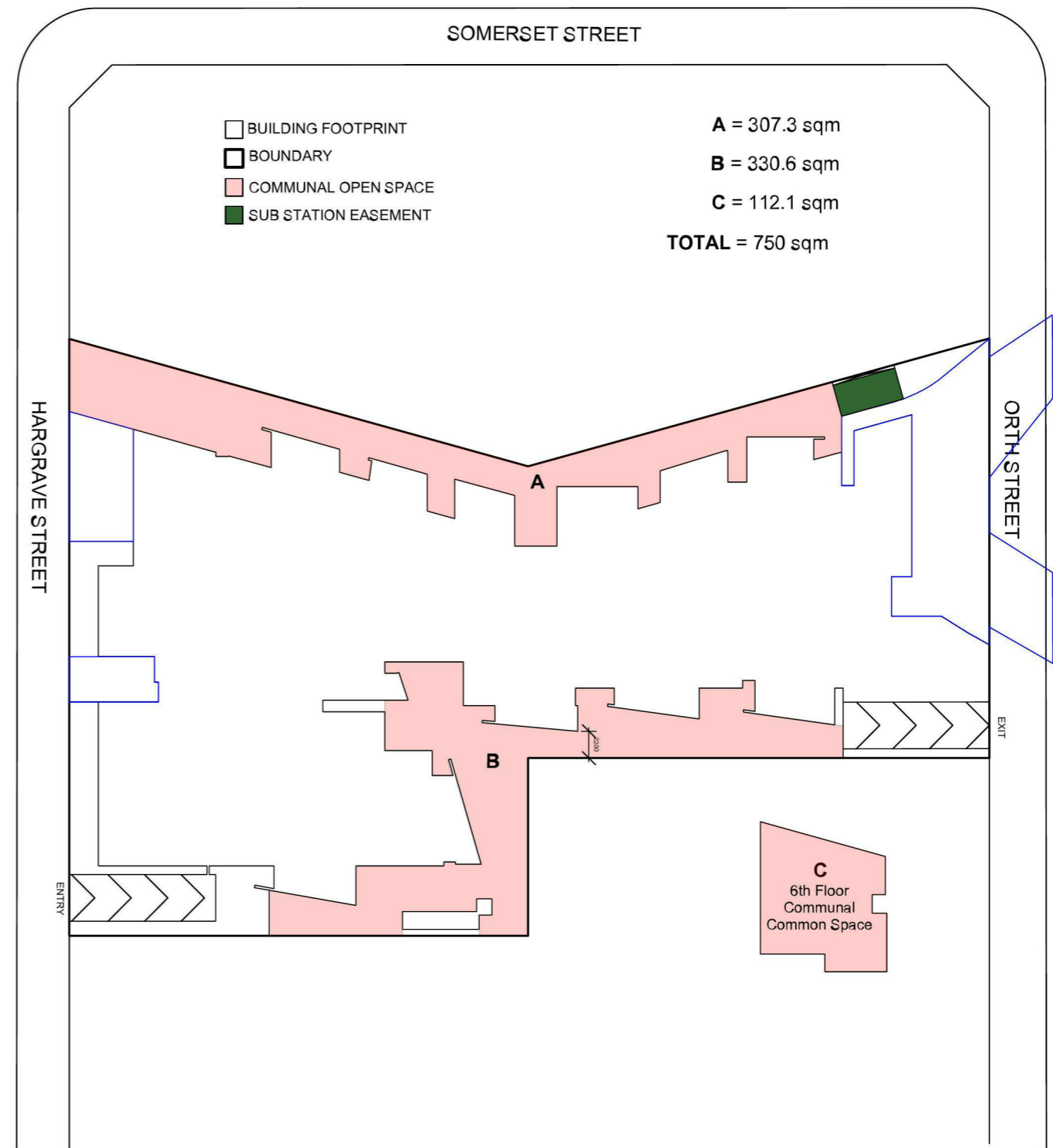
Project No. **1609**
HARGRAVE APARTMENTS
 1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD
 CLIENT: **pamada**
 OVERSHADOWING ANALYSIS - 21 JUNE
 SCALE

Drawing No. **DA-401 A** Revision #

DCP RESIDENTIAL				
CRITERIA	CLAUSE	REQUIRED	PROPOSED	COMMENTS
DCP requires a centrally located communal open space, accessible and available to all residents, comprising 10% of the minimum landscaped area requirement	2.4.8	10% x 35 = 3.5% 3.5% x 3002sqm = 105 sqm	Ground Floor = 637.9 sqm 21.5% 6th Floor Communal Common Space = 112.1 sqm 3.7% TOTAL = 750 sqm 25% of site area	
Minimum landscape requirement is 35% of total site area	2.5.5			

DCP MEDICAL PRECINCT				
CRITERIA	CLAUSE	REQUIRED	PROPOSED	COMMENTS
No criteria				

APARTMENT DESIGN GUIDE				
CRITERIA	CLAUSE	REQUIRED	PROPOSED	COMMENTS
Communal open space has a minimum area equal to 25% of the site	3D	25% x 3002.4 = 750 sqm	Ground Floor = 637.9 sqm 21.5% 6th Floor Communal Common Space = 112.1 sqm 3.7% TOTAL = 750 sqm 25% of site area	Total Site Area = 3002.4 sqm
Communal open space should have a minimum dimension of 3m. Larger developments should consider greater dimensions	3D	3m	Complies except for area which is less than 2m. Refer to Plan.	
Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3pm of 21 June (mid winter)	3D	50% direct sunlight	Generally complies. 6th Floor Communal Common Space is principal useable part of open space.	Achieved
Communal open space should be co-located with deep soil areas	3D		Majority achieved in western area	



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Eeles Trelease pty ltd architects
PLANNING **33F** Planners
LANDSCAPE ARCHITECT **dila**

Drawn By: AA
Reviewed By: RY/BE
Dwg Date:
CAD File Name:

HARGRAVE APARTMENTS
1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD

Project No.

1609

CLIENT: **pamada**
COMMUNAL OPEN SPACE DIAGRAM

Drawing No. Revision #

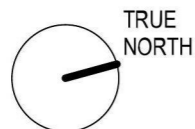
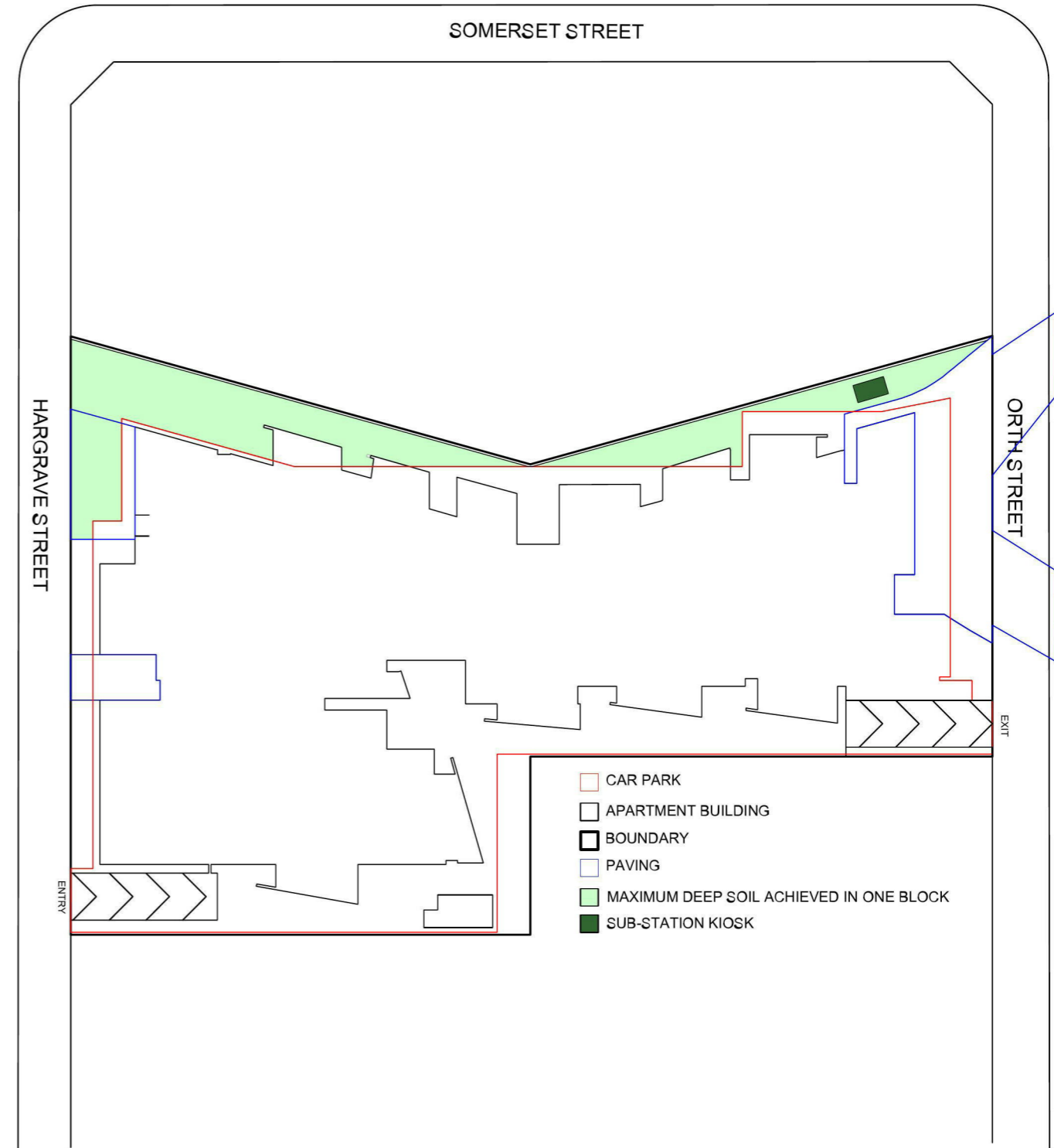
DA-403 A

SCALE 1:500 @ A3

DCP RESIDENTIAL				
CRITERIA	CLAUSE	REQUIRED	PROPOSED	COMMENTS
No criteria				

DCP MEDICAL PRECINCT				
CRITERIA	CLAUSE	REQUIRED	PROPOSED	COMMENTS
DCP minimum deep soil area requirements for commercial and medical mixed use is 10% of total site area. Total site area = 3002 sqm	12.3.4	10% x 3002.4 sqm = 300.2 sqm	█ = 267.8 sqm 8.9%	
If deep soil cannot be achieved in one continuous block, zones of 6m in any direction is required	12.3.4	1 continuous block or 6m in any direction	Continuous landscaping on western side but not continuous deep soil.	

APARTMENT DESIGN GUIDE				
CRITERIA	CLAUSE	REQUIRED	PROPOSED	COMMENTS
ADG minimum deep soil requirement is 7% of total site area	3E	7% x 3002.4 sqm = 210.1 sqm	█ = 267.8 sqm 8.9%	Exceeds as minimum percentage meets ADG requirement



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PLANNING

LANDSCAPE ARCHITECT

Drawn By: AA
Reviewed By: RY/BE
Dwg Date:
CAD File Name:

HARGRAVE APARTMENTS
1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD 1609

CLIENT: **pamada**

DEEP SOIL DIAGRAM

SCALE 11:500 @ A3

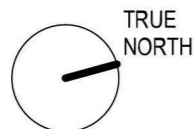
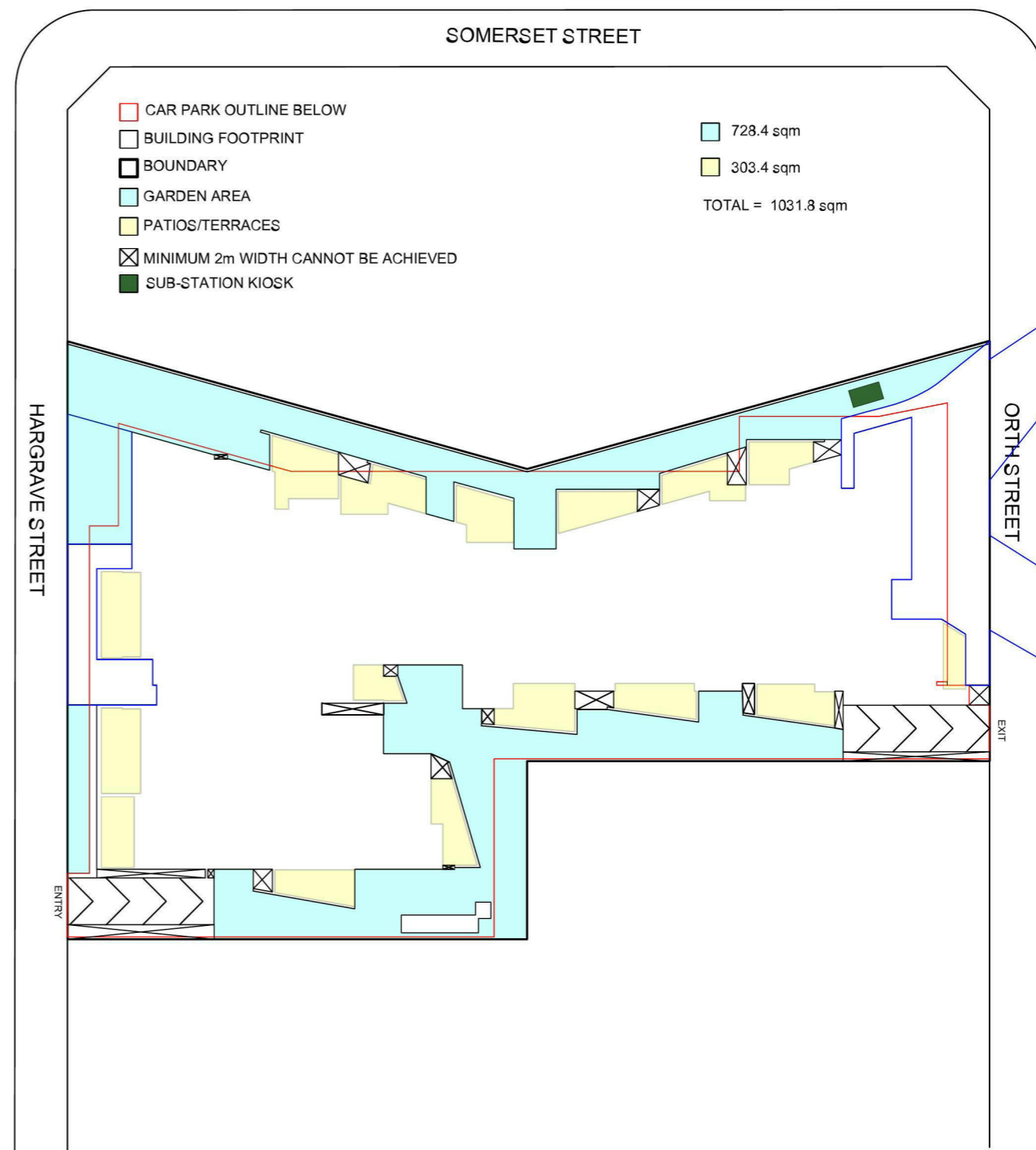
Drawing No. DA-404 A

Revision #

DCP RESIDENTIAL				
CRITERIA	CLAUSE	REQUIRED	PROPOSED	COMMENTS
DCP requires 35% of total site area to be landscaped. Total site area = 3002.4 sqm	2.5.5	35% x 3002.4 sqm = 1050.8 sqm	34.3% 1031.8 sqm	Almost complies
DCP requires minimum width of 2m landscape area - with no basement encroachment and containing unexcavated soil to promote landscaping that is effective and healthy	2.5.5	2m	Generally complies	

DCP MEDICAL PRECINCT				
CRITERIA	CLAUSE	REQUIRED	PROPOSED	COMMENTS
No criteria				

APARTMENT DESIGN GUIDE				
CRITERIA	CLAUSE	REQUIRED	PROPOSED	COMMENTS
1 large tree or 2 medium trees per 80m ² of deep soil in site areas greater than 1500m ²	40	1 large tree or 2 medium trees per 80m ² of deep soil	Refer to landscape plan	



No.	Date	REVISIONS	By
A	9/9/16	DEVELOPMENT APPLICATION ISSUE	CR

PROJECT DEVELOPER
pamada

ARCHITECT:
Eeles Trelease pty ltd architects
PLANNING **33F Planners**
LANDSCAPE ARCHITECT **dila**

Drawn By: AA
Reviewed By: RY/BE
Dwg Date:
CAD File Name:

HARGRAVE APARTMENTS
1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD

CLIENT: **pamada**
LANDSCAPE DIAGRAM

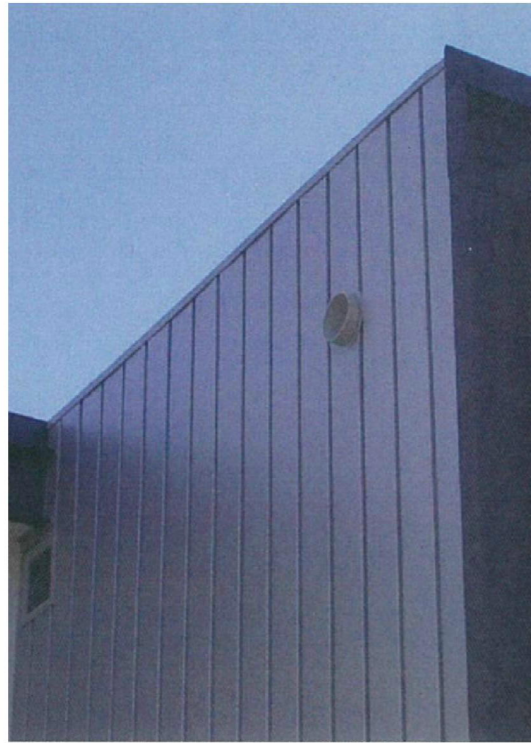
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Project No.

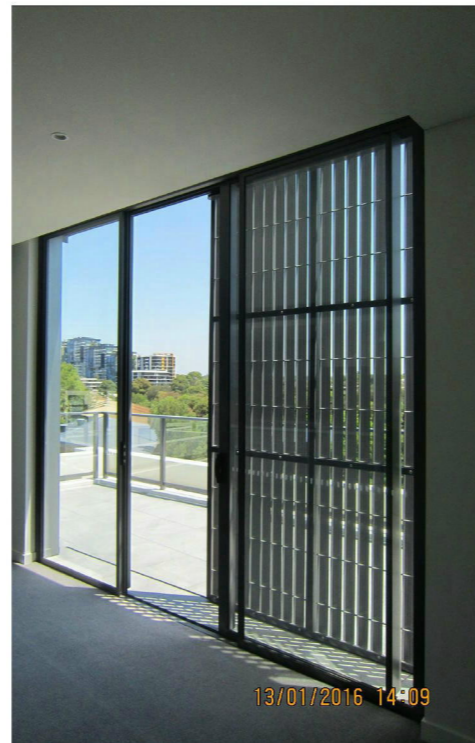
1609

Drawing No. Revision #

DA-405 A



A - PRE-FINISHED VERTICAL METAL CLADDING
 B - PRE-FINISHED HORIZONTAL METAL CLADDING



C - SLIDING VERTICAL METAL LOUVRES



I - GROUND FLOOR WALLS
 GREY CERAMIC EXTERNAL TILES
 300 X 100MM STACK BOND



G - POWDERCOATED ALUMINIUM
 FRAMED GLAZING
 DULUX DURATEC X15 'OLDE PEWTER'



A-VERTICAL METAL CLADDING
 E-POWDERCOATED ALUMINIUM FRAMED
 GLAZED BALUSTRADE
 F- PAINTED RENDERED MASONRY/
 PAINTED FIBRE CEMENT SPANDREL
 COLORBOND WINDSPRAY



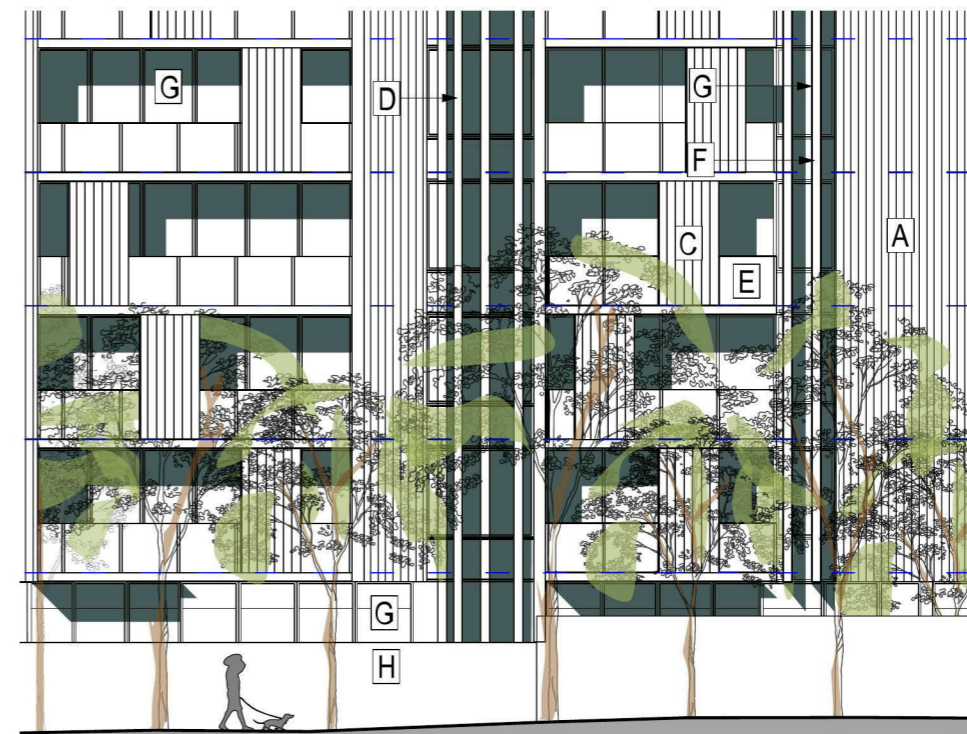
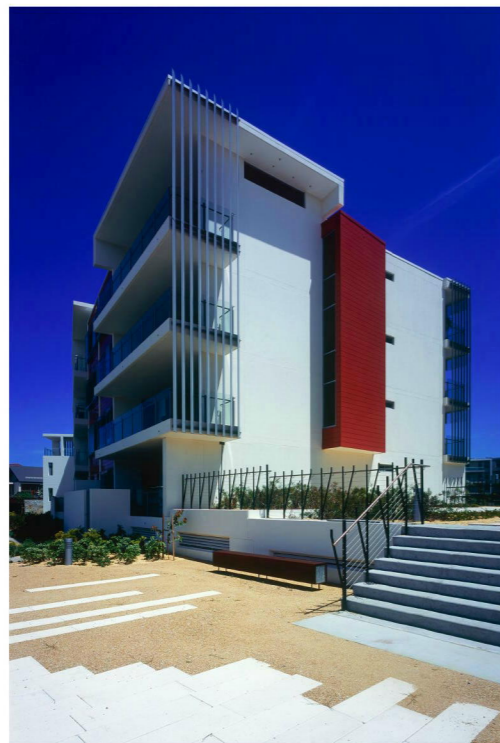
C- SLIDING VERTICAL METAL LOUVRES
 D- VERTICAL LOUVRE
 B- HORIZONTAL METAL CLADDING
 COLORBOND PAPERBARK



HORIZONTAL LOUVRE SUNSHADING
 COLORBOND IRONSTONE



EXPOSED CONCRETE SLAB EDGES
 DULUX NATURAL WHITE



Plot Date: 09/16

No.	Date	REVISIONS	By
A	9/9/16	DEVELOPMENT APPLICATION ISSUE	CR

PROJECT DEVELOPER
pamada

ARCHITECT:
Eeles Trelease pty ltd architects
 PLANNING **33F** Planners
 LANDSCAPE ARCHITECT **dila**

Drawn By: AA
 Reviewed By: RY/BE
 Dwg Date:
 CAD File Name:

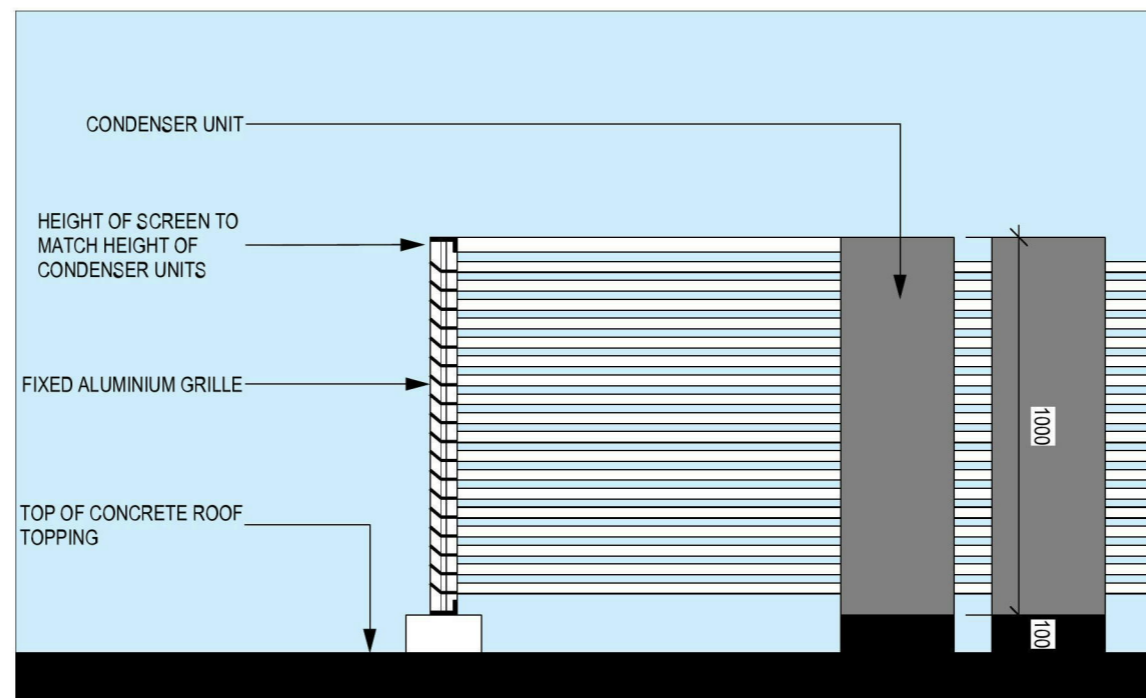
HARGRAVE APARTMENTS
 1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD

CLIENT : **pamada**
 MATERIALS AND FINISHES SCHEDULE

SCALE 1:200 @ A3

Project No. 1609
 Drawing No. Revision #

DA-406 A



Project No.

			A	09/16	DEVELOPMENT APPLICATION ISSUE	AA	PROJECT DEVELOPER	ARCHITECT:	Drawn By	AA	HARGRAVE APARTMENTS 1-5 HARGRAVE STREET AND 38-40 ORTH STREET, KINGSWOOD	1609	
			No.	Date	REVISIONS	By	<p>pamada</p>	<p>Eeles Trelease pty ltd architects</p>	Reviewed By	RY/BE	CLIENT : pamada	Drawing No.	Revision #
								<p>PLANNING 33F Planners</p>	Dwg Date:			CONDENSER SCREEN DETAIL	DA-409 A
								<p>LANDSCAPE ARCHITECT dila</p>	CAD File Name:		SCALE 1:20 @ A3		