

Lot 2353 Walshaw

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Bmm	Buxus microphylla var. microphylla	Dwarf Box Hedge	26	200mm	0.5m
Cpl	Camellia sasanqua 'Paradise Pearl'	Camellia	10	300mm	2m
Cbn	Catalpa bignonioides 'Nana'	Designer Catalpa	1	75L	5m
Dg	Dietes grandiflora	Wild Iris	8	200mm	1m
Vh	Viola hederacea	Native Violet	8	150mm	0.1m

CLEVELAND LANE - Supply + installation by BUILDER

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Lix	Lagerstroemia 'Sioux'	Crepe Myrtle	1	75L	4m
Lmv	Liriope muscari 'Variegatum'	Variegated Liriope	14	200mm	0.3m
LI	Lomandra longifolia 'Katrinus Deluxe'	Mat Rush	8	200mm	0.75m

CLEVELAND LANE CROSS-OVER - Supply + construction by BUILDER

MATERIAL SCHEDULE

HEADER COURSE

Concrete pavers 'Adbri Stradapave', 300x300x50mm in 'Charcoal' colour, laid in stackbond pattern

Area m²
URBANGROWTH*

Area m²
BUILDER**

3.58

0.00

IN-FILL PAVEMENT

Concrete pavers 'Adbri Havenbrick', 200x100x50mm in 'Brushwood' colour, laid in herringbone pattern

4.23

2.58

Total area

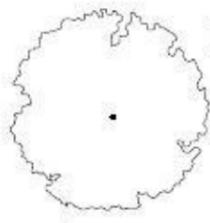
7.81

2.58

*Area's outside of the allotment boundary. **Area's inside of the allotment boundary

LOT PLANTING SUMMARY

Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
55	10	0	45	1

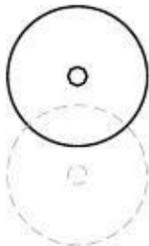


LEGEND

Proposed trees - refer to plant schedule



Proposed accents & grasses - refer to plant schedule



Existing tree to be retained

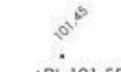
Existing tree to be removed



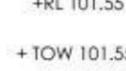
Proposed shrubs - refer to plant schedule



Proposed groundcovers and grasses - refer to plant schedule



Existing levels



Proposed levels



Proposed Top Of Wall levels



Boundary



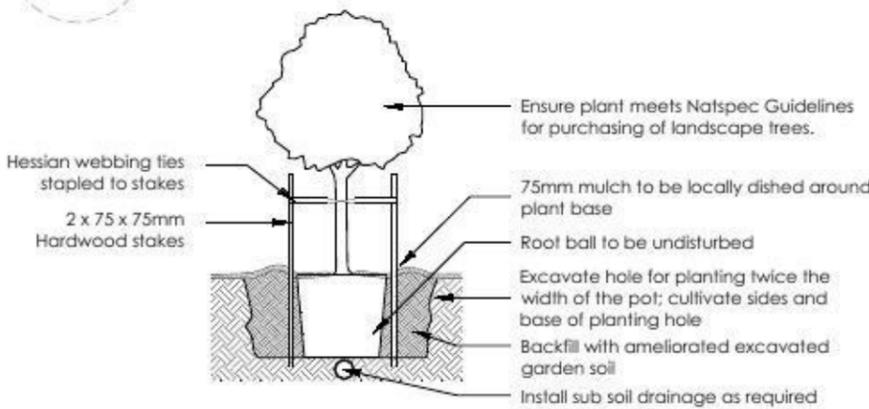
Garden edging



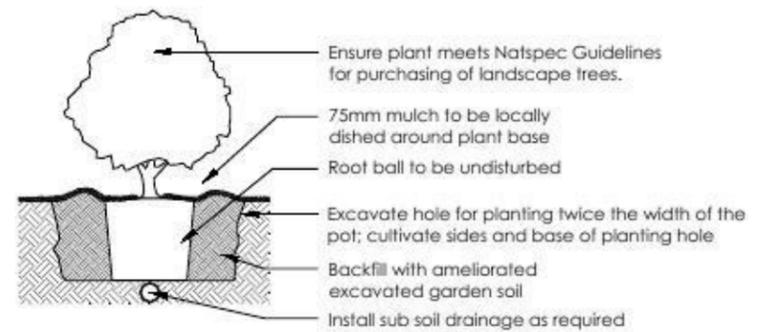
Masonry retaining walls



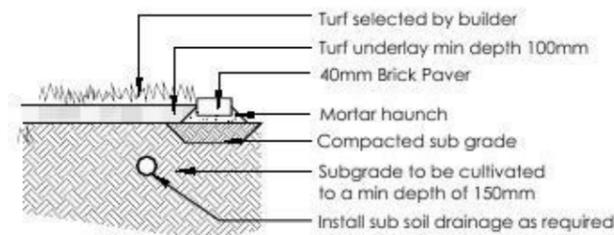
Existing contours



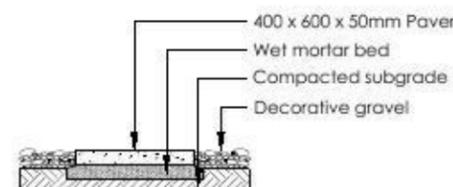
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size

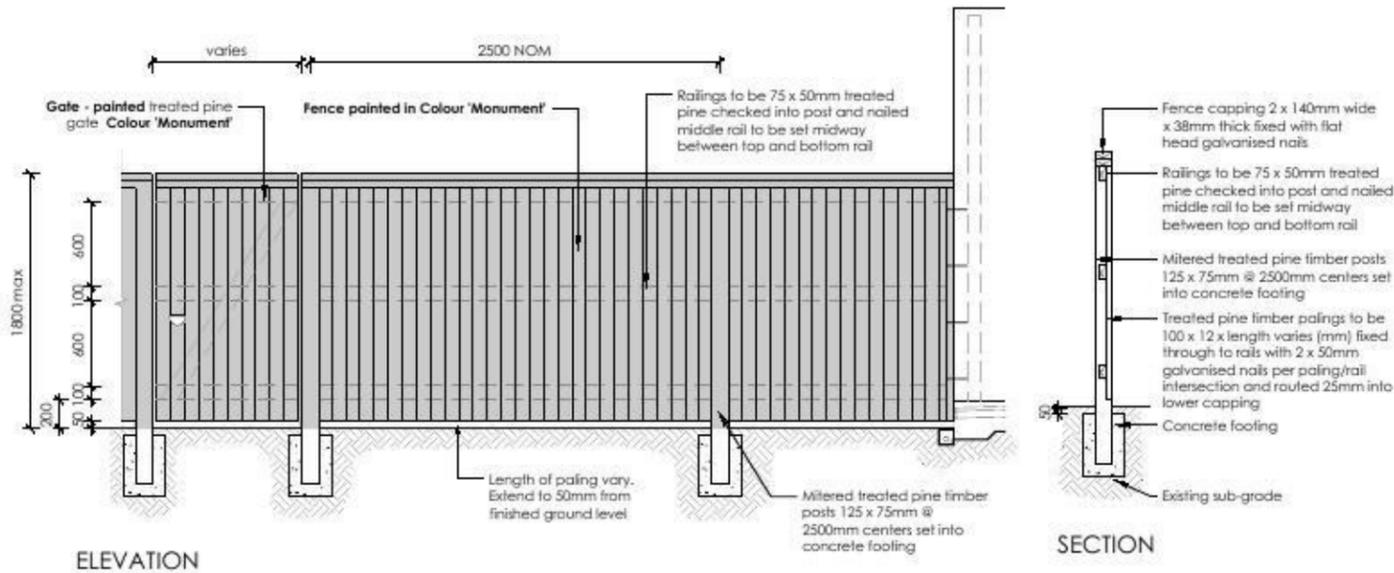


3 Turf Detail
NTS Brick Paver Edge

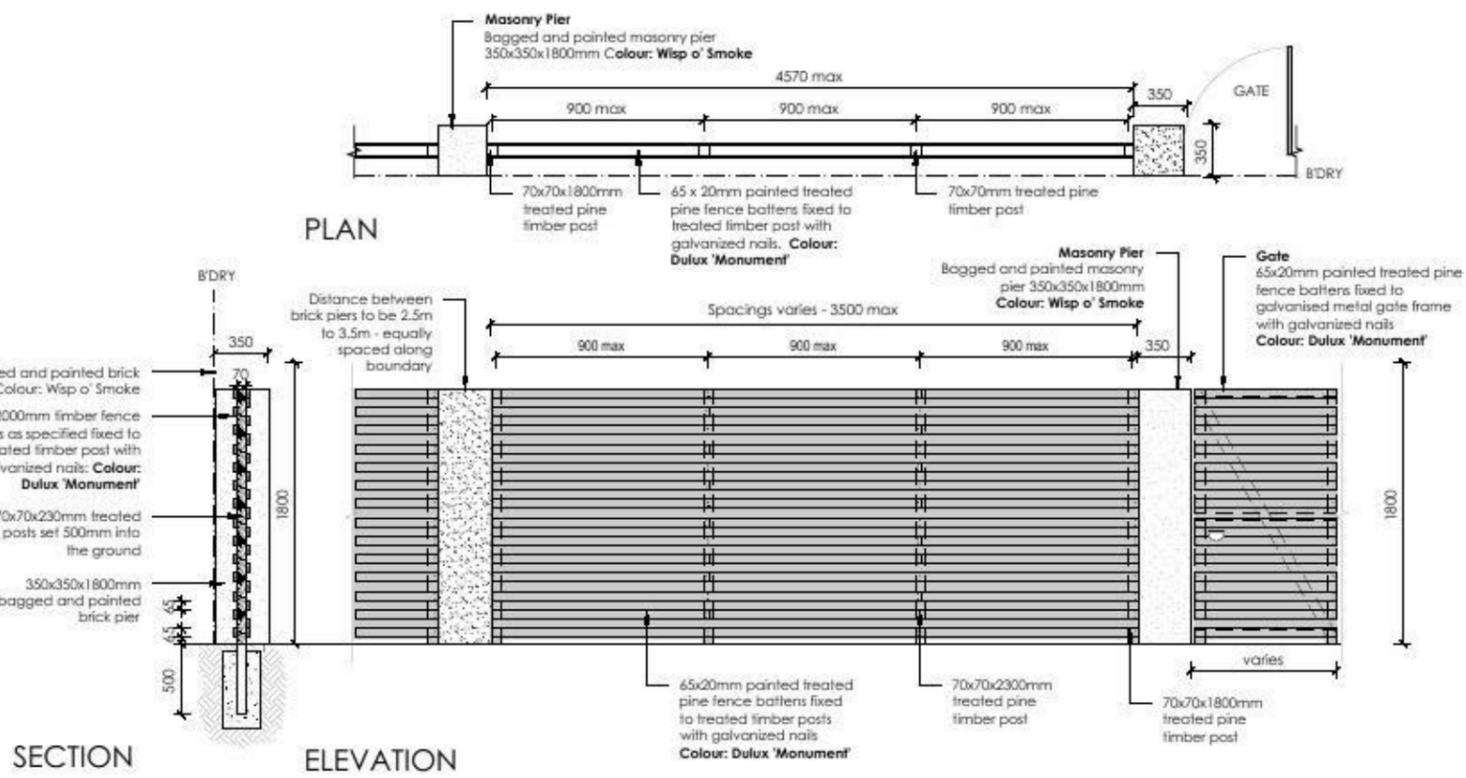


4 Stepping stones in gravel
NTS Low traffic zone

ISSUE	DESCRIPTION	ISSUE	DATE	<p>PO Box 334, Caringbah, NSW 2118 Ph: (02) 9871 7701 Fax: (02) 9879 2593 Email: info@ecodeign.com.au Web: www.ecodeign.com.au</p> <p>Member of The Australian Institute of Landscape Designers and Landscapers</p>	<p>LOT 2353 WALSHAW STREET, PENRITH</p>	NEW RESIDENCE			
A	ISSUE FOR CLIENT REVIEW	RS	BT			27-02-14	LANDSCAPE PLAN		
<p>1. Do not scale from drawings 2. Verify all measurements on site 3. Notify ecodeign of any inconsistencies 4. Copyright © ecodeign. All rights reserved 5. Drawings remain the property of ecodeign</p> <p>6. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson 8. For application purpose only - NOT FOR CONSTRUCTION</p>					<p>RAWSON HOMES</p>		<p>1:100 @ A3</p>	<p>DA</p>	<p>L-02</p>
					RS	BT	27-02-14	A	

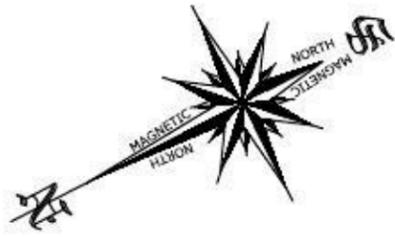


7 FENCE TYPE 4b - Rear Boundary
 1:50 All Laneways (except Barlett Lane)
 Typical detail

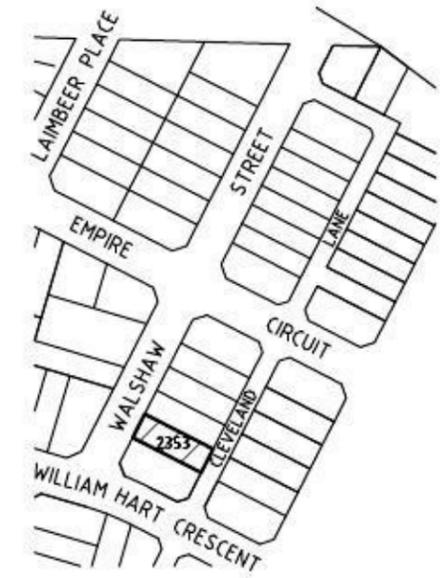
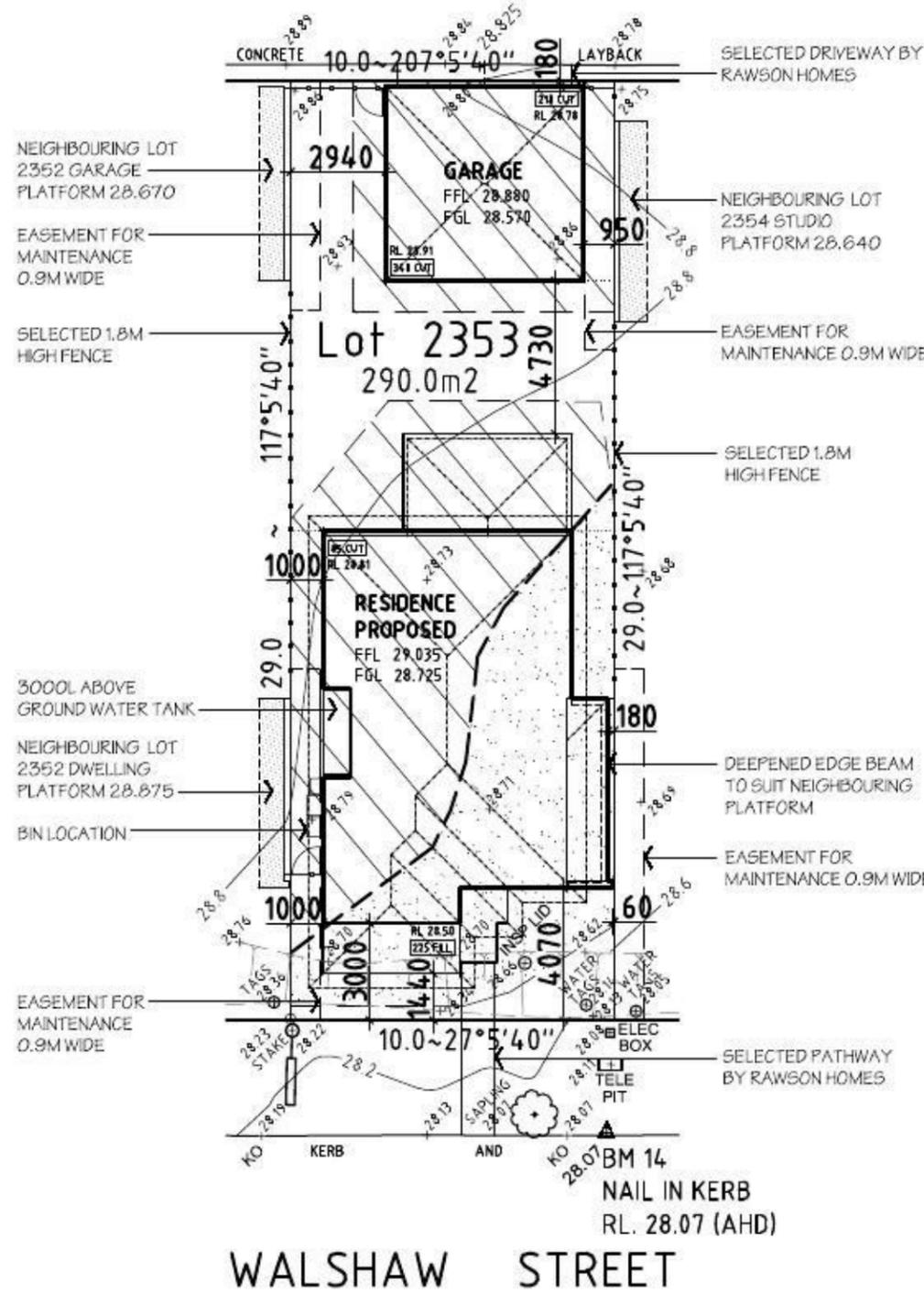


8 FENCE TYPE 2a - Secondary Street Fencing
 1:50 Typical detail

REVISION	DESCRIPTION	BY	CHECK	DATE		PO Box 2126, Coalinga, NSW 2118 Ph: (02) 9671 7701 Fax: (02) 9673 2583 Email: info@ecodesign.com.au Web: www.ecodesign.com.au <small>Member of the Australian Institute of Landscape Designers and Planners</small>	LOT 2353 WALSHAW STREET, PENRITH	NEW RESIDENCE LANDSCAPE PLAN	
A	ISSUE FOR CLIENT REVIEW	RS	BT	27-02-14					
								RS BT 27-02-14 A	



CLEVELAND LANE

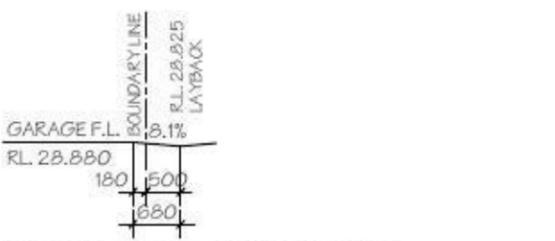


LOCATION PLAN

WARNING - UNREGISTERED PLAN
 - THIS CONTOUR AND DETAIL SURVEY IS BASED UPON AN UNREGISTERED PLAN.
 - ALL BOUNDARIES AND EASEMENTS ARE UNREGISTERED AND MAY BE AMENDED TO SUIT THE REQUIREMENTS OF COUNCIL OR THE LAND TITLES OFFICE.
 - THIS INFORMATION MUST BE VERIFIED UPON REGISTRATION.
 - NO FURTHER INVESTIGATION HAS BEEN UNDERTAKEN TO DISCLOSE EASEMENTS ETC OMITTED FROM THE UNREGISTERED PLAN.
 - STRUCTURE SURVEYING CAN ACCEPT NO LIABILITY FOR ANY LOSS OR DAMAGE HOWSOEVER ARISING, TO ANY PERSON OR CORPORATION, DUE TO OMISSIONS, ERRORS OR VARIATIONS ON THE UNREGISTERED PLAN.
 - COPIES OF THIS CONTOUR PLAN MUST NOT BE REPRODUCED WITHOUT THIS NOTICE.

***NOTES:**
 - THIS SURVEY IS FOR CONTOUR PURPOSES ONLY SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY.
 - CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
 - DIMENSIONS AND AREAS HAVE BEEN DETERMINED FROM PLANS MADE AVAILABLE AT LPI NSW AND ARE SUBJECT TO FINAL SURVEY.
 - SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH ACCURATE POSITION AND DEPTH OF ANY SERVICES.
 - DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE

LEGEND	
	WATER METER
	TELECOM PIT
	MANHOLE (SEWER/STORMWATER)
	VEHICLE CROSSING
	KERB INLET PIT
	LIGHT POLE
	ELECTRICITY POLE
	ELECTRICITY PILLAR
	HYDRANT
	STOP VALVE
	KERB OUTLET
	SERVICE CONDUIT
	TREE (DIA/HEIGHT)



LOT 2353 DRIVEWAY DETAILS (SCALE 1:100)

***FURTHER NOTES:**
 - FLOOR LEVELS HAVE BEEN BASED ON AN ASSUMED 'M-CLASS' SITE CLASSIFICATION
 - REFER TO LANDSCAPING DRAWINGS FOR ALL FENCING & LANDSCAPING DETAILS

LOT 2353	
SITE DATA	
SITE AREA:	290.00 m ²
PRIVATE OPEN SPACE RATIO:	(32.7 %)
PRIVATE OPEN SPACE AREA:	94.77m ²
LANDSCAPE AREA:	
SITE AREA:	290.00m ²
TOTAL HARDSTAND AREA: (INC. Driveway & Path.)	165.03m ²
REMAINING SOFT AREA:	124.97m ²
FLOOR AREAS	
GROUND FLOOR:	100.41 m ²
FIRST FLOOR:	92.34 m ²
DETACHED GARAGE:	36.60 m ²
PORCH:	3.00 m ²
PORTICO:	6.58 m ²
ALFRESCO:	15.68 m ²
BALCONY:	7.09 m ²
TOTAL FLOOR AREA:	261.70 m ²

DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM
 ORIGIN OF LEVELS: SSM 180810 RL 28.445
 SOURCE OF LEVELS: S C I M S



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* ALL DIMENSIONS ARE TO STRUCTURAL FRAMES
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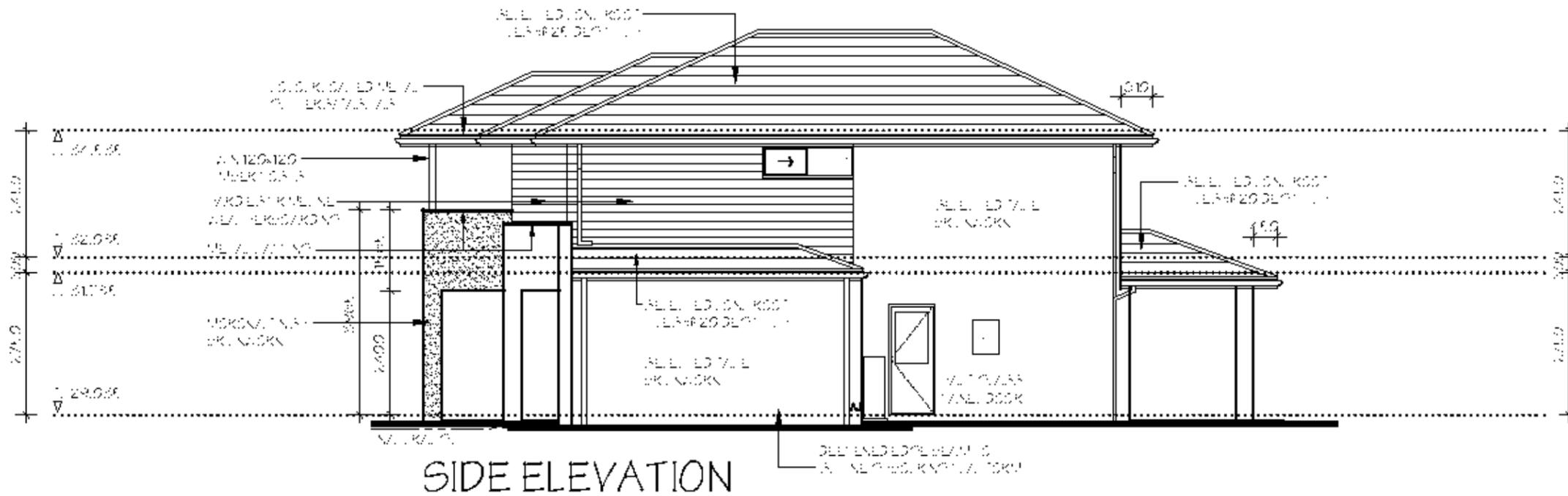
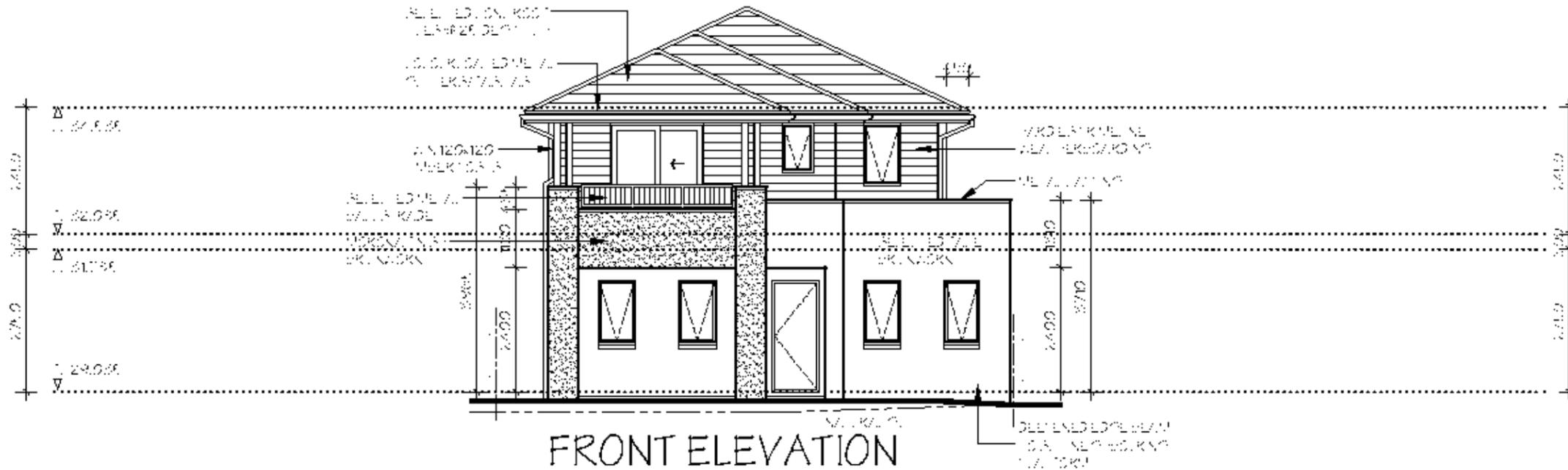
RAWSON HOMES
 1 HOMEBUSH BAY DRIVE
 BUILDING F, LEVEL 2, SUITE 1
 RHODES NSW 2138
 TELEPHONE: 02 8765 5500
 FAX : 02 8765 8099
 BUILDER'S LICENCE No. 33493C

CLIENT:
RAWSON HOMES

SITE ADDRESS:
 LOT 2353
 WALSHAW STREET
 PENRITH (THORNTON ESTATE)

HOUSETYPE:
 MODEL: BENHAM 24 LH MODIFIED
 FACADE: THORNTON CLASSIC
 TYPE:
 SPECIFICATION:
 DRAWING TITLE:
SITE PLAN

DRAWN BY: SJB	DATE DRAWN: FEB '14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:200	
JOB No:	DRWG No.:	ISSUE:	
	02	C	



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RAWSON HOMES

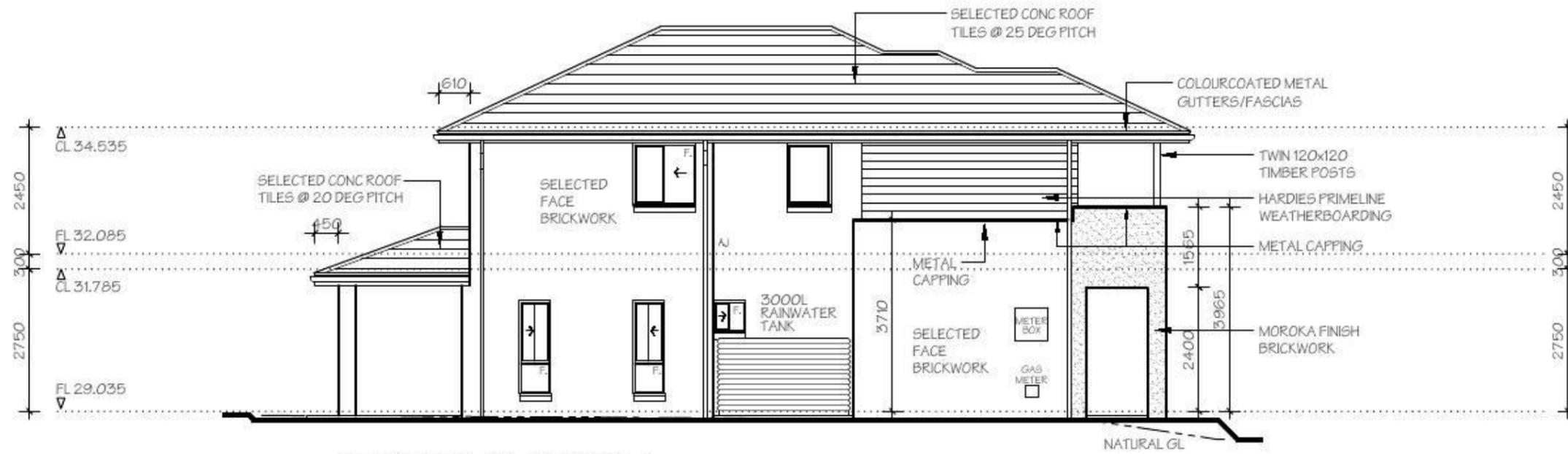
1 HOMEBUSH BAY DRIVE
BUILDING F, LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C



CLIENT:
RAWSON HOMES
SITE ADDRESS:
LOT 2353
WALSHAW STREET
PENRITH (THORNTON ESTATE)

HOUSETYPE:
MODEL: BENHAM 24 LH MODIFIED
FACADE: THORNTON CLASSIC
TYPE:
SPECIFICATION:
DRAWING TITLE:
ELEVATIONS 1

DRAWN BY: SUB	DATE DRAWN: FEB'14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:100	
JOB No:	DRWG No.:	ISSUE:	
	05	C	



SIDE ELEVATION



REAR ELEVATION

NOTES:

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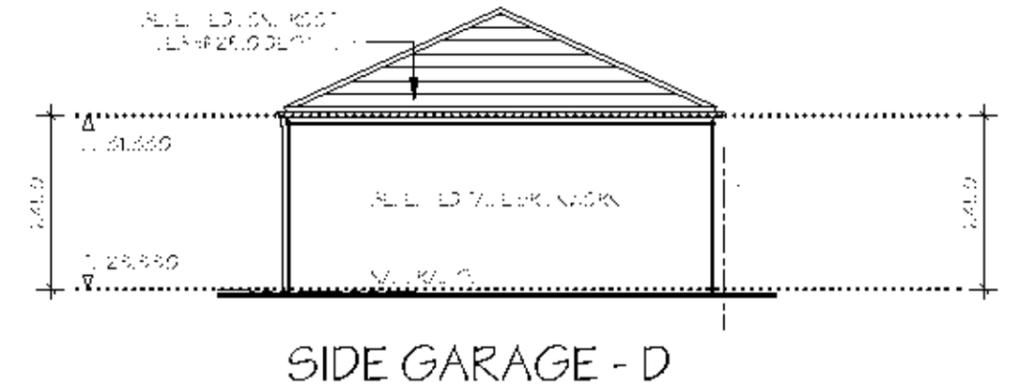
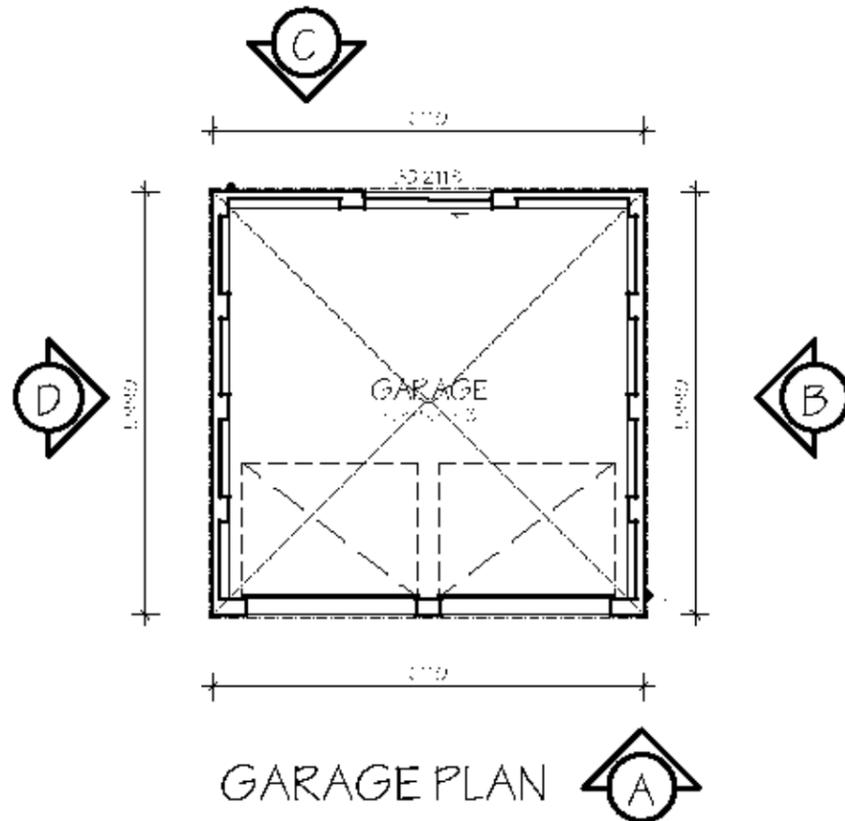
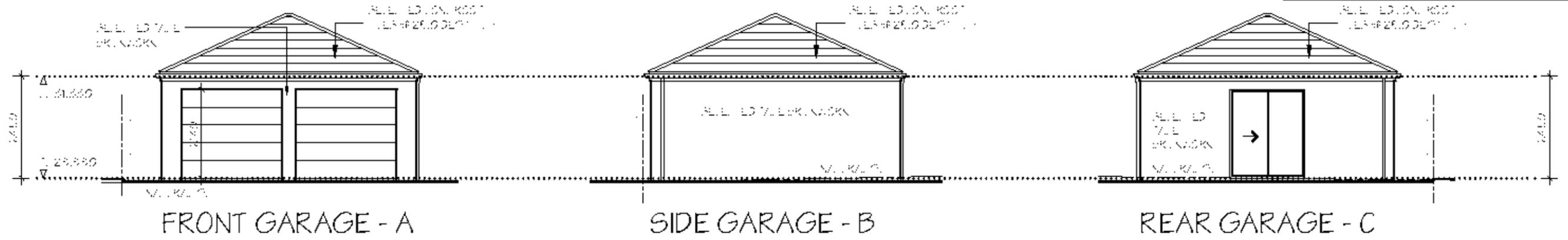


CLIENT:
RAWSON HOMES

SITE ADDRESS:
LOT 2353
WALSHAW STREET
PENRITH (THORNTON ESTATE)

HOUSETYPE:
MODEL: BENHAM 24 LH MODIFIED
FACADE: THORNTON CLASSIC
TYPE:
SPECIFICATION:
DRAWING TITLE:
ELEVATIONS 2

DRAWN BY: SJB	DATE DRAWN: FEB '14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:100	
JOB No:	DRWG No.:	ISSUE:	
	06	C	



NOTES:

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RAWSON HOMES

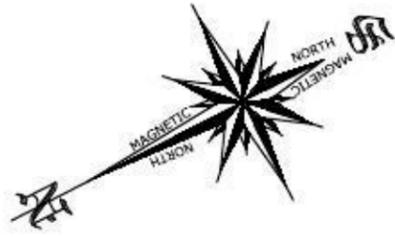
1 HOMEBUSH BAY DRIVE
BUILDING F, LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C



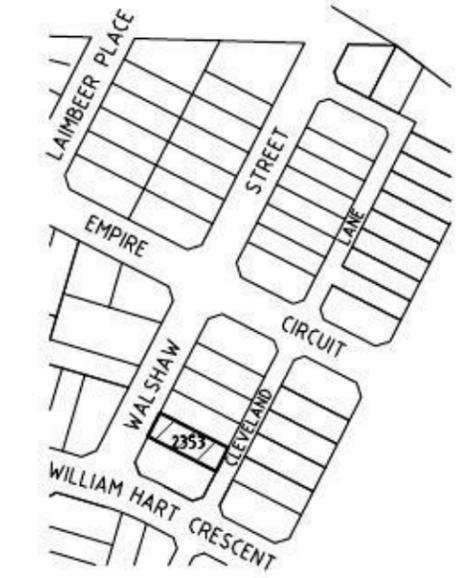
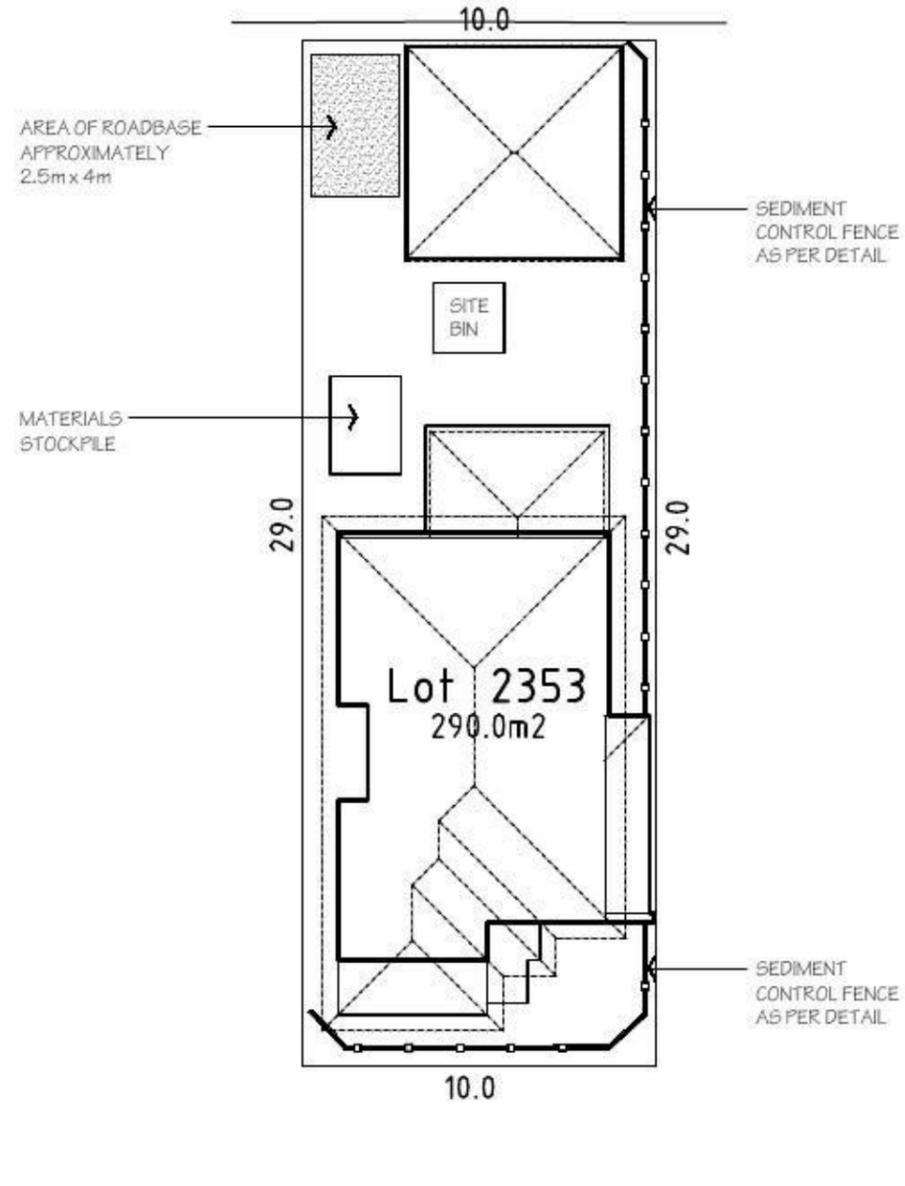
CLIENT:
RAWSON HOMES
SITE ADDRESS:
LOT 2353
WALSHAW STREET
PENRITH (THORNTON ESTATE)

HOUSETYPE:
MODEL: BENHAM 24 LH MODIFIED
FACADE: THORNTON CLASSIC
TYPE:
SPECIFICATION:
DRAWING TITLE:
GARAGE DRAWINGS

DRAWN BY: SUB	DATE DRAWN: FEB/14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:100	
JOB No:	DRAWG No.:	ISSUE:	
	07	C	



CLEVELAND LANE



LOCATION PLAN

LEGEND

	WATER METER		ELECTRICITY POLE
	TELECOM PIT		ELECTRICITY PILLAR
	MANHOLE (SEWER/STORMWATER)		HYDRANT
	VEHICLE CROSSING		STOP VALVE
	KERB INLET PIT		KERB OUTLET
	LIGHT POLE		SERVICE CONDUIT
			TREE (DIA/HEIGHT)

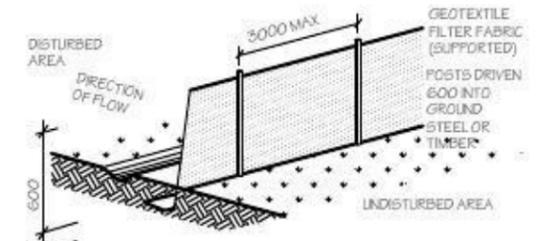


WALSHAW STREET

SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILE AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO 'URBAN EROSION AND SEDIMENT CONTROL' GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



SEDIMENT FENCE DETAIL

SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX

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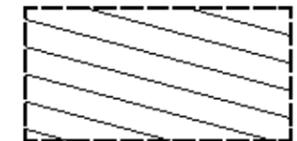
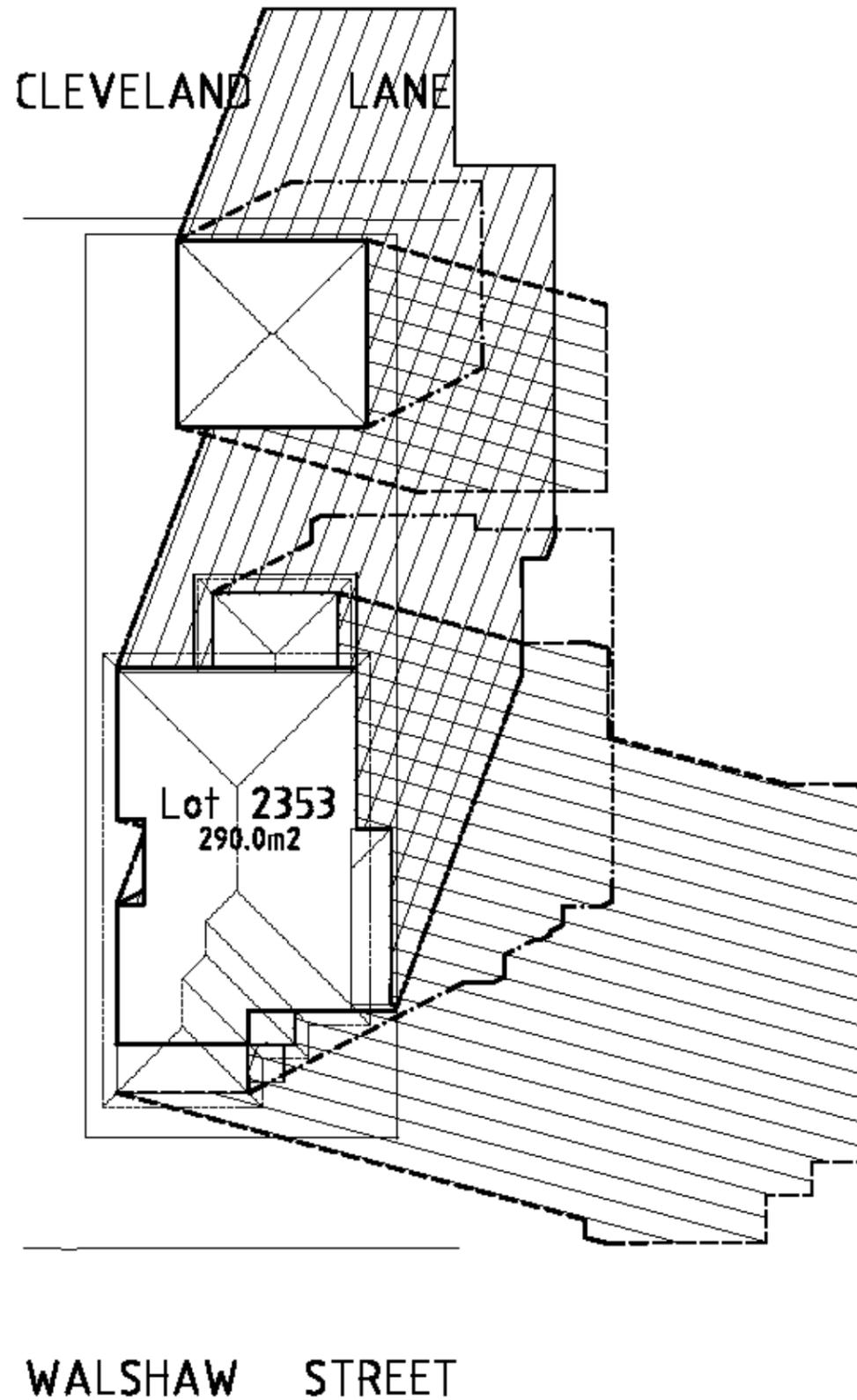
RAWSON HOMES
1 HOMEBUSH BAY DRIVE
BUILDING F, LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C

CLIENT:
RAWSON HOMES

SITE ADDRESS:
LOT 2353
WALSHAW STREET
PENRITH (THORNTON ESTATE)

HOUSETYPE:
MODEL: BENHAM 24 LH MODIFIED
FACADE: THORNTON CLASSIC
TYPE:
SPECIFICATION:
DRAWING TITLE:
SEDIMENT & WASTE PLAN

DRAWN BY: SJB	DATE DRAWN: FEB '14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:200	
JOB No:	DRWG No.:	ISSUE:	
	08	C	



2:00pm JUNE SHADOWS 12:00pm



2:00pm JUNE SHADOWS 9:00am



2:00pm JUNE SHADOWS 3:00pm

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BUILDING F, LEVEL 2, SUITE 1
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TELEPHONE: 02 8765 5500
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BUILDER'S LICENCE No. 33493C

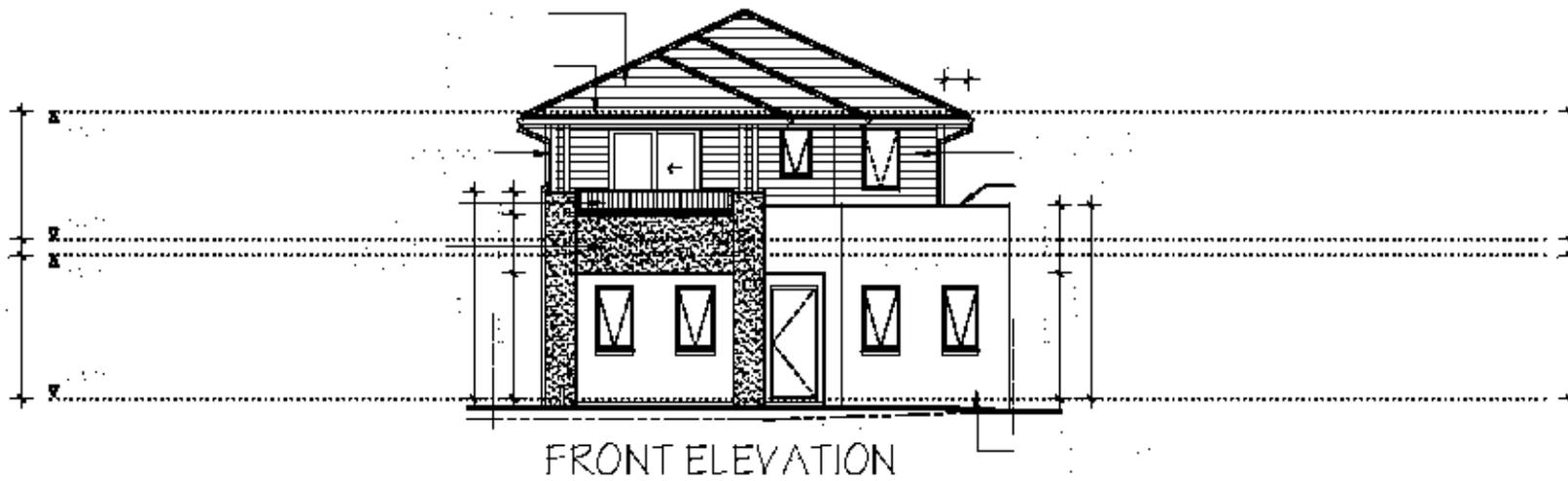


CLIENT:
RAWSON HOMES

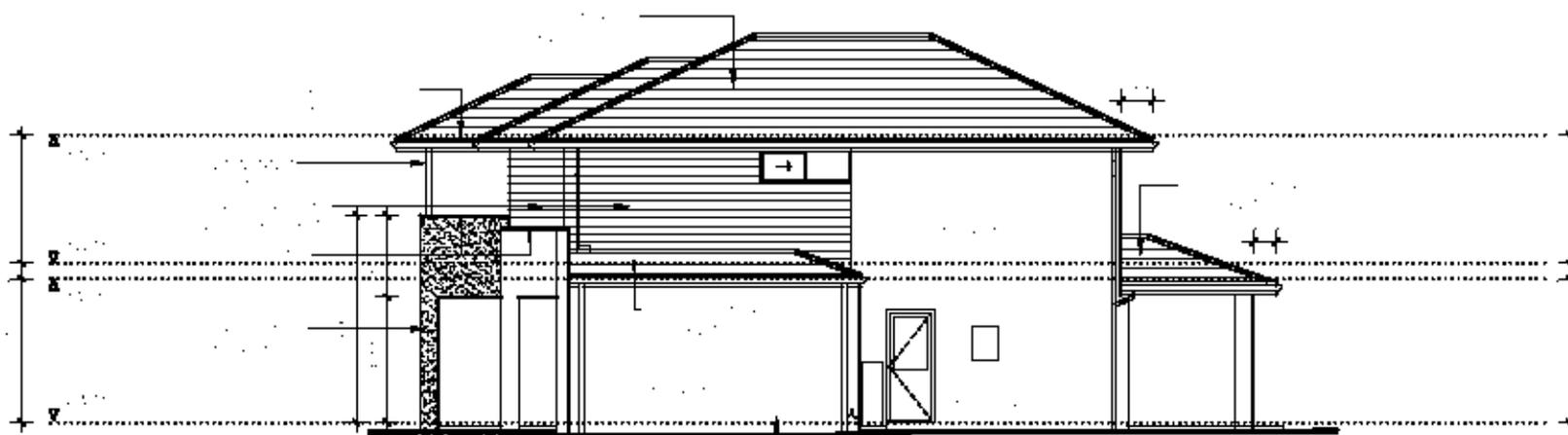
SITE ADDRESS:
**LOT 2353
WALSHAW STREET
PENRITH (THORNTON ESTATE)**

HOUSETYPE:
MODEL: **BENHAM 24 LH MODIFIED**
FACADE: **THORNTON CLASSIC**
TYPE:
SPECIFICATION:
DRAWING TITLE:
SHADOW DIAGRAM

DRAWN BY: SUB	DATE DRAWN: FEB'14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:200	
JOB No:	DRAWG No.: 09	ISSUE: C	



FRONT ELEVATION



SIDE ELEVATION

NOTES:
 PLEASE NOTE: DETAILS AND FINISHES ARE REFERENCED
 TO OUR STANDARD DRAWING INFORMATION WRITTEN FOR
 OUR FULL CONTRACTS AND TAKE PRECEDENCE OVER PLANS
 * ALL DIMENSIONS ARE TO STRUCTURAL FINISHES
 * ALL DIMENSIONS ARE IN MILLIMETRES
 * DO NOT SCALE DRAWINGS TO DIMENSIONS

RAWSON HOMES

1 HOME BUSH BAY DRIVE
 BUILDING FLOOR 2, SUITE 1
 RICHMOND NSW 2138
 TELEPHONE: 02 8765 5500
 FAX: 02 8765 8099
 BUILDERS LICENCE No. 334930



CLIENT
RAWSON HOMES
 SITE ADDRESS
 LOT 2353
 WALSHAW STREET
 PENRITH (THORNTON ESTATE)

HOUSE TYPE
 HOUSE 3B/HAMPTON LHM05/ED
 DESIGN THORNTON CLASS C
 DATE 23/07/15
 DRAWN BY
ELEVATIONS 1

DRAWN BY SJC	DATE DRAWN 23/07/15	CHECKED BY	APPROVED FOR 23/07/15
BOUNDARY PENRITH		SCALE 1:100	
DATE	DRAWN BY 05	SCALE C	

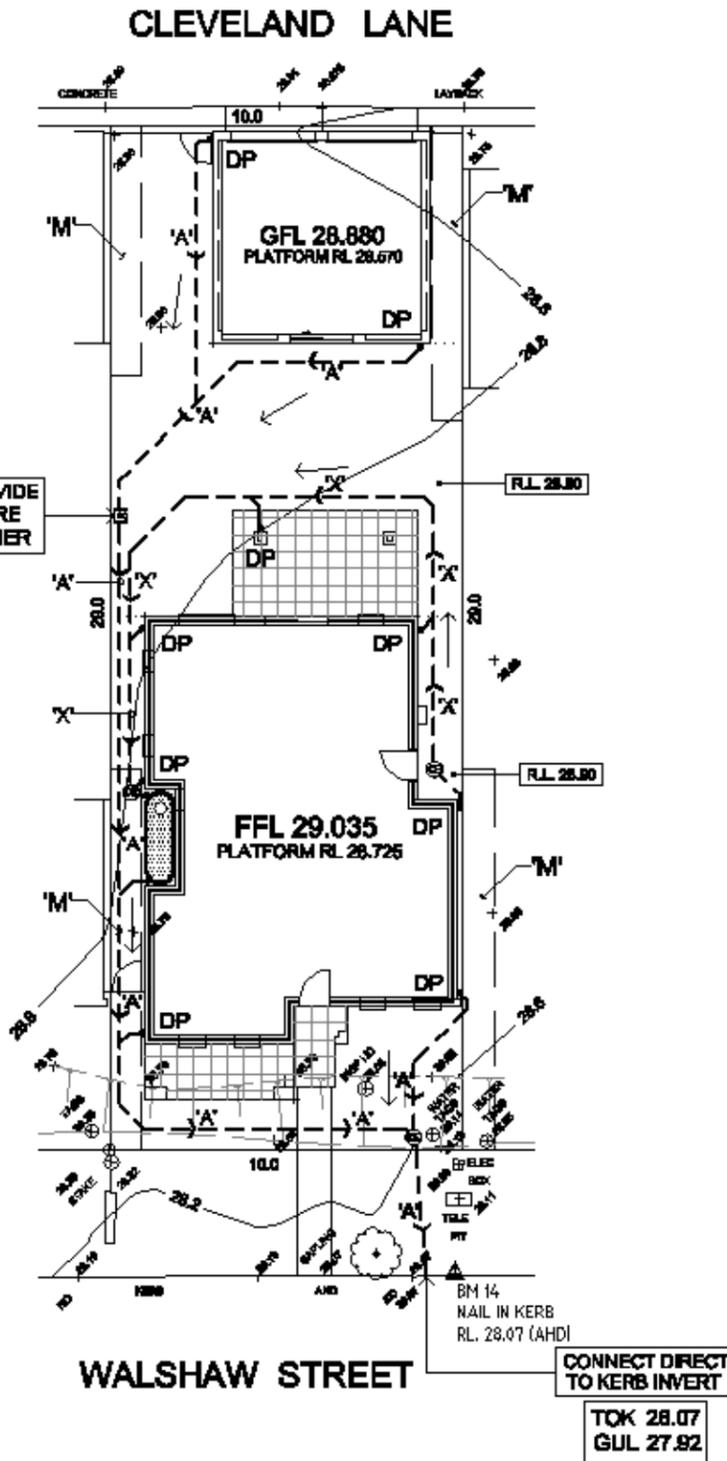
SITE STORMWATER MANAGEMENT LAYOUT
SCALE 1:200/A3



PIPE SCHEDULE

TAG	SIZE	MATERIAL	GRADE	DESCRIPTION
'A'	100 Ø	P.V.C	1% MIN	REGULAR GRAVITY PIPE
'B'	150 Ø	P.V.C	1% MIN	REGULAR GRAVITY PIPE
'X'	100 Ø	P.V.C	CHARGED	TO FEED RAINWATER TANK

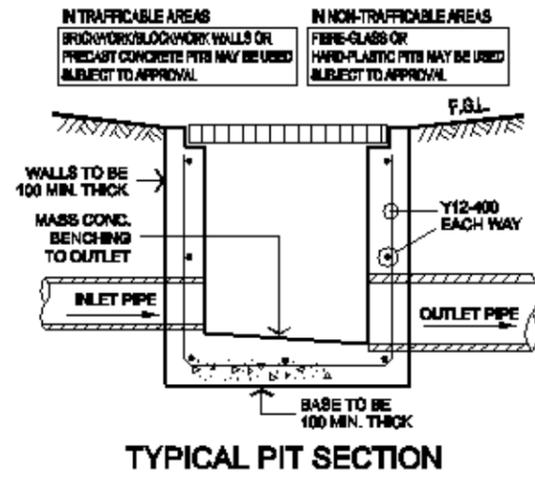
RAWSON HOMES TO PROVIDE CAPPED END FOR FUTURE COLLECTION PIT BY OWNER
S.L. 28.70
I.L. 28.30



'M': EASEMENT FOR MAINTENANCE 0.9 WIDE

STORMWATER LAYOUT NOTES	
1) PITS DEEPER THAN 600mm TO BE 600 X 800 W, BLUE 375 SQ UN.O.	COMMENCING ANY WORKS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
2) ALL PIPES TO HAVE 1% MIN GRADE UN.O.	6) DRIVEWAY LEVELS PROVIDED FOR DRAINAGE DESIGN PURPOSES ONLY. LEVELS MAY BE ADMITTED TO BUT FINAL HOUSE CUT/FILL CONDITIONS MUST BE MAINTAINED INTENT OF DRAINAGE SYSTEM. ENGINEER TO BE CONSULTED PRIOR TO CONSTRUCTION TO ENSURE INTENT MAINTAINED.
3) ALL DOWNPIPES TO BE 100 X 80 BOX OR 80 Ø.	8) END OF EXISTING DRAINAGE LINE TO BE EXPOSED & LEVELS CONFIRMED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
4) PIPES TO BE UP.V.C. OR STORMWATER PIPE TO A.S.1254.	10) BUILDERS TO ENSURE SERVICES CONNECTIONS TO HOUSE DO NOT CONFLICT WITH DRAINAGE DESIGN REQUIREMENTS.
5) PITS TO BE STANDARD PRECAST CONCRETE PITS OR BRICK RENDERED WITH CONCRETE HEAVY DUTY GRATES SIZED AS PITS PER PLAN.	11) ALL WORKS TO BE CONSTRUCTED TO GOOD BUILDING PRACTICE & MATERIALS TO MEET ACCEPTED SPECIFICATIONS.
6) NO SEWER VENTS, GULLY PITS OR SIMILAR TO BE LOCATED BELOW THE MAXIMUM WATER SURFACE LEVEL IN DETENTION BASINS.	
7) PERSONS UTILISING THIS PLAN FOR ANY PURPOSES SHALL VERIFY THE DATUM & RESPECTIVE LEVELS PRIOR TO	

LEGEND			
PI	PIT LABEL	G.F.L.	GARAGE FLOOR LEVEL
[Symbol]	SLUMP PIT	+0.00	EXISTING REDUCED LEVEL
[Symbol]	300x300 FLOOR GULLY	.R.L. 157.00	PROPOSED REDUCED LEVEL
[Symbol]	100x100 Ø GARDEN GULLY	DP	DOWNPIPE
[Symbol]	DRAINAGE PIPE	[Symbol]	SPITTERSPREADER
[Symbol]	AERIAL PIPE	[Symbol]	CLEANING EYE
S.L.	SURFACE LEVEL	[Symbol]	SEDIMENT FENCE
I.L.	INVERT LEVEL	[Symbol]	AG LINE
F.F.L.	FINISHED FLOOR LEVEL	[Symbol]	OVERLAND FLOW

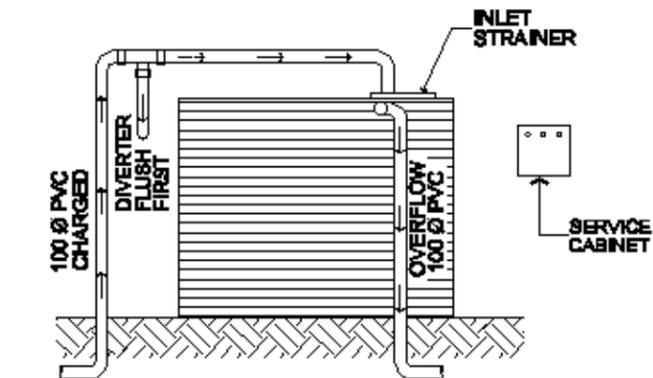


RAINWATER TANK AS SHOWN ON PLAN
PROVIDE A RAINWATER TANK 3000L IN CAPACITY TO SUIT ALL BASIX REQUIREMENTS. TANK TO BE CONNECTED AS SPECIFIED IN BASIX REPORT.

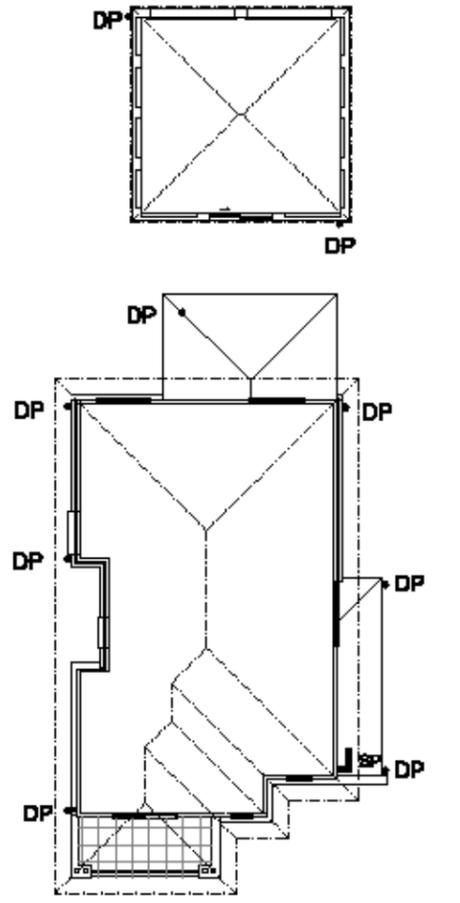
ENSURE ALL CONNECTIONS WITHIN CHARGED SYSTEM ARE SOLVENT WELDED

ALL DOWNPIPES ARE TO BE ENTIRELY PVC. PIPES ARE TO BE SEALED UP TO US OF ROOF GUTTERS

ROOF GUTTERS I.L. 31.38
TANK INLET I.L. 30.55
HEAD PRESSURE - 840mm



RAINWATER TANK CONFIGURATION



ROOF & FIRST FLOOR LAYOUTS
SCALE 1:200/A3

alw design
CIVIL ENGINEERING CONSULTANTS
P: 02 8819 2585 F: 02 8819 2597 E: admin@alwdesign.com.au
M: 0413 763 432 69A COWELLS LANE, ERMINGTON NSW 2115

PROJECT: PROPOSED RESIDENTIAL DWELLING AT LOT 2353 WALSHAW STREET, THORNTON NSW
DRAWING: SITE STORMWATER MANAGEMENT LAYOUT

DESIGNED: A.W. DRAWN: M.W. CHECKED: ANDREW L. WAHBE - BE (CIVIL) MIEAUST PENO
DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY DESIGNING ENGINEER

A	ISSUED FOR DEVELOPMENT APPLICATION	06/12/14
ISSUE	REVISION DESCRIPTION	APPR. DATE

JOB NUMBER: SW14528
DRAWING NUMBER: SW14528 - S1