

issue:	amendments:	date:
A	SKETCH ONLY	05 Sept 12
B	SKETCH ONLY	29 Jan 13
C	Preliminary	22 Mar 13
D	Amended Preliminary	03 Apr 13
E	for Council Approval	21 May 13

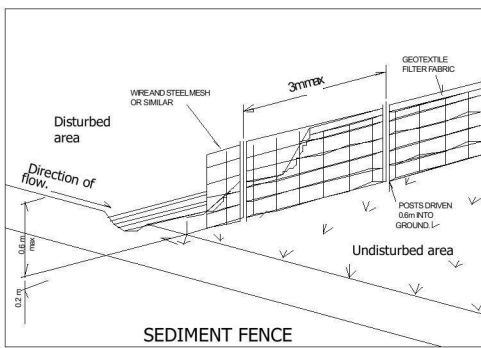


FIG 1

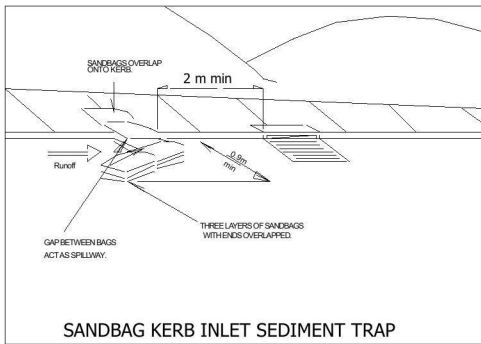


FIG 2

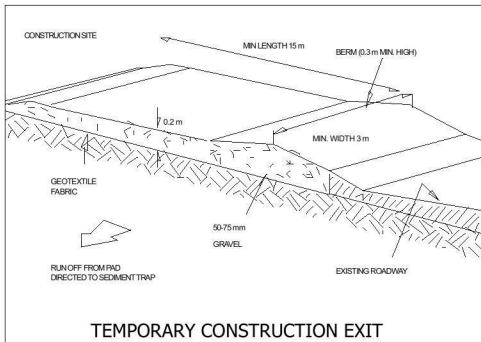
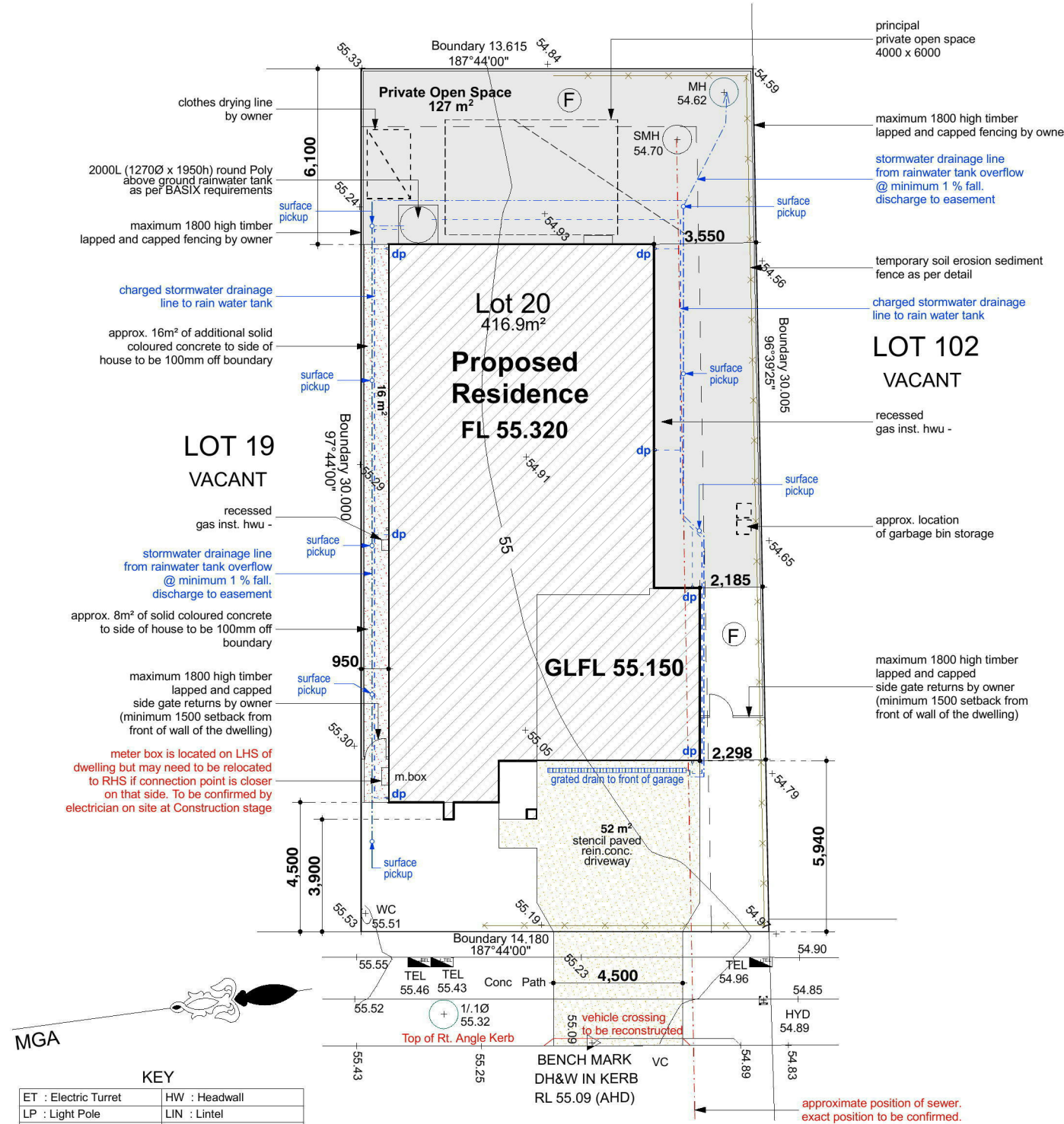


FIG 3

Sheet Name	Sheet No.
site plan	01
ground floor plan	02
elevations	03
elevations	04
section	05
basix requirements	06
landscape plan	07
site analysis	08
notification	09

DATA	
1. ground floor	147.80
2. garage	33.02
3. porch	3.93
	184.75 m²



KEY

ET : Electric Turret	HW : Headwall
LP : Light Pole	LIN : Lintel
PP : Power Pole	MS : Maint. Shaft
WC : Water Connection	SMH : Sewer Manhole
WM : Water Meter	TEL : Telecom Pit
SV : Stop Valve	PC : Pram Crossing
HYD : Hydrant	VC : Vehicle Crossing
SWP : Stormwater Pit	DH&W: Drillhole & Wing

Ⓢ EASEMENT TO DRAIN WATER 2 WIDE

ITEMS TO BE CONFIRMED BY OWNER PRIOR TO CONSTRUCTION:

- Meter box has been located on LHS of dwelling but may need to be relocated to the RHS if connection point is closer on that side. To be confirmed by electrician on site at construction stage.
- client to note that vehicle crossing needs to be reconstructed to suit driveway. (if required)
- client to note that sewer pegout report required to determine position of sewer main (no charge)
- client to note that the 88B requires the roof colour of the tiles selected to be "black or shades of grey".

Confirmation that above items have been checked & approved unless otherwise noted:

owner signature

date

Project Notes:

- these plans are subject to approval by relevant authorities.
- awaiting on gas availability.

POSITION OF SEWER MAIN TO BE CHECKED AND CONFIRMED BY SEWER PEGOUT

BUILDING OVER SEWER REQUIRED

ELECTRICAL CONNECTION POINT TO BE CONFIRMED PRIOR TO CONSTRUCTION

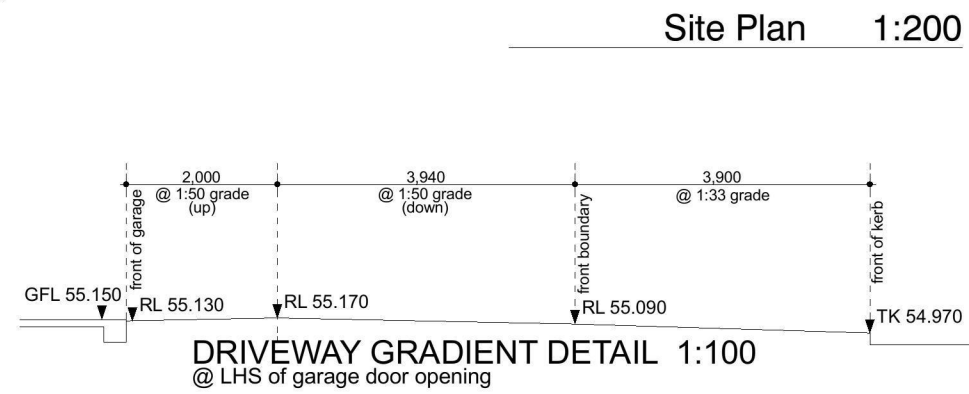
CONSTRUCTION NOTES:

- Upgrade ceiling insulation to R3.5 insulation batts in roof spaces above ceilings of habitable rooms (Tender).
- Upgrade wall insulation to R2.0 insulation batts to external brick veneer walls (Tender).

SITE SOIL CLASSIFICATION - M CLASS



Casaview Constructions Pty Ltd
P.O. Box 1336, GREEN VALLEY, NSW, 2168
Phone: 8783 8800 Fax: 8783 7794



client: **Ramon S. Sese & Lani C. Sese**

location: **Lot 20 DP 1166546 Ghera Street, Kingswood (Grey Oaks)**

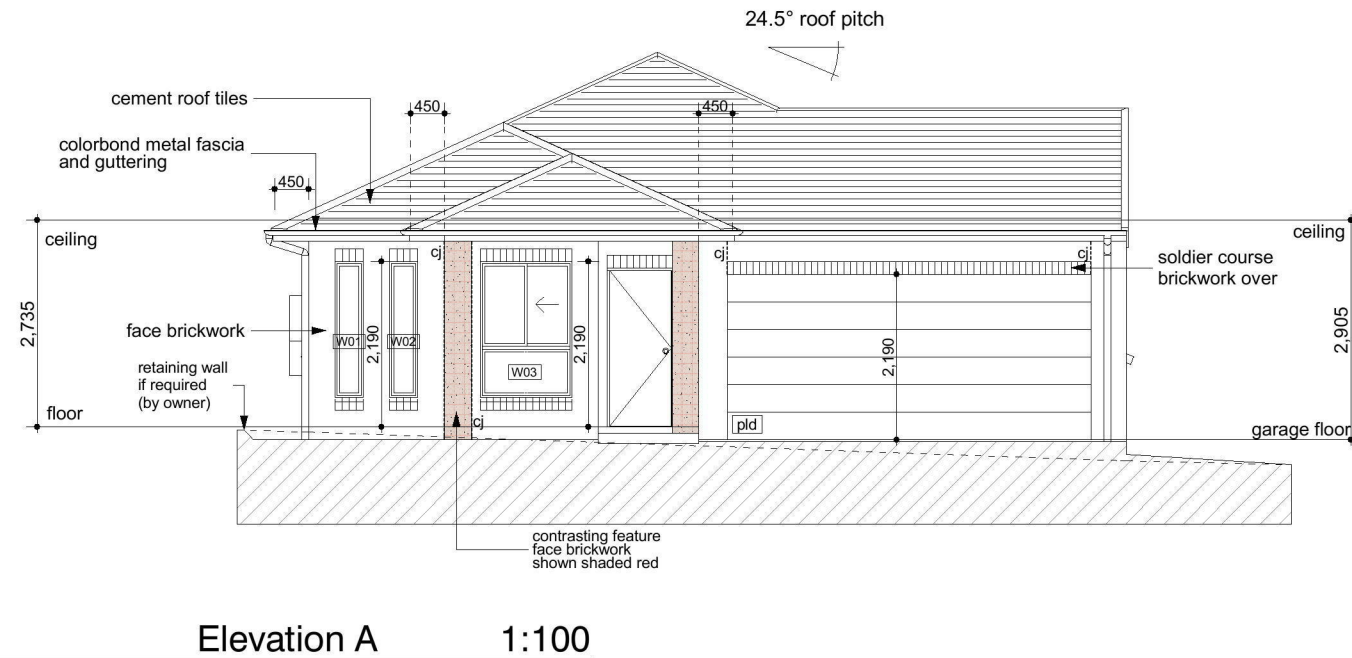
job number: **13-829** checked: _____

drawing: **site plan**

house: **Hemsworth (mod)** date: **21/05/2013**

scale: _____ sheet: **1 of 16**

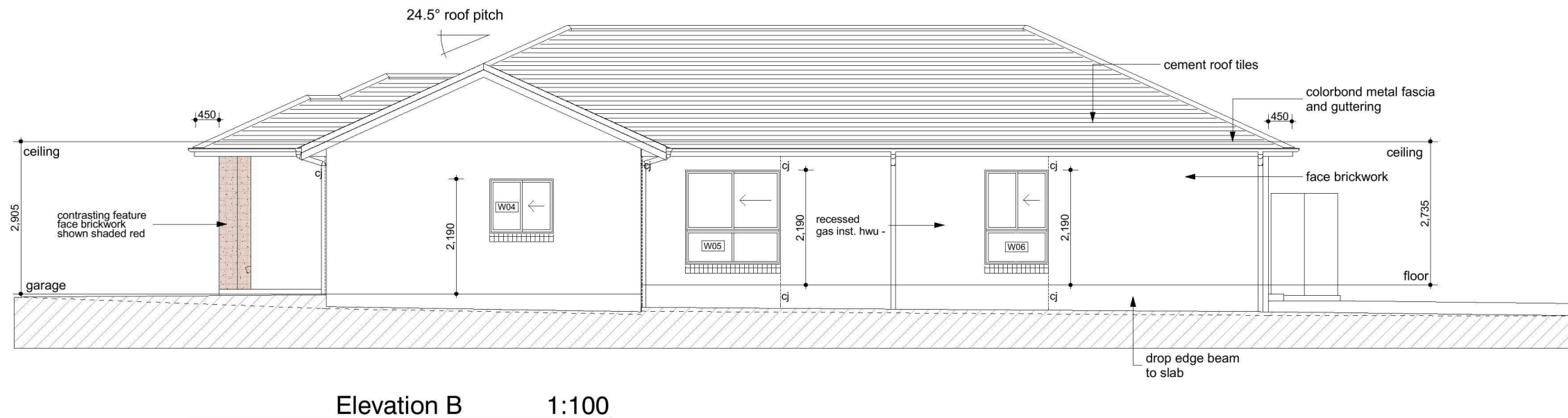
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ELECTRICAL CONNECTION POINT TO BE CONFIRMED PRIOR TO CONSTRUCTION

SITE SOIL CLASSIFICATION - M CLASS



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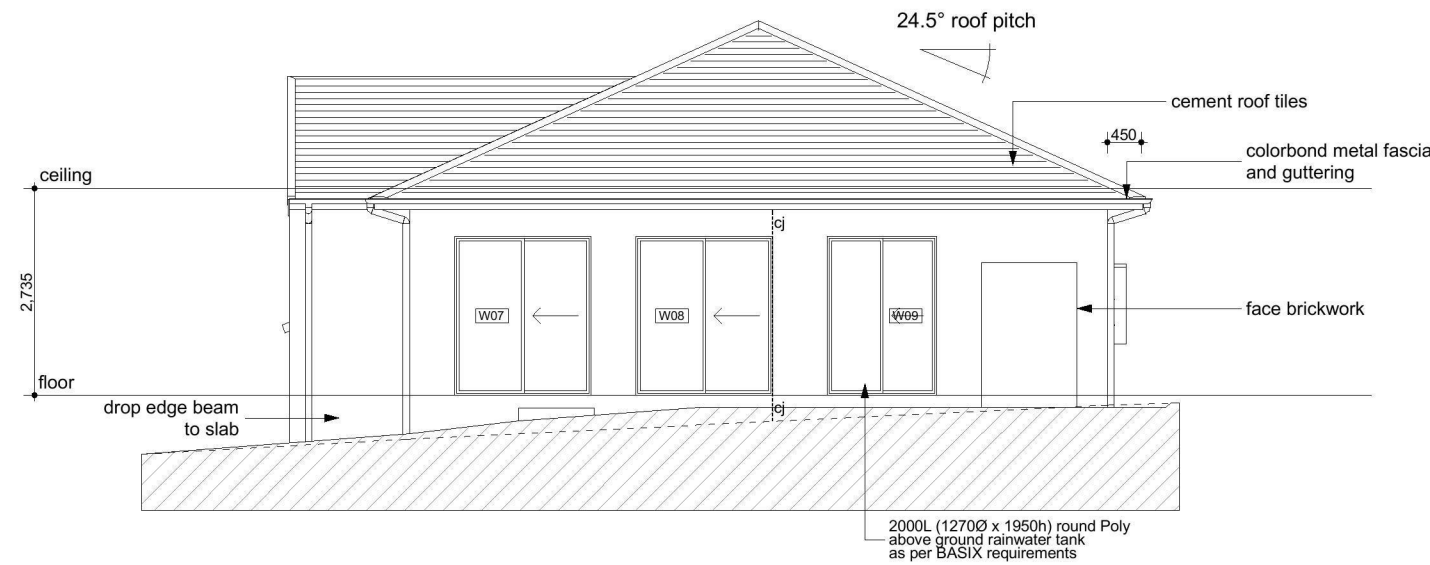


CONSTRUCTION NOTES:

- Upgrade ceiling insulation to R3.5 insulation batts in roof spaces above ceilings of habitable rooms (Tender).
- Upgrade wall insulation to R2.0 insulation batts to external brick veneer walls (Tender).

client:		Ramon S. Sese & Lani C. Sese	
location:		Lot 20 DP 1166546 Ghera Street, Kingswood (Grey Oaks)	
job number:	checked:	Copyright: The copyright of this design remains the property of Casaview Pty Ltd and may not be copied in whole or part without the written permission from Casaview Pty Ltd.	
13-829			
drawing:	scale:	sheet:	
elevations		3	of 16
house:	date:		
Hemsworth (mod)	21/05/2013		

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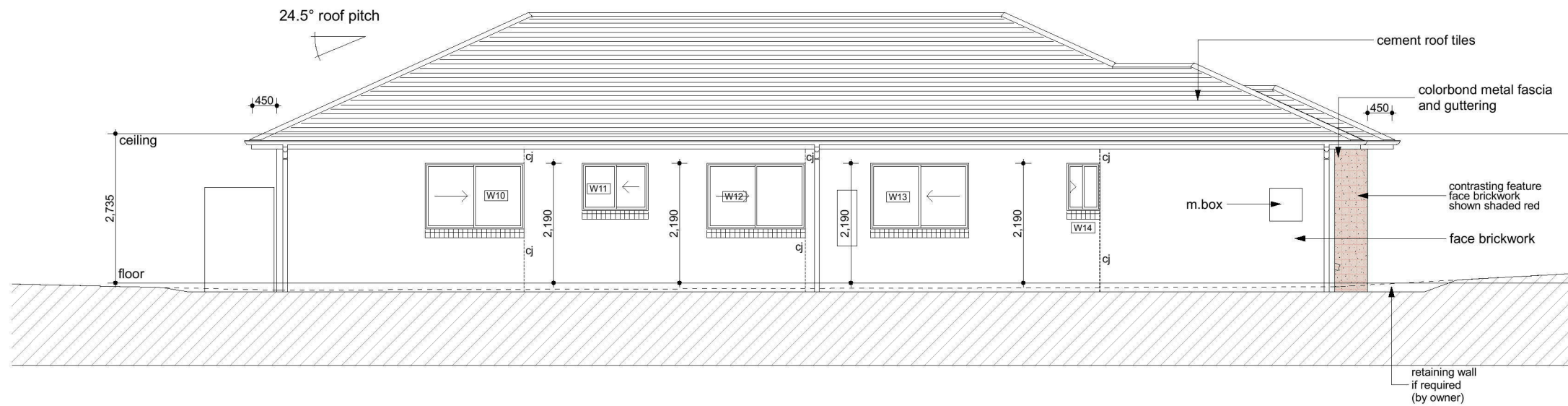


Elevation C 1:100

POSITION OF SEWER MAIN TO BE CHECKED AND CONFIRMED BY SEWER PEGOUT

ELECTRICAL CONNECTION POINT TO BE CONFIRMED PRIOR TO CONSTRUCTION

SITE SOIL CLASSIFICATION - M CLASS



Elevation D 1:100

CONSTRUCTION NOTES:

- Upgrade ceiling insulation to R3.5 insulation batts in roof spaces above ceilings of habitable rooms (Tender).
- Upgrade wall insulation to R2.0 insulation batts to external brick veneer walls (Tender).



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location:		Lot 20 DP 1166546 Ghera Street, Kingswood (Grey Oaks)	
job number:	checked:	Copyright: The copyright of this design remains the property of Casaview Pty Ltd and may not be copied in whole or part without the written permission from Casaview Pty Ltd.	
13-829			
drawing:		scale:	sheet:
elevations			
house:	date:	4 of 16	
Hemsworth (mod)	21/05/2013		

Single Dwelling

Certificate number: 474051S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 29/06/2009 published by the Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of issue: Wednesday, 08 May 2013
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	20 Ghera	
Street address	Ghera Street Kingswood 2747	
Local Government Area	Penrith City Council	
Plan type and plan number	deposited 1166546	
Lot no.	20	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 46	Target 40

Certificate Prepared by	
Name / Company Name:	Casaview Constructions Pty Ltd
ABN (if applicable):	83 063 937 931

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.			
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.			
	✓	✓	✓
Floor and wall construction			
Area	All or part of floor area square metres		
floor - concrete slab on ground			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

Description of project

Project address	
Project name	20 Ghera
Street address	n/a Ghera Street Kingswood 2747
Local Government Area	Penrith City Council
Plan type and plan number	Deposited Plan 1166546
Lot no.	20
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m ²)	417
Roof area (m ²)	210
Conditioned floor area (m ²)	112
Unconditioned floor area (m ²)	26
Total area of garden and lawn (m ²)	182

Assessor details and thermal loads		
Assessor number	20311	
Certificate number	1006255797	
Climate zone	28	
Area adjusted cooling load (MJ/m ² .year)	34	
Area adjusted heating load (MJ/m ² .year)	37	
Other		
none	n/a	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 46	Target 40

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.			
	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER 2.5 - 3.0			
		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER 2.5 - 3.0			
		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.			
		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER 2.5 - 3.0			
		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER 2.5 - 3.0			
		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.			
		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off			
		✓	✓
Kitchen: individual fan, not ducted; Operation control: manual switch on/off			
		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a			
		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.			
	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			
		✓	



Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 210.21 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a fixed outdoor clothes drying line as part of the development.			
		✓	

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Casaview Constructions Pty Ltd
P.O. Box 1336, GREEN VALLEY, NSW, 2168
Phone: 8783 8800 Fax: 8783 7794

client:		Ramon S. Sese & Lani C. Sese	
location:		Lot 20 DP 1166546 Ghera Street, Kingswood (Grey Oaks)	
job number:	checked:	Copyright: The copyright of this design remains the property of Casaview Pty Ltd and may not be copied in whole or part without the written permission from Casaview Pty Ltd.	
13-829			
drawing:		scale:	sheet:
basix requirements			
house:	date:	6 of 16	
Hemsworth (mod)	21/05/2013		

GARDEN BED AREAS

Ensure that mass planting areas have been excavated to 300mm below finished levels. Rip to a further depth of 150mm. Do not excavate within 1500mm of existing trees.

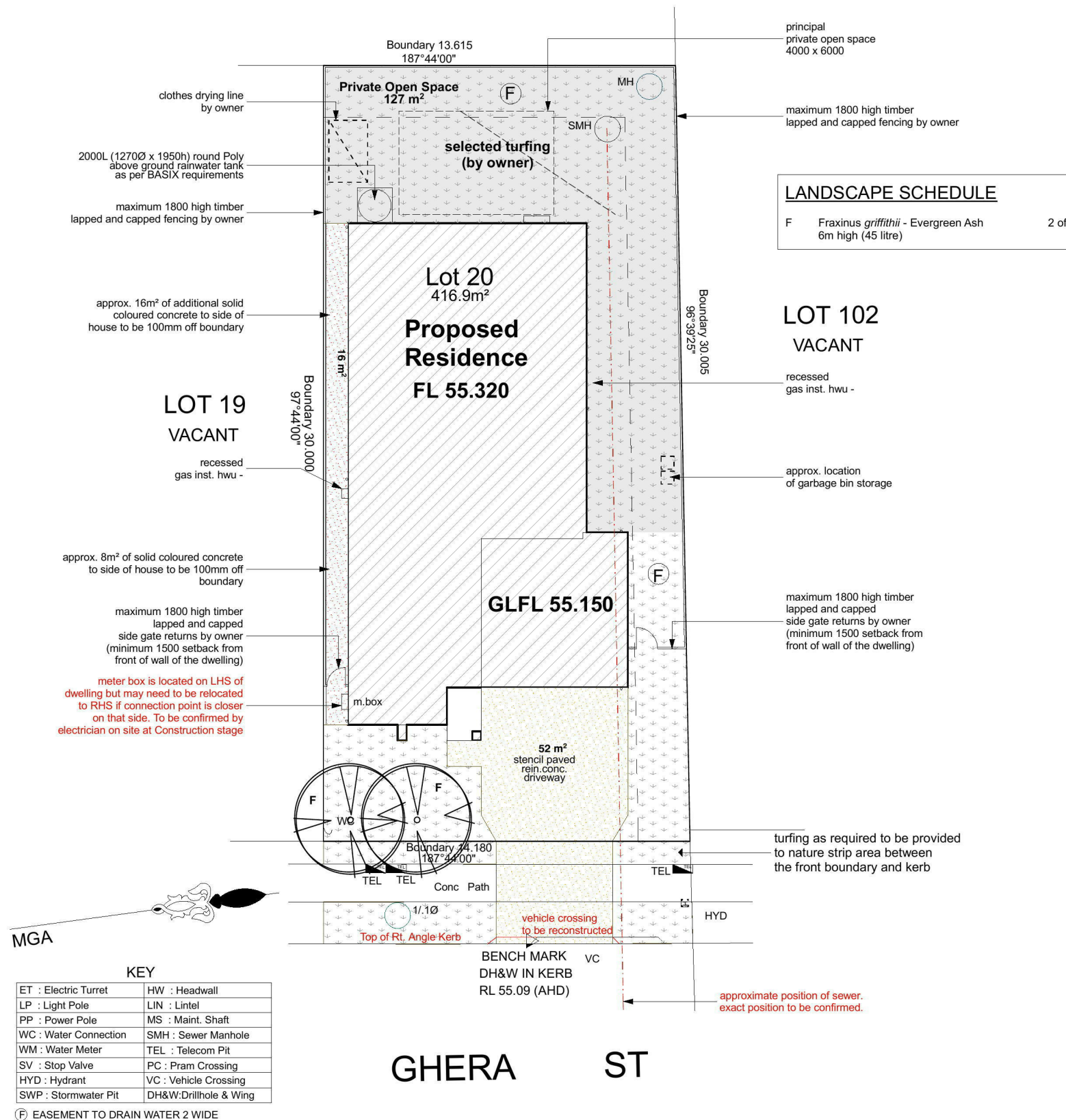
Supply and install 300.. depth of top soil mix, comprising of one (1) part mushroom compost to three (3) parts top soil. Top soil shall be either imported or from stockpiled site top soil i.e. free of clay.

Install minimum 75mm depth of organic mulch.

TURF

Turf shall be select species with an even thickness of not less than 30mm.

Excavate / Grade all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of existing trees. Ensure that all surface water runoff is directed towards inlet pits (if required) and away from dwelling. Ripp to a minimum depth of 150mm. Install 80mm depth of imported or onsite stock piled top soil.



LANDSCAPE SCHEDULE

F	Fraxinus griffithii - Evergreen Ash 6m high (45 litre)	2 off
---	---	-------

KEY

ET : Electric Turret	HW : Headwall
LP : Light Pole	LIN : Lintel
PP : Power Pole	MS : Maint. Shaft
WC : Water Connection	SMH : Sewer Manhole
WM : Water Meter	TEL : Telecom Pit
SV : Stop Valve	PC : Pram Crossing
HYD : Hydrant	VC : Vehicle Crossing
SWP : Stormwater Pit	DH&W: Drillhole & Wing

Ⓢ EASEMENT TO DRAIN WATER 2 WIDE

NOTE - ALL LANDSCAPING TO BE DONE BY OWNER (UNLESS NOTED OTHERWISE)

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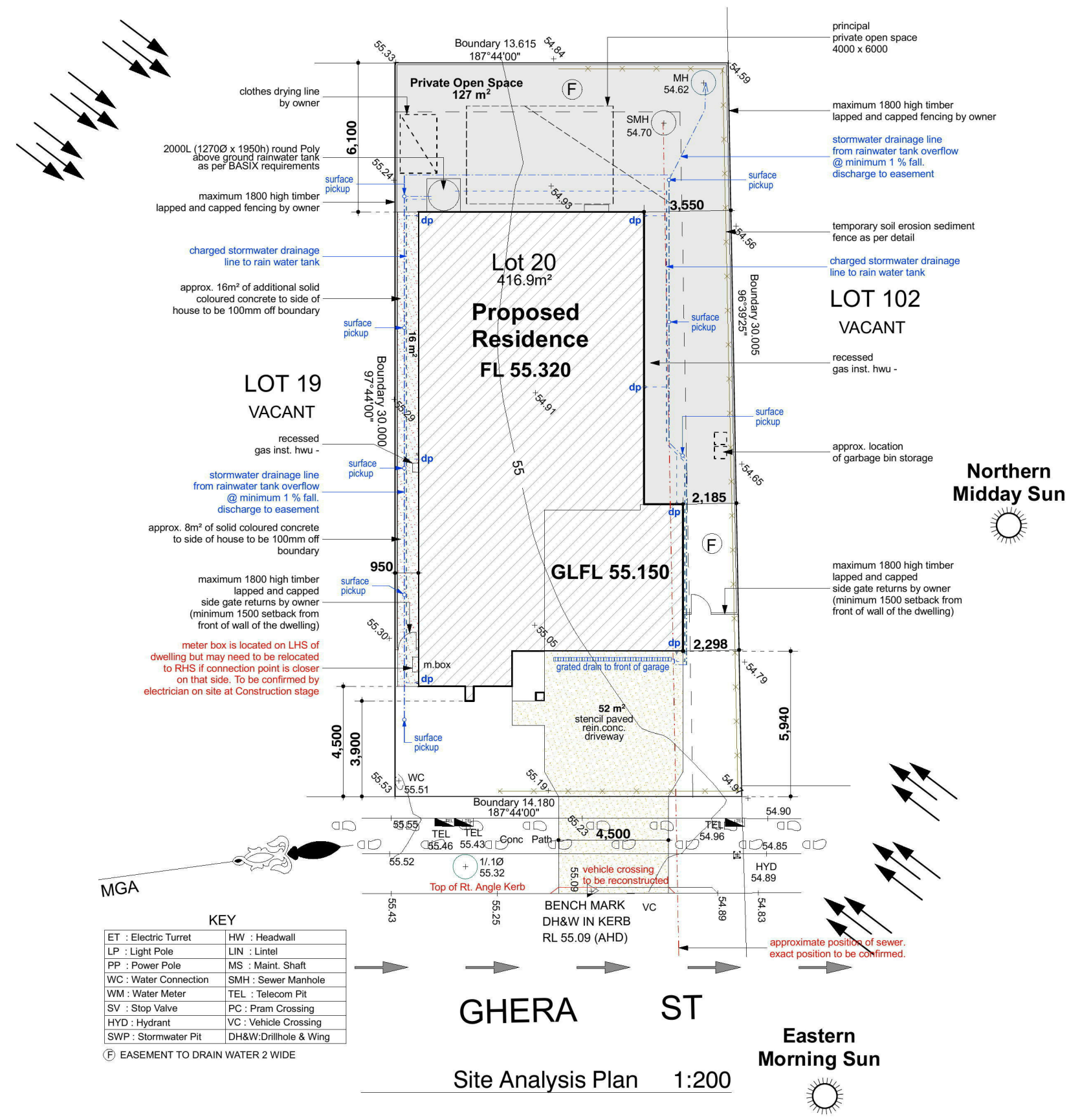


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client: Ramon S. Sese & Lani C. Sese	
location: Lot 20 DP 1166546 Ghera Street, Kingswood (Grey Oaks)	
job number: 13-829	checked:
drawing: landscape plan	Copyright: The copyright of this design remains the property of Casaview Pty Ltd and may not be copied in whole or part without the written permission from Casaview Pty Ltd.
house: Hemsworth (mod)	scale: sheet: 7 of 16
	date: 21/05/2013

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Western
Afternoon Sun



KEY

	Proposed tree (Refer to landscape architects plan for layout)
	Existing Tree (removed)
	Existing Tree (remain)
	Demolished building
	Proposed building
	Hard landscaping
	Soft landscaping
	Privacy issue
	Views
	Pedestrian movement
	Vehicle movement
	Building Levels
	Water course
	Prevailing winds
	Sun Direction

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Ⓢ EASEMENT TO DRAIN WATER 2 WIDE

GHERA ST

Site Analysis Plan 1:200

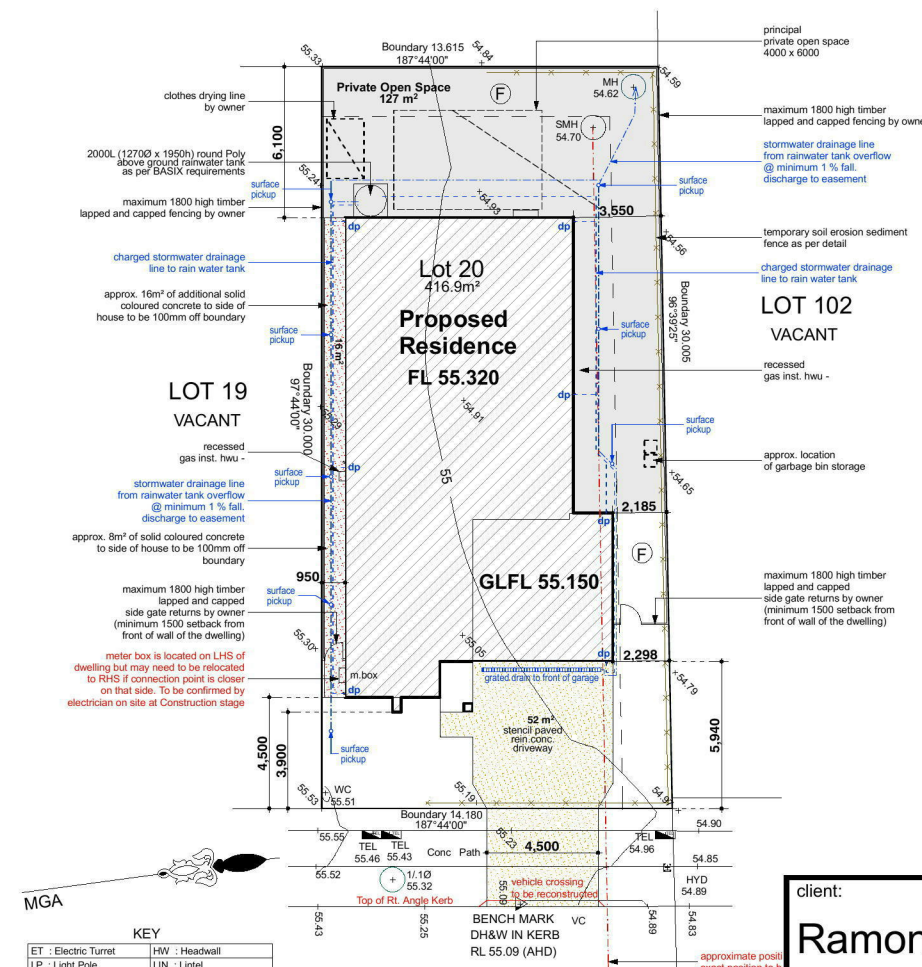
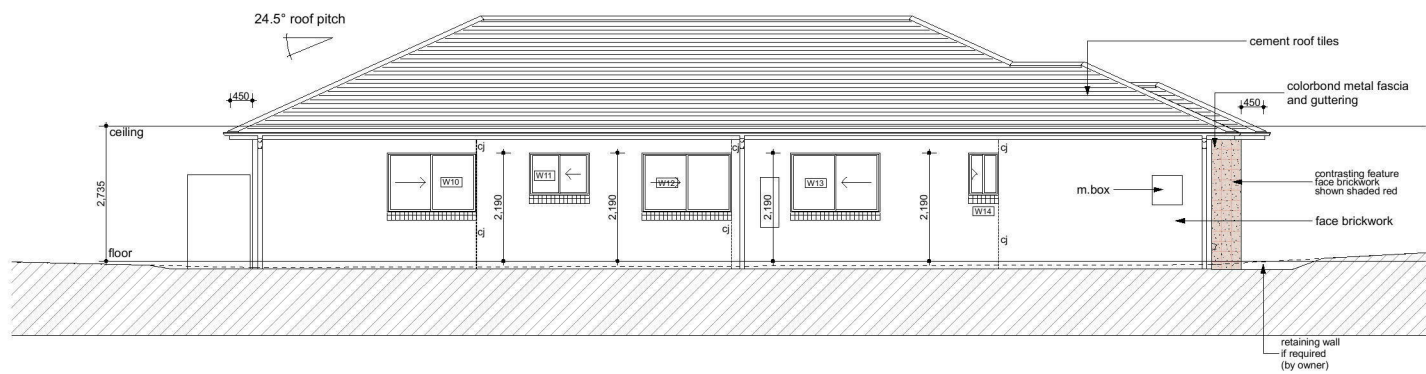
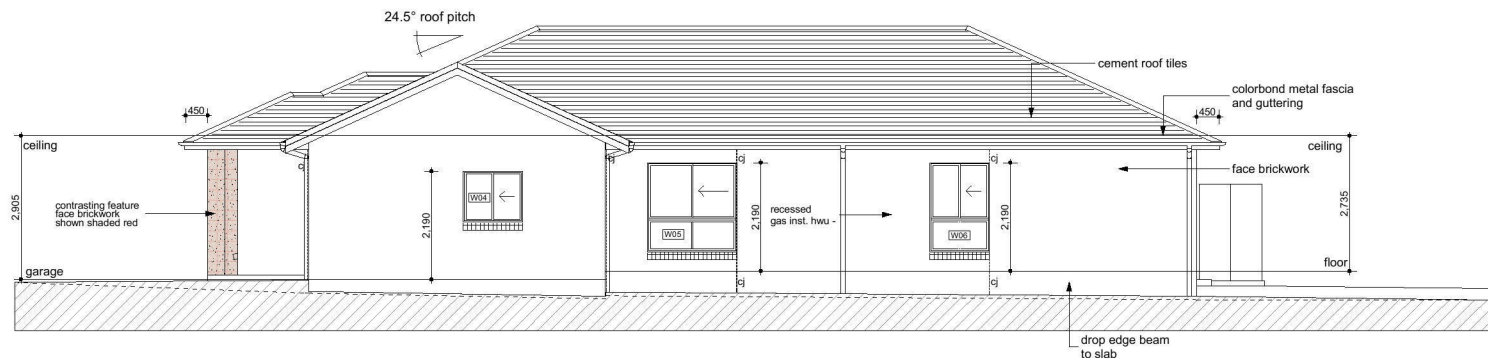
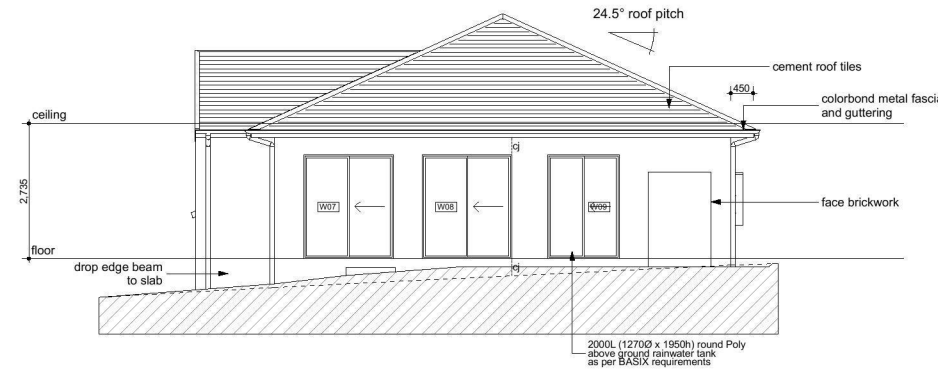
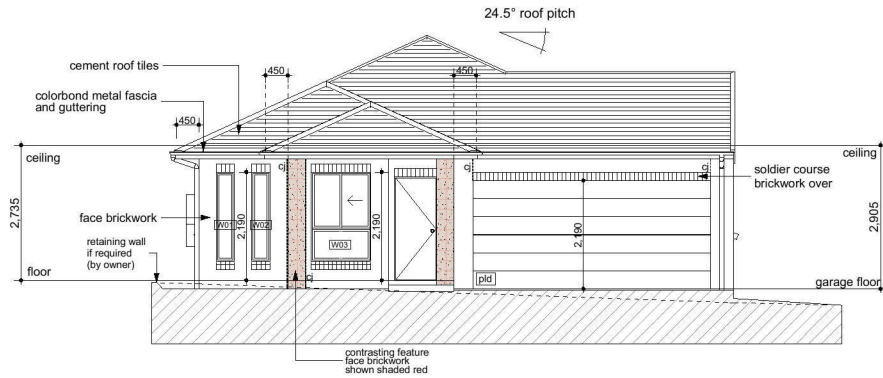
Eastern
Morning Sun



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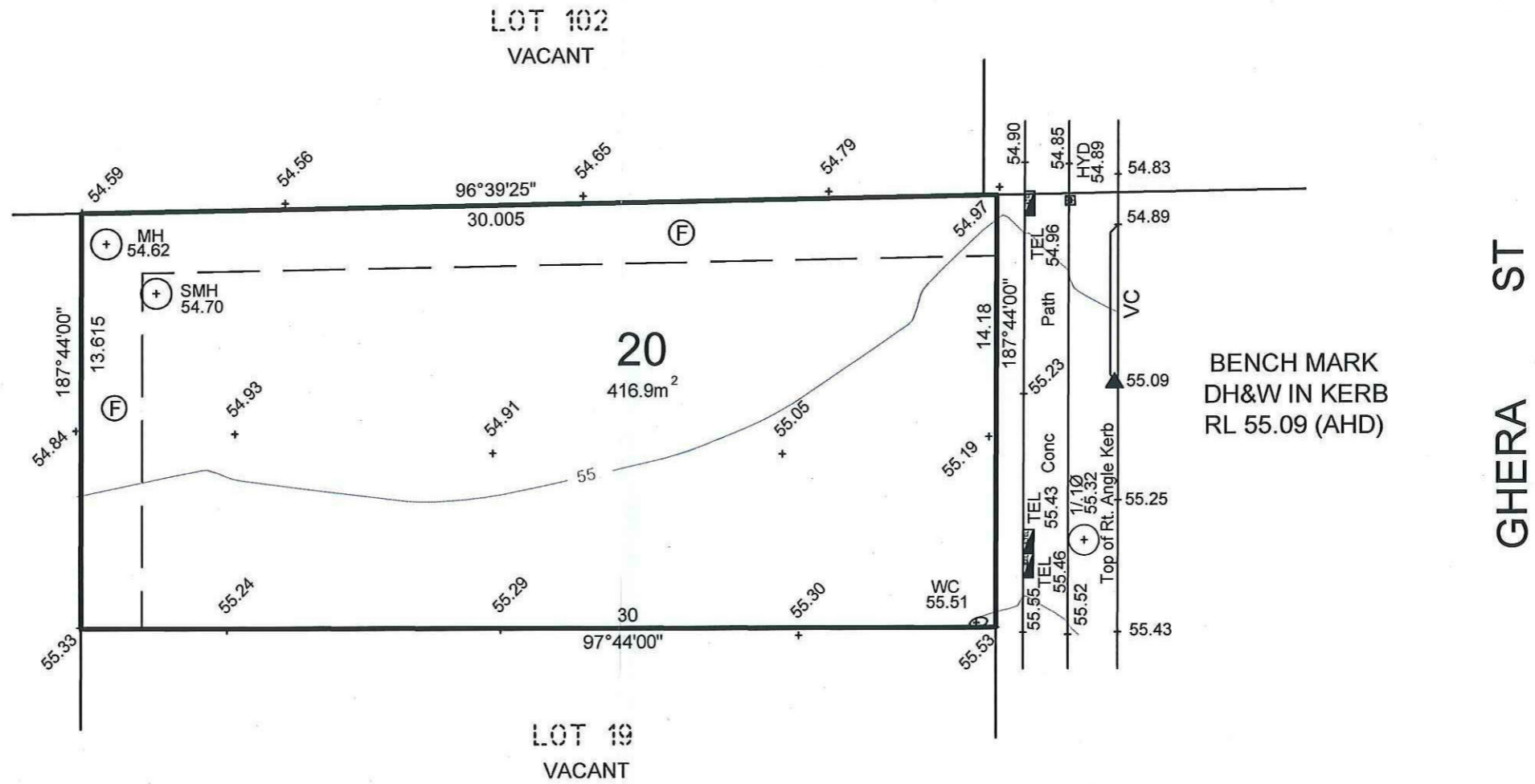
client: Ramon S. Sese & Lani C. Sese	
location: Lot 20 DP 1166546 Ghera Street, Kingswood (Grey Oaks)	
job number: 13-829	checked:
drawing: site analysis	Copyright: The copyright of this design remains the property of Casaview Pty Ltd and may not be copied in whole or part without the written permission from Casaview Pty Ltd.
house: Hemsworth (mod)	scale: sheet:
	date: 21/05/2013
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location: Lot 20 DP 1166546 Ghera Street, Kingswood (Grey Oaks)	
job number: 13-829	checked:
drawing: notification	Copyright: The copyright of this design remains the property of Casaview Pty Ltd and may not be copied in whole or part without the written permission from Casaview Pty Ltd.
house: Hemsworth (mod)	scale: sheet:
date: 21/05/2013	9 of 16



ⓕ EASEMENT TO DRAIN WATER 2 WIDE

SUBJECT BOUNDARIES ARE NOT FENCED

NOTES 1 :-

- 1) Bearings, Area & Distances are by Title and / or deeds only. No boundary investigation has been carried out.
- 2) Relationship of improvements to boundaries is diagrammatic only. Where offsets are critical they should be confirmed by further survey.
- 3) Contours shown depict the topography. Except at spot levels shown they do not necessarily represent the exact level at any particular point.
- 4) Services shown hereon have been determined from visual evidence only. Prior to any design, demolition, excavation or construction on site the relevant authority should be contacted to establish detailed location and depth.
- 5) These notes form an integral part of this plan & should not be separated.
- 6) Location of sewer subject to confirmation from Sydney Water or relevant authority.
- 7) Australian Height Datum (AHD) was established from PM 44730, RL 76.983, Source - SCIMS Survey Mark Report.

NOTE 2 :
 PLAN UNREGISTERED AT TIME OF SURVEY
 DIMENSIONS, AREAS & EASEMENTS, ETC TO BE
 CONFIRMED WITH REGISTERED COPY.

CASAVIEW HOMES
 6 FEB 2013



KEY

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 Tel: (02) 9868-4660 Fax: (02) 9868-6035
 E-mail: epping.reception@burtonandfield.com.au
 Web: www.burtonandfield.com.au

PROJECT:
**CONTOUR & DETAIL SURVEY FOR
 LOT 20 IN UNREGISTERED DP.,
 GHERA RD., KINGSWOOD**

LGA: PENRITH
 COMP REF: J:\66454\...l66454_C; Your Ref 4341

REVISION		
CLIENT: CASAVIEW HOMES		
DATE: 30/01/2012	SCALE: 1:200	SHEET
REF: 20305/66454/1/JMK	DATUM: AHD	1 of 1